



## AGENDA

July 19, 2011

Town Hall BOS Meeting Room - 6:30 PM

### MINUTES:

1. Approval of minutes from the 6/21/11 meeting/public hearing.

### NEW BUSINESS:

2. **34 Hammond Rd, LLC/J.P. Pest Services – Hammond Rd – Map 43, Lot 70.** Public Hearing for a major site plan to construct a 5,440 SF commercial building with associated site improvements. (New application)

### OTHER BUSINESS:

#### Future meetings:

*07/26/11 Worksession*

*08/02/11 Worksession*

*08/09/11 Worksession*

*08/16/11 Regular meeting*

*The order and matters of this meeting are subject to change without further notice.*

**Members present:**

Janet Langdell, Chairperson  
Paul Amato  
Kathy Bauer, BOS representative  
Chris Beer  
Steve Duncanson  
Judy Plant  
Susan Robinson, Alternate member

**Excused:**

Tom Sloan, Vice chairman

Gary Williams, Alternate

**Staff:**

Sarah Marchant, Town Planner  
Shirley Wilson, Recording Secretary  
Dan Finan, Videographer  
Feral McElreavy, Videographer  
Mike McInerney, Community Media Director

Matt Sullivan, Perspective member

**MINUTES:**

1. Approval of minutes from the 5/17/11 meeting/public hearing.

**NEW BUSINESS:**

2. **Town of Milford/Conservation Commission and Anne M Zahn Rev Trust, Trustee – Hartshorn Mill and Mont Vernon Rd – Map 2, Lots 28-2 & 29.** Public Hearing for a lot line adjustment. (New application)
3. **Soiland, Inc. and State of NH, DOT – Hayden’s Ln and Buxton Rd – Map 8, Lots 38, 39, 65, & 69-1.** (New application)
  - Public Hearing for multiple lot line adjustments, eliminating parcel 8/69-1, and
  - Waivers from Development Regulations Article V, Sections 5.06.K & I.
4. **James, Beverly & Scott Brown – Union St – Map 42, Lot 37.** Public Hearing for an amendment to a conditionally approved site plan to revise the phasing schedule. (New application)
5. **East Milford Self Storage/Birdland Properties LLC – Nashua St – Map 32, Lots 23-2, 23-3, & 23/5.** Public Hearing for a major site plan to construct a multi-building self storage facility with associated site improvements. (New application)

**OLD BUSINESS:**

6. **Pine Valley Subdivision/37 Wilton Road Milford LLC & Pine Valley Business Center- Wilton Rd – Map 6, Lot 14.** Design review of a proposed subdivision creating ten (10) residential lots. (Tabled from 5/17/11)

**NEW BUSINESS (Cont’d):**

7. **Pine Valley Subdivision/37 Wilton Road Milford LLC, 282 Route 101 LLC & Etchstone Properties, Inc. - Wilton Rd –Map 6, Lot 14.** Public Hearing for a proposed subdivision creating ten (10) residential lots. (New application for final plan)

Chairperson Langdell called the meeting to order at 6:30PM, introduced the board members and staff and reviewed the ground rules for the meeting.

**MINUTES:**

S. Duncanson made a motion to accept the minutes from the 5/17/11 meeting. J. Plant seconded and all in favor.

**NEW BUSINESS:**

**Town of Milford/Conservation Commission and Anne M Zahn Rev Trust, Trustee – Hartshorn Mill and Mont Vernon Rd – Map 2, Lots 28-2 & 29.** Public Hearing for a lot line adjustment.

*Abutters present:*

*Sally Wilkins, Wilkins Lumber, St Rte 13 N  
Kelly & Michael Carter, Hartshorn Mill Rd*

Chairman Langdell recognized:

Dawn Tuomala, Monadnock Survey, Inc.  
Karl Zahn, Representing Anne M Zahn  
Fred Elkind, Milford Conservation Commission  
Chris Costantino, Milford Conservation Commission  
Kim Rimalover, Milford Conservation Commission

P. Amato made a motion to accept the application. S. Duncanson seconded and all in favor. J. Langdell noted that the application was complete according to the staff memo. S. Wilson read the abutters list into the record. P. Amato made a motion that this application did not pose potential regional impact. C. Beer seconded and all in favor.

D. Tuomala presented plans dated 5/17/11 and stated that the Zahn family is giving a gift of two (2) acres of land to honor the memory of Bud Zahn. This green area will be adjacent to Hartshorn Pond to enrich the ten acres.

Chairperson Langdell asked for questions from the board; there were none.

Chairperson Langdell opened the meeting to the public.

S. Wilkins said she was generally supportive of this idea and we love this pond, but was wondering if there would be a site plan for future plans. S. Marchant replied that it would depend on what will be done out there; if there will not be any structures, there will be no additional Planning Board review. S. Wilkins then brought up litter maintenance and a potential footbridge location. J. Langdell said there could be some type of public input session when plans are finalized.

Chairperson Langdell closed the public portion of the meeting.

P. Amato made a motion to approve the application as presented and amended that motion to include staff recommendations per the staff memo dated 6/21/11. S. Duncanson seconded and all in favor. J. Langdell thanked the Zahn family for such a generous donation to the Town of Milford.

**Soiland, Inc. and State of NH, DOT – Hayden’s Ln & Buxton Rd – Map 8, Lots 38, 39, 65, & 69-1.** Public Hearing for multiple lot line adjustments, eliminating parcel 8/69-1, and Waivers from Development Regulations Article V, Sections 5.06.K & I.

*Abutters present:*

*Todd Morin, Steven Ln*

Chairman Langdell recognized:

Dawn Tuomala, Monadnock Survey, Inc.  
Steve Trombly, Soiland, Inc. & Trombly Land Trust

P. Amato made a motion that this application did not pose potential regional impact. C. Beer seconded and all in favor. J. Langdell noted that the application was complete according to the staff memo. S. Wilson read the abutters list into the record. P. Amato made a motion to accept the application. S. Duncanson seconded and all in favor.

D. Tuomala distributed revised plans dated 6/21/11 and explained the adjustments between the State of NH, Soiland Inc. and Trombly Land Trust. Parcel A of lot 8/69-1 would annex to 8/38, Parcel B would annex to 8/65 and also Parcel C, part of 8/39, is to be transferred to 8/38.

We are requesting a waiver from Development Regulations 5.06.I, Property Boundaries. We did precise surveys of the transferring parcels A, B & C but used existing surveys or deed dimensions for the other lots which are back lots without frontage on a class V road. We are also requesting a waiver from Development Regulations 5.06.K, delineation of wetlands and wetland buffers. This plan eliminates one lot entirely and all lots will be more than five (5) acres. The lot line adjustment does not affect any wetlands and will not create more conforming lots. The public can't see these lots and there are no right-of-way ROWs; therefore the public will not be adversely impacted. The town is considering connecting the water line between Rte 13 and the North River Rd/Jennison Rd area and this will make it easier to come in off Steven's Ln to Hayden Ln without getting the State's involvement.

J. Langdell inquired about the spelling of Hayden Ln. D. Tuomala confirmed that it is Hayden. J. Langdell then read the staff recommendations from the staff memo dated 6/21/11.

Chairperson Langdell opened the hearing to public comment; there being none, the public portion of the meeting was closed.

P. Amato inquired if we had the State's signature or letter from the State showing approval for this subdivision. S. Marchant said no, but that the State was not listed as an applicant on the application. The State will have to sign the final plans before recording. S. Trombly said he has the State's signature on the Purchase and Sale agreement and the deed is in process. After a lengthy discussion, P. Amato said that all applications should have the appropriate signatures to make sure everyone is onboard and not waste the Board's time. J. Langdell noted that we will certainly work on the internal process, going forward.

P. Amato made a motion to grant the two (2) requested waivers from Development Regulations 5.06.I and 5.06.K. S. Duncanson seconded and all in favor.

K. Bauer made a motion to grant conditional approval of the application, and amended the motion to include staff recommendations and the signed P & S. J. Plant seconded and all in favor.

**James, Beverly & Scott Brown – Union St – Map 42, Lot 37.** Public Hearing for an amendment to a conditionally approved site plan to revise the phasing schedule.

*Abutters present:*

*Ryan Astin, Moreland St*

*Barbara & Gyle Clapham, Moreland St*

*David & Gina Dube, Union St*

*Greg & Michelle White, Union St*

Chairman Langdell recognized:

Scott Brown

Beverly Brown

C. Beer made a motion that this application did not pose potential regional impact. S. Duncanson seconded and all in favor. J. Langdell noted that the application was complete according to the staff memo. C. Beer made a motion to accept the application. S. Duncanson seconded and all in favor. S. Wilson read the abutters list into the record.

S. Brown explained that they are requesting the phasing, for the approved 28 lot subdivision off Union St, be changed. The original subdivision was approved for six (6) houses per year which would take up to five (5) years to develop and we would like to change that to a maximum of ten (10) lots per year to decrease the timeframe for buildout. J. Langdell explained that the original approval came under the GMO with the old phasing schedule and this revision will bring the phasing more in line with our current regulations. P. Amato clarified a maximum of ten houses per year, not a cumulative thirty (30) houses in three years. J. Langdell asked if there was any interest from the Board to specify which ten lots per year; the consensus was to not specify.

Chairperson Langdell opened the hearing to public comment; there being none, the public portion of the meeting was closed.

J. Langdell read the staff recommendations from the staff memo dated 6/21/11 and noted that the existing conditional approval is good through October, 2011.

S. Duncanson asked about the original conditions of the approval. S. Marchant stated that all other conditions have been met at this time. J. Langdell added that the road will be put in, to the required standards, in order to access the building lots.

S. Duncanson made a motion to grant approval subject to the staff recommendations. C. Beer seconded and all in favor.

A five (5) minute recess was called.

**East Milford Self Storage/Birdland Properties LLC – Nashua St – Map 32, Lots 23-2, 23-3, & 23/5.**  
Public Hearing for a major site plan to construct a multi-building self-storage facility with associated site improvements.

*Abutters present:*

*Bob Moran, Nottingham Place Condominiums – James St*

*Alfred DiBenedetti, Nottingham Place Condominiums- James St*

*Alexandros Giannokopoulos, Nottingham Place Condominiums- James St*

*Ralph Jakubowski, Nottingham Place Condominiums- James St*

*Raymond Beauregard, Nottingham Place Condominiums – James St*

*Michael Ciardelli, Nashua St*

Chairman Langdell recognized:

Earl Sandford, Sandford Surveying and Engineering

Matthew, Michael & Andrew Ciardelli, Birdland Properties, LLC

C. Beer made a motion that this application did not pose potential regional impact. J. Plant seconded and all in favor. J. Langdell noted that the application was complete according to the staff memo. S. Wilson read the abutters list into the record. P. Amato made a motion to accept the application. C. Beer seconded and all in favor.

E. Sandford presented plans dated 6/8/11 and described the proposed project for self-storage units to be located off James St. He also distributed an aerial photo of the site showing the greenhouses which look similar to the proposed layout. The project received relief from the ZBA. We have a fully engineered drainage report; the detention pond in the middle will accommodate up to a 100 year storm and the site is stabilized. All staff recommendations are acceptable. He then explained the phasing schedule saying part of the agreement when the Ciardelli's bought the property was for the florist to be able to maintain and use the greenhouse in the future. So initially, the buildings in phase I will be shorter but functional during the interim to allow that greenhouse to remain. Phase I will consist of five (5) buildings. Phase II will add three (3) more storage buildings and phase III will expand the first buildings. We are looking at a long timeframe, possibly sixteen years with the first phase to start in 2011 and then phase II after next year, as the economy dictates and phase III possibly the following year. J. Langdell read the phasing schedule shown on the plan; 2011, 2015, 2021. E. Sandford said that was revised based on staff comments.

E. Sandford explained the drainage and said that everything drains to the depression in the middle of the lot, to a certain extent, infiltrating the existing drainage and we've added a bottom drain and gravel base to keep the basin dry. We will be knocking down a considerable amount of pavement in the building area and this will keep from increasing peak flows off site. For security there will be a six (6') ft stockade fence starting from the corner of the site to the entrance gate and continuing with a six (6') ft chain link fence around the remainder of the site. There will be lighting on all buildings and it will follow operating hours. In addition, there will be motion sensor lights for after hours. This will be a fairly secure site with the fence, gate and lighting. The landscaping will include shrubs along the front of the buildings and some along the end and per staff recommendations we've added a row of six (6') ft trees 10' on center from the driveway to the existing tree line so that there will be a complete screen to the left of the driveway largely for the benefit of the condos across the way. We will try to save the existing trees and will re-plant to meet the regulations of one tree every thirty (30') ft.

C. Beer inquired if the climate control for unit 1 was both heat and A.C, and if it would be rooftop or ground. E. Sandford replied both; there is a specific temperature range for climate controlled rental space that they have to stay within. M. Ciardelli added that the potential two ground units would be within the fence on the back side of

the building. Access to the office will be in front using the same access as the entry of the storage units. M. Ciardelli presented the conceptual architectural drawings dated 6/15/11 and said that the potential sign was not included on the plans. The buildings will have five 10' doors on the sides and six 5' doors on the ends. The colors will be kept consistent between all the buildings and the roofs will be 3-pitch.

K. Bauer inquired about the building materials and color. M. Ciardelli said they would use standard building materials; a light gauge steel. He distributed samples of evergreen and classic beige for the colors. S. Robinson asked if the Fire Department had any safety concerns with the materials. M. Ciardelli said the buildings will be non-flammable. P. Amato asked if there would be a sprinkler system. M. Ciardelli answered that the Fire Department will require access to all the building but sprinklers will not be required for this application, per Captain Smedick. K. Bauer inquired about snow storage. E. Sandford said there is basically four (4') feet around the outer edges to push the snow back. We will have to contend with the fence but there is also an extra area in back where it is crowned to put excess snow. K. Bauer asked if pushing the snow away will lessen the lane width. E. Sandford replied there is enough pavement to accommodate the snow. M. Ciardelli added that he spoke with Captain Smedick and he wanted twenty (20') ft around all buildings; the plan shows 25-30 ft.

J. Langdell brought up the DPW comments and asked where the drainage will go. E. Sandford said the drainage is not hooked into the town system and explained this system and overflow. There is an existing 270ft of 12" ADS pipe, part of the perimeter drain, that goes around the site into a 300ft long treatment swale. There is also another detention area and if that would overflow it would just go into a wetland. There is also a culvert under the railroad by 101A. The over flow pipe gives us security for a very minimal amount of water and there is a good chance that the pipe will never see water. This design will maintain existing conditions and control the outlet before it gets to the drain.

E. Sandford reviewed staff comments from the memo dated 6/21/11:

1. The lot merger for the three lots will be submitted after approval of this plan.
2. The drainage easement will mainly be for future buyers to allow maintenance and will be included in the property deed as well.
3. It will be an easy fix to correct the fencing on the plan.
4. The phasing has been revised, as discussed.
5. The paving timeline will be added to the phasing plan since they go together. J. Langdell read from the staff memo that each phase will be paved as completed meaning phases II and III will remain gravel until the facilities were constructed. Will that be left as green and undisturbed until the construction of phase II? E. Sandford said green or gravel. M. Ciardelli explained the efficiencies of doing all the excavation work first and said there will be no paving until the building go up for phases I and II; however, the fencing and landscaping will all be done during phase I.
6. No discussion at this time.
7. The revised landscaping plan will show the row of plantings and we request that any minor details be worked out with staff.
8. The architectural details were presented tonight.
9. Note #24 will be revised.
10. Note #12 will be revised.
11. We can certainly address this. S. Marchant said the buffer line on the plan appears to be more of a non-disturbance buffer for vegetation, so you will need to clarify what the buffer is for and label it as such. E. Sandford said we are putting in a treatment swale that straddles that buffer line in places so he will double check.
12. We will add a note regarding the as-builts.
13. There will not be a dumpster on site as this will be a bring in/carry out facility.

P. Amato asked if there was a note referencing outside storage. J. Langdell read note #16 on page 1, stating that there will be no outside storage. S. Marchant added that the town ordinance for self-storage also requires no outside storage.

Chairperson Langdell opened discussion to the public.

B. Moran said he believed that the town had given several zoning areas for this particular type of use and there were six or seven options for the use of this land. He wants to know why can things be changed and overlooked when the townspeople and town fathers zoned areas especially for this use. He doesn't have a problem with

storage areas; he does have a problem with putting them in where they are not allowed. J. Langdell explained that it is feasible, possible and legal to go before the ZBA for a variance from the zoning regulations as they are voted in by the community. The applicant went through the process and for more information you are invited to go to the Community Development office to see the Zoning Administrator or Sarah Marchant the Town Planner. S. Marchant stated that staff is available Monday through Friday and would be happy to explain the process. She also noted that the State requires towns to provide relief from the zoning ordinance. J. Langdell said maybe we have an opportunity to put something together on how planning and zoning work that might help to expand public education.

A. DiBenedetti asked if the entrance could be moved from James St to Nashua St. E. Sandford said there is no frontage on Nashua St. J. Langdell clarified that the lots for this proposal do not touch Nashua St. E. Sandford said they looked at the traffic intensity and this use is lighter than an office building. J. Langdell said that is also reflected in the parking requirements which are minimal compared to an office building. P. Amato explained that everyone knows Woodman's greenhouses were accessed from Nashua St but this project does not include that lot. E. Sandford also said that they will be using an existing curb cut for access.

The public portion of the meeting was closed.

J. Langdell brought up the parking saying seven (7) parking spaces are proposed in front of unit 1 and the balance of the thirteen (13) spaces will be provided in the rear as there is ample space. P. Amato said in looking at other self-storage projects, there are virtually never any cars, so parking is generally not an issue. J. Langdell said the plan seems to provide sufficient space for two-way traffic with or without the snow. J. Langdell asked about the phasing specifics. E. Sandford said the revised phasing schedule will begin in 2011 for the phase I work and buildings. Phase II, units 6-8, would start after 2013 and phase III removing the greenhouse and extending the original buildings would start in 2014 with all work to be completed by 2027. The landscaping and fencing will be completed as part of phase I.

S. Robinson asked if the tree line will be maintained on lot 23-3 around the edge of lot because storage units are not necessarily as attractive as an office building. E. Sandford said we will keep existing trees where ever possible and referenced the note stating they will be replaced if removed; thirty-two (32) trees are to remain. After a brief discussion on the number of trees it was determined that the applicant will work with staff to iron out the details. J. Langdell said we have to manage expectations; there are people out there who would like to see the building hidden in a forest and then there are the absolute minimum requirements of the regulations. M. Ciardelli said they will comply with the minimum requirements and are willing to add more.

S. Duncanson inquired if the propane tank was outside the fence and how would it be accessed. M. Ciardelli said the propane tank will be inside the fenced area, and a hose can reach thirty (30) ft. J. Langdell noted that the fence was labeled differently on different sections of the plan and included the greenhouse. M. Ciardelli clarified that the fence will run in front of the greenhouse while it will be in use and will have direct access from the back. We will relocate the fence in phase III.

K. Bauer asked about the hours of operation. M. Ciardelli said we will abide by the condition of approval for the variance and the operating hours will be within the timeframe of 7:00am to 9:00pm.

S. Duncanson made a motion to grant conditional approval subject to staff recommendations 1-13. C. Beer seconded and all in favor.

J. Langdell thanked the applicant for all the work and effort since the ZBA meeting to come before this Board with a complete set of plans.

#### **OLD BUSINESS:**

**Pine Valley Subdivision/37 Wilton Road Milford LLC & Pine Valley Business Center- Wilton Rd –Map 6, Lot 14.** Design review of a proposed subdivision creating ten (10) residential lots.

*Abutters present:*

*Lynne Draper, Wilton Conservation Commission*

*Todd Goodnow, Wilton Rd*

Chairman Langdell recognized:

Jay Heavisides, Meridian Land Services, Inc.

Andy Prolman, Prunier & Prolman, PA

Kevin Slattery, Etchstone Properties, Inc.  
Mark Prolman, 37 Wilton Road Milford, LLC

C. Beer made a motion to close the design review process. J. Plant seconded and all in favor.

**NEW BUSINESS: (continued)**

**Pine Valley Subdivision/37 Wilton Road Milford LLC, 282 Route 101 LLC & Etchstone Properties, Inc. - Wilton Rd –Map 6, Lot 14.** Public Hearing for a proposed subdivision creating ten (10) residential lots.

*Abutters present:*

*Lynne Draper, Wilton Conservation Commission*

*Todd Goodnow, Wilton Rd*

Chairman Langdell recognized:

Jay Heavisides, Meridian Land Services, Inc.

Andy Prolman, Prunier & Prolman, PA

Kevin Slattery, Etchstone Properties, Inc.

Mark Prolman, 37 Wilton Road Milford, LLC

J. Langdell noted that Sarah Marchant's father is a principal with Meridian Land Services, Inc.

S. Wilson read the abutters list into the record. J. Langdell noted that the application was complete according to the staff memo dated 6/21/11. C. Beer made a motion to accept the application. P. Amato seconded and all in favor. J. Langdell stated that in the past we've held a separate Regional Impact Hearing when potential regional impact has been determined, but according to staff that is no longer necessary so we will proceed with the application. We will look for any information from the Town of Wilton and the NRPC of any impact as part of these proceedings. S. Marchant said that no information was provided from either the Town of Wilton or NRPC although we were anticipating a memo from the Wilton Water Department.

J. Heavisides presented plans dated 5/27/11 and reviewed the changes since the May meeting;

- Open space consideration: we are proposing an easement for a future bus stop to be located on the remainder lot 6/14. The specifications of the floating easement will be determined if and when a bus stop is needed. We are also proposing a pedestrian way along lots #4 & #5 for access from the new road to lot #14 to get to the new bus stop. There are provisions for a future sidewalk to come from Wilton Rd down to the project. That portion of the road is already 24ft wide and it will be a simple fix to adjust a couple of sewer manholes for a future catch basin, when the curbed sidewalk goes in.
- Sight distance was achieved and a sight distance profile is referenced on sheet P2. Some unneeded guardrails will be removed from the old bridge to get active sight distance in both directions.
- The drainage has been reconfigured and simplified from the original proposal of four catch basins along the road within the ROW and reduced down to a single recharge basin in the road. All other catch basins are connected and there will only be one area for DPW to have to concentrate on, in front of lot #7. The drainage system has been sized to accommodate a fifty year storm and also has a lot of safety factors as well.
- The driveway crossings for the four (4) lots have been redesigned by Dennis LaBombard who has provided a preliminary plan. S. Marchant said that Code Enforcement and the Fire Department have reviewed the new designs and we are satisfied. K. Bauer asked if those were the lots with the penstock under the driveways that couldn't accommodate fire apparatus. J. Heavisides said yes, we are not using the materials found on site, but new material that can accommodate fire trucks and the span will have smaller footprint; 20' instead of 40'. J. Langdell referenced the memo from LaBombard Engineering dated 6/14/11. K. Bauer asked if the Fire Department was in agreement. S. Marchant replied yes.
- We have come to an agreement in principle with the Wilton Water Commissioners regarding the improvements in that area. Wilton Water is onboard with this project; we had a meeting earlier today and a letter will be forthcoming. J. Langdell asked if a representative from the Wilton Water Commission was in attendance. For the record, there were no representatives at tonight's meeting. J. Heavisides explained that Wilton needs a pump station and somewhere within that gravel parking area on lot 6/14, we will locate a pump station to carry the water under bridge and connect to the Milford Water system. We are giving Wilton an easement but the location has not been worked out yet and the bus stop will be taken into consideration.
- We will file for our sewer discharge application with the State DES.

- The notes will be revised per staff recommendations.

J. Langdell brought up underground utilities for the six (6) houses on the Wilton side. J. Heavisides noted that the overhead line is for the dam control building. K. Slattery said he saw the staff comment but did not understand. Obviously if we could take advantage of the overhead line we would prefer not to further tax the infrastructure after getting it over the penstock; however, we have not communicated with PSNH. J. Langdell said if you are going underground now to deal with the penstock wouldn't it make sense to put in underground cables so you wouldn't see the power lines. K. Slattery said the overhead line goes back to the dam and he doesn't know what PSNH's attitude is towards that. At this time, he doesn't know what the appropriate solution will be or whether the existing overhead will support an additional four houses.

J. Langdell said the Conservation Commission was asked if they wanted easements along the Souhegan River and there was no interest from the Commission regarding this lot; however, there would be interest in the other lot, 6/15, but that is not being considered tonight.

Chairperson Langdell opened discussion to the public; there being none, the public portion of the hearing was closed.

J. Langdell said that the Zoning Administrator's comments for the proposed intersection have been addressed with a note and the Regional Impact has been addressed with the Wilton Water Commissioners. J. Langdell inquired if the easement states bus stop or public transportation and will that limit us in the future? A. Prolman said that can be changed per request.

K. Bauer referenced staff recommendation #11 and said this issue has been brought to the Board of Selectmen from other developments and there has been a lot of confusion about who maintains the road. J. Heavisides said it will be a condition of approval and noted that there is a sign is at the new Falcon Ridge subdivision. J. Langdell added that it is now a requirement of the Development Regulations.

P. Amato inquired about phasing. S. Marchant said that current Development Regulations allow ten (10) lots per year. P. Amato said he felt that the minor issues can be worked out with staff. J. Langdell said this is another example of a lot of work to come in with a very complete plan.

C. Beer made a motion to grant conditional approval of the application subject to staff recommendations. P. Amato seconded and all in favor.

**OTHER BUSINESS:**

There was no other business discussed and the meeting was adjourned at 8:45PM.

MINUTES OF THE JUNE 21, 2011 PLANNING BOARD MEETING APPROVED \_\_\_\_\_, 2011

Motion to approve: \_\_\_\_\_

Motion to second: \_\_\_\_\_

\_\_\_\_\_  
Signature of the Chairperson/Vice- Chairperson:

Date: \_\_\_\_\_



## **STAFF MEMO**

### **Planning Board Meeting**

**July 19, 2011**

### **Agenda Item #2: 34 Hammond Rd, LLC/J.P. Pest Services – Hammond Rd – Map 43, Lot 70**

#### **Public Hearing for a Major Site Plan**

##### **Background:**

The applicant is before the Board for the development of a 5,440 SF storage and meeting room facility expanding J.P. Pest Services from their original facility to the south of Route 101. The proposed development would occupy the former Loyd's Trailer site accessed off of Hammond Rd and abutting the Route 101 west bound off-ramp. The two houses on the property have been removed to accommodate the new building and associated parking. The garage in the south east corner will remain.

The lot is located in the Commercial District and meets all frontage and area requirements for the zone. The site contains a large wetland and a large amount of open, green space which is protected by the proposed development. The applicant received a special exception from the ZBA on July 7, 2011 to impact not more than 9,400 SF of total wetlands buffers for the construction of a proposed commercial building and associated site improvements. The buffer disturbance area accommodates the drainage infrastructure. The intent of the site plan is to depict the new storage and meeting room facility, with associated parking and site improvements.

##### **Site Layout**

Access to the site is from a single access point off of Hammond Rd, beyond the entrance to Willette's Furniture. The site is also highly visible from the Route 101 bypass and the off-ramp, as such the new facility is oriented towards the Route 101 bypass to take full advantage of the most viable land and traffic.

The building is intended to be used for storage of materials and a meeting space for the regular trainings J.P. Pest Services hosts. There is a loading dock to the north side of the building and a single overhead door on the east side. Parking is provided for to the sides and rear of the facility entrance. There is also a gravel parking area planned in the

far northern corner of the lot, for vehicle storage in the winter months. The far parking area is served by a gravel road which skirts the wetlands on the east edge of the property.

All lighting is shown as down cast per the regulations.

There is no outdoor storage of refuse on site as detailed in Note 15.

### **Drainage**

The main lot is designed to sheetflow towards a treatment swale and detention basin designed to provide treatment and temporary storage for stormwater before it flows into the onsite wetland. This area has been impervious for years as the previous owner had a hard pack of gravel over most of the area. The new northern gravel parking lot will sheet flow to a natural vegetated filter strip for treatment before reaching the wetlands. The applicant has applied for a stormwater permit.

### **Landscaping**

The applicant has submitted a landscaping plan for the property. The plan maintains much of the existing vegetation around the periphery of the property in so much as it exists. The developed portion of the site is divided from its Hammond Rd neighbors via a large wetland and existing green space. As such the landscaping is instead oriented towards the 101 bypass to compliment the facility orientation.

The applicant has detailed a significant planting schedule in line with the Development Regulations. There are three flowering crab trees being added to offset the 37 parking spaces around the proposed facility, and a variety of shrubs along the 101 frontage of the building. The site plan also depicts a grassed island in the center of the driveway in front of the building, tied to the building via a portico entranceway.

### **Architectural Details**

Please find the attached architectural rendering of the facility. The building is oriented towards the 101 off-ramp with a portico and flag facing the by-pass, improving the view coming off of 101 into Milford.

Please find the attached plan and architectural rendition.

### **Interdepartmental Reviews:**

Fire Department - The rear loading dock area has a 4' elevation change from the rear lot to the lower one. Either 6" bollards or a guardrail need to be placed along the retaining wall.

Code Enforcement – no concerns

Ambulance - No issues anticipated for ambulance operations

Zoning Administrator –

1. Use is allowed by right in the Commercial District
2. SE obtained from ZBA, 7/7/11 for wetlands buffer disturbance (case # 11-11) and this should be noted in the site plan notes
3. Site plan appears to be well laid out and engineered; the added facility for JP Pest Services will be an asset to the business community. Proposed architecture and landscaping of high caliber.

Conservation Commission (via the special exception application) – The Conservation Commission voted unanimously to recommend that the ZBA approve the special exception for the proposed buffer alterations as required for the subject property development.

No comments have been received by DPW, Assessing, Police, Heritage or Water Utilities as of 7/13/11.

**Staff Recommendation:**

Staff would recommend the Board discuss with the applicant Fire's request to add 6" bollards to the loading dock area. In addition, there are no details on the retaining wall proposed for the loading dock area. The details should be provided on the plan set prior to final approval.

Staff has no significant issues with the plan as presented.

If the Board chooses to grant conditional approval for the proposed site plan the following items will need to be updated on the plan prior to final approval:

1. Add a note referencing the ZBA special exception approved on July 7, 2011.
2. Update note #6 on Sheet 3 to complete the sentence.
3. Remove note for #4 or 9 on sheet 3 as they are duplicates.
4. The stormwater permit be approved by Code Enforcement.
5. Retaining wall details be added to the plan.



Image taken April 2010

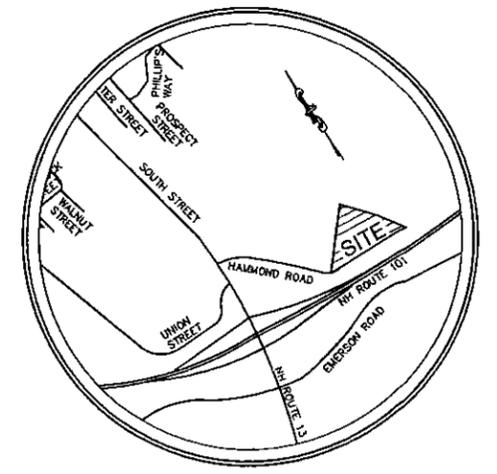
S:\land projects 3\PES02M10109\dwg\PES02M10109.dwg, 6/20/2011 12:45:57 PM, Kyoera Imita KM-2030, I:2. Sandford Surveying & Engineering, P4-25 Lori

**LEGEND**

- STONE WALL
- PROPERTY LINE
- WIRE MESH FENCE
- CHAIN LINK FENCE
- OTHER FENCE (SEE LABEL)
- CONTOUR LINE
- S.C.S. SOIL BOUNDARY
- EDGE OF WET AREA
- TREE LINE
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES
- BOULDERING

**SCS SOILS**

CpC - CANTON FINE SANDY LOAM, 8 TO 15% SLOPES  
 CpB - CHATHFIELD-HOLLIS-CANTON COMPLEX, 3 TO 8% SLOPES  
 CpC - CHATHFIELD-HOLLIS-CANTON COMPLEX, 8 TO 15% SLOPES  
 HsB - HINCKLEY LOAMY SAND, 0 TO 3% SLOPES  
 PIA - PIPESTONE LOAMY SAND, 0 TO 3% SLOPES



LOCUS  
MILFORD, NH  
NOT TO SCALE

TOWN OF MILFORD  
RECEIVED  
JUN 20 2011  
PB ZBA Office

**ADJUTERS ACROSS NH ROUTE 101**

MAP 48 / LOT 78  
RHONDA L. YOUNG, TRUSTEE  
16434 BLACK BEAR TRAIL  
NORMAND, OK 73072

MAP 48 / LOT 32-2  
BEEHIVE INVESTMENTS, INC  
5 GRAND HILL RD  
MONT VERNON, NH 03057

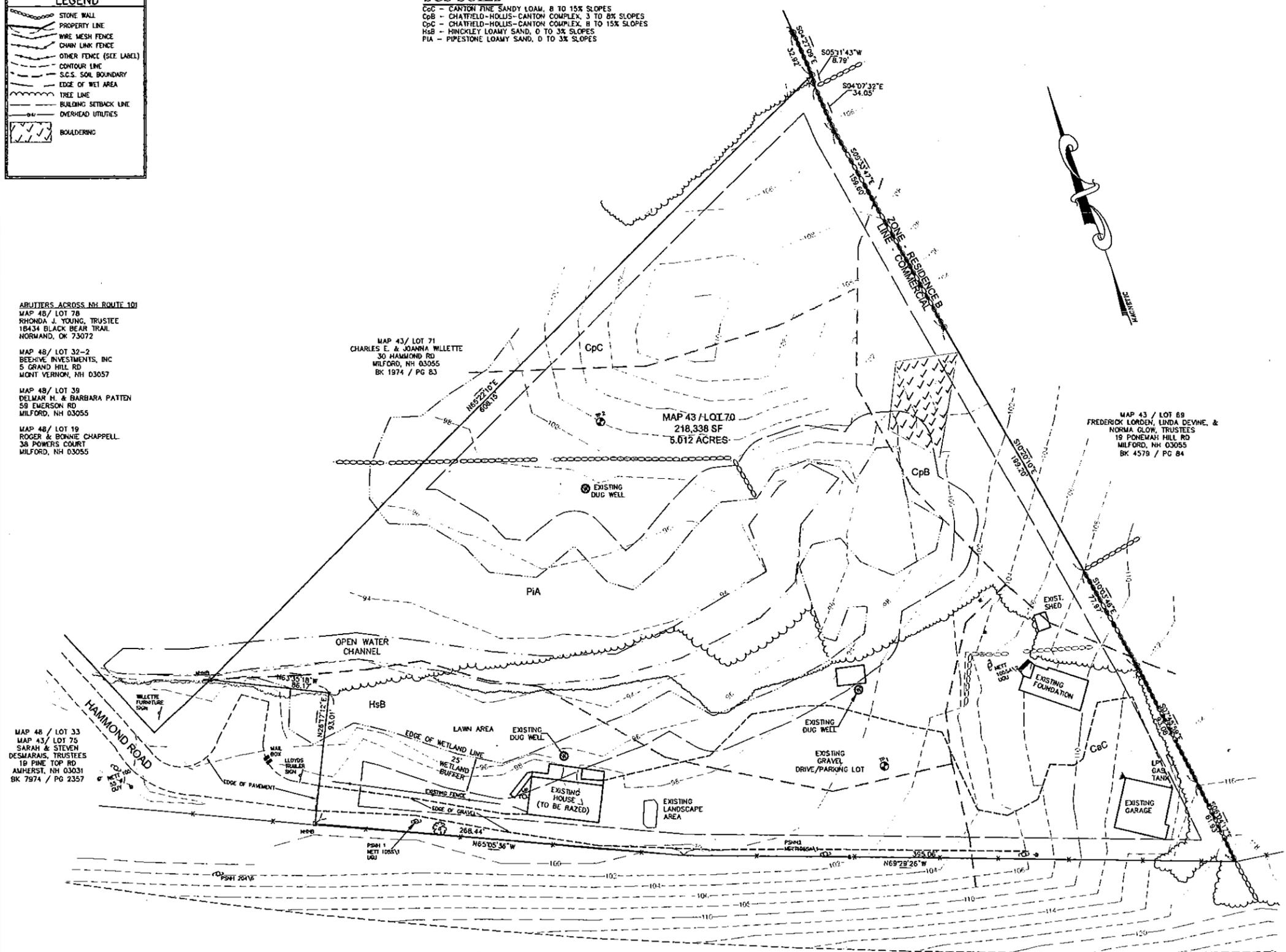
MAP 48 / LOT 39  
DELMAR H. & BARBARA PATTEN  
59 EMERSON RD  
MILFORD, NH 03055

MAP 48 / LOT 19  
ROGER & BONNE CHAPPELL  
38 POWERS COURT  
MILFORD, NH 03055

MAP 43 / LOT 71  
CHARLES E. & JOANNA WILLETTE  
30 HAMMOND RD  
MILFORD, NH 03055  
BK 1974 / PG 83

MAP 43 / LOT 70  
218,338 SF  
5.012 ACRES

MAP 43 / LOT 69  
FREDERICK LORDE, LINDA DEYNE, &  
NORMA GLOW, TRUSTEES  
15 PONEWAS HILL RD  
MILFORD, NH 03055  
BK 4578 / PG 84



**REFERENCE PLAN**

- "SUBDIVISION PLAN, PONEWAS HILL ROAD, MILFORD, NEW HAMPSHIRE; PREPARED FOR: M.E. YOUNG, INC." DATED: 8 MAY 1978 BY ALLAN R. SWANSON, INC. RECORDED HCRD PLAN NO. 1331
- "NH DOT HIGHWAY PLAN PROJECT NO. R7010-1(11)" SHEETS 24 & 25 OF 33 RECORDED HCRD PLAN NO. 9835.

**NOTES**

- REFERENCE THIS PARCEL AS MAP 43 / LOT 70
- OWNER: 34 HAMMOND ROAD, LLC  
17 GRANT DRIVE  
BEDFORD, NH 03110  
HCRD BK 8270 / PG 2555
- AREA OF PARCEL: 218,338 SF OR 5.012 ACRES
- PARCEL IS ZONED: COMMERCIAL (C)
- ZONE REQUIREMENTS  
MIN. LOT SIZE - 60,000 SF  
FRONTAGE - 225 FEET  
MAXIMUM BUILDING HEIGHT: 40 FEET  
BUILDING SETBACKS:  
FRONT - 30', SIDE & REAR - 15'. WETLAND BUFFER - 25'  
THIS PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON FIRM MAP 330096 D459 D DATED SEPT. 25, 2008.

**SHEET INDEX**

- EXISTING CONDITIONS PLAN
- SITE & GRADING PLAN
- LANDSCAPE, LIGHTING & STORM WATER POLLUTION PREVENTION PLAN
- DETAIL PLAN

EXISTING CONDITIONS PLAN  
 MAP 43 / LOT 70  
**J.P. PEST SERVICES**  
 34 HAMMOND ROAD  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY, NEW HAMPSHIRE

**SANDFORD**  
 SURVEYING AND ENGINEERING

TEL (603) 472-2265 FAX (603) 472-6604  
 597 NEW BOSTON ROAD, BEDFORD, NH 03110  
 BOUNDARY SURVEYS ~ SUBDIVISIONS ~ SITE PLANS ~ STRUCTURAL ~ SEPTIC DESIGNS

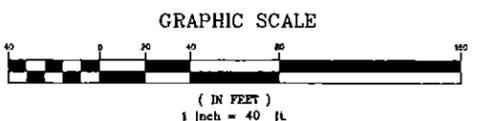
PROJ. MAN: RPS CADD: LPN PROJ: PIS02M10109  
 CONTACT: J PESTANA CHK. BY: RPE DWG#: PIS02M10109  
 SCALE: 1" = 40' DATE: 6-13-11 SHEET 1 OF 4

CERTIFICATION OF BOUNDARY PRECISION  
 I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE BY THE GRADING AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.



EXCAVATORS  
 DIG SAFE  
 BEFORE YOU DIG, CALL THE 800-222-4877 TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF NEIGHBOR UTILITIES. CALL TOLL FREE 1-800-222-4877. NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY.

NH ROUTE 101 - WEST BOUND OFF RAMP



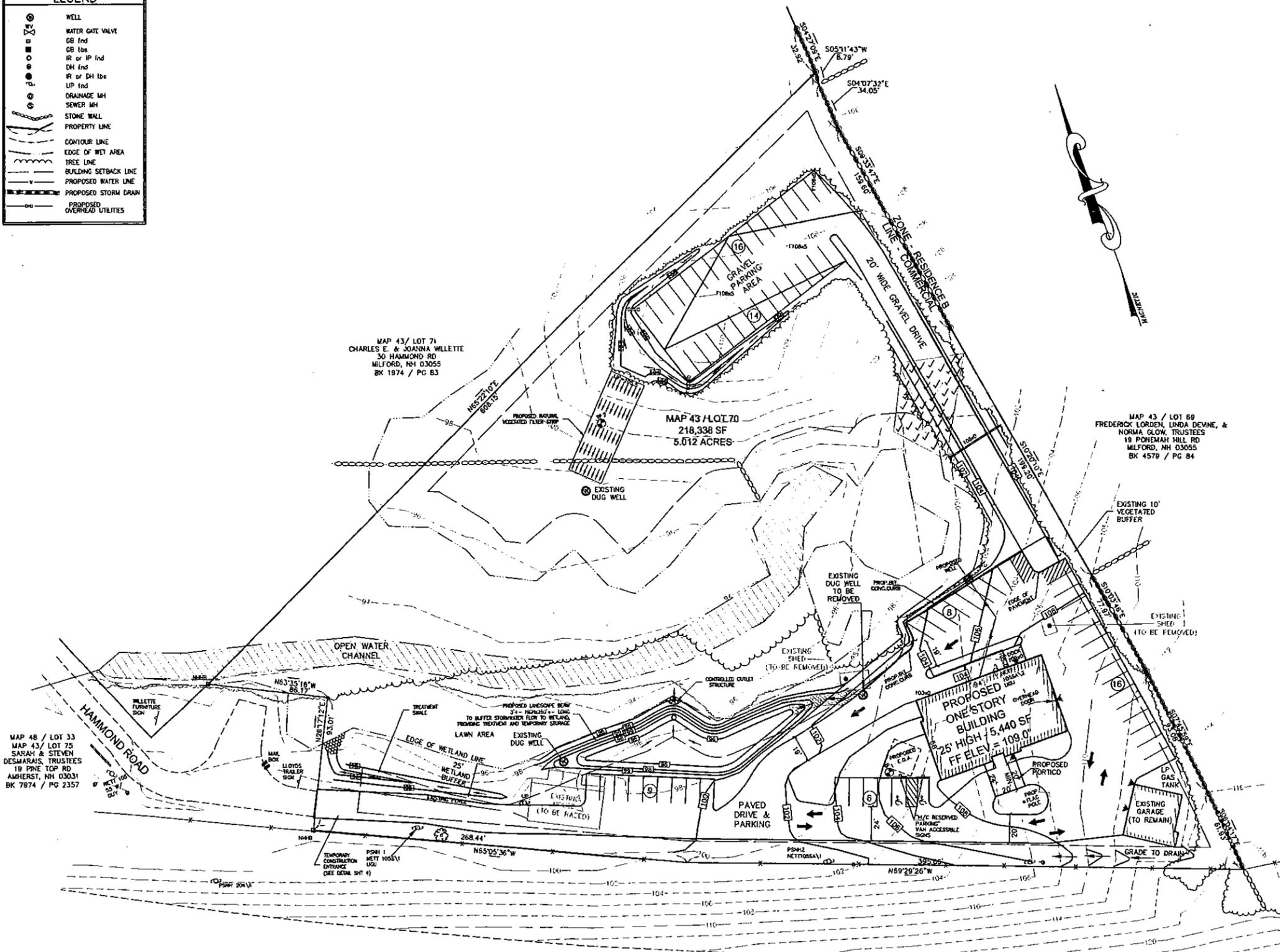
**REVISIONS**

NO.	DATE	DESCRIPTION	BY

S:\land projects 3\PES02M10109.dwg, 6/20/2011 12:46:37 PM, Kyoera Mito KM-2030, I-2, Sandford Surveying & Engineering, P4-25 Lori

**LEGEND**

	WELL
	WATER GATE VALVE
	6\"/>
	8\"/>
	IR or IP Ind
	DR Ind
	IR or DR lbs
	UP Ind
	DRAINAGE MH
	SEWER MH
	STONE WALL
	PROPERTY LINE
	CONTOUR LINE
	EDGE OF WET AREA
	TREE LINE
	BUILDING SETBACK LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED OVERHEAD UTILITIES



**NOTES**

- REFERENCE THIS PARCEL AS MAP 43 / LOT 70
- OWNER: 34 HAMMOND ROAD, LLC  
17 GRANT DRIVE  
BEDFORD, NH 03110  
HCRD BK 8270 / PG 2555
- AREA OF PARCEL: 218,338 SF OR 5.012 ACRES
- PARCEL IS ZONED: COMMERCIAL (C)  
**ZONE REQUIREMENTS**  
MIN. LOT SIZE - 60,000 SF  
FRONTAGE - 225 FEET  
MAXIMUM BUILDING HEIGHT: 40 FEET  
BUILDING SETBACKS:  
FRONT - 30', SIDE & REAR - 15', WETLAND BUFFER - 25'  
THE PURPOSE OF THIS PLAN IS TO DEPICT THE CONSTRUCTION OF A ONE STORY COMMERCIAL BUILDING AND ASSOCIATED GRADING AND PARKING AREAS FOR USE STORAGE AREA AND MEETING ROOM FOR J.P. PEST SERVICES.
- OPEN SPACE REQUIREMENTS:** 218,338 SF x 0.3 = 65,501 SF REQUIRED  
153,708 SF PROVIDED
- PARKING REQUIREMENTS:**  
2,240 SF STORAGE @ 1 SPACE/1000 = 3 SPACES  
50 SEAT MEETING ROOM @ 1 SPACE/3 SEATS = 17 SPACES  
15 VEHICLE STORAGE @ 1 SPACE / VEHICLE = 15 SPACES  
SPACES REQUIRED = 35  
SPACES PROVIDED = 37 PAVED  
30 GRAVEL
- INTERNAL GREEN SPACE:**  
REQUIRED - 5%  
PROVIDED - 7%
- THIS PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON FIRM MAP 330096 0459 D DATED SEPT 25, 2009.
- THE SITE PLAN REGULATIONS OF THE TOWN OF MILFORD ARE PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF ALL REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD.
- ENTIRE PARCEL LIES WITHIN MILFORD LEVEL 1 GROUNDWATER PROTECTION AREA AND IS SUBJECT TO PERFORMANCE STANDARDS IN THE MILFORD GROUNDWATER PROTECTION DISTRICT AND WILL COMPLY WITH THE RULES AND REGULATIONS OF THAT DISTRICT.
- WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- EARL J. SANDFORD, CERTIFIED WETLAND SCIENTIST #1209, OF SANDFORD SURVEYING & ENGINEERING, INC. 597 NEW BOSTON ROAD, BEDFORD NH, PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS COMPLETED ON OCTOBER 04, 2010 USING THE TECHNICAL CRITERIA IN THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987). VEGETATION STATUS DETERMINED FROM THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, 1986 NEW HAMPSHIRE USEWS, 1988 HYDROLOGICAL SOILS WERE DETERMINED USING THE CRITERIA IN FIELD INDICATORS FOR IDENTIFYING HYDROLOGICAL SOILS IN NEW ENGLAND, VER. III, APRIL 2004.
- ALL SIGNAGE WILL COMPLY WITH MILFORD'S SIGN ORDINANCE.
- THE FACILITY IS SUBJECT TO POLICE IMPACT FEES.
- REFUSE WILL BE STORED INSIDE AND REMOVED FROM SITE BY OWNER, NO DUMPSTER WILL BE USED.
- AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- ALL PROPOSED LIGHTS TO BE DOWNCAST / HOODED.
- INDICES SEPTIC SYSTEM APPROVAL NO. \_\_\_\_\_

**PLANNING BOARD**  
TOWN OF MILFORD, NEW HAMPSHIRE

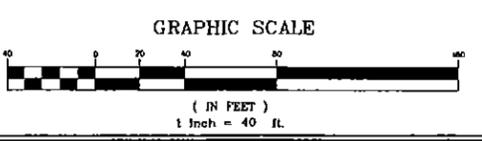
SITE PLAN REVIEW # \_\_\_\_\_  
APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNED _____	CHAIRMAN	DATE _____
SIGNED _____	MEMBER	DATE _____
SIGNED _____	MEMBER	DATE _____
SIGNED _____	MEMBER	DATE _____
SIGNED _____	MEMBER	DATE _____
SIGNED _____	MEMBER	DATE _____

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

NH ROUTE 101 - WEST BOUND OFF RAMP



**OWNER'S APPROVAL**

I, THE UNDERSIGNED, HAVE REVIEWED THIS PLAN AND DO HEREBY AGREE THAT THIS PLAN REPRESENTS MY LAND AS I KNOW IT, AND THAT ALL PROPOSED IMPROVEMENTS SHOWN HEREON MEET MY APPROVAL.

OWNER or AUTHORIZED AGENT \_\_\_\_\_ DATE \_\_\_\_\_

**SITE & GRADING PLAN**  
MAP 43 / LOT 70  
**J.P. PEST SERVICES**  
34 HAMMOND ROAD  
TOWN OF MILFORD  
HILLSBOROUGH COUNTY, NEW HAMPSHIRE

**SANDFORD**  
SURVEYING & ENGINEERING

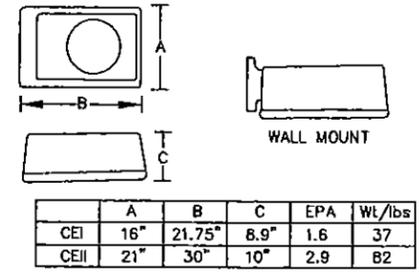
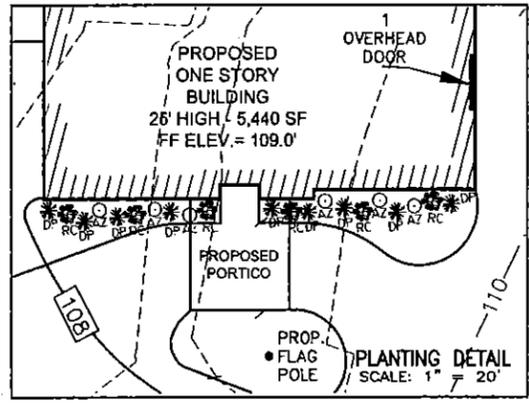
TEL (603) 472-2265 FAX (603) 472-6604  
597 NEW BOSTON ROAD, BEDFORD, NH 03110  
BOUNDARY SURVEYS ~ SUBDIVISIONS ~ SITE PLANS ~ STRUCTURAL ~ SEPTIC DESIGNS

PROJ. MAN.: RPS	CADD: LPN	PROJ: PES02M10109
CONTACT: J. PESTANA	CHK: BY: RPS	DWG#: PES02M10109
SCALE: 1" = 40'	DATE: 6-15-11	SHEET 2 OF 4

S:\land projects 3\PES02M10109\dwg\PES02M10109.dwg, 6/20/2011 12:47:12 PM, Nycera Mita NM-2030 N.Y.  
 1:2, Sandford Surveying & Engineering, P4-25 Lori

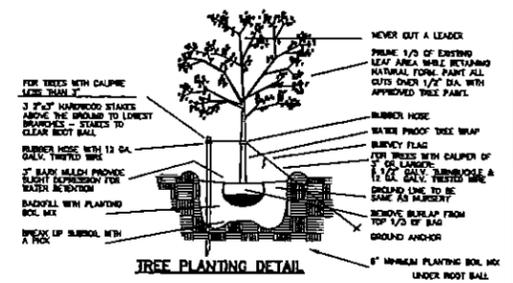
**LEGEND**

	WELL
	WATER GATE VALVE
	88 inch
	84 inch
	80 inch
	76 inch
	72 inch
	68 inch
	64 inch
	60 inch
	56 inch
	52 inch
	48 inch
	44 inch
	40 inch
	36 inch
	32 inch
	28 inch
	24 inch
	20 inch
	16 inch
	12 inch
	8 inch
	4 inch
	CONTOUR LINE
	EDGE OF WET AREA
	TREE LINE
	BUILDING SETBACK LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED OVERHEAD UTILITIES

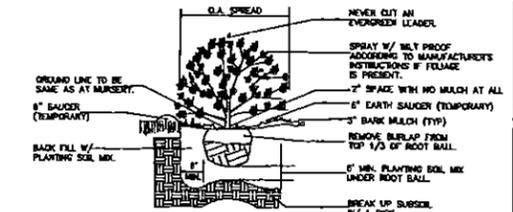


**EXTERIOR LIGHTING FIXTURE**

**LIGHTING LEGEND**  
 E > EXISTING DOWNCAST WALL PACKS  
 A > PROPOSED DOWNCAST WALL PACKS



**TREE PLANTING DETAIL**



**SHRUB PLANTING DETAIL**

**PLANTING SCHEDULE**

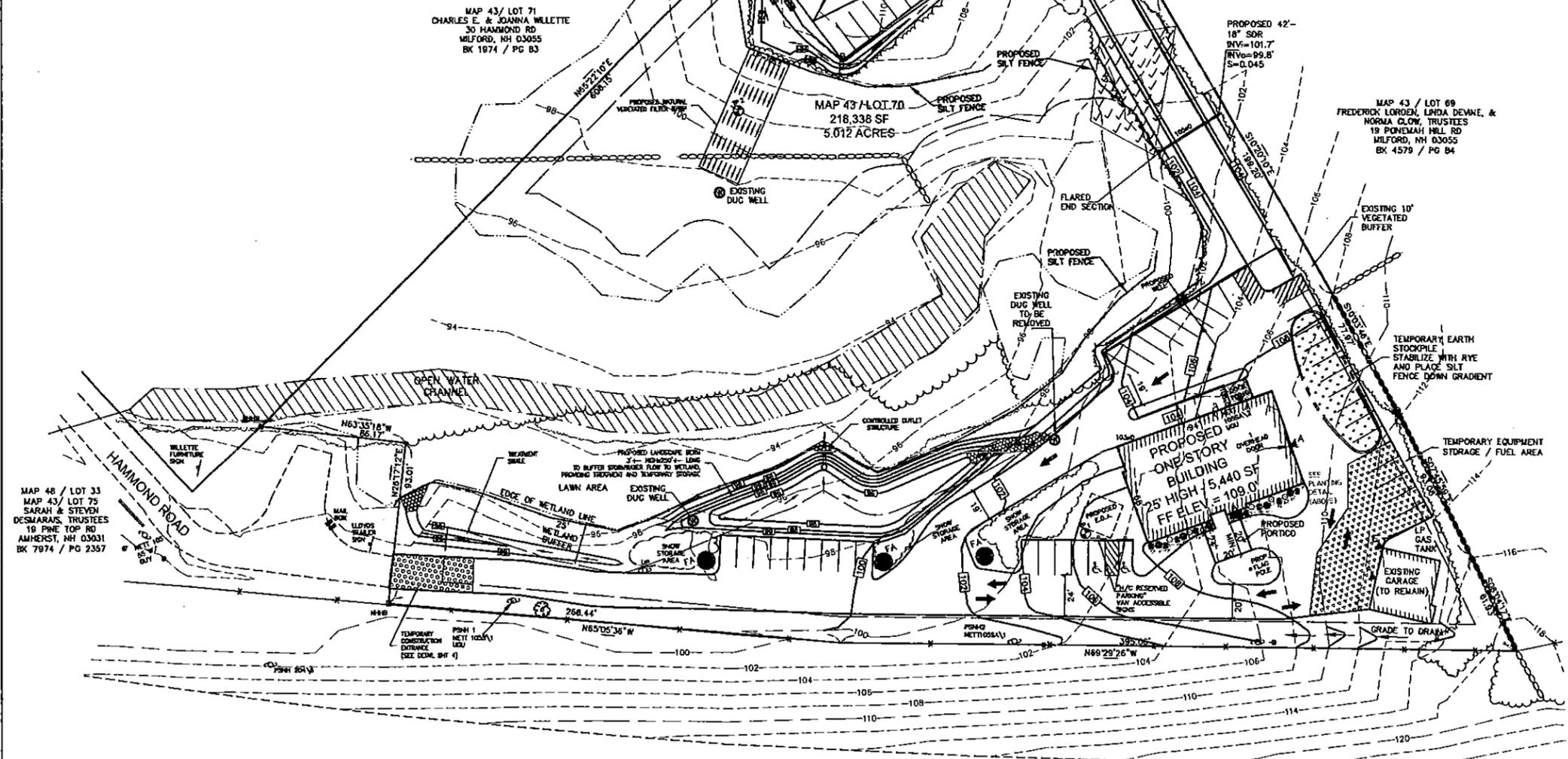
NEW LANDSCAPING SYMBOL	DESCRIPTION	COUNT	SIZE (CONDITION)
RC	RED CEDAR (2-1/2" DIA. MIN. 10' HIGHER THAN 10' MIN.)	6	2 1/2" x 10' (10')
DP	DOGWOOD (1 1/2" DIA. MIN. 10' HIGHER THAN 10' MIN.)	8	3" x 10' (10')
AZ	AZALEA (1 1/2" DIA. MIN. 10' HIGHER THAN 10' MIN.)	6	3" x 10' (10')
FA	FORSYTHIA (1 1/2" DIA. MIN. 10' HIGHER THAN 10' MIN.)	3	3" x 10' (10')

**LANDSCAPING NOTES:**

- PLANTINGS SHALL CONFORM TO THE TOWN OF MILFORD SITE PLAN REGULATIONS.
- PLANTINGS SHOWN HEREON ARE SUBJECT TO REVISIONS UPON MUTUAL CONSENT BETWEEN THE TOWN OF MILFORD CODE ENFORCEMENT OFFICER AND THE DEVELOPER.
- PLANTINGS ALONG THE BUILDING ARE TO BE INSTALLED IN SUCH A WAY AS TO ACCENT THE BUILDING WITH BOTH DECIDUOUS TREES AND EVERGREENS, AND TO SCREEN AND BEAUTIFY THE PREMISES RELATIVE TO ADJACENT PARCELS. PLANTINGS ARE TO COMPLEMENT EXISTING PLANTINGS ON ADJUTING PARCELS.
- ALL REGRADED SURFACES SHALL HAVE A MINIMUM OF FOUR (4") INCHES OF LOAM EVENLY DISTRIBUTED TO ALL DISTURBED AREA OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
- DECIDUOUS TREES SHALL HAVE AT LEAST A TWO (2") INCH CALIPER AT PLANTING. SIZE OF EVERGREENS AND SHRUBS SHALL BE A MIN. OF 5 GAL. IN SIZE, OR OF COMPARABLE SIZE. ALL TREES, SHRUBS, AND GROUND COVER SHALL BE PLANTED ACCORDING TO ACCEPTED HORTICULTURAL STANDARDS. DEAD AND DYING PLANTS SHALL BE REPLACED BY THE DEVELOPER DURING THE FOLLOWING PLANTING SEASON.
- THE PLANT SPECIES SELECTED SHOULD BE HARDY FOR THE PARTICULAR AREA IN WHICH.
- THE OWNER AND THEIR AGENT SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL LANDSCAPING IN HEALTHY AND GROWING CONDITION, REPLACING IT WHEN NECESSARY TO INSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES. IN ADDITION, THOSE AREAS SHALL BE KEPT FREE OF ALL DEBRIS, RUBBISH, WEEDS, AND TALL GRASS.
- GREEN AREA PERCENTAGES PROPOSED ARE GREATER THAN 30% (80% ±)
- CONTRACTOR TO STOCKPILE LOAM AND SPREAD TO A MINIMUM THICKNESS OF 6 INCHES IN LANDSCAPED AREAS AND A MINIMUM THICKNESS OF 4 INCHES ON ALL DISTURBED AREAS AND HYDRO SEED.

**NOTES**

- NO PROPOSED STUMP DISPOSAL ON SITE.

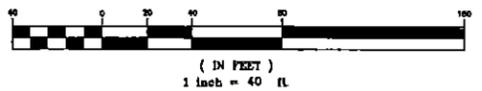


NH ROUTE 101 - WEST BOUND OFF RAMP



**EXCAVATORS**  
 Telephone 1-800-225-4977  
 DING SAFE  
 -EXCAVATORS-  
 BEFORE YOU DO EXCAVATE THE SAFE LENGTH TO PREVENT DAMAGE TO UTILITY. GAS OR ELECTRIC UNDISCOVERED LINES ARE OF NUMBER UTILITIES. CALL TOLL FREE 1-800-225-4977.  
 NEW HAMPSHIRE STATE LAW REQUIRES OPERATORS AT LEAST THREE BUSINESS DAYS BEFORE YOU START EXCAVATION OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY.

GRAPHIC SCALE



**REVISIONS**

NO.	DATE	DESCRIPTION	BY

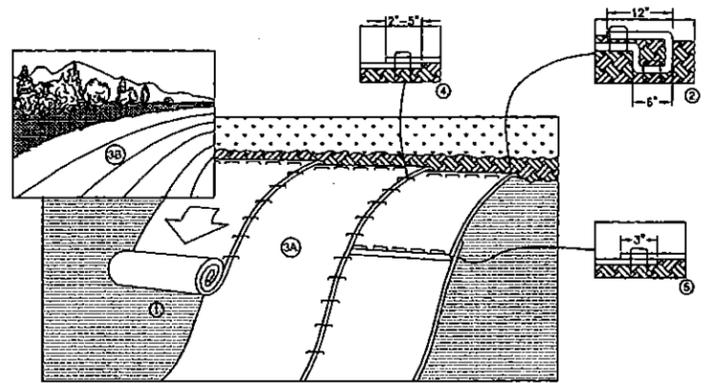
LANDSCAPE, LIGHTING & STORM WATER POLLUTION PREVENTION PLAN  
 MAP 43 / LOT 70  
**J.P. PEST SERVICES**  
 34 HAMMOND ROAD  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY, NEW HAMPSHIRE

**SANDFORD**  
 SURVEYING AND ENGINEERING

TEL (603) 472-2265 FAX (603) 472-6604  
 597 NEW BOSTON ROAD, BEDFORD, NH 03110  
 BOUNDARY SURVEYS ~ SUBDIVISIONS ~ SITE PLANS ~ STRUCTURAL ~ SEPTIC DESIGNS

PROJ. MAN.: RPS	CADD: LPN	PROJ: PES02M10109
CONTACT: J PESTANA	CHK BY: RPS	DWG#: PES02M10109
SCALE: 1" = 40'	DATE: 6-13-11	SHEET 3 OF 4

S:\land projects 3\PES02M10109\dwg\PES02M10109.dwg, 6/20/2011 12:47:47 PM, Kycocera Mita NM-2030 N.Y.  
 1:2, Sandford Surveying & Engineering, P4-25 Lori



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
  - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN CURVE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
  - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.
- NOTE:  
 \*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

**EROSION CONTROL MATTING**  
**TYPICAL SLOPE DETAIL**  
 NOT TO SCALE

**EROSION CONTROL NOTES**

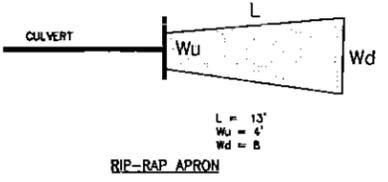
- ALL EROSION CONTROL PROCEDURES SHALL CONFORM TO "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE (BME)" AND "EROSION AND SEDIMENT CONTROL DESIGN HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE.
- THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT, WHEN LAND IS EXPOSED DURING DEVELOPMENT. THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AND SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- LAND SHALL NOT BE LEFT EXPOSED DURING WINTER MONTHS. SPECIAL CONCESSIONS SHALL BE MADE DURING FALL SEASON CONSTRUCTION ACTIVITY TO GUARANTEE STABILIZATION OF EXPOSED LAND PRIOR TO WINTER FROST CONDITIONS.
- ALL EROSION AND SILTATION CONTROL FACILITIES SHALL BE CONSTRUCTED PRIOR TO THE INITIATION OF EARTHWORK AND UTILITIES CONSTRUCTION.
- PROMOTE EROSION CONTROL MATTING OR MULCH ON SLOPES STEEPER THAN 3:1. PROVIDE CHOPPED HAY MULCH ON LOAMED AND SEEDED AREAS.
- ALL STRUCTURAL CONTROLS INCLUDING SILT FENCE AND INLET/OUTLET PROTECTIONS SHALL BE INSTALLED WHERE SHOWN PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. IT SHOULD BE MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE NATURAL DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN 1 POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT UTILITIES, STRUCTURES, AND PIPING, ETC., SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY AT OPTIMUM MOISTURE ACCORDING TO ASTM 1557 D.
- ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OF SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATIONS FOR SUBSURFACE DRAIN OR OTHER APPROVED METHODS.
- "BLOCK AND GRAVEL DROP INLET SEDIMENT FILTERS SHALL BE INSTALLED AS SHOWN ON THE PLANS. SEDIMENT FILTERS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS. SEE DETAIL ON SHEET - OF -
- SEE SEED MIX SPECIFICATIONS ON THIS SHEET.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED. THE AREA DISTURBED BY THE REMOVAL OF THE TEMPORARY MEASURE WILL BE RE-SEED.
- BALED HAY AND MULCH SHALL BE KINDINGS OF ACCEPTABLE HERBACEOUS GROWTH FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- THE MAXIMUM TIME ANY DISTURBED AREA IS TO BE LEFT TEMPORARILY UNSTABILIZED IS 30 DAYS.
- MAJOR HAUL ROUTES AND AREAS OF SOIL DISTURBANCE SHALL BE WATERED AS NECESSARY TO MINIMIZE DUST NUISANCE. WHERE PRACTICAL, THEY SHOULD BE STABILIZED (COMPACTED, RIP-RAP, ETC.) TO REDUCE OFF-SITE TRANSPORT OF SOIL AND OTHER MATERIAL. IF SEDIMENT SHOULD ACCUMULATE ON SURROUNDING PAVEMENT, REGULAR SWEEPING SHALL BE CONDUCTED.

**WINTER CONSTRUCTION NOTES**

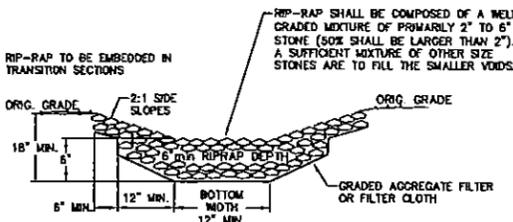
- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15th, OR WHICH ARE DISTURBED AFTER OCTOBER 15th, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF EROSION BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15th, OR WHICH ARE DISTURBED AFTER OCTOBER 15th, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF GRAVEL PER NHSDOT ITEM 304.3.

**CONSTRUCTION SEQUENCE**

- PRIOR TO ANY OTHER SITE WORK, THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED, THEN STONE CHECK DAMS AND SILTATION FENCING ARE TO BE CONSTRUCTED AS SHOWN, AND ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL THE AREA IS COMPLETELY STABILIZED.
- THE PERMANENT STORM WATER TREATMENT SYSTEMS INCLUDING LEVEL SPREADERS, TREATMENT SWALES AND DETENTION BASIN ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO ROUGH GRADING OF THE SITE.
- ALL EARTH STOCKPILES ARE TO BE STABILIZED WITH HAY MULCH AND SEEDING WITH RYE GRASS. SILTATION FENCING TO BE PLACED AROUND THE BASE OF ALL STOCKPILES WHEREVER PRACTICAL.
- GRADING OPERATIONS FOR AREAS TO BE PAVED OR OTHERWISE DISTURBED WILL THEN BE COMPLETED AND UNDERGROUND UTILITIES INSTALLED. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED DURING CONSTRUCTION UNTIL ALL AREAS ARE STABILIZED.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE.
- DURING CONSTRUCTION, THE CATCH BASINS, CULVERTS AND HEADWALLS SHALL BE SET TO A GRADE WITH SEDIMENTATION BASINS FORMED AT THE INLET SUCH THAT STORM WATER RUNOFF CONTAINING ACCUMULATED SILT, OR OTHER ERODED MATERIAL FROM THE CONSTRUCTION SITE WILL NOT ENTER THE STRUCTURE AND SHORT CIRCUIT THE TEMPORARY EROSION CONTROL SYSTEMS.
- AFTER CONSTRUCTION IS COMPLETED AND VEGETATION IS ESTABLISHED IN THE DISTURBED AREAS, THE AREAS IN AND AROUND THE TEMPORARY EROSION CONTROL SYSTEM SHALL BE CLEARED UP, CARE BEING TAKEN NOT TO ALLOW THE ACCUMULATED SILT TO RUN INTO THE WETLANDS AND/OR PROTECTED AREAS. THEN THE TEMPORARY CONTROL SYSTEMS SHALL BE REMOVED AND THE AREA RETURNED AS NEAR AS POSSIBLE TO ITS NATURAL STATE.



RIP-RAP APRON

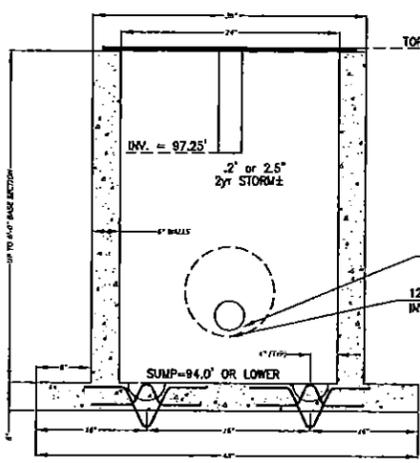


RIP-RAP OUTLET APRON DETAIL

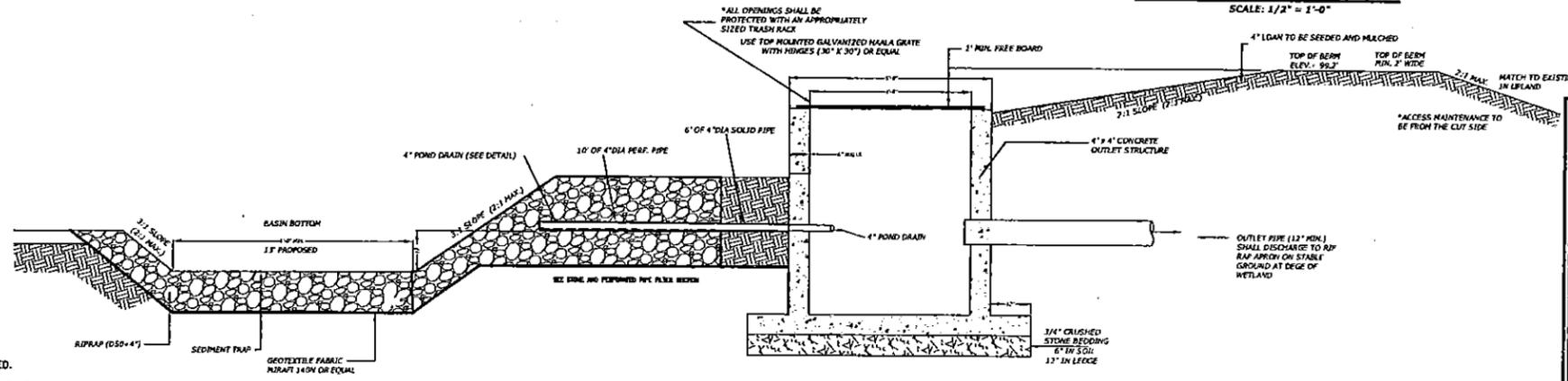
**RIP-RAP GRADATION CHART OUTLET PROTECTION APRON**  
 d<sub>50</sub> = 1"    d<sub>max</sub> = 2"    DEPTH = 6"

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (in)
100	1.5 to 2
85	1.3 to 1.8
50	1 to 1.5
15	.3 to .05

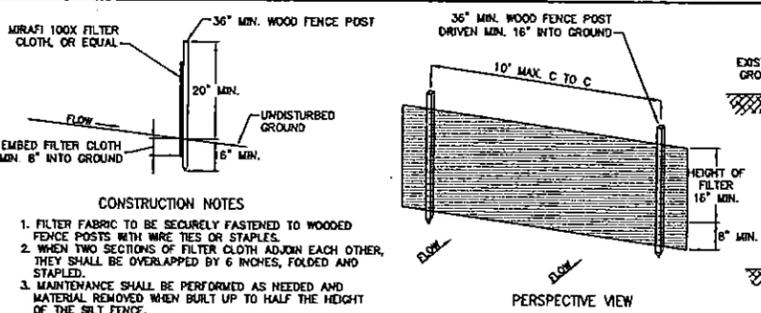
SOURCE: USDA SOIL CONSERVATION SERVICE



4' X 4' CONCRETE OUTLET STRUCTURE

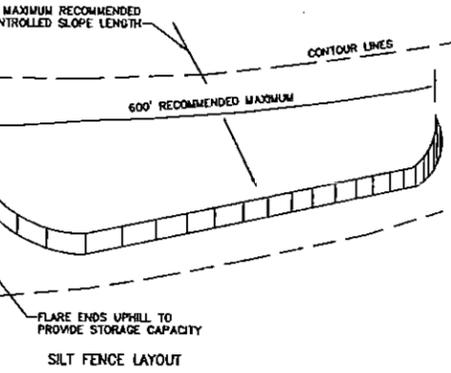


STORMWATER MANAGEMENT BASIN OUTLET STRUCTURE

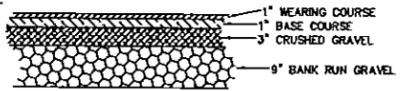


**CONSTRUCTION NOTES**

- FILTER FABRIC TO BE SECURELY FASTENED TO WOODEN FENCE POSTS WITH WIRE TIES OR STAPLES.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BUILT UP TO HALF THE HEIGHT OF THE SILT FENCE.

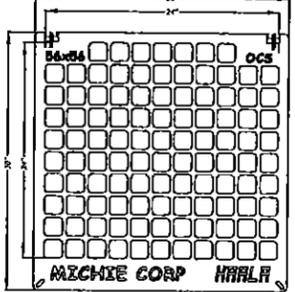


SILT FENCE LAYOUT

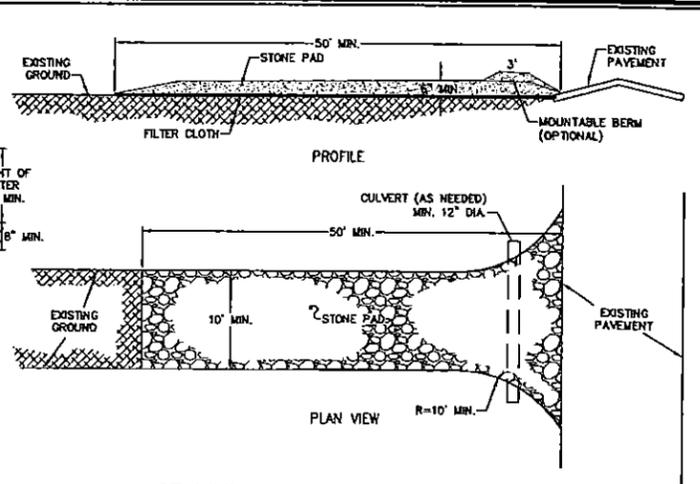


TYPICAL PAVEMENT SECTION DRIVE & CAR PARKING AREAS

SCALE: NONE  
 NOTE: PAVEMENT SECTION MATERIALS SHALL CONFORM TO CURRENT N.H.D.O.T. SPECIFICATIONS FOR BITUMINOUS CONCRETE PAVEMENT AND SUBGRADE.



TOP MOUNTED GALVANIZED HAALA GRATE WITH HINGES (30" X 30") OR EQUAL



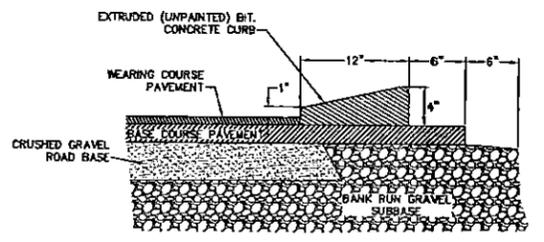
STABILIZED CONSTRUCTION ENTRANCE

**MAINTENANCE**

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE Voids IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

**CONSTRUCTION SPECIFICATIONS**

- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.



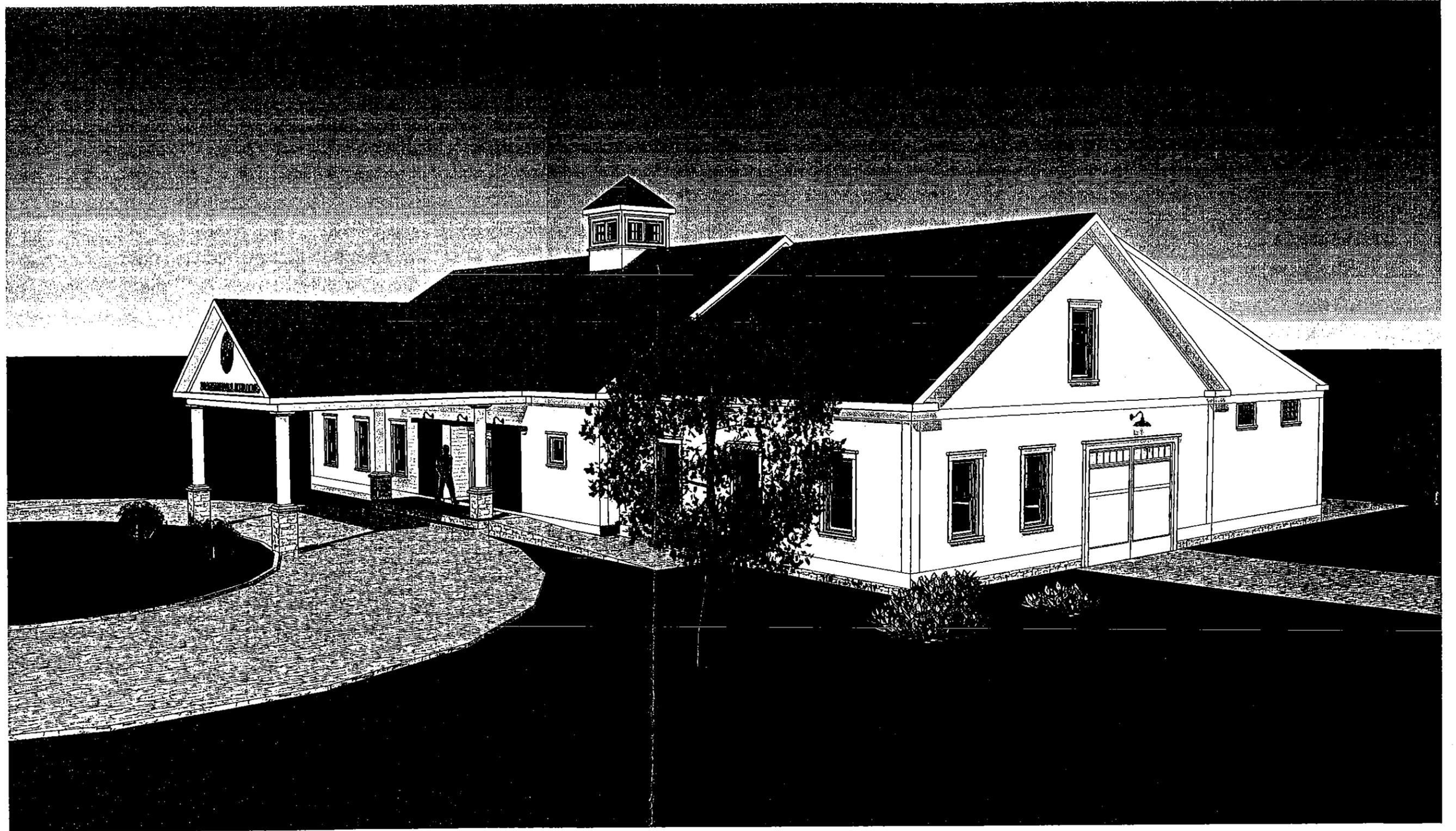
BITUMINOUS CONCRETE CURB DETAIL

**PRELIMINARY SITE PLAN**  
 MAP 43 / LOT 70  
**J.P. PEST SERVICES**  
 34 HAMMOND ROAD  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY, NEW HAMPSHIRE

**SANDFORD ENGINEERING**  
 TEL (603) 472-2265    FAX (603) 472-6604  
 597 NEW BOSTON ROAD, BEDFORD, NH 03110  
 BOUNDARY SURVEYS - SUBDIVISIONS - SITE PLANS - STRUCTURAL - SEPTIC DESIGNS

PROJ. MAN.: RPS	CADD: LPN	PROJ: PES02M10109
CONTACT: J. PESTANA	CHK BY: RPS	DWG #: PES02M10109
SCALE: 1" = 40'	DATE: 6-13-11	SHEET 4 OF 4





 JAD DESIGN GROUP INC.

JP PEST CONTROL

MILFORD NH

MAY 2011