



AGENDA

November 19, 2013

Town Hall BOS Meeting Room - 6:30 PM

MINUTES:

1. Approval of minutes from the 9/17/13 and 10/15/13 meetings.

NEW BUSINESS:

2. **Carlos Andrade dba Dunkin Donuts – 764 Elm St – Map 12, Lot 13;** Public Hearing for a major site plan for site improvements to include access reconfiguration, extension of the drive-thru lane and parking lot expansion. *New application – Meridian Land Services, Inc.*
3. **Carol Colburn – Osgood Rd & Woodhawk Dr – Map 51, Lot 1;** Public Hearing for a major open space subdivision creating twenty-seven (27) new residential lots. Original design review was held on 2/20/2007. *New application – Meridian Land Services, Inc*

OLD BUSINESS:

4. **St. Joseph Hospital – Nashua St – Map 31, Lot 32;** Design review of a new medical building with associated site improvements.
Tabled from the 10/15/13 meeting

OTHER BUSINESS:

Future meetings:

11/26/13 Worksession

12/03/13 Worksession

12/10/13 Worksession

12/17/13 Regular Meeting/Public Hearing

The order and matters of this meeting are subject to change without further notice.

1 MILFORD PLANNING BOARD PUBLIC HEARING ~ DRAFT ~
2 September 17, 2013 Board of Selectmen's Meeting Room, 6:30 PM
3

4 Present:

5
6 **Members:**

7 Janet Langdell, Chairperson
8 Paul Amato
9 Kathy Bauer
10 Steve Duncanson
11 Tom Sloan
12 Judy Plant
13 Susan Robinson, Alternate

Staff:

Jodie Levandowski, Town Planner
Shirley Wilson, Recording Secretary
Dan Finan, Videographer

Excused:

Chris Beer

14

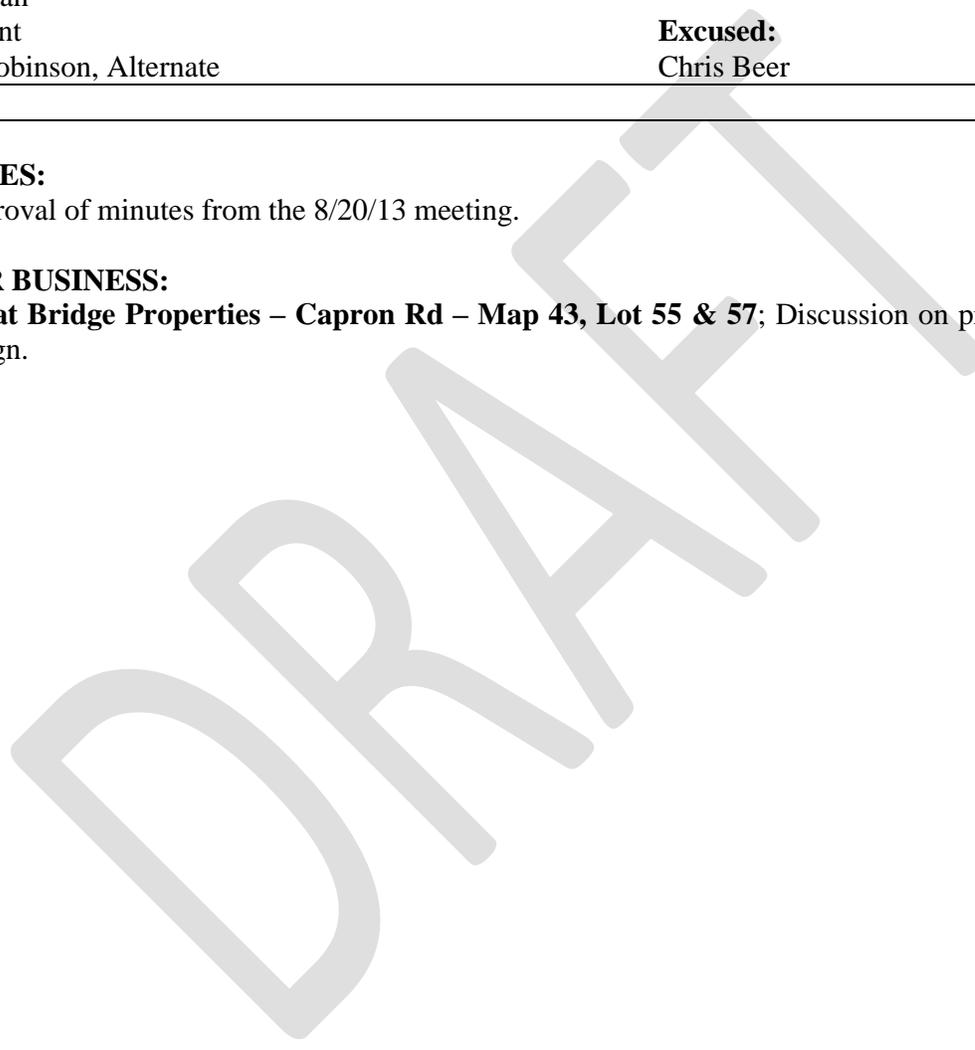
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15
16 **MINUTES:**

17 1. Approval of minutes from the 8/20/13 meeting.
18

19 **OTHER BUSINESS:**

20 2. **Great Bridge Properties – Capron Rd – Map 43, Lot 55 & 57;** Discussion on proposed conceptual
21 design.
22
23
24



25 Chairperson Langdell called the meeting to order at 6:30PM. She then explained the process for the public
26 hearing, introduced the Board and Staff and read the agenda.

27

28 **MINUTES:**

29 S. Duncanson made a motion to approve the minutes from the 08/20/13 meeting. P. Amato seconded. J.
30 Plant abstained and all else in favor.

31

32 **NEW BUSINESS:**

33 **Great Bridge Properties – Capron Rd – Map 43, Lot 55 & 57;** Discussion on proposed conceptual
34 design.

35 *No abutters were present.*

36

37 Chairperson Langdell recognized:

38 Chris Davies, Great Bridge Properties

39 Bill Castleton, Great Bridge Properties

40 Tony Basso, Project Engineer, Keach Nordstrom

41 Tom Lorden

42

43 Chris Davies introduced himself and his business partner Bill Castleton along with Tim Basso of Keach
44 Nordstrom and Tom Lorden of Milford. C. Davies said Great Bridge specializes in affordable and
45 workforce housing. We are long term owners and we have never sold any properties. We stay with them
46 and make them part of the community. We would like to do some different things with this property
47 including community gardens, walking trails, ~~plaques placards~~ and fun and interesting things for the
48 residents. We have no final details yet as we are still working on the engineering. C. Davies said we
49 thought this was a good opportunity to present the plan to gather thoughts and comments at this stage.

50

51 T. Basso presented the plan and said this is a multi-family project consisting of five buildings three of them
52 are proposed to be 30 units and two other buildings, one of 17 and one of 18 units consisting of the whole
53 125 units. The whole property is ~~125~~ 25 acres bisected by a wetland near the first two buildings off of
54 Capron Road we will have to cross that and are proposing to cross at the narrowest point. We will have a
55 special exception from the Zoning Board to do that. We will also be bringing in public sewer and municipal
56 water for this project we have already met with the water and sewer department to discuss that and how
57 they would like to see it come in and have incorporated their thoughts in to this design. We have ~~contact~~
58 ~~contacted~~ a traffic consultant and will ~~be~~ beginning the traffic portion of this and we understand the
59 Planning Board will want to evaluate that portion of the project.

60

61 T. Basso said the stormwater is going to be handled with as many innovative and small systems as possible
62 through the development. The idea is to incorporate the systems into the walking trails on site. We want to
63 encourage walking around site. Within one of the buildings there will be a recreation and fitness center and
64 the buildings will be integrated.

65

66 T. Basso said the property is properly zoned for this and it does abut Route 101, we will stay away from
67 that area as there is quite a bit of grade up to that. If you've been out to the site you will see the front part is
68 a field we're going to use ~~that~~ but we're also going to get into the woods on the other side of that initial
69 wetland. We are moving forward with the design now and have met with Bill a few times already. We have
70 architectural here and we will speak on that.

71

72 C. Davies ~~described~~ explained that the first three buildings are designed like that ~~as~~ we wanted to try and
73 break the buildings up a bit and have a little bit of a different design. We are excited to have an interior
74 court yard. If we can do this I would love to do things like compost stations. The building themselves will
75 be extremely green. Our last projects have been extremely green. We've done geothermal in the past and

76 solar panels. C. Davies said this is really first class housing. As Tony said we will have community ~~room's~~
77 ~~rooms~~ fitness rooms with equipment. We try to keep the tenants engaged and the more we do things like
78 that the happier the tenant is and in turn they stay longer the more stable everything is. Being a Milford
79 resident I am very familiar with the granite and quarries and history, this is something I would like to bring
80 ~~some of that~~ into the landscaping.

81
82 T. Basso said one other piece we would like to call your attention to is the parking requirement ~~is~~, 2 spaces
83 per unit and we would like to do 1.5 that would require a waiver. Chris Davies owns ten other buildings
84 and none of them require more than 1.5. We can get the 2 spaces. I can show a plan ~~were where~~ we can get
85 the 2 but we hope that the Board supports a plan with the 1.5. This plan that you see tonight shows the 1.5.
86 C. Davies said I can demonstrate that with other properties and some of which are reasonably close to
87 Milford. We developed a property in Jaffrey, the Mills right downtown which has been very successful. J.
88 Langdell inquired if the Mill was all senior living. C. Davies responded no, it's a mix.

89
90 C. Davies went on to explain more recent projects Great Bridge has developed. One 99 unit building in
91 Lunenburg, Mass. It's brand new and we just opened phase 2 of that. If anybody would like a tour I would
92 be happy to take you down there to show you the building. J Langdell asked, do you have an example of
93 workforce or affordable development that's using geothermal that you've done? C. Davies said yes, we
94 have one in Conway, New Hampshire. That also has solar panels and it is a very green building. All our
95 projects are in the energy star program and when we opened that building public service called and said we
96 had the lowest rating of the year for that project. We would do as much green building as we can with this
97 project.

98
99 P. Amato asked to build out this project how long would you say? C. Davies said it's hard to say, typically
100 if we went using our affordable funding sources it would be quite a few years. If we find the market we can
101 absorb some market rate units we might complete a little sooner. We would probably do this similar to our
102 Lunenburg property and completed this over a few phases. P. Amato asked if you were to start with the
103 buildings closest to 101A then I don't see another way to get construction equipment and vehicles up to
104 build the ones higher on the hill without going right through the lower units. C. Davies said yes that is
105 something we will have to work out.

106
107 T. Sloan asked regarding the future phases, you're exposing a lot of people to potentially backing traffic
108 when their going through a gauntlet of parking areas to get to their units and that has the potential to cause
109 problems and unwanted interactions. C. Davies said so noted and another very good point.

110
111 C. Davies gave an example of their Conway, NH project and spoke on the site layout, landscaping,
112 demographics and residents.

113
114 S. Duncanson asked from Capron Road to the back units, how far is the extent of that road? J. Langdell
115 stated they have two accesses off of Capron Road. C. Davies said these building will be fully sprinklered
116 and have all the latest equipment. J. Plant asked will they be pet friendly. C. Davies said usually not. We
117 have allowed cats in some ~~intention-instances~~ but we have tried to stay away from dogs.

118
119 J. Langdell asked if the area mentioned for fitness room/recreation room is in one of the lower buildings. C.
120 Davies said what we will probably do since the buildings will all be linked together we will probably do the
121 community room in the first building and the community rooms we do are fantastic. They are large, they
122 have a kitchen and seating area with tile floor and lots of tables and almost like a living room type set up
123 with a large TV. That room will be available to the residence at no charge. The next building instead of
124 doing that we will go the fitness route so people can use both buildings. J. Langdell asked if that is
125 generally located in the center of the building. C. Davies said yes, along with management offices. J.
126 Langdell asked does the center silo area of the building have any apartments in it. C. Davies said I don't

127 believe so. C. Davies said each building will also have about 20 security cameras that will be online at all
128 times.

129
130 K. Bauer stated coming down on to Capron Road going out on to Nashua Street which is one of our busiest
131 streets in town and coming out where there's no signal there and as this comes out there will be a lot of
132 concern about traffic there and the traffic is a concern to me. C. Davies said we will be addressing that.

133
134 P. Amato said I haven't been up there in a very long time but is there any way you can work with your
135 neighbors at Woodland Heights to connect through their property to gain another way out? If you could get
136 back to Capron Road from Woodland Heights it would give the whole thing a better flow. I see this as 50
137 apartments on a long dead-end road through parking lots. I would rather see you have a private road
138 separate from the parking lots as oppose to a road that goes through the parking lots up to the other
139 apartments. C. Davies said that was a good point.

140
141 K. Bauer asked about the wetlands crossing and where that will be located.

142
143 J. Langdell asked about price point, what are your objectives in terms ~~to-of~~ price point for the apartments?
144 B. Castleton stated a two bedroom unit will be in the range of low \$900 \$900's is where we are at. C.
145 Davies said that includes heat and hot water. B. Castleton said something in the range that is 15% below the
146 market. J. Langdell asked do you; in any of your other facilities ~~except~~ accept Section 8 vouchers. C.
147 Davies said yes and used example from the Conway, NH project.

148
149 J. Langdell asked about the architecture in regards to the private patios. C. Davies explained pocket patios
150 and went over potential designs for the final phase of buildings. C. Davies explained that all units will be
151 adaptable for handicap uses with grab bars and ramps. K. Bauer asked about elevators in buildings and if
152 the back buildings will be handicap accessible. C. Davies, yes, 5% of every building we do have fully
153 equipped handicap units. J. Langdell asked are these the architectural you're going with. C. Davies said
154 these are the basic building types we're going to use but we are open to suggestions.

155
156 C. Davies and B. Castleton discussed possible methods for central air conditioning and geothermal
157 techniques.

158
159 J. Langdell thanked the presenters for coming in and there being no more questions made a motion to
160 adjourn the meeting at 7:17pm. T. Sloan seconded and all in favor.

161
162
163 MINUTES OF THE SEP 17, 2013 PLANNING BOARD PUBLIC HEARING APPROVED _____,
164 2013

165
166 Motion to approve: J. Langdell

167
168 Motion to second: T. Sloan

169
170
171 _____ Date: _____

172 Signature of the Chairperson/Vice-Chairman:

173

3
4 Present:

5
6 **Members:**

7 Janet Langdell, Chairperson

8 Paul Amato

9 Kathy Bauer

10 Chris Beer

11 Steve Duncanson

12 Judy Plant

13 Tom Sloan

14
15 Susan Robinson, Alternate member

Staff:

Jodie Levandowski, Town Planner

Shirley Wilson, Recording Secretary

Bill Parker, Community Development Director

Zach Steinbrecher, Videographer

16
17
18
19 **PRESENTATION:**

- 20 1. **2013 Distinguished Site Award**

21
22 **PUBLIC HEARING:**

23 Per NH RSA 675:6, the Milford Planning Board will hold a public hearing for the following:

- 24 2. **2014-2019 Capital Improvements Plan**

- 25 3. **Proposed revisions and amendments to the Milford Gravel and Earth Removal Regulations**

26
27 **MINUTES:**

- 28 4. Approval of minutes from the 9/17/13 meeting.

29
30 **NEW BUSINESS:**

- 31 5. **Lawrence S. & Brenda Cassidy, Trustees – 101-103 Souhegan St – Map 27, Lot 39;** Public Hearing for
32 a proposed subdivision creating one (1) new residential lot with less than the required frontage on a Class
33 V road or better in the Residence A District, as approved by the Milford ZBA and to consider waiver
34 requests from Development Regulations Section 5.06, Submittal Requirements:

- 35 1) 5.06.I, Property Boundary Lines,
36 2) 5.06.K, Delineation of wetlands and buffers,
37 3) 5.06.L, Delineation of slopes over 25%.

38 *New application – Todd Land Use Consultants, LLC*

- 39
40 6. **Creative Investors – Melendy Rd – Map 47, Lots 5, 5-1 & 6;**

- 41 1) Public Hearing for the design review of a proposed six (6) lot residential subdivision.
42 2) Public Hearing for a proposed lot line adjustment and open space subdivision creating three (3) new
43 residential lots.

44 *New application – Fieldstone Land Consultants*

45
46 **OLD BUSINESS:**

- 47 7. **St. Joseph Hospital – Nashua St – Map 31, Lot 32; Design review of a new medical building with**
48 **associated site improvements.**

49 *Tabled from the 8/20/13 meeting*

50

51

52 Chairperson Langdell called the meeting to order at 6:30PM. She then explained the process for the public
53 hearing, introduced the Board and Staff, and read the agenda.

54

55 **PRESENTATION:**

56 **2013 Distinguished Site Award**

57 Chairperson Langdell explained the process and said that the Planning Board wanted to find a way to recognize
58 outstanding business locations in town. Milford is a vibrant community that is enhanced by so many businesses
59 that choose to operate in our community.

60 The nominees were;

61 Balance Point Natural Medicine on Nashua St;

62 Repeat nominees: Giorgio's Restaurant;

63 Merrill's Convenience;

64 United Auto Body;

65 Hitchiner Manufacturing, Co. nominated twice, for the new building on Elm St and the "White house" on Old
66 Wilton Rd;

67 JP Pest Services also received two nominations, for the new corporate training center on Hammond Rd and their
68 original location on Emerson Rd

69

70 J. Langdell presented the 2013 award to JP Pest Services for the Hammond Rd facility. The nomination stated
71 that the JP Pest building on Hammond Rd was designed to complement the building on Emerson Rd. It boasts a
72 portico entrance with granite posts, a circular drive and a cupola. This is the company's corporate training center
73 and provides opportunity for other events. The site is beautifully landscaped and designed and is a pleasant sight
74 from the 101 bypass. She also added that this site enhances the visual aspect along one of the gateways to
75 Milford. JP Pest Services started in Amherst, moved to Milford and is now multi-state; it is a tremendous success
76 story.

77

78 Joe Pestana and Chris Pestana accepted the award. J. Pestana thanked the Planning Board and said we moved to
79 Milford in 1997 and that was a catalyst for our company to take off and grow over the years. Milford has been
80 good to us and hopefully we've been good for the Town; a win-win situation. J. Langdell added that the business
81 was good for the Souhegan Valley and JP Pest Services joins distinguished past recipients; Ciardelli Fuel
82 Company, Milford Veterinary Hospital and the French House.

83

84 **PUBLIC HEARING:**

85 Chairperson Langdell read the notice for the 2014-2019 Capital Improvements Plan into the record and
86 recognized Paul Dargie, Chair of the Capital Improvements Plan (CIP) Advisory Committee.

87

88 P. Dargie acknowledged the other committee members: Joe O'Neil, Rose Evans, Steve Duncanson, Judy Plant,
89 Tim Finan and Matt Lydon. The 2014-2019 CIP plan was reviewed by the Planning Board at a prior worksession
90 and also by the Board of Selectmen. He gave a synopsis of the CIP process and said the plan is to grow the
91 expenditures, but to keep the tax impact smooth, without spikes from year to year. He then highlighted the five
92 projects on the Priority Project Listing and Recommendations for 2014 Town Warrant and Budget Considerations
93 by priority.

- 94 1. Fire Department – Ladder 1 replacement - \$770,000, 7 year lease
95 2. DPW – Variety of bridge improvement projects - \$250,000
96 3. DPW – Sidewalk tractor/plow with sander - \$95,000, 3 year lease
97 4. DPW – Dump truck with plow and sander assembly - \$144, 000, 5 year lease
98 5. Administration – Town Hall renovations - \$500,000, 10 year bond

99

100 J. Langdell said while this committee is essentially a sub-committee of the Planning Board, we do want to keep
101 open lines of communication with the Board of Selectmen; however, the purpose of this committee is to get
102 citizens' input for the priorities of the town. Copies are available in Town Hall and online.

103

104 J. Langdell opened discussion to the public. There being no comment, the public portion of the meeting was
105 closed. There were no comments from the Board.

106

107 S. Duncanson made a motion to approve the 2014-2019 CIP plan. K. Bauer seconded and all in favor.

108

109 Chairperson Langdell read the notice for the Proposed revisions and amendments to the Milford Gravel and Earth
110 Removal Regulations into the record.

111

112 J. Langdell said that process was started back in January of this year when Jodie took on the task of updating the
113 Town's gravel and earth removal regulations. This was pursuant to some change that came about in the RSA's at
114 the State level. Certain language has been revised so that we are in accordance with the RSAs.

115

116 There were no comments from the Board.

117

118 J. Langdell opened discussion to the public and stated that the document has been available online and in the
119 office for review. There being no comment, the public portion of the hearing was closed.

120

121 P. Amato made a motion to adopt the proposed revisions and amendments to the Milford Gravel and Earth
122 Removal Regulations as presented. S. Duncanson seconded and all in favor.

123

124 **MINUTES:**

125 K. Bauer made a motion to table the minutes from the 9/17/13 meeting to the next meeting. P. Amato seconded
126 and all in favor.

127

128 **NEW BUSINESS:**

129 **Lawrence S. & Brenda Cassidy, Trustees – 101-103 Souhegan St – Map 27, Lot 39;** Public Hearing for a
130 proposed subdivision creating one (1) new residential lot with less than the required frontage on a Class V road
131 or better in the Residence A District, as approved by the Milford ZBA and to consider waiver requests from
132 Development Regulations Section 5.06, Submittal Requirements: 5.06.I, Property Boundary Lines, 5.06.K,
133 Delineation of wetlands and buffers, and 5.06.L, Delineation of slopes over 25%.

134 *No abutters were present.*

135

136 Chairperson Langdell recognized:

137 Robert Todd, Todd Land Use Consultants

138 Lawrence Cassidy, Owner

139

140 J. Langdell noted that the application was complete, per Staff. C. Beer made a motion that this application did not
141 pose potential regional impact. S. Duncanson seconded and all in favor. P. Amato made a motion to accept the
142 application. C. Beer seconded and all in favor. S. Wilson read the abutters list into the record.

143

144 R. Todd presented plans dated 9/13/13 and explained the features of the site and the three different deed tracts that
145 make up this parcel. It is considered one tax parcel from the Town's standpoint and assembled on the tax map as
146 one parcel. Both the existing house that sits within the front setback and the mobile home that was replaced in
147 2006 are on tract 1. A variance was granted for this subdivision in February, 2013. We have surveyed the
148 perimeter of tracts 1, 2 and 4 but the larger tract 3 was scaled from the tax map and deed descriptions. There is a
149 wetland strip that runs mostly under the PSNH easement which has been digitized from aerial photography but
150 not surveyed. There are also some culvert crossings with considerable flow that run under Souhegan St into the
151 wetland area. The new lot has woodland buffer and the larger lot has some open area near the river. Each lot has
152 their own driveways and utility connections. L. Cassidy added that the water, sewer and electrical lines were
153 installed by Dave Wheeler when the mobile home was replaced and are all in one trench. A brief discussion
154 regarding the layout followed. R. Todd noted that only one area with slopes greater than 25% was shown on the
155 plan. The base flood elevation line is shown running parallel to the river but won't affect any improvements on
156 the property. We have applied for three (3) waivers sections 5.06.I, 5.06.K, 5.06.L and explained that there are no
157 plans to further develop this property. We also acknowledge and agree with the staff recommendations.

158

159 There were no comments from the Board.

160

161 Chairperson Langdell opened the hearing to the public; there being no comments, the public portion of the
162 meeting was closed.

163
164 P. Amato said the waiver requests were explained very well and granting the three waivers would not have an
165 adverse effect on this subdivision. J. Langdell said this is a very unique parcel and agreed.

166
167 P. Amato made a motion to grant all three waivers from Development Regulations; Section 5.06, Submittal
168 Requirements: 5.06.I, Property Boundary Lines, 5.06.K, Delineation of wetlands and buffers, and 5.06.L,
169 Delineation of slopes over 25%. S. Duncanson seconded and all in favor.

170
171 J. Langdell reviewed the staff memo dated 10/15/13 and stated that the waivers should be added to the plan.

172
173 P. Amato made a motion to grant approval of the application subject to the staff recommendations on the Staff
174 Memo dated 10/15/13. J. Plant seconded and all in favor.

175
176 R. Todd inquired about the timeframe for the completion of the conditions. J. Levandowski answered that the
177 applicant has one year to complete the conditions and have the plan signed.

178
179 **Creative Investors – Melendy Rd – Map 47, Lots 5, 5-1 & 6;**
180 Public Hearing for the design review of a proposed six (6) lot residential subdivision

181 *Abutters present:*

182 *Curtis Pomerleau, Melendy Rd*

183 *Bohdan Zaryckyj, Melendy Rd*

184 *Paul Barlow, Melendy Rd*

185

186 Chairperson Langdell recognized:
187 Chad Branon, Fieldstone Land Consultants, LLC
188 Kent Chappell, Creative Investors
189 Nate Ball, Ball Design-Build, LLC

190

191 Chairperson Langdell read the notice of hearing for the design review into the record. P. Amato made a motion to
192 accept the application. C. Beer seconded and all in favor. C. Beer made a motion that this application did not
193 pose potential regional impact. K. Bauer seconded and all in favor. S. Wilson read the abutters list into the
194 record for both applications.

195

196 C. Branon presented plans dated 9/16/13 on behalf of Creative Investors and described the project. The three
197 existing parcels are in the Residence R District with a total 15.19 acres of land and 574.11 linear ft of frontage
198 along Melendy Rd. Two (2) of the three (3) lots have been developed with single family homes and he referenced
199 the conventional layout plan. The proposal is to combine lots 47/5, 5-1 & 6 and re-subdivide into six (6) single
200 family residential lots. The development will have to comply with the Open Space subdivision requirements in
201 the Zoning Ordinance, so the conventional subdivision plan was submitted and the layout does support a density
202 of six (6) lots. It meets all development requirements and we will not require any waivers, special exceptions or
203 variances. The proposed road meets all grade requirements and all lots will meet the driveway regulations as
204 well. When we first started work on this project, we had proven out seven (7) lots, but after review with the client
205 he felt that a six (6) lot layout would be more adequate for this property.

206

207 P. Amato said a density of six lots on 15 acres makes sense.

208

209 C. Beer asked how long the dead end road was on the conventional subdivision plan. C. Branon replied
210 approximately 700 ft in length and the regulations state 1,000ft.

211

212 Chairperson Langdell opened the meeting for public input relative to the design review.

213

214 B. Zaryckyj said my property actually has Ox Brook running through it, so one of my concerns is what are we
215 exactly going to do with the storm runoff because I don't need any more runoff. C. Branon said it is our charge,

216 per the regulations, to mitigate any increases in runoff as a result of the development. We are proposing two
217 basins that will promote infiltration and meter the flow out of the basin so that it doesn't exceed the peak rates of
218 flow that currently exist. The design will be completely compliant with all regulations. We met with DPW and
219 the Environmental Coordinator and we are addressing all comments and concerns. We feel most are minor in
220 nature and there will be no offsite impacts resulting from this project. There are also number of additional
221 elements and components to the drainage design as shown on the plan.
222

223 J. Langdell closed the public portion of the hearing.
224

225 P. Amato made a motion that the applicant has met the density for six (6) lots. S. Duncanson seconded and all in
226 favor. S. Duncanson made a motion to close the public hearing for the design review. P. Amato seconded and all
227 in favor.
228

229 **Creative Investors – Melendy Rd – Map 47, Lots 5, 5-1 & 6;**

230 Public Hearing for a proposed lot line adjustment and open space subdivision creating three (3) new residential
231 lots

232 *Abutters present:*

233 *Curtis Pomerleau, Melendy Rd*

234 *Bohdan, Melendy Rd*

235 *Paul Barlow, Melendy Rd*
236

237 Chairperson Langdell recognized:

238 Chad Branon, Fieldstone Land Consultants, LLC

239 Kent Chappell, Creative Investors

240 Nate Ball, Ball Design-Build, LLC
241

242 Chairperson Langdell read the notice of hearing for the open space subdivision application into the record. C.
243 Beer made a motion to accept the final application. S. Duncanson seconded and all in favor. J. Langdell
244 explained that determination has already been made regarding regional impact and the abutters list has been
245 entered into the record as part of the design review application.
246

247 C. Branon said the open space plan depicts six (6) lots ranging from .732 acres to 6.367 acres and they all meet
248 the dimensional requirements as outlined in the Ordinance. The lots will be serviced by underground electric, on
249 site wells and septic systems. The 20' wide road meets all design requirements and includes a 50' ROW and a
250 450' hammerhead. The drainage, shown on sheet 3, will incorporate two infiltration / detention basins that will
251 mitigate all runoff generated from the development. Sheet 1 shows the drainage and opens space easements. The
252 open space for this development will be handled by easements and each owner will own a portion of the open
253 space but there will be restrictions with customary open space language. Per regulations, this development is
254 required to place 40% of the property, 6.08 acres, into the open space of which 50% or 3.04 acres has to contain
255 no wetland and non-steep slopes. This proposal places 10 acres of land in open space, 66% of the property and of
256 that 6.36 acres is non-wet and non-steep slopes which exceeds the requirement of well over 100%. The proposed
257 layout certainly meets the intent of the open space ordinance and what we've tried to do is develop the front side
258 of the property where the mild slopes are located which allowed us to put all the jurisdictional wetlands within the
259 open space.
260

261 S. Duncanson said it looks like you are incorporating the open space into the calculation of the size of the lot. C.
262 Branon replied that the open space is technically an easement on the individual lot areas. The open space notation
263 depicts the total of 9.998 acres and the open space is included on the individual lots. P. Amato noted that the
264 person who buys lot 47/5-3 will singly own that portion of the open space. C. Branon said yes, these would be
265 larger lots, but would be restricted. It's just a matter of how it lays out and ideally one could balance out the lot
266 sizes better, but the intent of the open space is satisfied as we are still preserving 9.998 acres. He then referenced
267 the Conservation Commission memo dated 10/14/13 and said we are not interested in the first option of deeding
268 the open space to the Commission, but we would be in favor of their second option to manage the open space.
269 They would essentially be the holder of the easement and manage and enforce the permitted uses; passive
270 recreation and forest management. We will use the standard conservation easement language that NH DES uses.

271 P. Amato said the owner would be taxed on the whole lot but couldn't use the land and they will have people
272 walking on their property. C. Branon said per an example from the Conservation Commission, the owner can
273 restrict the location of the trail on the property. The nice thing about this open space is that it is bisected by
274 wetlands, so it's kind of a natural boundary to somebody's backyard. This form of ownership is compliant with
275 the Zoning Ordinance and one of the main reasons we're proposing this is that were still in a market that isn't
276 solid. The only way to put this land into a separate parcel would be if there was a homeowners association and
277 that really impacts the marketability of a development. People also like to own more property and although this
278 open space land, as stated would be taxable, it could potentially help the tax base to have larger, restricted lots.
279 There would be covenants in the deeds and a reference to the easement. P. Amato said the lot line and useable
280 area for lot 47/5-2 is less clear. How would you delineate that on the ground so that the owner would know where
281 the open space is and doesn't mow the lawn and dump leaves there. C. Branon said that's where management by
282 the local Conservation Commission may not be a bad idea, because they will likely do an annual inspection and
283 make sure the people are not doing what was brought up as a concern. This would be no different if the open
284 space were a separate parcel. Part of the geometry for the open space is that we do have to provide a 50' buffer
285 along the rear boundary of the property, otherwise the lots need to conform to the local zoning district. Those
286 areas could be pinned in the field or a placard could be put up. P. Amato said the first person who buys the
287 property knows that but it gets fuzzier with the second and third owners, so delineation would good. Also the
288 Conservation Commission could be in contact with the owners. How much useable land is on 47/5-2? C.
289 Branon replied just shy of an acre. Again, there is technically no minimum lot size in the open space regulations.
290 You can fit a nice size home on this property. He then exhibited a master development plan dated [REDACTED] that
291 showed the lots with homes, driveway locations and easements and said there are adequate building envelopes to
292 support sizeable houses and the driveways are mildly sloped.

293
294 Staff comments:

295 C. Branon said DPW had a number of comments and we met twice, most recently this morning. We agreed to
296 extend the ROW per their request, and to extend the 8% grade of the road to station 3+50 and flatten out the road
297 to approximately 3% at the hammerhead to better facilitate snow storage. We agreed to a twenty (20') roadway
298 width as long as the driveways are a minimum of fifteen (15') at the approach. We both agreed that there wasn't
299 a need for guardrails on this project. J. Levandowski referenced an email from Rick dated 10/11/13 that
300 confirmed the discussions. C. Branon said this will be a very low volume road and 8% grade meets regulations
301 and addresses any safety requirements. There will be an easement over the existing driveway on lot 47/5 for
302 maintenance of the second drainage pond which will allow for access by a backhoe. There hasn't been final
303 resolution to the concerns with the 15" CMP, but we agreed to meet on site to evaluate the condition of the
304 existing pipe that ties-in and figure out the remedy. There is a cut on the west side of the proposed road and there
305 may be a need for an under drain, so DPW would like us to show the outfall into the ditch line on the plan, that
306 way there are no surprises.

307
308 C. Beer inquired where the driveway for lot 47/5-1 will connect because the regulations don't allow a driveway to
309 come off a hammerhead for snow. C. Branon said we were going to try to favor the southeast side so the snow
310 can be pushed straight ahead. We could adjust the line or put an easement and will show the driveway locations
311 on the final plan. P. Amato added that there would be some flexibility with the 20' pavement and 50' ROW. C.
312 Beer inquired about the design of the hammerhead considering you have an access way right across from the
313 hammerhead for the open space access. C. Branon said the slopes on the west side are steep and would require a
314 cut out that would be an eye-sore. This way it is a 6' fill rather than a 6' cut and will fit better with the terrain as
315 it balances out the excavation on the site rather well.

316
317 J. Langdell stated that the road name will need to be changed as Ball Ct is too similar to Ball Hill Rd per
318 Ambulance and E911 comments. C. Branon said they will submit a new name to staff.

319
320 C. Branon said all eight environmental comments will be addressed with the stormwater permitting process. We
321 met with Mr. Elkind and a little more detail and interaction will be required to secure that permit. J. Langdell
322 explained that there are specific processes required that the applicant has to go through for drainage and
323 stormwater management, to reassure the abutters' concerns.

324

325 C. Branon stated that Kent Chappell did meet with the Fire Department and we will not be proposing sprinkler
326 systems for this project. The Fire Department deferred some of their comments to our meeting with DPW for the
327 roadway design. The road meets all regulations and we are not requesting any waivers. There is an 8% grade and
328 we agreed to make the driveways wider which will help to access the lots. The development of the lots will be
329 close to the road and there won't be long driveways to contend with.

330 P. Amato said the Planning Board has been discussing neighborhoods, and this looks like it will be a nice little
331 neighborhood. The slope is not excessive and these won't be back lots. C. Branon distributed sample renditions
332 of houses that will be similar to the new ones on Mile Slip Rd.
333

334 J. Langdell noted that both Ambulance concerns have been discussed and addressed.
335

336 J. Langdell said that staff had a concern about the amount of shrubbery and trees that would be removed from the
337 front part of the lot in that may affect mitigation of the steep slopes, drainage and runoff. C. Branon said the open
338 space cluster will minimize the overall impact of the site. The road and drainage construction will be
339 approximately 60,000 SF and will trigger an EPA Stormwater NOI, and the goal is to cut only what is needed and
340 that intent will be carried forward for lot development. Trees make the development more marketable. J.
341 Langdell said we've seen developments come in where the land is stripped of everything that is growing on the
342 front of the lot to put a house in. We all understand that you could leave existing trees and mountain laurel and
343 the first homeowner could hire a timberer and cut it all out. C. Branon again referred to the development master
344 plan and said it is in the interest of the developers to maintain a rural setting and we don't foresee this as being
345 clear-cut by any means. Two of the lots are already developed.
346

347 J. Plant said she has a problem with that homeowner being responsible for this open space, as in paying for the
348 taxes and having no control over what happens to it and I think that just sets up for real problems down the road.
349 C. Branon said he appreciates the concerns, but if the Conservation Commission is willing to manage the open
350 space, then that takes care of any long term issues and property creep can happen no matter who owns the land. J.
351 Plant said that still doesn't cover the issue of that property owner paying taxes on that land. Although they may
352 know the restrictions up front, a year or two down the road, it is forgotten and they use the land. J. Langdell said
353 that puts the onus on the Town and the Conservation Commission to do an adequate to excellent job of making
354 sure that if we have a vested interest in this easement and open space, we work with the property owners. I
355 understand about the burden of taxes with some limitation of what they can do in the open space. J. Plant then
356 inquired about insurance and liability of that property and a lengthy discussion ensued. C. Branon said this is a
357 very common form of ownership and it is allowed within your Ordinance. With ownership like this we can
358 provide more open space. If we make this a separate lot, there is no incentive for doing 100% more open space
359 and it has an impact on the development with reduced lots. We might as well absorb the additional open space
360 and make the lots 1-2 acres and only preserve what we have to. This proposal offers a long term land
361 preservation solution. J. Levandowski added that this is unique because the acreage is much different from the
362 typical developments that come before the Board where the open space is divided evenly among all the lots,
363 although we have seen open space ownership like this before. S. Robinson asked for an example of this type of
364 ownership in the area. C. Branon noted that Cadran Crossing open space is owned by a homeowner's association
365 and the developer is having a hard time selling those lots because of that. P. Amato added that the Conservation
366 Commission does an excellent job of managing other private easements and hopefully when the lots are sold, the
367 Commission can go out there and discuss and advise the owners about what is involved with the easement. It's
368 great that the Commission is willing to take on that burden and to do that year after year. J. Langdell ended a
369 discussion pertaining to liability and insurance by stating that personal responsibility also plays a role. She then
370 read option #2 from the Conservation memo dated 10/14/13 and said clearly the Commission is onboard with this
371 option.
372

373 Chairperson Langdell opened the public portion of the hearing.
374

375 P. Barlow asked why six lots. I have the commercial land to the north and don't want people thinking this is
376 property they can just go walking through and park in my yard. Melendy Rd is a heavily traveled road to get to
377 Ball Hill Rd, Osgood Rd, and Rte 13. Will the old house come down? K. Chappell said it will be staying and
378 counted as one of the six. P. Barlow said he's been here a long time. The water comes down unbelievably and
379 his backyard gets flooded, so he'd like to know where all the water will be going when they start developing this

380 land. Also, where the open land is going to be; it's almost straight up and nobody is going to use it or they'll get
381 hurt. P. Amato explained that according to the Town regulations they can do seven lots based on this amount of
382 land so we don't have reason to not permit five or seven lots in this development, but they have proved that six
383 lots work well.

384
385 B. Zaryckyj said he agrees with Paul; when it rains, it rains and all that water comes down the hill so he too has
386 concerns. He looks forward to hearing the findings of the additional environmental work and studies. When we
387 decided to build on that road, it had a very rural character and as much as I appreciate the use of open space, I get
388 the sense that the houses are going to look like you are coming into Nashua. J. Langdell showed the visuals. S.
389 Robinson said they look like nice craftsman type homes, and will be under 2,000 SF. K. Chappell confirmed that
390 the development would consist of smaller homes with two car garages. B. Zaryckyj said there is also the
391 landscape that all the abutters are used to now and I worry that removing the trees will make it look like a very
392 different place and it will change the look of the area, although I am sure developer has the community's interest
393 at heart. J. Langdell said the Planning Board appreciates your concerns and has discussed this as we grapple with
394 growth, the where, and the how. It is a challenge to maintain a sense of what makes Milford special and to keep
395 the rural aspect. That being said, these people have purchased the property and have a right to develop it.

396
397 Chairperson Langdell closed the public portion of the meeting.

398
399 C. Branon said we did submit a fully engineered stormwater management report and drainage plan and reiterated
400 that there will be no increase in runoff resulting from this project. Mr. Elkind's comments pertain to filing the
401 EPA NOI and submitting a copy of that to the town. It was also requested that we show the development
402 infiltration for a 1" storm event which is not included in the stormwater report. That report was submitted with
403 the application. If you look at the site, the house to the north was recently demolished, but there was a house on
404 that lot and the new location will provide more buffering. We are also preserving the house on lot 47/5. The
405 setting of this development will offer a sense of separation from Melendy Rd and it will look much better than
406 what previously existed.

407
408 J. Langdell asked if the roadway would be going through any stonewalls so that the stones could be re-
409 incorporated. C. Branon said the plan and profile sheet shows a ROW along an interior stonewall only.

410
411 J. Langdell reviewed staff recommendations, adding a few as discussed tonight.

412 Adjust the driveway location if needed,

413 Add the placard for the easement on lot 47/5-2 as part of the easement process.

414 Revise recommendation #1 on the staff memo to add "and complete the stormwater permit approval process."

415

416 P. Amato inquired if the applicant had any issues with the staff comments. C. Branon said they didn't have any
417 concerns with the comments or with the request to install the placard. Typically the local commission has the
418 placards and we will follow up with them. J. Langdell noted that the wording would be in conjunction with the
419 open space easement.

420

421 J. Levandowski added that the undeveloped lots, 47/5-1 through 47/5-4, are subject to applicable police and
422 library fees. Staff has no problem working with the applicant to meet all conditions.

423

424 J. Langdell said the ownership of the open space will be identified on recommendation #9 and the easement
425 language will be reviewed by Planning Staff and the Conservation Commission and will be recorded with the
426 final plan. Is the math on recommendation #8 correct? C. Branon replied that would be corrected as it is more
427 like 110%. P. Amato asked if recommendation #5 pertained to obtaining a stormwater permit. C. Branon said
428 that note was for the State requirements. P. Amato noted that a stormwater permit will be required, per Fred
429 Elkind's comments on the staff memo. C. Branon stated that many of the items in the staff memo are not
430 conditions of approval and modifications will be made to address concerns. J. Langdell said there was a lot to
431 start with, but not all items in the staff memo were brought forward to staff recommendations, so as a technicality,
432 the Board wants to make sure that everything gets addressed. C. Branon said the design meets the standards and
433 regulations; we've just met with the departments and agreed to make adjustments to improve the project. P.
434 Amato wanted to make sure the applicant doesn't get caught in situations like the pavement width, where 20'

435 meets our requirements. J. Langdell said no one around this table has a concern with 20' versus 24' roadway
436 width; however, this plan is being moved through rather rapidly, as requested, and there are a lot of details so this
437 Board wants to make sure that everything is done correctly on behalf of the Town of Milford and the constituents
438 that we represent.

439
440 Following a lengthy discussion on the wording for recommendations and conditions, P. Amato gave the applicant
441 an option to take the entire staff memo as a whole for the conditions of approval and work with staff or to table
442 the application to the next meeting to work everything out with the individual departments and come back with
443 resolution and the easement drafts. C. Branon replied, after a brief consultation with the applicant, that they
444 would like to proceed with conditional approval and are comfortable working with staff to iron out any
445 outstanding items in the staff memo. In reality, a number of these items have already been addressed.

446
447 J. Levandowski reviewed the easement process. J. Langdell stated she would like to see a copy of the easement
448 before signing. J. Levandowski added that the Conservation Commission would most likely want Town Counsel
449 to review the documents as well.

450
451 P. Amato made a motion to grant conditional approval of the proposed subdivision application, subject to the
452 entirety of the Staff Memo dated 10/15/13 including staff recommendations and any other outstanding items in
453 the staff memo as discussed at the 10/15/13 meeting. C. Beer seconded. K. Bauer, P. Amato, S. Robinson, J.
454 Langdell, and C. Beer voted in the affirmative. J. Plant and S. Duncanson voted in the negative and the motion
455 passed by a vote of 5-2.

456
457 **St. Joseph Hospital – Nashua St – Map 31, Lot 32; Design review of a new medical building with associated**
458 **site improvements.**

459 *No abutters were present.*

460
461 Chairperson Langdell stated that the applicant has submitted a request to table this application to the 11/19/13
462 meeting, to gather additional information and as you may know, they are going before the ZBA this week for a
463 variance.

464
465 C. Beer made a motion to table the design review application to 11/19/13. P. Amato seconded and all in favor.

466
467 The meeting was adjourned at 8:40pm; P. Amato made the motion and C. Beer seconded with all in favor.

468
469 MINUTES OF THE OCTOBER 15, 2013 PLANNING BOARD PUBLIC HEARING APPROVED _____, 2013

470
471 Motion to approve: _____

472
473 Motion to second: _____

474
475 _____ Date: _____

476 Signature of the Chairperson/Vice-Chairman:



STAFF MEMO

Planning Board Meeting

November 19, 2013

Agenda Item #2: Carlos Andrade/Dunkin Donuts – Elm St - Map 12, Lot 13-1

Public Hearing for a major site plan for site improvements to include access reconfiguration, extension of the drive-thru lane and parking lot expansion

BACKGROUND:

The Board will likely remember this plan from the August 20, 2013 meeting when applicant was before the Board for a minor site plan amendment to construct a 512 SF pump house building with storage tank and associated site work on an adjacent lot.

In recent months lot 12-13-1(Pine Valley School House) has been purchased by the owner of the neighboring Dunkin Donut's site. A voluntary lot merger was submitted to the Hillsborough County Registry of Deeds on October 4, 2013 for lots 12-13 (Dunkin Donuts) and 12-13-1 to allow for the merging of the two lots to provide for parking lot and drive-thru expansions on site. The new land area of tax map parcel 12-13 is 69,288 SF (1.591 AC). As many will recall, the site was originally home to a longstanding school house and has been a series of coffee shops or restaurants over the last several years.

PROPOSAL:

The applicant is proposing major site improvements to include the demolition of the existing Pine Valley School House, construction of an outdoor seating area, relocation of the existing monument sign, improved landscaping, reconfiguration of access to the site and expansion of on-site parking area and drive-thru lane. There are no new loading or service areas proposed at this time.

The proposed site improvements increase safe traffic flow in and out at an area that has a history of difficult egress and ingress. Furthermore, the improvements allow for additional parking, provide upgraded landscaping and reduce the impervious area on the parcel by 1,208 SF.

The site is located within the Commercial Zone (C) and the proposed parking expansion is an allowable use under Section 5.05.1 of the Zoning Ordinance. The purpose of the C is to provide areas for those businesses, institutional, financial, governmental and compatible residential uses which constitute the commercial requirements of the Town. This application is consistent with this purpose.

Following the expansion of the parking area the proposed open space shall be 42,697 SF (61%). This will be an increase of approximately 9,601 SF of open space compared to existing conditions.

A total of twenty (20) parking spaces plus one (1) handicap space is required by Milford Development Regulations 6.05.4 Table of Off-Street Parking for this project. For fast food establishments, 0.6 spaces per seat, plus 1 per employee are required. With the proposed parking lot expansion, a total of twenty-six (26) parking spaces plus two (2) handicap spaces are shown, totaling seven (7) additional spaces than is typically required. The project meets the design recommendations of the Nashua and Elm Streets Corridor District.

DRAINAGE/STORMWATER:

The parking area for the existing Dunkin Donuts slopes north towards Route 101 and then towards an existing NHDOT catch basin near the northeast corner of the site. The original design included a treatment swale routed south along the eastern property line to release into the wetland located on the southern portion of the site. A landscaped area around the existing monument sign is currently obstructing the swale causing flooding in the parking lot and excess runoff to enter the catch basin.

The western portion of the parcel is occupied by the 2,100 SF school house building and associated on-site parking. The western portion of the parcel is sloped predominantly towards the wetland in the south with a small amount draining to a NHDOT catch basin near the northwest property corner.

The monument sign is proposed to be relocated, which will allow for the removal of the obstructing landscaped area. The treatment swale will be re-defined to provide positive drainage to the wetland and the landscaped area will be relocated.

The proposed improvements will result in a reduction of the amount of impervious surface associated with the site and thereby reducing the amount of stormwater runoff from lot 12-13.

WAIVERS:

No waivers requested

NOTICES SENT:

Abutter notices were sent by certified mail to all abutters on November 8, 2013

APPLICATION STATUS:

The application is complete and ready to be accepted at this time. The Board will need to make a determination of regional impact. Please find the attached plan set.

INTERDEPARTMENTAL REVIEW:

Building Department: Applicant will require a demo permit for the old schoolhouse, aside from that no comments.

Public Works: The future plan improves traffic flow in and out in an area that has a history of difficult egress and ingress and allows more parking. Road is under State jurisdiction.

Fire Department: No issues with the plan as presented

Environmental Coordinator: The proposed plan represents an improvement over the existing. The stormwater modeling appears to accurately portray the site. I have the following questions:

1. Has the site runoff been modeled at a 1” storm? It is preferable that the 1” storm be fully infiltrated on site.
2. Additional detail of the westerly drainage swale and the easterly “pond” would be helpful. Are these intended to serve as bioretention areas? If not, could they be designed for such purposes?
3. If the total site alteration exceeds 1 acre, an NPDES Construction General Permit will be required by EPA.
4. Has the project been reviewed by the Souhegan River Advisory Committee?

Zoning Code Enforcement: No issues as presented. Site is zoned Commercial and proposed parking lot and access reconfiguration will provide better traffic flow.

Water Utilities: No Comment- No public water at this location

Ambulance: No issues with the proposed

No comments were received as of November 14, 2013 from Police or Assessing. The Heritage Commission and Conservation Commission’s regular meeting were held after staff memos were distributed, if any comments come in, Staff will let the Board know at the meeting.

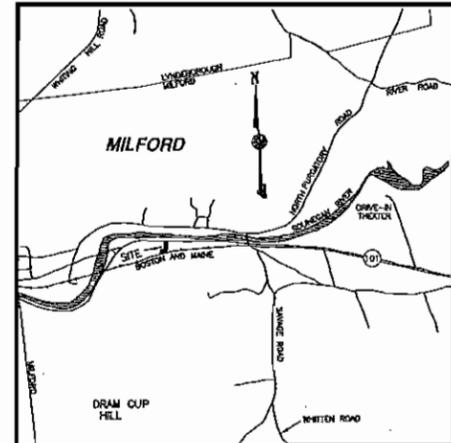
STAFF RECOMMENDATIONS:

The Board should discuss landscaping of the building frontage. Currently, no plantings are set along the frontage of Dunkin Donuts as required by Milford Development Regulations 6.08.6 Landscaping Along Building Frontages. The Board should discuss with the applicant the possible inclusion of 3-5 small shrubs at this location.

Staff has no significant issues with the application as presented. If the Planning Board approves the application the Planning Department recommends that the following conditions are met prior to final signing:

1. Applicant discuss addition of landscaping along building frontage with Planning Board;
2. The owner’s signature shall be added to the final plan submitted for signature;
3. On sheet LS-1 (Landscaping Plan) the proposed relocation of the monument sign shall be displayed;
4. NHDES Permit number be added to the plan;
5. A note be added to the lighting plan stating “All outdoor lighting shall be downcast and so directed and shielded that no glare will spill out onto neighboring properties or roads.”;
6. A note be added to the plan stating: “Lot 12-13 lies within the Nashua and Elm Streets Corridor District.”





NOTES: PROPOSED IMPROVEMENTS

SP-1.1 THE APPLICANT IS CARLOS ANDRADE, 7 META LAKE, BEDFORD NH 03110-0626

SP-1.2 SEE SHEET SP-2 FOR BOUNDARY, ZONING, AND ABUTTER INFORMATION.

SP-1.3 THE PURPOSE OF THIS PLAN IS TO SHOW AN EXTENSION OF THE DRIVE THROUGH LAKE AND THE ASSOCIATED EXPANSION OF THE PARKING LOT. THESE IMPROVEMENTS ALSO INCLUDE THE CONSTRUCTION OF AN OUTDOOR SITTING AREA, THE RELOCATION OF THE EXISTING MONUMENT SIGN, AND THE RECONFIGURATION OF THE ON-SITE TRAFFIC PATTERN.

SP-1.4 THERE ARE NO NEW LOADINGS OR SERVICE AREAS PROPOSED.

SP-1.5 THERE ARE NO NEW COVENANTS, OR DEED RESTRICTIONS PROPOSED.

SP-1.6 PROPOSED BUILDING COVERAGE IS 2,263 SF OR 3.27%. THIS IS A REDUCTION OF 1,626 SF COMPARED TO EXISTING CONDITIONS.

SP-1.7 THE PROPOSED OPEN SPACE AREA IS 42,697 SF OR 61.6%. THIS IS AN INCREASE OF 9,651 SF COMPARED TO EXISTING CONDITIONS.

SP-1.8 STORMWATER MANAGEMENT - EXISTING CONDITIONS:

THE PARKING AREA FOR THE EXISTING DUNKIN DONUTS SLOPES NORTH TOWARDS ROUTE 101 AND THEN TOWARDS AN EXISTING INDOT CATCH BASIN NEAR THE NORTHEAST CORNER OF THE SITE. THE ORIGINAL DESIGN INCLUDED A TREATMENT SWALE ROUTED SOUTH ALONG THE EASTERN PROPERTY LINE TO DISCHARGE INTO THE WETLAND LOCATED IN THE SOUTHERN PORTION OF THE SITE. A LANDSCAPED AREA AROUND THE EXISTING SIGN IS CURRENTLY OBSTRUCTING THE SWALE CAUSING FLOODING IN THE PARKING LOT AND EXCESS RUNOFF TO ENTER THE CATCH BASIN.

THE WESTERN PORTION OF THE PARCEL IS OCCUPIED BY A 2,100 SF BUILDING WITH ASSOCIATED PARKING. THIS PORTION OF THE PARCEL IS SLOPED PREDOMINANTLY TOWARDS THE WETLAND IN THE SOUTH HOWEVER, THE LAND BETWEEN ROUTE 101 AND THE BUILDING DRAIN TO A INDOT CATCH BASIN NEAR THE NORTHWEST PROPERTY CORNER.

STORMWATER MANAGEMENT - PROPOSED CONDITIONS:

THE EXISTING SIGN IS TO BE RELOCATED, WHICH WILL ALLOW FOR THE ELIMINATION OF THE OBSTRUCTING LANDSCAPING. THE TREATMENT SWALE WILL BE RE-DEFINED TO PROVIDE POSITIVE DRAINAGE TO THE WETLAND.

THE NEW PARKING AREA WILL BE GRADED TO SLOPE TO THE SOUTHWEST TO A SEDIMENT FOREBAY. RUNOFF WILL ENTER THE FOREBAY PRIOR TO DISCHARGING INTO THE WETLAND. THE PAVED PARKING AREA WITHIN THE ROUTE 101 NOW WILL BE REMOVED AND THIS AREA WILL BECOME LAWN.

THE PROPOSED IMPROVEMENTS WILL RESULT IN A NET REDUCTION TO THE AMOUNT OF IMPERVIOUS SURFACE ASSOCIATED WITH THE SITE, AND THEREBY ALSO REDUCE THE AMOUNT OF STORMWATER RUNOFF FROM THE SITE.

SP-1.9 PARKING REQUIREMENTS:
 FAST FOOD: 0.6 SPACES PER SEAT x 20 SEATS = 12 SPACES
 1 SPACES PER EMPLOYEE x 4 EMPLOYEES AT PEAK = 4 SPACES
 TOTAL REQUIRED = 20 SPACES, INCLUDING 2 HC
 TOTAL PROPOSED = 28 SPACES, INCLUDING 2 HC

SP-1.10 PORTIONS OF THIS PARCEL ARE WITHIN THE 250' SHORELAND PROTECTION ZONE AND THE 150' SHORELAND PROTECTION ZONE WOODLAND BUFFER, THEREFORE A SHORELAND PERMIT APPLICATION HAS BEEN SUBMITTED TO NHDES, THE PERMIT NUMBER IS: PENDING

SP-1.11 THE PROPOSED AREA OF DISTURBANCE IS 23,500 SF, WHICH IS BELOW THE 100,000 SF THRESHOLD OF A NHDES ALTERATION OF TERRAIN PERMIT, THEREFORE AN ALTERATION OF TERRAIN PERMIT IS NOT REQUIRED.

MERIDIAN
 ENGINEERING SURVEYING ENVIRONMENTAL PLANNING
 OFFICE: 31 OLD KASHUA ROAD, SUITE 2, AMHERST, NEW HAMPSHIRE 03051
 TEL: 603-975-1441
 FAX: 603-975-1442
 ADDRESS: MILFORD, NEW HAMPSHIRE 03055
 MERIDIAN@MERIDIANLANDSERVICES.COM

STATE OF NEW HAMPSHIRE
 JOHN A. HARRIS
 No. 7909
 LICENSED PROFESSIONAL ENGINEER
 10/21/13

NO.	DATE	DESCRIPTION	REV.	DATE
1	10/21/13	MAJOR SITE PLAN APP		
2	10/21/13	CONDITIONS OF APPROVAL		
3	9/23/13	MINOR SITE PLAN APP		
4	7/21/13			
5				
6				
7				
8				
9				

DUNKIN DONUTS
 PARKING LOT EXPANSION
 PROPOSED CONDITIONS
 JULY 31, 2013

CARLOS ANDRADE
 RTE 101 - ELM STREET
 MAP 12 LOT 13
 MILFORD, NEW HAMPSHIRE
 SCALE: 1" = 20'

SP-1
 SHEET
 FILE: 1056100C.dwg
 PROJECT: 1056.00
 SHEET NO. 1 OF 9



12-14
 776-778 ELM STREET LLC
 94 ARMOY ROAD
 MILFORD NH 03055
 VOL. 8185 PG. 2588 3/26/2010

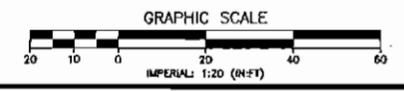
12-12
 JARED BOSSE
 760 ELM STREET
 MILFORD NH 03055
 VOL. 7654 PG. 2421 4/05/2006

LEGEND:

--- 5 FT CONTOUR	--- EXISTING TREE LINE
--- 1 FT CONTOUR	--- FIRST GRANITE BOUND FOUND
--- ZONE LINE	--- EXISTING TAX MAP AND LOT NUMBER
--- PROPERTY LINE	--- EXISTING PAVEMENT
--- ABUTTING LOT LINE	--- EXISTING BUILDING
--- CHAIN LINK FENCE	--- PROPOSED WATER LINE
--- BUILDING SETBACK LINE	--- SALT FENCE
--- EDGE OF PAVEMENT	
--- OVERHEAD ELECTRIC	

PLAN INDEX:

PG.	SHEET	DESCRIPTION
1	SP-1	PROPOSED CONDITIONS
2	SP-2	EXISTING CONDITIONS
3	SP-3	DEMOLITION PLAN
4	SP-4	GRADING PLAN
5	LS-1	LANDSCAPING PLAN
6	LS-2	LANDSCAPING DETAILS
7	LI-1	LIGHTING PLAN
8	D-1	GENERAL SITE DETAILS
9	D-2	EROSION CONTROL NOTES AND DETAILS



PB
 ZBA Office
 OCT 21 2013
 OWN. DETAIL
 RECEIVED

- LEGEND:**
- 5 FT CONTOUR
 - 1 FT CONTOUR
 - ZONE LINE
 - PROPERTY LINE
 - ABUTTING LOT LINE
 - CHAIN LINK FENCE
 - BUILDING SETBACK LINE
 - EDGE OF PAVEMENT
 - OVERHEAD ELECTRIC
 - EXISTING TREE LINE
 - EXIST. GRANITE BOUND FOUND
 - EXISTING TAX MAP AND LOT NUMBER
 - EXISTING PAVEMENT
 - EXISTING BUILDING
 - PROPOSED WATER LINE
 - SILT FENCE
 - PAVEMENT TO BE REMOVED

MERIDIAN
 ENGINEERING
 SURVEYING
 ENVIRONMENTAL
 PLANNING

OFFICE: 31 OLD NASHUA ROAD, SUITE 2
 MILFORD, NEW HAMPSHIRE 03051
 TEL: 603-873-1441
 FAX: 603-873-1304
 ADDRESS: MILFORD, NEW HAMPSHIRE 03055
 MERIDIAN@MERIDIANLANDSERVICES.COM



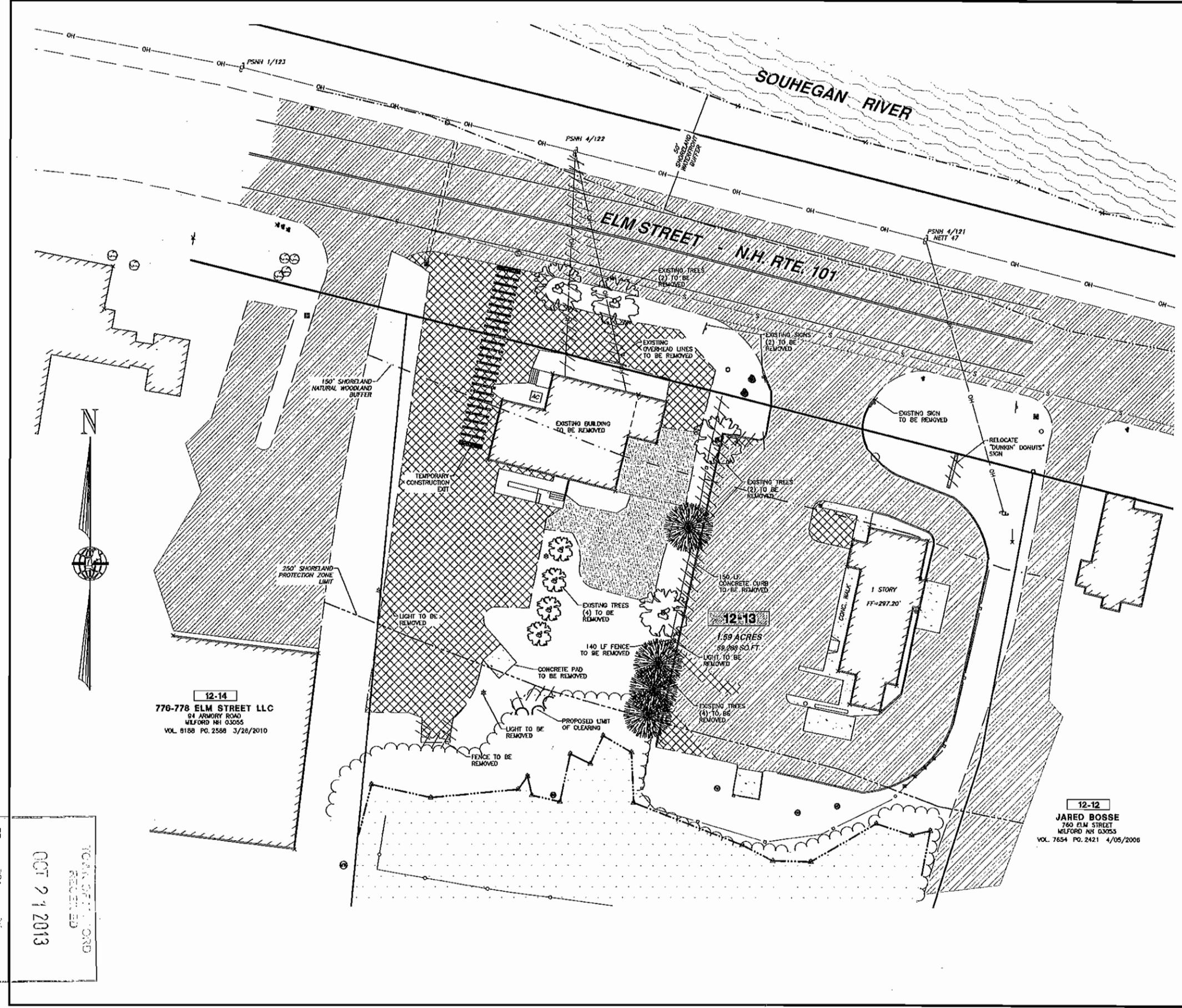
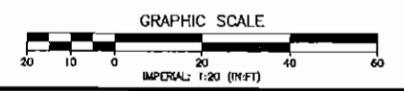
REV.	DATE	DESCRIPTION
A	7/31/13	MURDER SITE PLAN APP.
B	9/23/13	CONDITIONS OF APPROVAL
C	10/21/13	MAJOR SITE PLAN APP.
D		
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**DUNKIN' DONUTS
 PARKING LOT EXPANSION
 DEMOLITION PLAN**

**CARLOS ANDRADE
 RTE 101 - ELM STREET
 MAP 12 LOT 13
 MILFORD, NEW HAMPSHIRE**

SP-3
 SHEET

FILE: 1056100C.dwg
 PROJECT: 1056.00
 SHEET NO: 3 OF 9



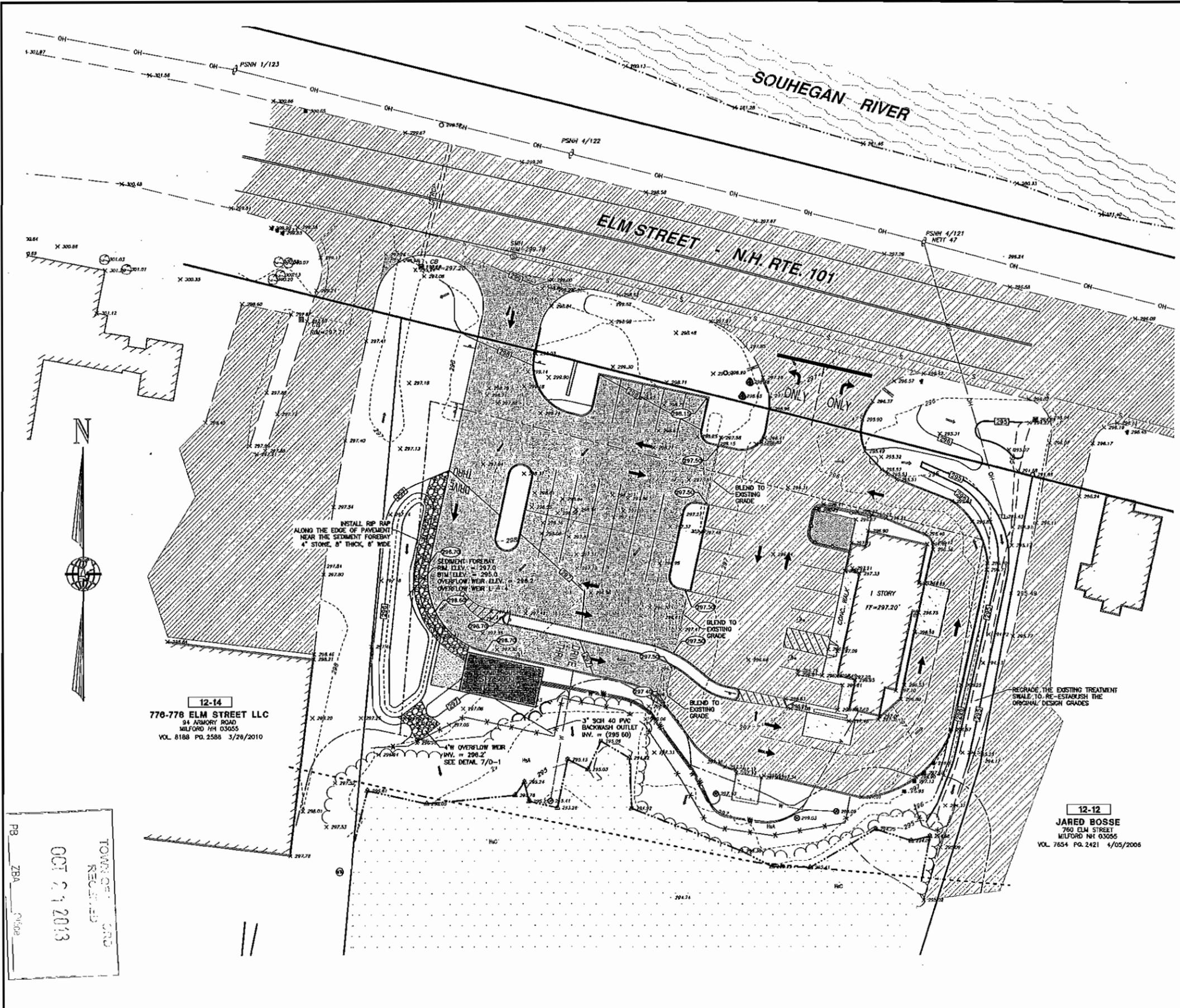
12-14
 776-778 ELM STREET LLC
 94 ARMORY ROAD
 MILFORD NH 03055
 VOL. 8188 PG. 2588 3/28/2010

12-13
 1.99 ACRES
 69,268 SQ. FT.

12-12
 JARED BOSSE
 760 ELM STREET
 MILFORD NH 03053
 VOL. 7654 PG. 2421 4/05/2006

PB 788 3100
 OCT 21 2013
 TOWN OF MILFORD
 REVIEWED

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 10/21/13 10:00 AM
 1056100C.dwg

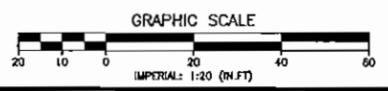


- PROPOSED CONDITIONS LEGEND:**
- 10 FT. CONTOUR
 - 1 FT. CONTOUR
 - EDGE OF PAVEMENT
 - VERTICAL CONCRETE CURB (V.C.C.)
 - SILTATION FENCE
 - GRADE BREAK
 - DRAINAGE PIPE
 - DRAINAGE FLOW DIRECTION
 - PAVED PARKING LOT
 - CONCRETE
 - BUILDING
 - SPOT ELEVATION
 - BENCHMARK
 - PAINTED PAVEMENT ARROW

12-14
776-778 ELM STREET LLC
 94 ARMORY ROAD
 MILFORD NH 03055
 VOL. 8188 PG. 2588 3/26/2010

12-12
JARED BOSSE
 760 ELM STREET
 MILFORD NH 03055
 VOL. 7654 PG. 2421 4/05/2006

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MERIDIAN
 ENGINEERING SURVEYING ENVIRONMENTAL PLANNING
 OFFICE: 300 N. NEW HAMPSHIRE ST. TEL. 603-873-1441
 MAILING P.O. BOX 113 FAX 603-873-1564
 ADDRESS: MILFORD, NEW HAMPSHIRE 03055 MERIDIAN@MERIDIANDESIGN.COM

STATE OF NEW HAMPSHIRE
 JOHN HEAVENSIDES No. 7999
 LICENSED PROFESSIONAL ENGINEER
 10/21/13

REV.	DATE	DESCRIPTION	DR	CK
A	7/25/13	MINOR SITE PLAN APP	NAH JAH	
B	9/23/13	CONDITIONS OF APPROVAL	NAH JAH	
C	10/21/13	MAJOR SITE PLAN APP	NAH JAH	

DUNKIN' DONUTS
PARKING LOT EXPANSION
GRADING PLAN
 JULY 31, 2013

CARLOS ANDRADE
 RTE 101 - ELM STREET
 MAP 12 LOT 13
 MILFORD, NEW HAMPSHIRE
 SCALE: 1" = 20'

SP-4
 SHEET
 FILE: 1056100C.dwg
 PROJECT: 1056.D0
 SHEET NO. 4 OF 9

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LANDSCAPE CALCULATIONS:

LANDSCAPING SHOWN ON THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE TOWN OF MILFORD LANDSCAPE REGULATIONS.

LANDSCAPE CALCULATIONS:

SECTION 6.05.6 - LANDSCAPE ALONG BUILDING FRONTAGE
EXISTING LANDSCAPE TO REMAIN

SECTION 6.05.7A - PERIPHERAL LANDSCAPE ADJOINING PARKING LOTS
ONE TREE / 30 L.F. PAVEMENT OR 2.44' (ALONG NEW PARKING AREA) / 30'
8 TREES REQ. 8 TREES SHOWN
(THESE TREES SHALL BE PLANTED WITH SUITABLE SHRUBS AND GROUNDCOVER)

SECTION 6.05.6B - LANDSCAPING WITHIN PARKING LOTS
ONE TREE / 15 PARKING SPACES OR 29 / 15 = 2 TREES REQ. 2 TREES SHOWN

LANDSCAPE LEGEND:

	2 ACER SACCHARUM LEGACY / LEGACY SUGAR MAPLE	3' CAL.
	3 PYRUS CALLERIANA CHANTICLEER / CHANTICLEER FLOWERING PEAR	3' CAL.
	3 QUERCUS RUBRA / RED OAK	3' CAL. B&B
	2 QUERCUS ROBUR REGAL PRINCE / REGAL PRINCE OAK	3' CAL. B&B
	4 JUNIPERUS FRITZERIANA COMPACTA / COMPACT FRITZER JUNIPER	36" B&B
	3 JUNIPERUS CHINENSIS ANGELICA BLUE / ANGELICA BLUE JUNIPER	36"
	4 JUNIPERUS CHINENSIS BLUE POINT / BLUE POINT JUNIPER	4'-5" B&B
	8 JUNIPERUS CHINENSIS GOLD STAR / GOLD STAR JUNIPER	30"
	10 JUNIPERUS HORIZONTALIS DEPRESSA PLUMOSA / ANDORA JUNIPER	5 GAL.
	7 JUNIPERUS VIRGINIAN GREY OWL / GREY OWL JUNIPER	30"-36" B&B
	22 RHUS AROMATIC GROW LOW / GROW LOW SUMAC	5 GAL.
	5 SPIRAEA BUMALDA ANTHONY WATERER / ANTHONY WATERER SPIRAEA	7 GAL. (36" MIN)
	16 SPIRAEA JAPONICA LITTLE PRINCESS / LITTLE PRINCESS SPIRAEA	5 GAL.

PERENNIALS:

Q 19 PERENNIALS (PLANT IN CLUMPS OF 3 AND 5)

RUDBECKIA FULGIDA BLACK EYED SUSAN 2 GAL.
HEMEROCALLIS PINK DAMASK / PINK DAMASK DAYLILY 2 GAL.
ECHINACEA SUNDOWN / SUNDOWN CONEFLOWER 2 GAL.
HEMEROCALLIS STELLA D'ORO / STELLA D'ORO DAYLILY 2 GAL.
ECHINACEA TWIGHLIGHT / TWIGHLIGHT CONEFLOWER 2 GAL.

SEE SHEET LS-2 FOR DETAILS AND NOTES

KNOWLES DESIGN

landscape architecture
graphics, renderings & design solutions
PO BOX 5376, MANCHESTER, NH 03108
603-497-4212

BASE INFORMATION SHOWN TAKEN ENTIRELY FROM PLAN BY OTHERS. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND FIELD VERIFICATION OF ALL UTILITIES AND ELEVATIONS. THIS PLAN IS NOT THE RESULT OF AN ON-SITE SURVEY.

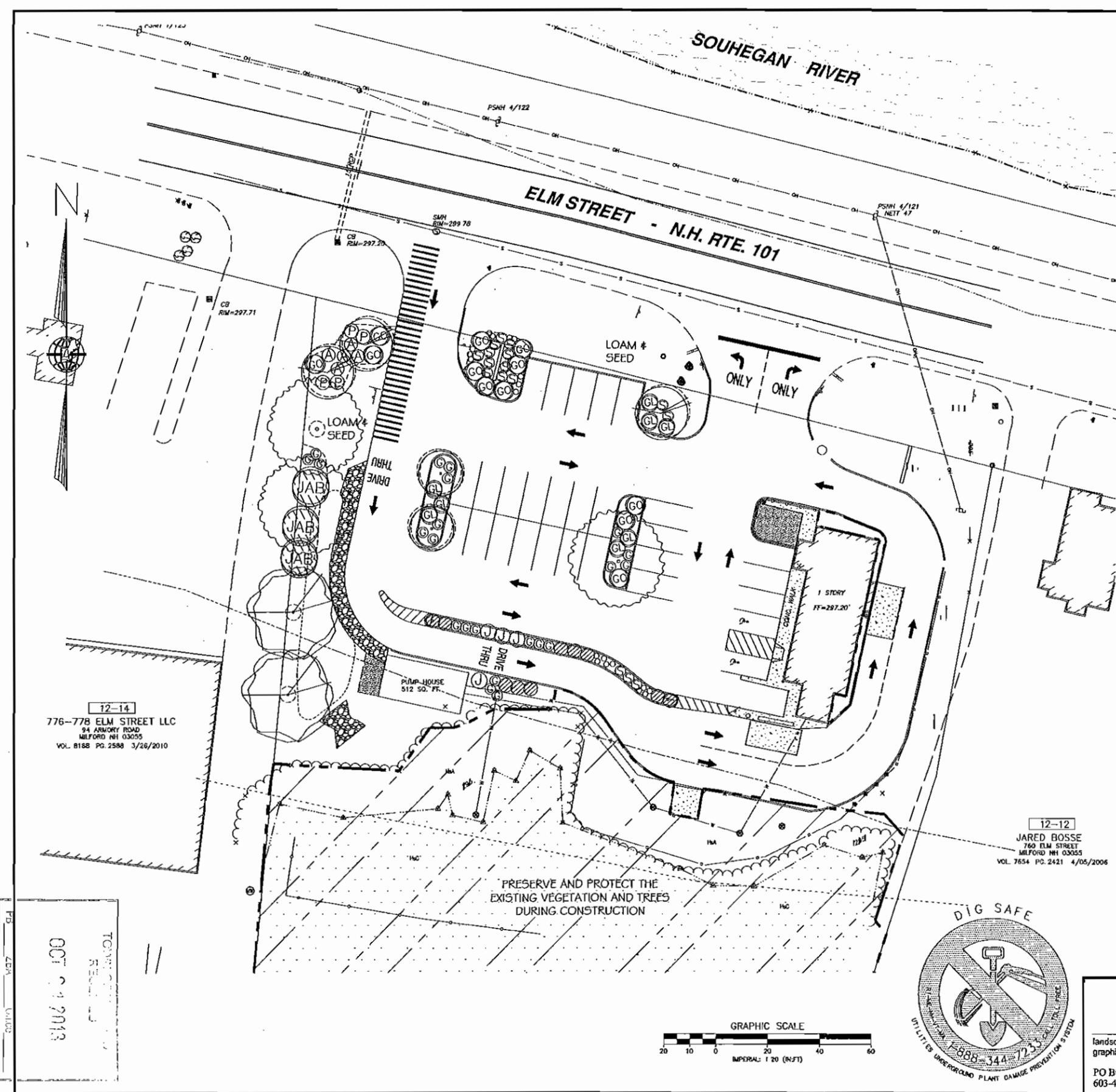
MERIDIAN
ENGINEERING SURVEYING ENVIRONMENTAL PLANNING
OFFICE: 200 W. MAIN ST. SUITE 100, MILFORD, NH 03055
TEL: 603-873-1441 FAX: 603-873-1884
ADDRESS: MILFORD, NEW HAMPSHIRE 03055
MILFORDLANDSCAPE.COM

NO.	DATE	DESCRIPTION	DR.	CHK.
1	10/06/13	MINOR SITE PLAN APP	NAH	JAH
2	10/06/13	CONDITIONS OF APPROVAL	NAH	JAH

DUNKIN' DONUTS
PARKING LOT EXPANSION
LANDSCAPING PLAN
OCTOBER 6, 2013

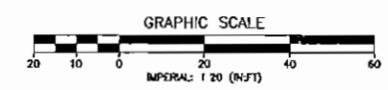
CARLOS ANDRADE
RTE 101 - ELM STREET
MAP 12 LOT 13
MILFORD, NEW HAMPSHIRE
SCALE: 1" = 20'

LS-1
SHEET
PROJECT 1056 00
SHEET NO. 3 OF 9



12-14
776-778 ELM STREET LLC
94 ARMOY ROAD
MILFORD NH 03055
VOL. 8168 PG. 2588 3/26/2010

12-12
JARED BOSSE
760 ELM STREET
MILFORD NH 03055
VOL. 7654 PG. 2421 4/05/2006



OCT 2 2013
TOWN OF MILFORD
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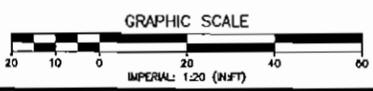
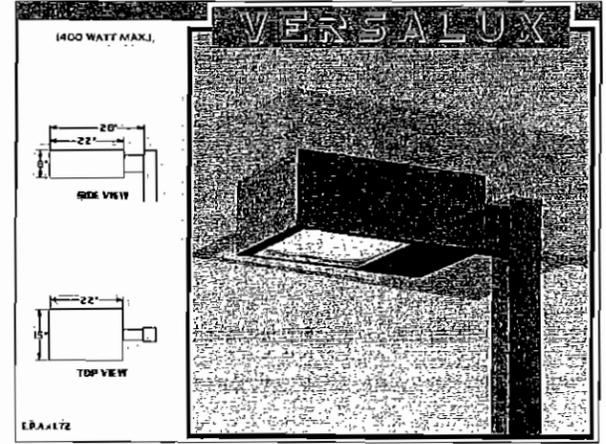
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OCT 24 2013

TOWN OF MILFORD
RECEIVED



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	2	S1	SINGLE	VRS-V-SQ-400HPS/ SNTS184-11-1



MERIDIAN
ENGINEERING
SURVEYING
ENVIRONMENTAL
PLANNING

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AMHERST, NEW HAMPSHIRE 03051
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FAX: 603-473-1442
ADDRESS: 245 FOSTER, NEW HAMPSHIRE 02855
MERIDIAN@MERIDIANENGINEERING.COM

STATE OF NEW HAMPSHIRE
JOHN A. HEAVESIDES
No. 7995
LICENSED PROFESSIONAL ENGINEER
10/21/13

REV.	DATE	DESCRIPTION
A	10/21/13	MAJOR SITE PLAN APP
B	10/21/13	CONDITIONS OF APPROVAL
C	10/21/13	MINOR SITE PLAN APP
D		
E		
F		
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H		

DUNKIN' DONUTS
PARKING LOT EXPANSION
LIGHTING PLAN
PROPOSED CONDITIONS

CARLOS ANDRADE
RTE 101 - ELM STREET
MAP 12 LOT 13
MILFORD, NEW HAMPSHIRE

SCALE: 1" = 20'

LT-1
SHEET

FILE: 105600C.dwg
PROJECT: 1056.00
SHEET NO. 7 OF 9

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

1. INSTALLATION OF SILT SOCKS AND SILTATION FENCE WHERE INDICATED SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
2. SILT SOCKS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.5" OR GREATER RAINFALL.
3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
4. PER THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. THE TOTAL AREA OF ACTIVE DISTURBANCE, INCLUDING LOT DISTURBANCES, SHALL NOT EXCEED 5 ACRES.
5. THE DURATION OF TIME THAT AN AREA IS DISTURBED SHALL BE MINIMIZED. ALL NON-ACTIVE DISTURBED AREAS (i.e. CLEARED FOR CONSTRUCTION BUT NOT PRESENTLY UNDERGOING CONSTRUCTION) SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
6. ALL DITCHES, SWALES AND DETENTION BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND SHALL BE STABILIZED PRIOR TO DIRECTING STORM WATER FLOW TO THEM.
7. AN AREA MAY BE CONSIDERED STABILIZED WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
8. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW. THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED	AMOUNT	SLOPE SEED	AMOUNT
CREeping RED FESCUE	0.87 LBS.	CREeping RED FESCUE	1.01 LBS.
KENTUCKY BLUEGRASS	0.71 LBS.	RYE GRASS	0.75 LBS.
RYE GRASS	0.58 LBS.	RED TOP	0.18 LBS.
RED TOP	0.14 LBS.	ALSIKE CLOVER	0.18 LBS.
		BROODFOOT TREFOIL	0.18 LBS.

- A NEW ENGLAND ROADSIDE WATERY WET MEADOW SEED MIX SHALL BE USED IN THE SEDIMENT FOREBAY AND SHOULD BE APPLIED AT A RATE OF 0.8 POUNDS PER 1,000 SQ. FT.
9. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-2005-K20) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
- FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER THESE LIMITATIONS ARE REQUIREMENTS.
10. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
 11. THE SITE CONTRACTOR SHALL MAINTAIN A VIGOROUS DUST CONTROL PROGRAM THROUGHOUT THE CONSTRUCTION PROCESS. EXPOSED EARTH SHALL BE KEPT MOIST OR MULCHED AT ALL TIMES TO PREVENT DUST FORMATION. SPECIAL ATTENTION SHALL BE PAID TO HIGH TRAFFIC AREAS.

EROSION CONTROL

OCT. 12, 2009
SCALE: NONE

1. CUT AND CLEAR TREES; DISPOSE OF DEBRIS.
2. INSTALL SILTATION FENCE IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
3. PULL STUMPS AND REMOVE FROM SITE OR MULCH TO USE ON-SITE FOR EROSION CONTROL. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILTATION FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
4. CONSTRUCT SWALES DURING INITIAL PORTION OF CONSTRUCTION, PRIOR TO ROUGH GRADING THE SITE. STABILIZE IMMEDIATELY WITH LOAM AND SEED PER THE EROSION CONTROL NOTES. DO NOT DIRECT STORM WATER RUNOFF TO PONDS AND SWALES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
5. PLACE SEDIMENT FILTERS IN CATCH BASINS UNTIL ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER.
6. ROUGH GRADE THE SITE. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
7. EXCAVATE FOR AND CONSTRUCT THE FOUNDATION FOR THE PROPOSED BUILDING. CONSTRUCT BUILDING.
8. INSTALL UNDERGROUND UTILITIES.
9. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ANY RAINFALL OF HALF AN INCH OR MORE IN ACCORDANCE WITH THE SWEEP, SWEEP INSPECTION REPORTS MUST BE SUBMITTED TO THE DPW WITHIN 3 DAYS OF EACH INSPECTION.
10. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERRIS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
11. FINISH GRADING THE SITE. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. BASE PAVE ACCESS DRIVE AND PARKING AREAS. INSTALL CURBING AND FINISH PAVE DRIVE, PARKING, AND SIDEWALKS.
13. APPLY LOAM. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
14. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
15. DURING CONSTRUCTION THE CONTRACTOR SHALL MANAGE THE SITE TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.

CONSTRUCTION SEQUENCE

OCT. 10, 2011
SCALE: NONE

1. ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3. OR CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

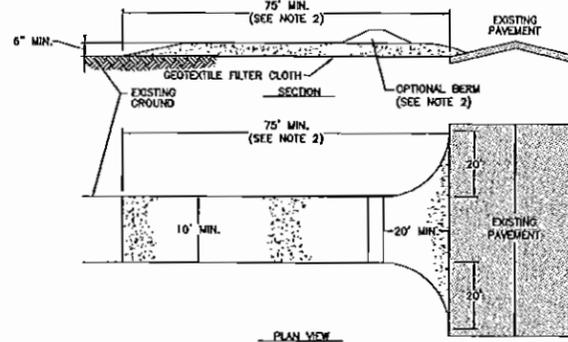
WINTER CONSTRUCTION

OCT. 12, 2009
SCALE: NONE

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS FROM THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" - STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, THE TOWN OF MILFORD DEPARTMENT OF PUBLIC WORKS REQUIREMENTS, AND SUBMISSION & SITE PLAN REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC. AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT "DIOSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
5. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSTRUCTION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
6. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
7. ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
8. ALL WATER LINE CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF MANCHESTER WATER WORKS.
9. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES. FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

CONSTRUCTION NOTES

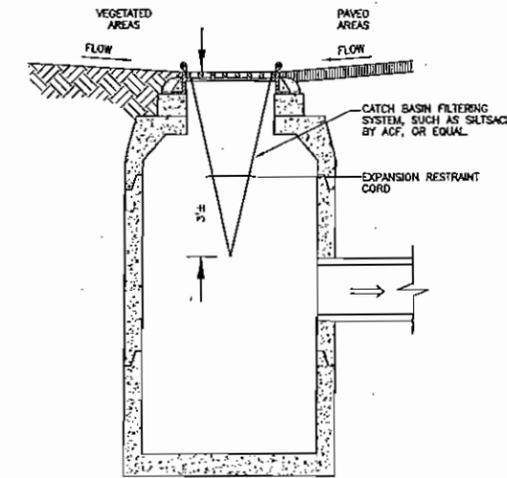
APRIL 16, 2009
SCALE: NONE



1. STONE FOR STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH CRUSHED STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE EXIT OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE SHALL NOT BE LESS THAN 8 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE EXISTING POINT OF INGRESS/EGRESS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION EXIT SHALL BE PIPED BEHIND THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE GROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO EXIT ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION EXIT

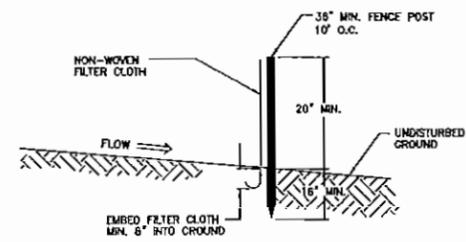
OCT. 12, 2009
SCALE: NONE



1. INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
2. TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
3. THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
4. THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
5. REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASIN.

CATCH BASIN SEDIMENT FILTER

NOV. 6, 2000
SCALE: NONE



SILTATION FENCE

OCT. 22, 1995
SCALE: NONE

MERIDIAN
ENGINEERS
LAND SURVEYORS
LAND PLANNERS
OFFICE: 31 OLD MANHUA ROAD
MILFORD, NEW HAMPSHIRE 03055
PHONE: 603-882-1144
FAX: 603-882-1144
WWW.MERIDIANLANDSERVICES.COM

STATE OF NEW HAMPSHIRE
JOHN A. HEAVESIDES
No. 7995
LICENSED PROFESSIONAL ENGINEER
11/11/13

REV.	DATE	DESCRIPTION
A	10/21/13	MAJOR SITE PLAN APP
B	10/23/13	CONDITIONS OF APPROVAL
C	10/23/13	MINOR SITE PLAN APP
D	11/21/13	DESCRIPTION

DUNKIN DONUTS
EROSION CONTROL NOTES AND DETAILS
JULY 16, 2013

CARLOS ANDRADE
RTE 101 - ELM STREET
MAP 12 LOT 13
MILFORD, NEW HAMPSHIRE
SCALE: AS NOTED

D-2
SHEET
FILE: 1056V00A.dwg
PROJECT: 1056 00
SHEET NO. 9 OF 9

OCT 21 2013
7:04
TOWN OF MILFORD
RECORDED

H:\MIS\cadd\1056\1056V00A.dwg
PLOT DATE: 10/21/2013 7:04:00 AM
PLOT BY: JAC



STAFF MEMO

Planning Board Meeting

November 19, 2013

Agenda Item #3:– Carole M Colburn Revocable Trust- Osgood Rd/Woodhawk Dr- Map 51 Lot 1;

Public Hearing for a Major Open Space Subdivision Creating Twenty-Seven (27) New Residential Lots.

HISTORY:

The Planning Board will likely recognize this plan from the Design Review phase for an application to subdivide the parcel into 32 open space residential lots, with a through road connecting to Woodhawk Dr and one cul-de-sac. That application made it through Design Review phase in February of 2007, but never returned for Final Application as the economy stalled and the money for outside engineering review was not available. Provided below, is a timeline prepared for the project beginning in December of 2006 through present time.

TIMELINE:

December 2006 – Discussion- Conceptual discussion of the proposed subdivision. The Board reviewed the proposal and asked the applicant to come back with a formal application for design review. At the meeting the Board discussed the idea of having a conventional subdivision on this property.

February 2007 – Design Review- Design review for a potential subdivision of the original 94.9 acre parcel into 32 lots meeting all area, frontage and slope requirements. The lots are to be serviced by individual wells and septic. The Planning Board approved the density for no more than thirty-two (32) lots and for the applicant to go forward with an open space subdivision plan.

July 2007 - ZBA Hearing - ZBA Hearing was tabled until the August 16, 2007 meeting for a special exception from Article VI, Section 6.026.A.6 to impact 10,800 SF of wetlands and a special exception from Article V, Section 6.026.B to impact 19,762 SF of wetlands buffer for the construction of a roadway.

August 2007 – ZBA Hearing & State Application- Applicant received special exception approval from the ZBA on August 16, 2007 from Article VI, Section 6.026.A.6 to impact 10,800 SF of wetlands and a special exception from Article V, Section 6.026.B to impact 19,762 SF of wetlands buffer for the construction of a roadway. The applicant also submitted a dredge and fill application to the state.

September 2007 – Final Application - First public hearing for the final application of a subdivision off of Osgood road. At this meeting the Board tabled the application until the November 2007 meeting pending a site walk scheduled for October 2nd and outside engineering review and comments.

November 2007 – March 2008 – Extension Request – Per the applicant’s request, a sixty-five (65) day extension was granted in accordance with RSA 676:4 and application was tabled to the May 20, 2008 meeting.

May 2008 – Extension Request – Per the applicant’s request, a six (6) month extension was granted in accordance with RSA 676:4 and application was tabled to the December 16, 2008 meeting with the condition that abutters be re-notified at the applicant’s cost.

December 2008 – Application Withdrawal – Applicant decided to withdraw their application and hoped to return when the economy turns around.

September 2011 – Scenic Road Hearing & Public Hearing for Minor Subdivision – Applicant returned to the Board in 2011 with a separate application proposing to subdivide lot 51/1 into 3 new building lots and one large remainder lot on Osgood Rd. The Planning Board conditionally approved the subdivision of the 3 frontage lots. A scenic Road hearing was also held for the partial removal of stonewall and potential tree cutting/trimming for one new driveway and one new shared driveway off of Osgood Road. Planning Board granted approved subject to the disturbed portion of the stone wall is rebuilt along the new driveway or incorporated into the existing wall.

October 2012 – Public Hearing for a Lot Line Adjustment & Minor Subdivision- Applicant was back before the board last October for a lot line adjustment to revise the common lot line between lots 51-1 and 51/1-2 by exchanging parcels to create a more even lot and to create one new buildable lot. The Planning Board conditionally approved the lot line adjustment and subdivision. The subdivision created a lot of 2.514 acres (109,493 sq. ft.), leaving the original parcel with 85.366 acres (3,718,606 sq. ft.). The large (85.366 acre) remainder lot was left with less than 200 feet of frontage on a Class V or better road. The Planning Board expressed at this time they would not like to see any further subdivision of lot 51-1 without an open space plan being presented.

PROPOSAL:

The applicant is back before the Planning Board for the first public hearing of the final application for a subdivision off of Osgood road. The 85.366 acre parcel would be subdivided into 27 residential lots meeting all area, frontage and slope requirements and two open space non-building lots totaling 44+ acres abutting the Hitchiner Town Forest. The proposed lots will be serviced by on-site wells and septic systems (DES application pending) and underground power and communication services.

The lots as proposed range from 53,019 square feet to 80,239 square feet in size with frontage off of an extension of Woodhawk Drive. The applicant is proposing a 4,100 ft expansion of Woodhawk Drive with 24’ of pavement and a 50’ ROW along with a 524 ft dead-end hammerhead roadway with 24’ of pavement and a 50’ ROW. The proposed road will cross the a wetland in two

places, 6,935 SF of impact will be associated with the first crossing and 3,865 SF of impact will be associated with the second crossing.

The applicant has minimized cuts and fills for the development of the roadway, and details a maximum slope of 8% as the roadway winds throughout the subdivision. The hammerhead has a maximum slope of 4.25% and then levels out to a 1.50% grade for the end of the roadway.

SITE INFORMATION:

Zoning for the entire site is Residential 'R' (Rural) with minimum lot frontage requirements of 200 feet and lot area of 2.00 acres (87,120 SF) with building setbacks of 30 feet front and 15 feet rear and sides. Additionally, the site is located within the Level 1 Groundwater Protection Overlay District and lies outside of the 100 year flood hazard area as shown on FIRM Panel 33011C0470D.

Lot 51-1 is presently under a current use tax lien and listed as a non-buildable lot as there is less than fifteen (15) feet of frontage on a Class V or better road.

ZBA APPROVAL:

The applicant received approval from Article VI, Sections 6.02.6:A.6 on 10/7/2013 to impact 10,800 SF of wetlands and 6.02.6:B to impact 19,762 SF of wetland buffer for the construction of the proposed roadway (a dredge and fill application has been submitted to the state).

OPEN SPACE:

The parcel encompasses a total of approximately ± 85 acres on the southern side of Burns Hill, with frontage on Osgood Road. The applicant is proposing two tracts of open space. The first tract is located on the southern portion of the property (51-1) and is approximately 20.778 acres (905,107 SF) with approximately 339,280 SF being wet. Open space lot 51-1 will abut to an existing Conservation Easement (8415/1291) already monitored by the Conservation Commission. The second tract of open space (51-1-32) will extend from the most southern tip of the lot to the most northern, for a total of 23.378 acres (1,018,356 SF) abutting the Hitchner Town Forest.

While in past discussion the Conservation Commission has expressed interest in the two open space lots, per section 5.08 of the Development Regulations the applicant needs to specify how the open space lots (Map 51, Lot 1 & 1-32) will be owned. Their options are: a government agency or nonprofit; in common by 6 residential lots; a homeowners association of the 6 residential lots; or the land may remain with the developer. If the applicant would like to propose some other form of ownership of the open space they will need to seek Planning Board approval.

DRAINAGE/STORMWATER:

The site is entirely wooded with a predominate drainage pattern of draining into the site's central wetland area and then flowing to the north and south off site. The slopes throughout the site provide for a majority of the existing site to drain by sheet flow to adjacent wetlands.

There are two proposed oversized 4' box culverts located in the wetlands crossing for the proposed road. The oversized box culverts are intended for wildlife passage.

The proposed site improvements do not significantly alter the peak rate of storm water runoff to the existing Osgood Road drainage system. The small increase in runoff to Osgood Road will have no adverse effect downstream or on existing drainage.

PHASING:

The Planning Board requires developments which qualify as Major Subdivisions to take place over a period of years, in stages, in order to promote orderly development with minimal impact on the provisions of Town services. The allocation of building permits shall be by the following method:

<u># of New Building Permits</u>	<u>Phasing (years)</u>
1-10	None
11-20	2
21-30	3
35 31-40	4
40+	Minimum of 5

It is the intention of the phasing schedule to evenly distribute the number of building permits over the required number of years. However, if the Planning Board determines it is in the public’s best interest (i.e. through-road connection, etc.) to allow an applicant to have a greater number of permits in the beginning or end of the allotted phasing period, the Planning Board may grant an allowance for more permits in a single year, as long as the project remains phased over the entire phasing period. The approved phasing schedule shall be identified in a note on the plan or laid out as a phasing plan included in the final plan set.

The Board should discuss any possible phasing plan proposed for this project. Phasing of the roadway will not be possible as Woodhawk Drive has reached the Town’s maximum length for dead-end roads of 1,000 feet and Nye Drive is near the 1,000 foot maximum at its current state. All infrastructure including roadways (base coat), drainage and cisterns if applicable should be installed prior to commencement of any phasing plan and a note stating this should be included on the final plan.

INTERDEPARTMENTAL REVIEWS:

Fire Department: Comments regarding the Nye Drive subdivision proposal at this time.

1. The entire road should be named Woodhawk Dr. instead of Nye Dr. to avoid confusion with emergency response. The proposed road (dead end) could be named Nye Dr.
2. I know the plan was previously presented with 2 or 3 30K cisterns. I would like to have the developer look at the costs associated with putting the new combination sprinkler system in each home instead. The cost in our area right now is about 5K per home. Should the cost not benefit the developer than the cistern will be appropriate.
3. On the proposed road we would like to see the hammer head turned into a cul-de-sac and road flattened out.

4. All infrastructure including roadways (base coat), drainage and cisterns if applicable shall be installed prior to building commencing.

Department of Public Works:

1. I would like this to be reviewed by an outside consulting engineer.
2. Will need to have driveway profiles (could be typical) at culvert/ditch locations shown on the plan and should be wider for emergency vehicles.
3. Flatten hammer head area for winter maintenance and snow storage.

Environmental Coordinator:

I have the following comments at this point.

1. The EPA NPDES Construction General Permit requires the applicant to file an NOI covering the entire project, including the lots. The supporting documentation for the NOI submittal serves as a portion of the required documentation for the Milford Stormwater permit. Therefore, the Milford permit will include the disturbances on the individual lots and is not limited to common site disturbances such as roadways and utilities. Drainage on and from the lots should be considered. If on-lot improvements, such as rain gardens, are required to achieve infiltration of the 1" storm, these should be included. Notes should be changed to reflect the above.
2. Stormwater runoff should be modeled at the 1" event to demonstrate complete infiltration of that storm within the project's boundaries.
3. All stormwater conveyance structures as well as treatment and infiltration facilities (except those serving individual lots) must have developed access along with maintenance easements.

Water Utilities: Water and sewer service is not available for this application.

Ambulance: A second access road to the Badger Hill Development is a positive for this plan. The second entrance will facilitate public ingress/egress plus emergency services in emergency situations or adverse conditions.

Zoning Code Enforcement: Properties are zoned Residence 'R' and is proposed to be developed as an open space subdivision. No issues relative to zoning as long as the project meets the criteria specified in Article VI, Section 6.04.0 Open Space and Conservation District.

No comments were received as of November 14, 2013 from Police or Assessing. The Heritage Commission and Conservation Commission's regular meeting were held after staff memos were distributed, if any comments come in, Staff will let the Board know at the meeting.

WAIVERS:

No waivers requested.

NOTICES SENT:

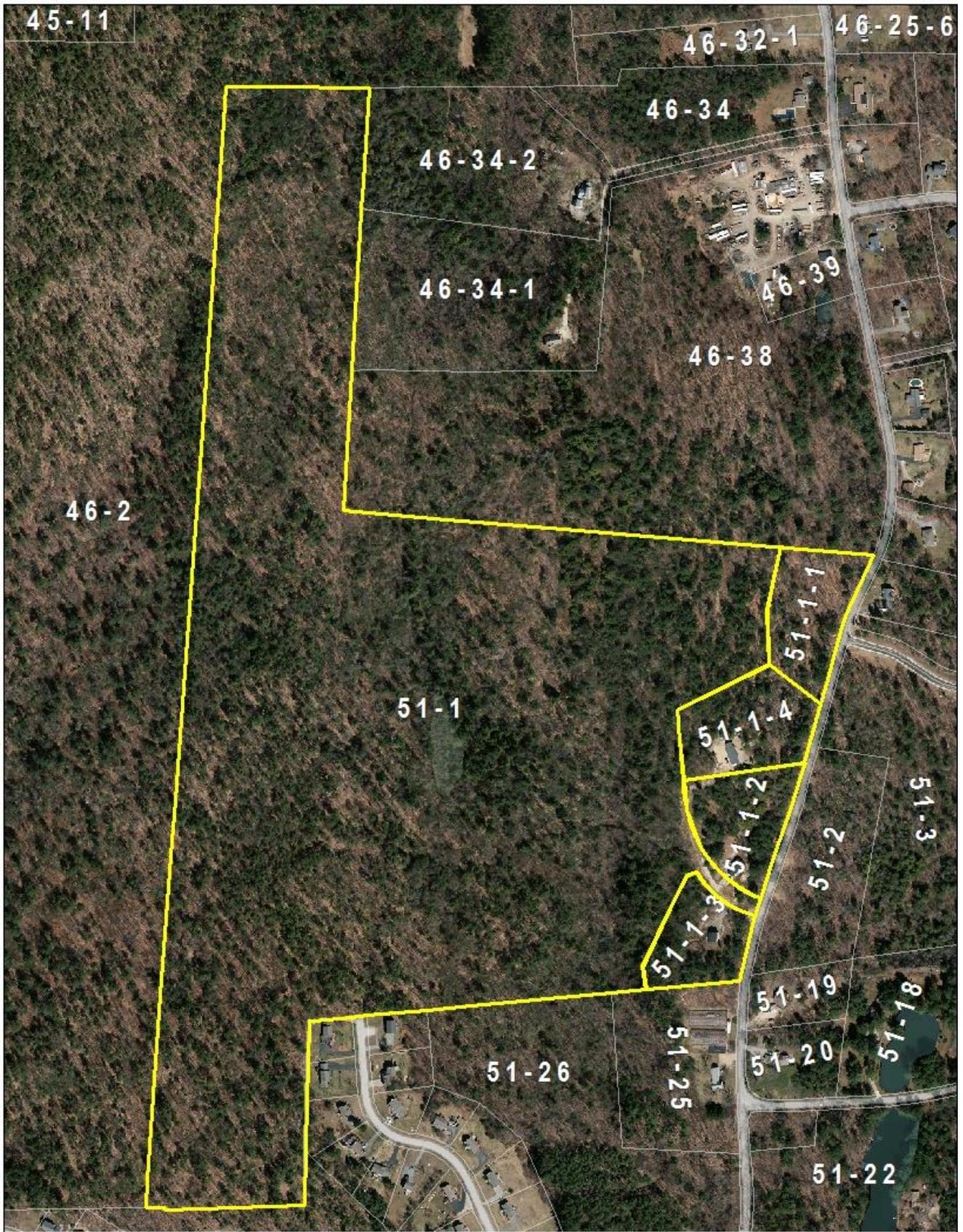
Notices were sent to all abutters on November 8, 2013

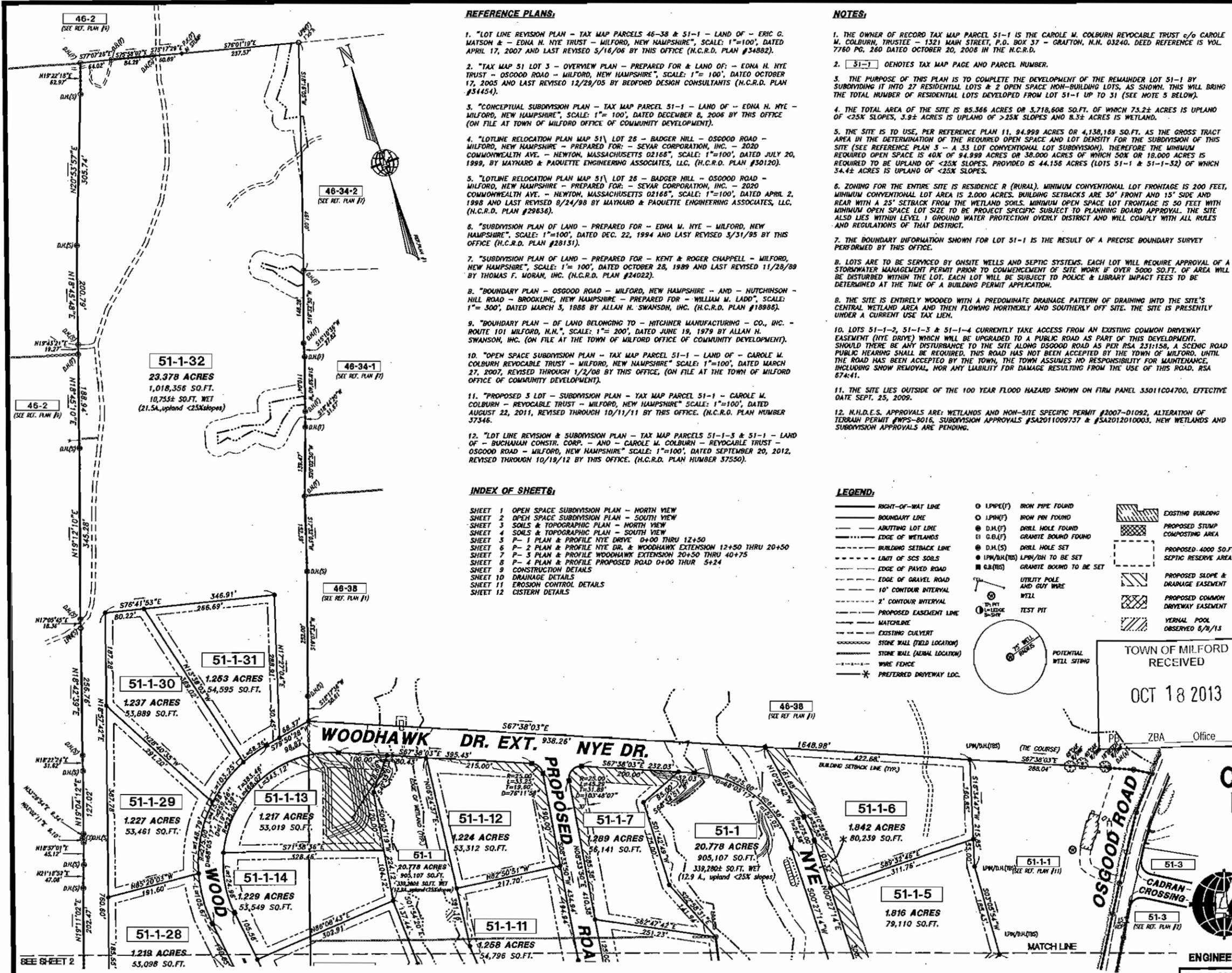
APPLICATION STATUS:

The application is complete and ready to be accepted at this time. The Board will need to make a determination of regional impact. Please find the attached plan set.

STAFF RECCOMENDATIONS:

At this time, bearing in mind past Board discussions about this site, the Board should discuss with the applicant any questions or concerns with the project and make a motion to send the plan out for review of the drainage study, stormwater plan and roadway. It will take some time for the Town's consulting engineer to complete the review, the Board should discuss with the applicant a reasonable date to return to the Board in either January or February once the consultant has completed their review.





REFERENCE PLANS:

- "LOT LINE REVISION PLAN - TAX MAP PARCELS 46-38 & 51-1 - LAND OF - ERIC G. MATSON & - EDNA H. NYE TRUST - MILFORD, NEW HAMPSHIRE", SCALE: 1"=100', DATED APRIL 17, 2007 AND LAST REVISED 5/16/08 BY THIS OFFICE (H.C.R.D. PLAN #34882).
- "TAX MAP 51 LOT 3 - OVERVIEW PLAN - PREPARED FOR & LAND OF: - EDNA H. NYE TRUST - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE", SCALE: 1"= 100', DATED OCTOBER 17, 2005 AND LAST REVISED 12/29/05 BY BEDFORD DESIGN CONSULTANTS (H.C.R.D. PLAN #34454).
- "CONCEPTUAL SUBDIVISION PLAN - TAX MAP PARCEL 51-1 - LAND OF - EDNA H. NYE - MILFORD, NEW HAMPSHIRE", SCALE: 1"= 100', DATED DECEMBER 8, 2006 BY THIS OFFICE (ON FILE AT TOWN OF MILFORD OFFICE OF COMMUNITY DEVELOPMENT).
- "LOTLINE RELOCATION PLAN MAP 51) LOT 25 - BADGER HILL - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE - PREPARED FOR - SEVAY CORPORATION, INC. - 2020 COMMONWEALTH AVE. - NEWTON, MASSACHUSETTS 02166", SCALE: 1"=100', DATED JULY 20, 1989, BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. (H.C.R.D. PLAN #30120).
- "LOTLINE RELOCATION PLAN MAP 51) LOT 25 - BADGER HILL - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE - PREPARED FOR - SEVAY CORPORATION, INC. - 2020 COMMONWEALTH AVE. - NEWTON, MASSACHUSETTS 02166", SCALE: 1"=100', DATED APRIL 2, 1988 AND LAST REVISED 8/24/98 BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC. (H.C.R.D. PLAN #29636).
- "SUBDIVISION PLAN OF LAND - PREPARED FOR - EDNA H. NYE - MILFORD, NEW HAMPSHIRE", SCALE: 1"=100', DATED DEC. 22, 1994 AND LAST REVISED 3/31/95 BY THIS OFFICE (H.C.R.D. PLAN #28151).
- "SUBDIVISION PLAN OF LAND - PREPARED FOR - KENT & ROGER CHAPPELL - MILFORD, NEW HAMPSHIRE", SCALE: 1"= 100', DATED OCTOBER 28, 1989 AND LAST REVISED 11/28/89 BY THOMAS F. MORAN, INC. (H.C.R.D. PLAN #24022).
- "BOUNDARY PLAN - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE - AND - HUTCHINSON - HILL ROAD - BROOKLINE, NEW HAMPSHIRE - PREPARED FOR - WILLIAM M. LADD", SCALE: 1"= 300', DATED MARCH 3, 1985 BY ALLAN H. SWANSON, INC. (H.C.R.D. PLAN #18985).
- "BOUNDARY PLAN - OF LAND BELONGING TO - HITCHER MANUFACTURING - CO., INC. - ROUTE 101 MILFORD, N.H.", SCALE: 1"= 200', DATED JUNE 19, 1979 BY ALLAN H. SWANSON, INC. (ON FILE AT THE TOWN OF MILFORD OFFICE OF COMMUNITY DEVELOPMENT).
- "OPEN SPACE SUBDIVISION PLAN - TAX MAP PARCEL 51-1 - LAND OF - CAROLE M. COLBURN REVOCABLE TRUST - MILFORD, NEW HAMPSHIRE" SCALE: 1"=100', DATED MARCH 27, 2007, REVISED THROUGH 1/2/08 BY THIS OFFICE, (ON FILE AT THE TOWN OF MILFORD OFFICE OF COMMUNITY DEVELOPMENT).
- "PROPOSED 3 LOT - SUBDIVISION PLAN - TAX MAP PARCEL 51-1 - CAROLE M. COLBURN - REVOCABLE TRUST - MILFORD, NEW HAMPSHIRE" SCALE: 1"=100', DATED AUGUST 22, 2011, REVISED THROUGH 10/11/11 BY THIS OFFICE. (H.C.R.D. PLAN NUMBER 37346).
- "LOT LINE REVISION & SUBDIVISION PLAN - TAX MAP PARCELS 51-1-3 & 51-1 - LAND OF - BUCHANAN CONSTR. CORP. - AND - CAROLE M. COLBURN - REVOCABLE TRUST - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE" SCALE: 1"=100', DATED SEPTEMBER 20, 2012, REVISED THROUGH 10/19/12 BY THIS OFFICE. (H.C.R.D. PLAN NUMBER 37550).

INDEX OF SHEETS:

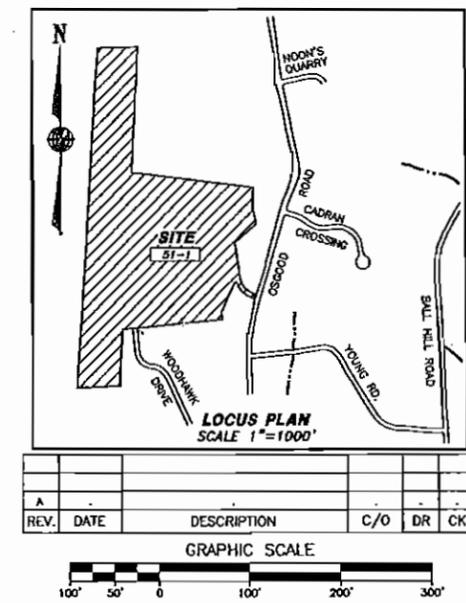
- SHEET 1 OPEN SPACE SUBDIVISION PLAN - NORTH VIEW
- SHEET 2 OPEN SPACE SUBDIVISION PLAN - SOUTH VIEW
- SHEET 3 SOILS & TOPOGRAPHIC PLAN - NORTH VIEW
- SHEET 4 SOILS & TOPOGRAPHIC PLAN - SOUTH VIEW
- SHEET 5 P-1 PLAN & PROFILE NYE DRIVE 0+00 THRU 12+50
- SHEET 6 P-2 PLAN & PROFILE NYE DR. & WOODHAWK EXTENSION 12+50 THRU 20+50
- SHEET 7 P-3 PLAN & PROFILE WOODHAWK EXTENSION 20+50 THRU 40+75
- SHEET 8 P-4 PLAN & PROFILE PROPOSED ROAD 0+00 THRU 5+24
- SHEET 9 CONSTRUCTION DETAILS
- SHEET 10 DRAINAGE DETAILS
- SHEET 11 EROSION CONTROL DETAILS
- SHEET 12 CISTERN DETAILS

NOTES:

- THE OWNER OF RECORD TAX MAP PARCEL 51-1 IS THE CAROLE M. COLBURN REVOCABLE TRUST c/o CAROLE M. COLBURN, TRUSTEE - 1321 MAIN STREET, P.O. BOX 37 - GRAFTON, N.H. 03240. DEED REFERENCE IS VOL. 7760 PG. 260 DATED OCTOBER 20, 2006 IN THE H.C.R.D.
- 51-1 DENOTES TAX MAP PAGE AND PARCEL NUMBER.
- THE PURPOSE OF THIS PLAN IS TO COMPLETE THE DEVELOPMENT OF THE REMAINDER LOT 51-1 BY SUBDIVIDING IT INTO 27 RESIDENTIAL LOTS & 2 OPEN SPACE NON-BUILDING LOTS. THIS WILL BRING THE TOTAL NUMBER OF RESIDENTIAL LOTS DEVELOPED FROM LOT 51-1 UP TO 31 (SEE NOTE 5 BELOW).
- THE TOTAL AREA OF THE SITE IS 85.366 ACRES OR 3,718,608 SQ.FT. OF WHICH 73.2± ACRES IS UPLAND OF <25% SLOPES, 3.9± ACRES IS UPLAND OF >25% SLOPES AND 8.3± ACRES IS WETLAND.
- THE SITE IS TO USE, PER REFERENCE PLAN 11, 94.999 ACRES OR 4,138,189 SQ.FT. AS THE GROSS TRACT AREA IN THE DETERMINATION OF THE REQUIRED OPEN SPACE AND LOT DENSITY FOR THE SUBDIVISION OF THIS SITE (SEE REFERENCE PLAN 5 - A 33 LOT CONVENTIONAL LOT SUBDIVISION). THEREFORE THE MINIMUM REQUIRED OPEN SPACE IS 40% OF 94.999 ACRES OR 38.000 ACRES OF WHICH 50% OR 19.000 ACRES IS REQUIRED TO BE UPLAND OF <25% SLOPES, PROVIDED IS 44.156 ACRES (LOTS 51-1 & 51-1-32) OF WHICH 34.4± ACRES IS UPLAND OF <25% SLOPES.
- ZONING FOR THE ENTIRE SITE IS RESIDENCE R (RURAL). MINIMUM CONVENTIONAL LOT FRONTAGE IS 200 FEET, MINIMUM CONVENTIONAL LOT AREA IS 2.000 ACRES. BUILDING SETBACKS ARE 30' FRONT AND 15' SIDE AND REAR WITH A 25' SETBACK FROM THE WETLAND SOILS. MINIMUM OPEN SPACE LOT FRONTAGE IS 50 FEET WITH MINIMUM OPEN SPACE LOT SIZE TO BE PROJECT SPECIFIC SUBJECT TO PLANNING BOARD APPROVAL. THE SITE ALSO LIES WITHIN LEVEL 1 GROUND WATER PROTECTION OVERLY DISTRICT AND WILL COMPLY WITH ALL RULES AND REGULATIONS OF THAT DISTRICT.
- THE BOUNDARY INFORMATION SHOWN FOR LOT 51-1 IS THE RESULT OF A PRECISE BOUNDARY SURVEY PERFORMED BY THIS OFFICE.
- LOTS ARE TO BE SERVICED BY ONSITE WELLS AND SEPTIC SYSTEMS. EACH LOT WILL REQUIRE APPROVAL OF A STORMWATER MANAGEMENT PERMIT PRIOR TO COMMENCEMENT OF SITE WORK IF OVER 5000 SQ.FT. OF AREA WILL BE DISTURBED WITHIN THE LOT. EACH LOT WILL BE SUBJECT TO POLICE & LIBRARY IMPACT FEES TO BE DETERMINED AT THE TIME OF A BUILDING PERMIT APPLICATION.
- THE SITE IS ENTIRELY WOODED WITH A PREDOMINANT DRAINAGE PATTERN OF DRAINING INTO THE SITE'S CENTRAL WETLAND AREA AND THEN FLOWING NORTHERLY AND SOUTHERLY OFF SITE. THE SITE IS PRESENTLY UNDER A CURRENT USE TAX LIEN.
- LOTS 51-1-2, 51-1-3 & 51-1-4 CURRENTLY TAKE ACCESS FROM AN EXISTING COMMON DRIVEWAY EASTWARD (NYE DRIVE) WHICH WILL BE UPGRADED TO A PUBLIC ROAD AS PART OF THIS DEVELOPMENT. SHOULD THERE BE ANY DISTURBANCE TO THE SITE ALONG OSGOOD ROAD AS PER RSA 231:158, A SCENIC ROAD PUBLIC HEARING SHALL BE REQUIRED. THIS ROAD HAS NOT BEEN ACCEPTED BY THE TOWN OF MILFORD. UNTIL THE ROAD HAS BEEN ACCEPTED BY THE TOWN, THE TOWN ASSUMES NO RESPONSIBILITY FOR MAINTENANCE, INCLUDING SNOW REMOVAL, NOR ANY LIABILITY FOR DAMAGE RESULTING FROM THE USE OF THIS ROAD. RSA 674:41.
- THE SITE LIES OUTSIDE OF THE 100 YEAR FLOOD HAZARD SHOWN ON FIRM PANEL 33011C04700, EFFECTIVE DATE SEPT. 25, 2009.
- N.H.D.E.S. APPROVALS ARE: WETLANDS AND NON-SITE SPECIFIC PERMIT #2007-01092, ALTERATION OF TERRAIN PERMIT #PPS-8016, SUBDIVISION APPROVALS #SA2011009737 & #SA2012010003. NEW WETLANDS AND SUBDIVISION APPROVALS ARE PENDING.

LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- EDGE OF WETLANDS
- BUILDING SETBACK LINE
- LIMIT OF SCS SOILS
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- PROPOSED EASEMENT LINE
- MATCHLINE
- EXISTING CULVERT
- STONE WALL (FIELD LOCATION)
- STONE WALL (AERIAL LOCATION)
- WIRE FENCE
- PREFERRED DRIVEWAY LOC.
- IRON PIPE FOUND
- IRON PEN FOUND
- DRILL HOLE FOUND
- GRANITE BOUND FOUND
- DRILL HOLE SET
- LPW/DH(18S) LPW/DH TO BE SET
- GRANITE BOUND TO BE SET
- UTILITY POLE AND GUY WIRE
- TEST PIT
- POTENTIAL WELL SITING
- EXISTING BUILDING
- PROPOSED STUMP
- COMPOSTING AREA
- PROPOSED 4000 SQ.FT. SEPTIC RESERVE AREA
- PROPOSED SLOPE & DRAINAGE EASEMENT
- PROPOSED COMMON DRIVEWAY EASEMENT
- VERNAL POOL OBSERVED 8/8/13



OWNER'S SIGNATURE: *Carole M. Colburn* DATE: 10/18/13
 CAROLE M. COLBURN, TRUSTEE

CERTIFICATION:

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LANS03.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."

DATE: 10-18-13

APPROVED

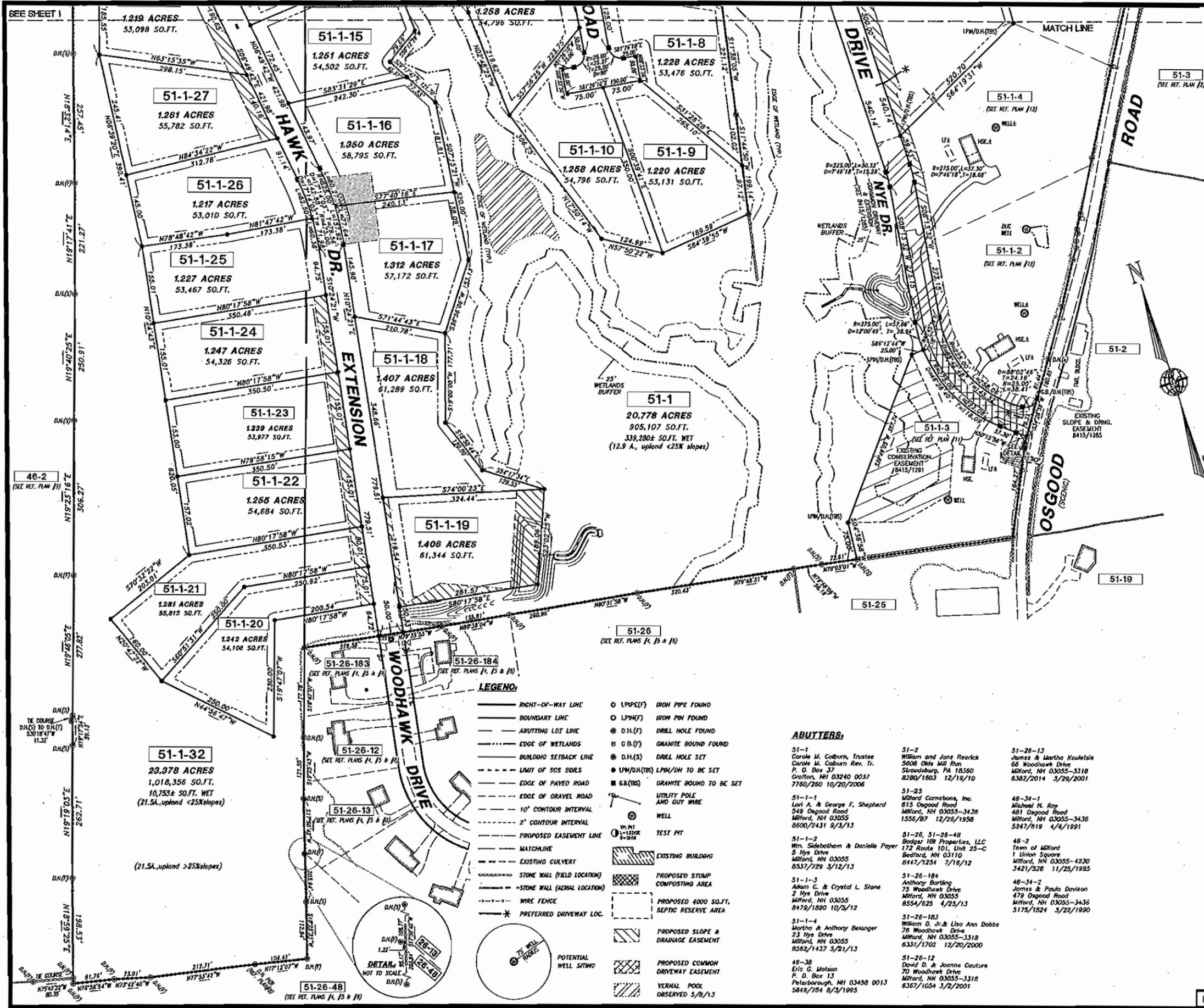
MILFORD, NH PLANNING BOARD
 SUB DIVISION #: _____
 DATE APPROVED: _____
 SIGNED: _____

TOWN OF MILFORD RECEIVED
 OCT 18 2013
 ZBA Office

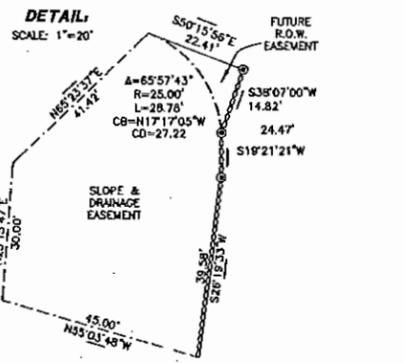
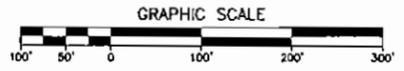
OPEN SPACE SUBDIVISION PLAN
 TAX MAP PARCEL 51-1
 LAND OF

CAROLE M. COLBURN REVOCABLE TRUST
 OSGOOD ROAD & WOODHAWK DRIVE
 MILFORD, NEW HAMPSHIRE
 SCALE: 1" = 100' OCTOBER 15, 2013

MERIDIAN
 Land Services, Inc.
 OFFICE: 31 OLD NASHUA ROAD, AMHERST, NEW HAMPSHIRE 03031
 MAILING ADDRESS: PO BOX 118, MILFORD, NEW HAMPSHIRE 03055-0118
 TEL 603-673-1441 FAX 603-673-1584 MERIDIAN@MERIDIANLANDSERVICES.COM
 ENGINEERS - LAND SURVEYORS - SCIENTISTS - LAND PLANNERS



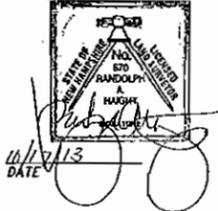
REV.	DATE	DESCRIPTION	CHG.	BY	CHK.
A	5/10/13	UPDATE SOILS & LEGEND	NHDES	RAH	TJF



CERTIFICATION:
 "I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LANS03.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."

DATE: 10-19-13

OWNER'S SIGNATURE:
 Carol M. Colburn, Trustee
 CAROLE M. COLBURN, TRUSTEE



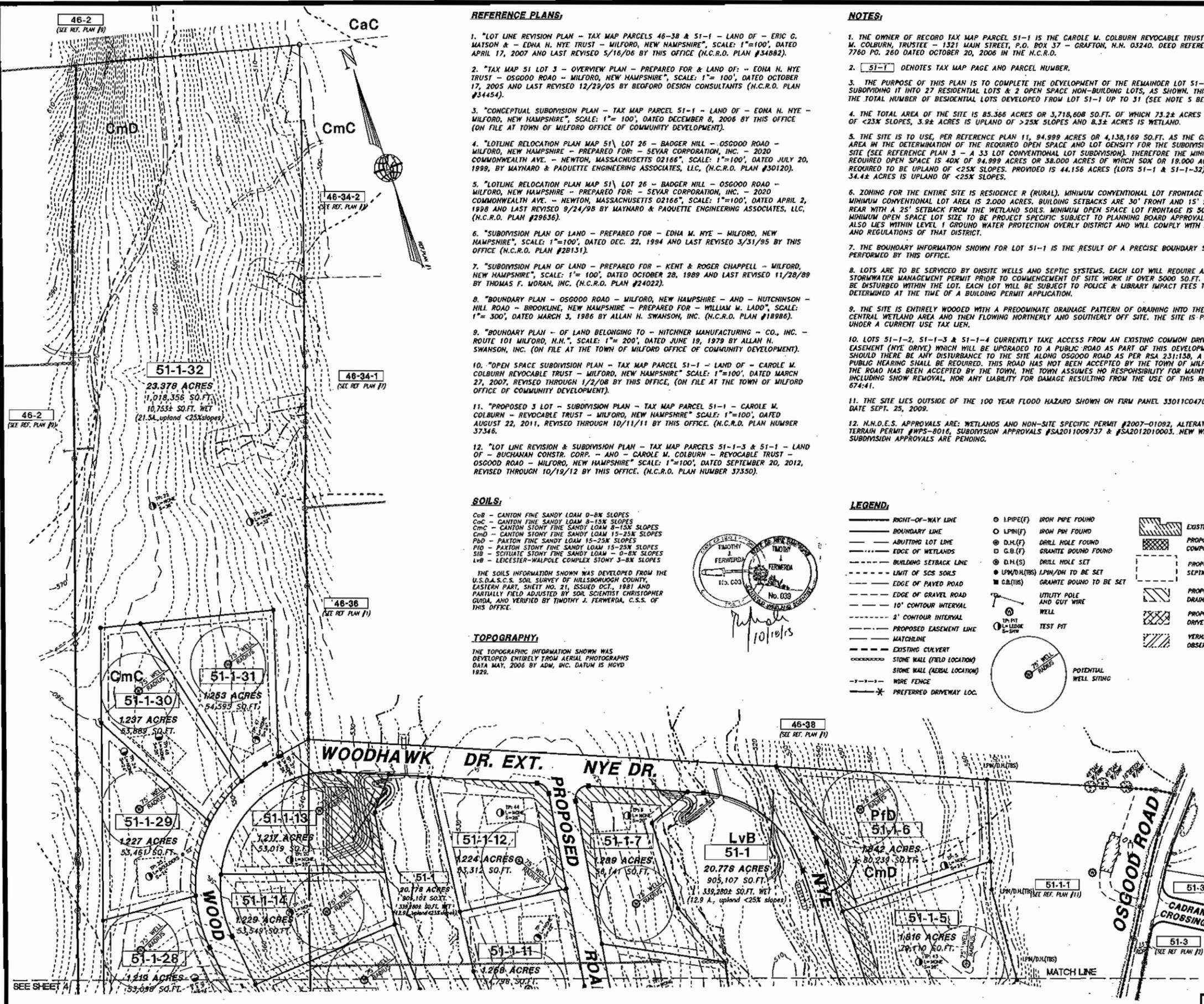
APPROVED
 MILFORD, NH PLANNING BOARD
 SUB DIVISION #: _____
 DATE APPROVED: _____
 SIGNED: _____

OPEN SPACE SUBDIVISION PLAN
 TAX MAP PARCEL 51-1
 LAND OF
CAROLE M. COLBURN REVOCABLE TRUST
 OSGOOD ROAD & WOODHAWK DRIVE
 MILFORD, NEW HAMPSHIRE
 SCALE: 1" = 100' OCTOBER 15, 2013

MERIDIAN
 Land Services, Inc.
 OFFICE: 31 OLD NASHUA ROAD, AMHERST, NEW HAMPSHIRE 03031
 MAILING ADDRESS: PO BOX 118, MILFORD, NEW HAMPSHIRE 03055-0118
 TEL 603-673-1441 FAX 603-673-1584 MERIDIAN@MERIDIANLANDSERVICES.COM
ENGINEERS - LAND SURVEYORS - SCIENTISTS - LAND PLANNERS
 FILE: 965D04.dwg PROJECT NO. 965.04 SHEET NO. 2 OF 12

- LEGEND:**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - - - ABUTTING LOT LINE
 - - - EDGE OF WETLANDS
 - - - BUILDING SETBACK LINE
 - - - LIMIT OF SOCS SOILS
 - - - EDGE OF GRAVEL ROAD
 - - - EDGE OF PAVED ROAD
 - - - 10' CONTOUR INTERVAL
 - - - 2' CONTOUR INTERVAL
 - - - PROPOSED EASEMENT LINE
 - - - MATCHLINE
 - - - EXISTING CURVE
 - - - STONE WALL (FIELD LOCATION)
 - - - STONE WALL (AERIAL LOCATION)
 - - - WIRE FENCE
 - - - PREFERRED DRIVEWAY LOC.
 - L.P.P.E.(F) IRON PIPE FOUND
 - L.P.M.(F) IRON PIN FOUND
 - D.H.(F) DRILL HOLE FOUND
 - G.B.(F) GRANITE BOUND FOUND
 - D.H.(S) DRILL HOLE SET
 - L.P.M./D.H.(TBS) L.P.M./D.H. TO BE SET
 - G.B.(TBS) GRANITE BOUND TO BE SET
 - U.P. IRON AND GUY WIRE
 - W.P. IRON TEST PIT
 - ▨ EXISTING BUILDING
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 - ▨ PROPOSED SLOPE & DRAINAGE EASEMENT
 - ▨ PROPOSED COMMON DRIVEWAY EASEMENT
 - ▨ VERNAL POOL OBSERVED 5/8/13
 - POTENTIAL WELL SITING

- ABUTTERS:**
- 51-1 Carol M. Colburn, Trustee
5608 Old Mill Run
Stroudsburg, PA 18360
Grafton, NH 03240 0037
7760/260 10/20/2006
 - 51-2 Wilson and Jane Reorick
481 Osgood Road
Milford, NH 03055-3436
1556/87 12/26/1958
 - 51-25 Milford Comatons, Inc.
615 Osgood Road
Milford, NH 03055-3436
1556/87 12/26/1958
 - 51-1-1 Lon A. & George F. Shepherd
549 Osgood Road
Milford, NH 03055
8600/2431 9/3/13
 - 51-1-2 Wm. Sadebosham & Danielle Payer
8 Nye Drive
Milford, NH 03055
8537/729 3/12/13
 - 51-1-3 Adam C. & Crystal L. Stone
2 Nye Drive
Milford, NH 03055
8479/1890 10/5/12
 - 51-1-4 Martha & Anthony Belanger
23 Nye Drive
Milford, NH 03055
8582/1437 5/21/13
 - 46-38 Eric G. Molson
P. O. Box 13
Peterborough, NH 03450 0013
5616/754 8/3/1995
 - 51-2 James & Pauline Kowaletski
66 Woodhawk Drive
Milford, NH 03055-3318
6382/2014 3/29/2001
 - 46-34-1 Michael H. Roy
481 Osgood Road
Milford, NH 03055-3436
5247/619 4/4/1991
 - 46-2 Town of Milford
1 Union Square
Milford, NH 03055-4230
3421/526 11/25/1985
 - 46-34-2 James & Pauline Davison
479 Osgood Road
Milford, NH 03055-3436
5175/1524 3/22/1990
 - 51-26-13 James & Lisa Ann Dobbs
76 Woodhawk Drive
Milford, NH 03055-3318
6331/1702 12/20/2000
 - 51-26-12 David D. & Joanne Couture
70 Woodhawk Drive
Milford, NH 03055-3318
6367/1554 8/3/2001



REFERENCE PLANS:

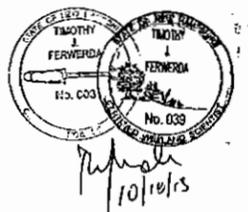
- "LOT LINE REVISION PLAN - TAX MAP PARCELS 46-38 & 51-1 - LAND OF - ERIC G. MATSON & - EDNA H. NYE TRUST - MILFORD, NEW HAMPSHIRE", SCALE: 1"=100', DATED APRIL 17, 2007 AND LAST REVISED 5/16/06 BY THIS OFFICE (N.C.R.D. PLAN #34882).
- "TAX MAP 51 LOT 3 - OVERVIEW PLAN - PREPARED FOR & LAND OF: - EDNA H. NYE TRUST - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE", SCALE: 1"= 100', DATED OCTOBER 17, 2005 AND LAST REVISED 12/29/05 BY BEOFORD DESIGN CONSULTANTS (N.C.R.D. PLAN #34454).
- "CONCEPTUAL SUBDIVISION PLAN - TAX MAP PARCEL 51-1 - LAND OF - EDNA H. NYE - MILFORD, NEW HAMPSHIRE", SCALE: 1"= 100', DATED DECEMBER 8, 2006 BY THIS OFFICE (ON FILE AT TOWN OF MILFORD OFFICE OF COMMUNITY DEVELOPMENT).
- "LOTLINE RELOCATION PLAN MAP 51/ LOT 26 - BADGER HILL - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE - PREPARED FOR - SEVAR CORPORATION, INC. - 2020 COMMONWEALTH AVE. - NEWTON, MASSACHUSETTS 02166", SCALE: 1"=100', DATED JULY 20, 1999, BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, (N.C.R.D. PLAN #30120).
- "LOTLINE RELOCATION PLAN MAP 51/ LOT 26 - BADGER HILL - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE - PREPARED FOR - SEVAR CORPORATION, INC. - 2020 COMMONWEALTH AVE. - NEWTON, MASSACHUSETTS 02166", SCALE: 1"=100', DATED APRIL 2, 1998 AND LAST REVISED 9/24/98 BY MAYNARD & PAQUETTE ENGINEERING ASSOCIATES, LLC, (N.C.R.D. PLAN #29636).
- "SUBDIVISION PLAN OF LAND - PREPARED FOR - EDNA M. NYE - MILFORD, NEW HAMPSHIRE", SCALE: 1"=100', DATED DEC. 22, 1994 AND LAST REVISED 3/31/95 BY THIS OFFICE (N.C.R.D. PLAN #28131).
- "SUBDIVISION PLAN OF LAND - PREPARED FOR - KENT & ROGER CHAPPELL - MILFORD, NEW HAMPSHIRE", SCALE: 1"= 100', DATED OCTOBER 28, 1989 AND LAST REVISED 11/28/89 BY THOMAS F. MORAN, INC. (N.C.R.D. PLAN #24022).
- "BOUNDARY PLAN - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE - AND - HUTCHINSON - HILL ROAD - BROOKLINE, NEW HAMPSHIRE - PREPARED FOR - WILLIAM M. LADD", SCALE: 1"= 300', DATED MARCH 3, 1986 BY ALLAN N. SWANSON, INC. (N.C.R.D. PLAN #18986).
- "BOUNDARY PLAN - OF LAND BELONGING TO - HITCHNER MANUFACTURING - CO., INC. - ROUTE 101 MILFORD, N.H.", SCALE: 1"= 200', DATED JUNE 19, 1979 BY ALLAN N. SWANSON, INC. (ON FILE AT THE TOWN OF MILFORD OFFICE OF COMMUNITY DEVELOPMENT).
- "OPEN SPACE SUBDIVISION PLAN - TAX MAP PARCEL 51-1 - LAND OF - CAROLE M. COLBURN REVOCABLE TRUST - MILFORD, NEW HAMPSHIRE" SCALE: 1"=100', DATED MARCH 27, 2007, REVISED THROUGH 1/2/08 BY THIS OFFICE, (ON FILE AT THE TOWN OF MILFORD OFFICE OF COMMUNITY DEVELOPMENT).
- "PROPOSED 3 LOT - SUBDIVISION PLAN - TAX MAP PARCEL 51-1 - CAROLE M. COLBURN - REVOCABLE TRUST - MILFORD, NEW HAMPSHIRE" SCALE: 1"=100', DATED AUGUST 22, 2011, REVISED THROUGH 10/11/11 BY THIS OFFICE. (N.C.R.D. PLAN NUMBER 37346).
- "LOT LINE REVISION & SUBDIVISION PLAN - TAX MAP PARCELS 51-1-3 & 51-1 - LAND OF - BUCHANAN CONSTR. CORP. - AND - CAROLE M. COLBURN - REVOCABLE TRUST - OSGOOD ROAD - MILFORD, NEW HAMPSHIRE" SCALE: 1"=100', DATED SEPTEMBER 20, 2012, REVISED THROUGH 10/19/12 BY THIS OFFICE. (N.C.R.D. PLAN NUMBER 37350).

SOILS:

- Cob - CANTON FINE SANDY LOAM 0-8% SLOPES
 - Coc - CANTON FINE SANDY LOAM 8-15% SLOPES
 - Cmc - CANTON STONY FINE SANDY LOAM 8-15% SLOPES
 - Cmd - CANTON STONY FINE SANDY LOAM 15-25% SLOPES
 - Psd - PAXTON FINE SANDY LOAM 15-25% SLOPES
 - Pfd - PAXTON STONY FINE SANDY LOAM 15-25% SLOPES
 - Sib - SCITUATE STONY FINE SANDY LOAM - 0-8% SLOPES
 - Lvb - LEICESTER-WALPOLE COMPLEX STONY 3-8% SLOPES
- THE SOILS INFORMATION SHOWN WAS DEVELOPED FROM THE U.S.D.A.S.C.S. SOIL SURVEY OF HILLSBOROUGH COUNTY, EASTERN PART, SHEET NO. 21, ISSUED OCT., 1981 AND PARTIALLY FIELD ADJUSTED BY SOIL SCIENTIST CHRISTOPHER GUIDA, AND VERIFIED BY TIMOTHY J. FERWERDA, C.S.S. OF THIS OFFICE.

TOPOGRAPHY:

THE TOPOGRAPHIC INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM AERIAL PHOTOGRAPHS DATA MAY, 2006 BY ADW, INC. DATUM IS NAD83.

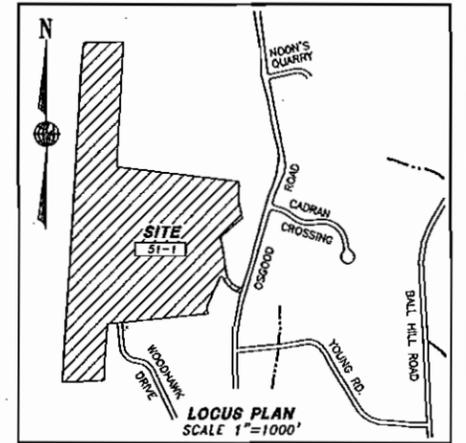


NOTES:

- THE OWNER OF RECORD TAX MAP PARCEL 51-1 IS THE CAROLE M. COLBURN REVOCABLE TRUST c/o CAROLE M. COLBURN, TRUSTEE - 1321 LAWN STREET, P.O. BOX 37 - GRAFTON, N.H. 03240. DEED REFERENCE IS VOL. 7760 PG. 260 DATED OCTOBER 20, 2006 IN THE N.C.R.D.
- 51-1 DENOTES TAX MAP PAGE AND PARCEL NUMBER.
- THE PURPOSE OF THIS PLAN IS TO COMPLETE THE DEVELOPMENT OF THE REMAINDER LOT 51-1 BY SUBDIVIDING IT INTO 27 RESIDENTIAL LOTS & 2 OPEN SPACE NON-BUILDING LOTS, AS SHOWN, THIS WILL BRING THE TOTAL NUMBER OF RESIDENTIAL LOTS DEVELOPED FROM LOT 51-1 UP TO 31 (SEE NOTE 5 BELOW).
- THE TOTAL AREA OF THE SITE IS 85.366 ACRES OR 3,718,608 SQ.FT. OF WHICH 73.24 ACRES IS UPLAND OF <25% SLOPES, 3.92 ACRES IS UPLAND OF >25% SLOPES AND 8.32 ACRES IS WETLAND.
- THE SITE IS TO USE, PER REFERENCE PLAN 11, 94,999 ACRES OR 4,138,169 SQ.FT. AS THE GROSS TRACT AREA IN THE DETERMINATION OF THE REQUIRED OPEN SPACE AND LOT DENSITY FOR THE SUBDIVISION OF THIS SITE (SEE REFERENCE PLAN 3 - A 33 LOT CONVENTIONAL LOT SUBDIVISION). THEREFORE THE MINIMUM REQUIRED OPEN SPACE IS 40% OF 94,999 ACRES OR 38,000 ACRES OF WHICH 50% OR 19,000 ACRES IS REQUIRED TO BE UPLAND OF <25% SLOPES. PROVIDED IS 44,156 ACRES (LOTS 51-1 & 51-1-32) OF WHICH 34.44 ACRES IS UPLAND OF <25% SLOPES.
- ZONING FOR THE ENTIRE SITE IS RESIDENCE R (RURAL). MINIMUM CONVENTIONAL LOT FRONTAGE IS 200 FEET, MINIMUM CONVENTIONAL LOT AREA IS 2,000 ACRES. BUILDING SETBACKS ARE 30' FRONT AND 15' SIDE AND REAR WITH A 25' SETBACK FROM THE WETLAND SOILS. MINIMUM OPEN SPACE LOT FRONTAGE IS 50 FEET WITH MINIMUM OPEN SPACE LOT SIZE TO BE PROJECT SPECIFIC SUBJECT TO PLANNING BOARD APPROVAL. THE SITE ALSO LIES WITHIN LEVEL 1 GROUND WATER PROTECTION OVERLY DISTRICT AND WILL COMPLY WITH ALL RULES AND REGULATIONS OF THAT DISTRICT.
- THE BOUNDARY INFORMATION SHOWN FOR LOT 51-1 IS THE RESULT OF A PRECISE BOUNDARY SURVEY PERFORMED BY THIS OFFICE.
- LOTS ARE TO BE SERVICED BY ONSITE WELLS AND SEPTIC SYSTEMS. EACH LOT WILL REQUIRE APPROVAL OF A STORMWATER MANAGEMENT PERMIT PRIOR TO COMMENCEMENT OF SITE WORK IF OVER 5000 SQ.FT. OF AREA WILL BE DISTURBED WITHIN THE LOT. EACH LOT WILL BE SUBJECT TO POLICE & LIBRARY IMPACT FEES TO BE DETERMINED AT THE TIME OF A BUILDING PERMIT APPLICATION.
- THE SITE IS ENTIRELY WOODED WITH A PREDOMINATE DRAINAGE PATTERN OF DRAINING INTO THE SITE'S CENTRAL WETLAND AREA AND THEN FLOWING NORTHERLY AND SOUTHERLY OFF SITE. THE SITE IS PRESENTLY UNDER A CURRENT USE TAX LIEN.
- LOTS 51-1-2, 51-1-3 & 51-1-4 CURRENTLY TAKE ACCESS FROM AN EXISTING COMMON DRIVEWAY EASEMENT (NYE DRIVE) WHICH WILL BE UPGRADED TO A PUBLIC ROAD AS PART OF THIS DEVELOPMENT. SHOULD THERE BE ANY DISTURBANCE TO THE SITE ALONG OSGOOD ROAD AS PER RSA 231:138, A SCENIC ROAD PUBLIC HEARING SHALL BE REQUIRED. THIS ROAD HAS NOT BEEN ACCEPTED BY THE TOWN OF MILFORD. UNTIL THE ROAD HAS BEEN ACCEPTED BY THE TOWN, THE TOWN ASSUMES NO RESPONSIBILITY FOR MAINTENANCE, INCLUDING SNOW REMOVAL, NOR ANY LIABILITY FOR DAMAGE RESULTING FROM THE USE OF THIS ROAD. RSA 674:41.
- THE SITE LIES OUTSIDE OF THE 100 YEAR FLOOD HAZARD SHOWN ON FIRM PANEL 33011C04700, EFFECTIVE DATE SEPT. 25, 2009.
- N.H.D.E.S. APPROVALS ARE: WETLANDS AND NON-SITE SPECIFIC PERMIT #2007-01092, ALTERATION OF TERRAIN PERMIT #WPS-8016, SUBDIVISION APPROVALS #SA2011009737 & #SA2012010003. NEW WETLANDS AND SUBDIVISION APPROVALS ARE PENDING.

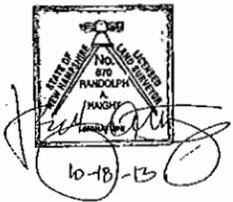
LEGEND:

- RIGHT-OF-WAY LINE
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- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- PROPOSED EASEMENT LINE
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- STONE WALL (FIELD LOCATION)
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- WIRE FENCE
- PREFERRED DRIVEWAY LOC.
- LIPE(F)
- LPH(F)
- D.H.(F)
- D.H.(S)
- LPH/DH(TBS)
- CB(TBS)
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- PROPOSED SLOPE & DRAINAGE EASEMENT
- PROPOSED COMMON DRIVEWAY EASEMENT
- WETLAND POOL OBSERVED 5/8/13



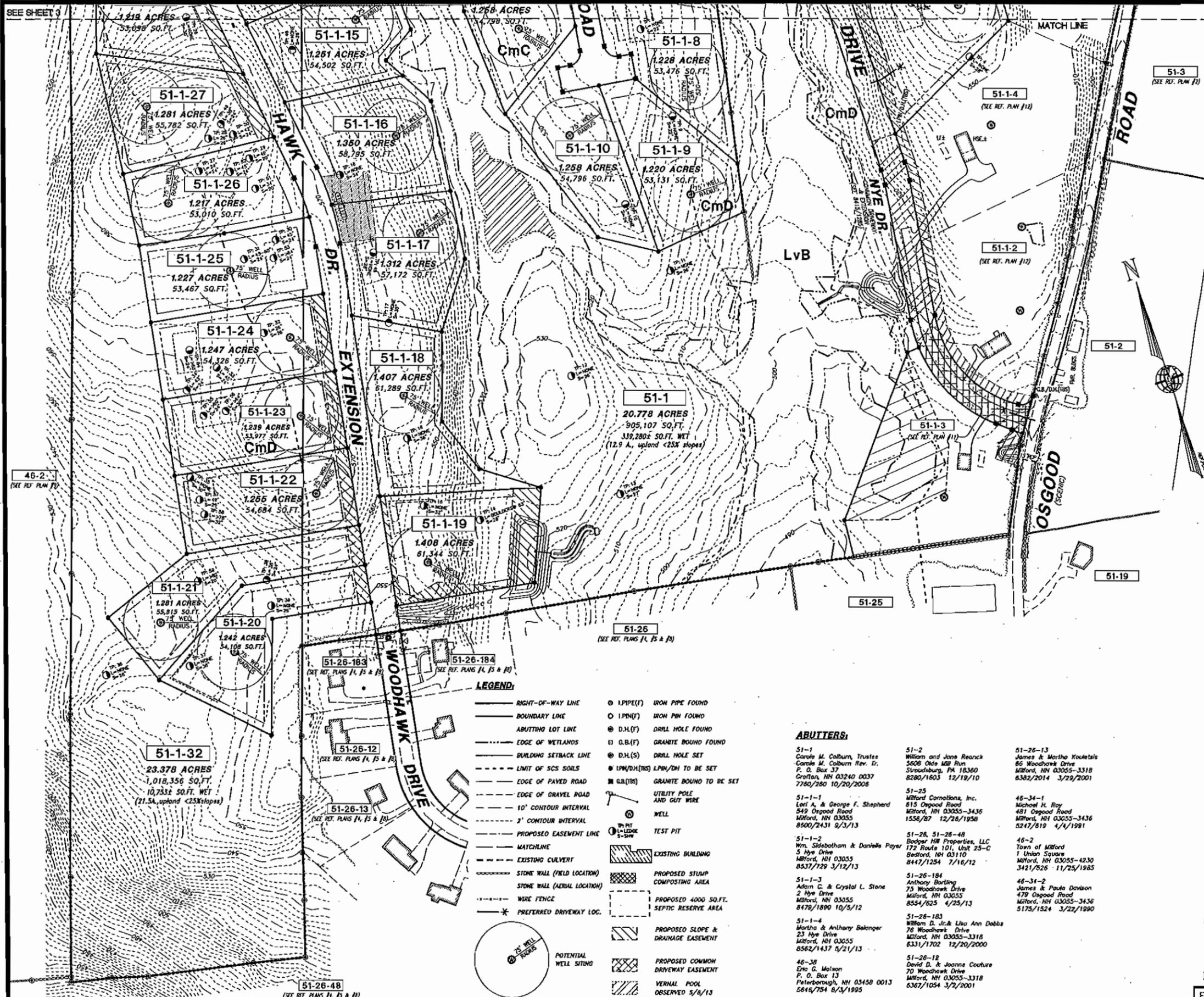
REV.	DATE	DESCRIPTION	C/O	DR	CK

GRAPHIC SCALE
100' 50' 0 100' 200' 300'

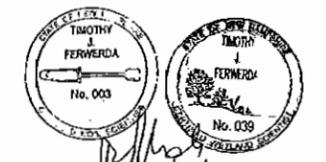
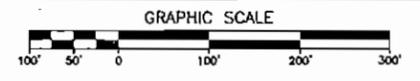


SOILS & TOPOGRAPHIC DATA
OPEN SPACE SUBDIVISION PLAN
TAX MAP PARCEL 51-1
LAND OF
**CAROLE M. COLBURN
REVOCABLE TRUST**
OSGOOD ROAD & WOODHAWK DRIVE
MILFORD, NEW HAMPSHIRE
SCALE: 1" = 100' OCTOBER 15, 2013

MERIDIAN
Land Services, Inc.
OFFICE: 31 OLD NASHUA ROAD, AMHERST, NEW HAMPSHIRE 03031
MAILING ADDRESS: PO BOX 118, MILFORD, NEW HAMPSHIRE 03055-0118
TEL 603-673-1441 FAX 603-673-1584 MERIDIAN@MERIDIANLANDSERVICES.COM
ENGINEERS - LAND SURVEYORS - SCIENTISTS - LAND PLANNERS
FILE: 965D04A.dwg PROJECT NO. 965.04 SHEET NO. 3 OF 12



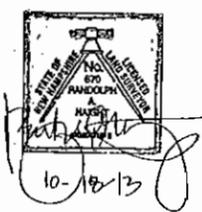
REV.	DATE	DESCRIPTION	C/O	DR	CK



SOILS:
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 CaC - CANTON FINE SANDY LOAM 8-15% SLOPES
 Cmc - CANTON STONY FINE SANDY LOAM 8-15% SLOPES
 CmD - CANTON STONY FINE SANDY LOAM 15-25% SLOPES
 PdD - PAXTON FINE SANDY LOAM 15-25% SLOPES
 PdB - PAXTON STONY FINE SANDY LOAM 15-25% SLOPES
 S/B - SCITUATE STONY FINE SANDY LOAM - 0-8% SLOPES
 LvB - LEICESTER-WALPOLE COMPLEX STONY 3-8% SLOPES

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TOPOGRAPHY:
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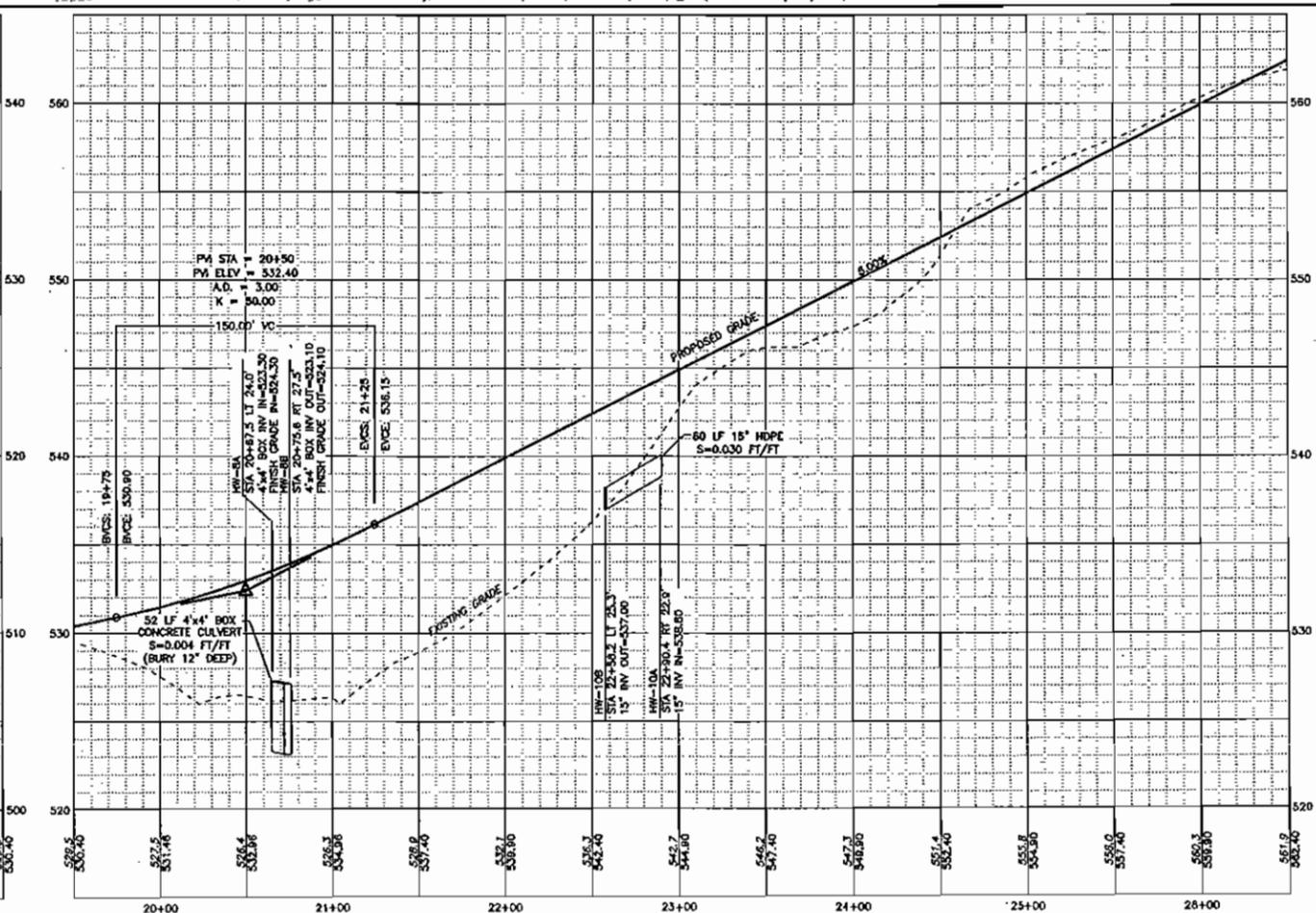
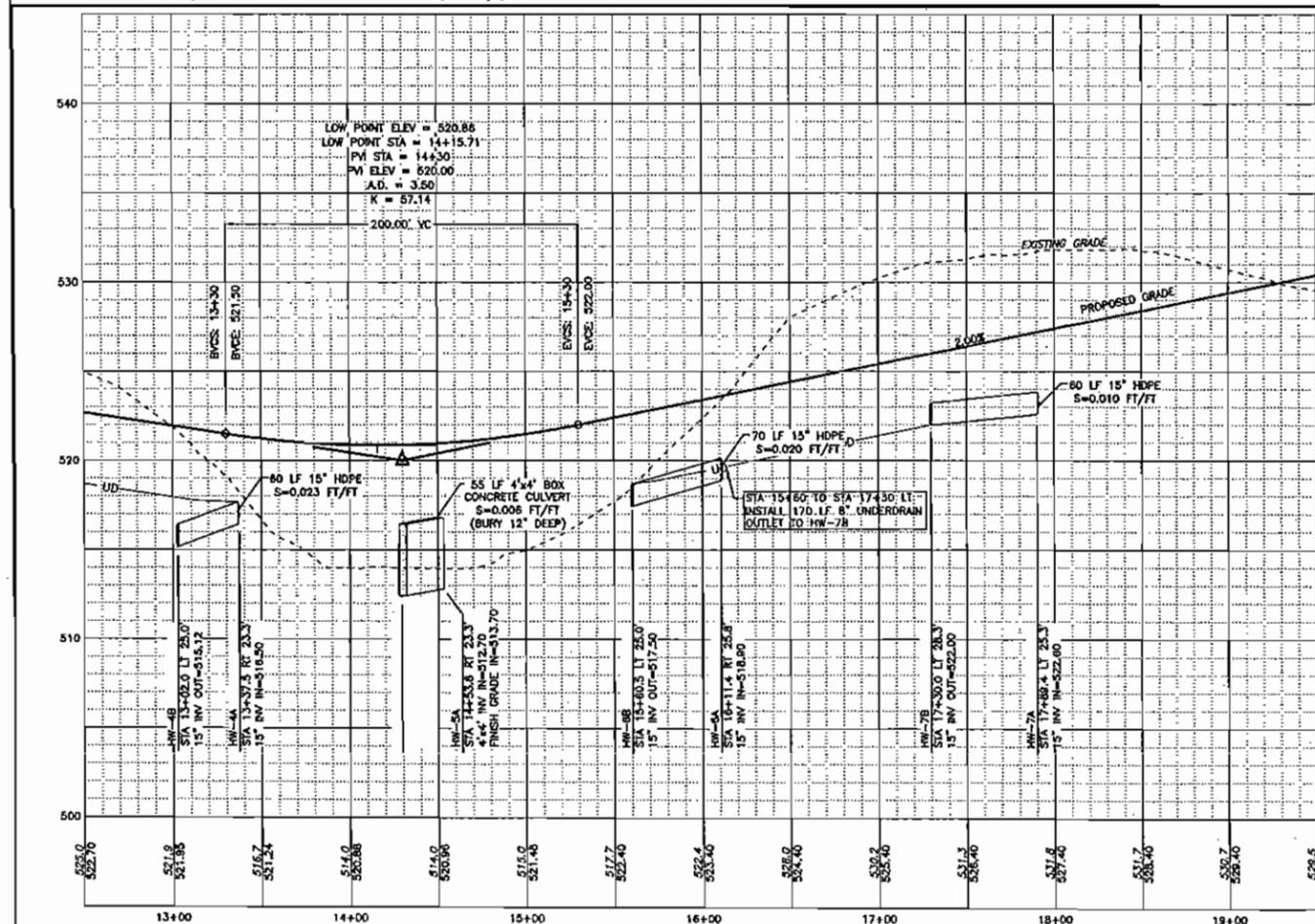
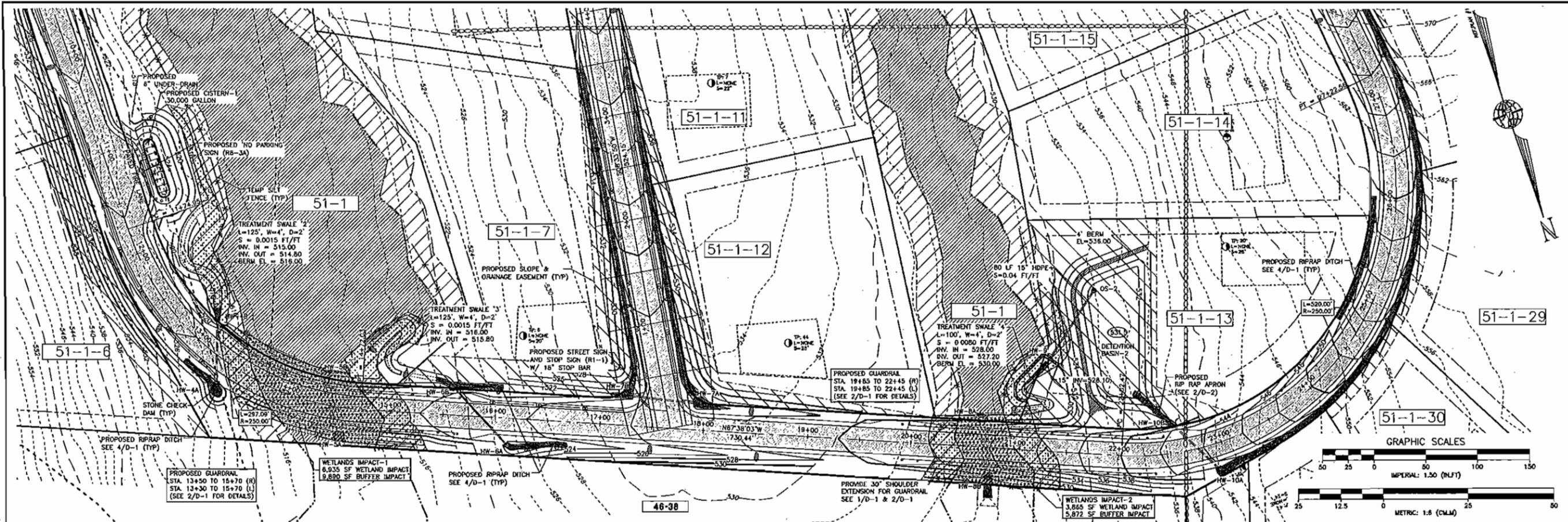
ABUTTERS:

- 51-1
Carole M. Colburn, Trustee
Carole M. Colburn Rev. Tr.
P. O. Box 37
Groffon, NH 03240 0037
7780/280 10/20/2008
- 51-2
William and Jane Reanch
5508 Old Mill Run
Stroudsburg, PA 18380
8280/1803 12/19/10
- 51-26-13
James & Martha Kouletis
85 Woodhawk Drive
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- 51-25
Milford Correlations, Inc.
615 Osgood Road
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Michael H. Roy
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Lori A. & George F. Shepherd
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- 51-26-48
Bodger HR Properties, LLC
172 Route 101, Unit 25-C
Bedford, NH 03110
8447/1294 7/16/12
- 46-2
Town of Milford
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Milford, NH 03055-4230
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David D. & Joanne Couture
70 Woodhawk Drive
Milford, NH 03055-3318
6367/1054 3/2/2001
- 46-38
Eric G. Melson
P. O. Box 13
Peterborough, NH 03458 0013
5846/754 8/3/1995

- LEGEND:**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - - - EDGE OF WETLANDS
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 - - - LIMIT OF SCS SOILS
 - - - EDGE OF PAVED ROAD
 - - - EDGE OF GRAVEL ROAD
 - - - 10' CONTOUR INTERVAL
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 - MATCHLINE
 - - - EXISTING CURVE
 - - - STONE WALL (FIELD LOCATION)
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 - - - WIRE FENCE
 - * PREFERRED DRIVEWAY LOC.
 - IPIPE(F) IRON PIPE FOUND
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 - D.H.(F) DRILL HOLE FOUND
 - G.B.(F) GRANITE BOUND FOUND
 - D.H.(S) DRILL HOLE SET
 - LPM/DH(S) LPM/DH TO BE SET
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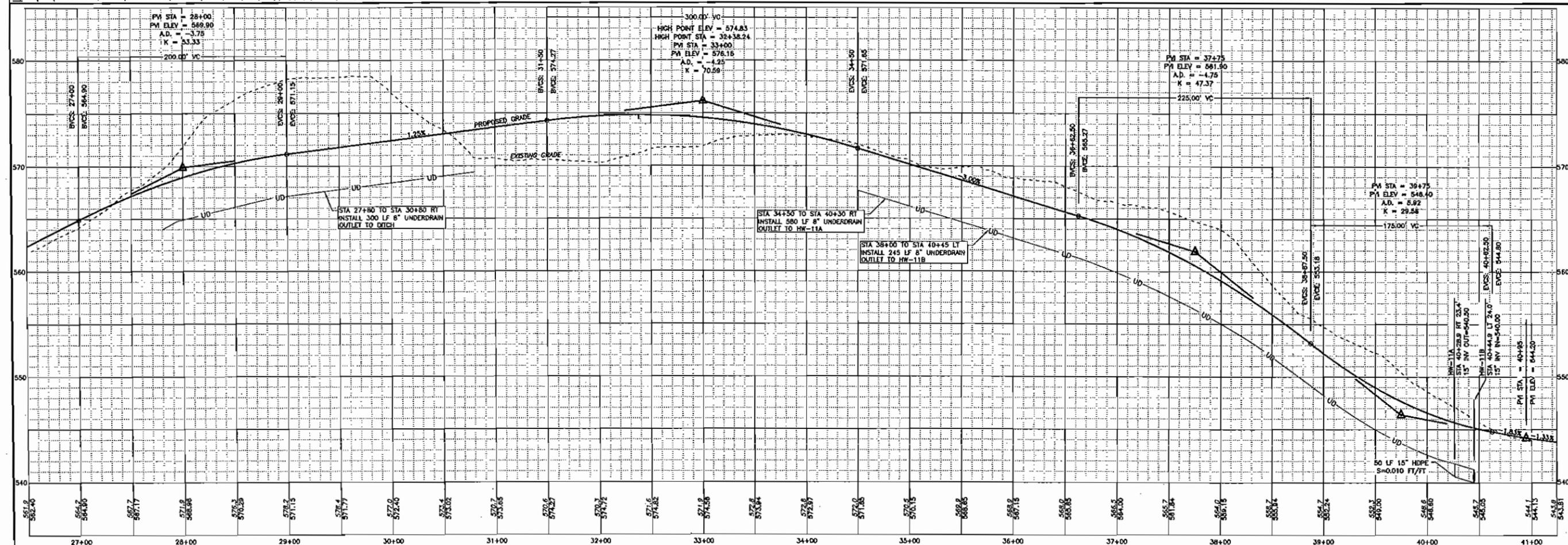
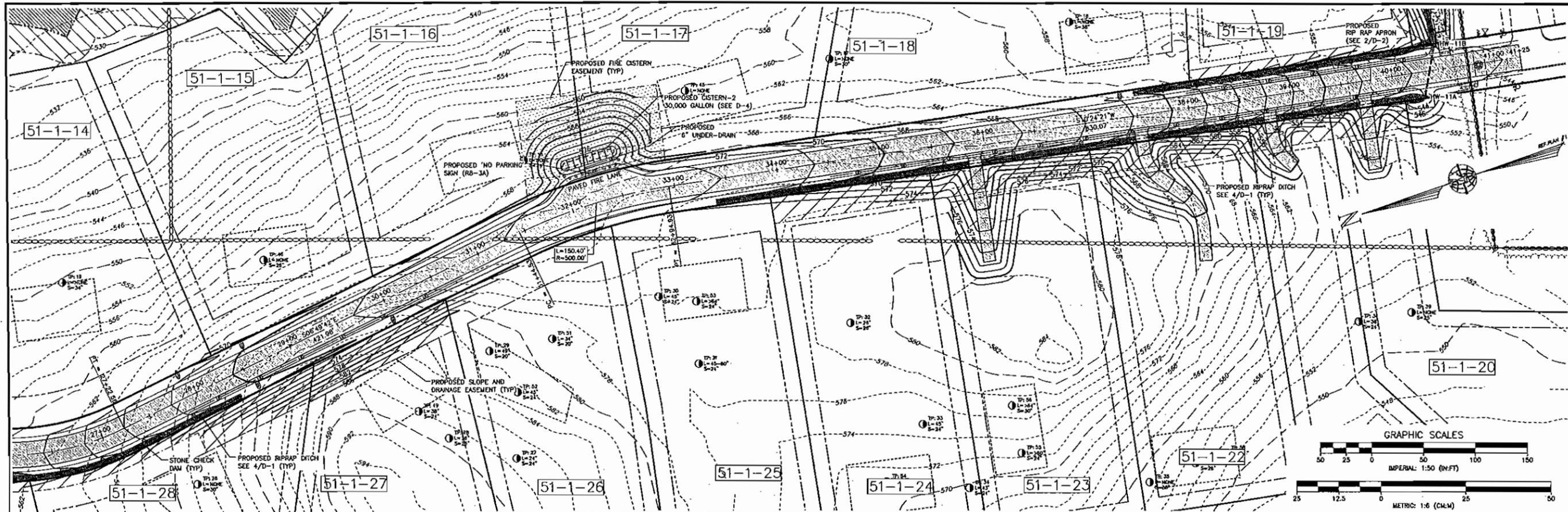
SEE SHEET P-4 FOR LEGEND

MERIDIAN
 Land Services, Inc.
 31 OLD NASHUA ROAD, ALBANY, NH 03031
 MAILING ADDRESS: PO BOX 115, MILFORD, NH 03055-0115
 TEL: 603-673-1411 FAX: 603-673-1584
 meridian@meridianland.com
 ENGINEERS - LAND SURVEYORS - SCIENTISTS - LAND PLANNERS

STATE OF NEW HAMPSHIRE
 JOHN A. HARRINGTON
 No. 7985
 LICENSED PROFESSIONAL ENGINEER
 J. O. [Signature]
 10/14/13

REV.	DATE	DESCRIPTION
B	10/15/13	UPDATE LOTS, EASIS & IMPRVS
A	1/02/08	SITE SPECIFIC REVISIONS

TAX MAP LOT 51-1
 MILFORD, NEW HAMPSHIRE STA 12+50 TO STA. 26+50
CAROLE M. COLBURN REVOCABLE TRUST
 SCALE: 1" = 50' HORIZ. / 1" = 5' VERT. DATE: MAY 23, 2007



SEE SHEET P-4 FOR LEGEND

MERIDIAN
Land Services, Inc.
31 OLD NASHUA ROAD, AMHERST, NH 03031
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JOHN A. HEAVENS
No. 7995
LICENSED PROFESSIONAL ENGINEER
10/18/13

REV.	DATE	DESCRIPTION	DR	CK
A	1/20/08	SITE SPECIFIC REVISIONS		
B	10/15/13	UPDATE LOTS, EASMENTS & IMPRVS		

PLAN AND PROFILE
TAX MAP LOT 51-1
MILFORD, NEW HAMPSHIRE STA. 26+50 TO STA. 40+75

CAROLE M. COLBURN REVOCABLE TRUST

SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.

DATE: MAY 23, 2007

P-3
SHEET

FILE: 965P01B.DWG
PROJECT: 965.01
SHEET NO.: 7 of 12

Oct 15, 2013 - 11:08am - User: Jane Wray - User
 C:\Users\jwray\AppData\Local\Temp\AcPublish_3212\

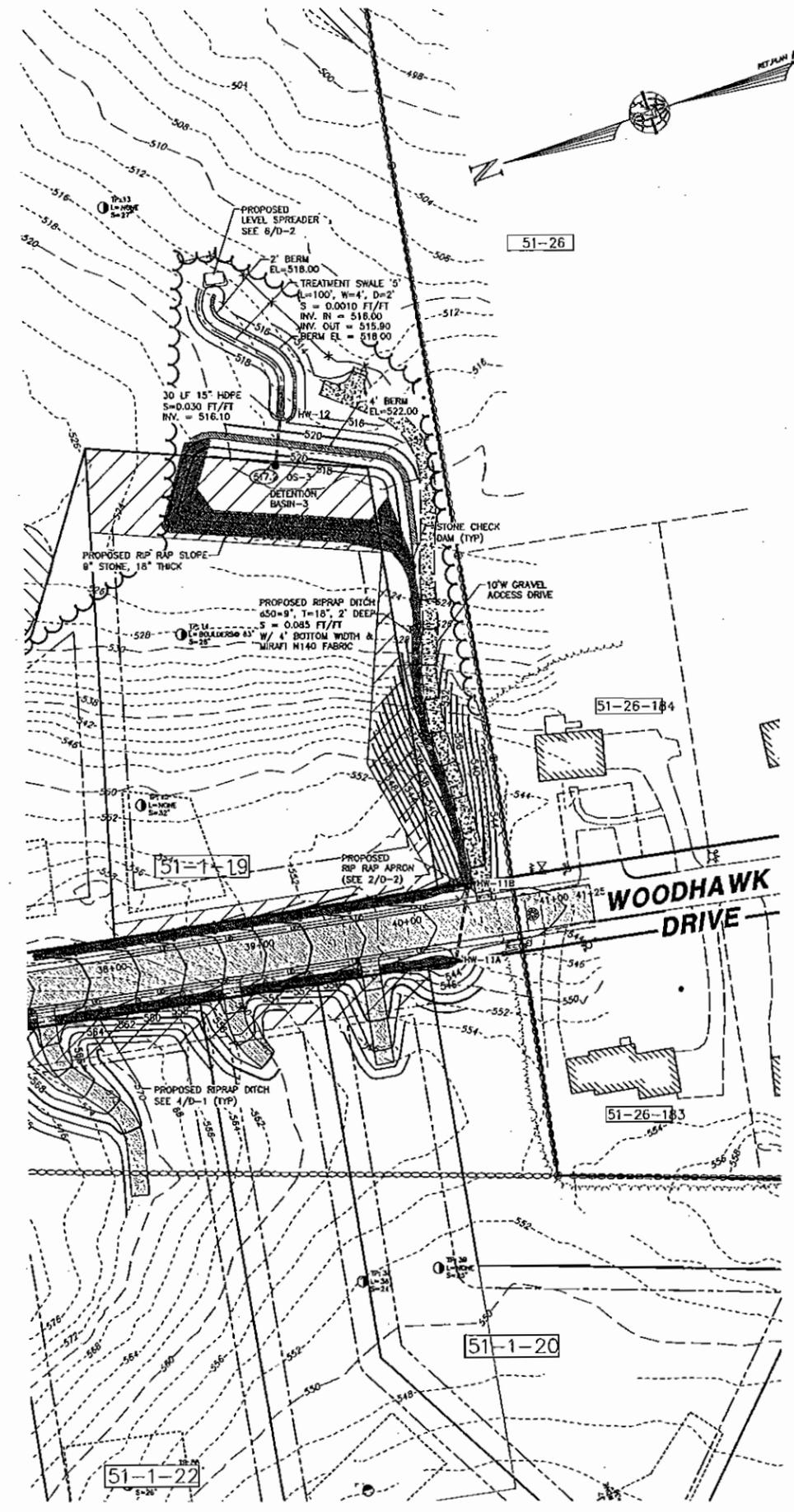
LEGEND

EXISTING FEATURES

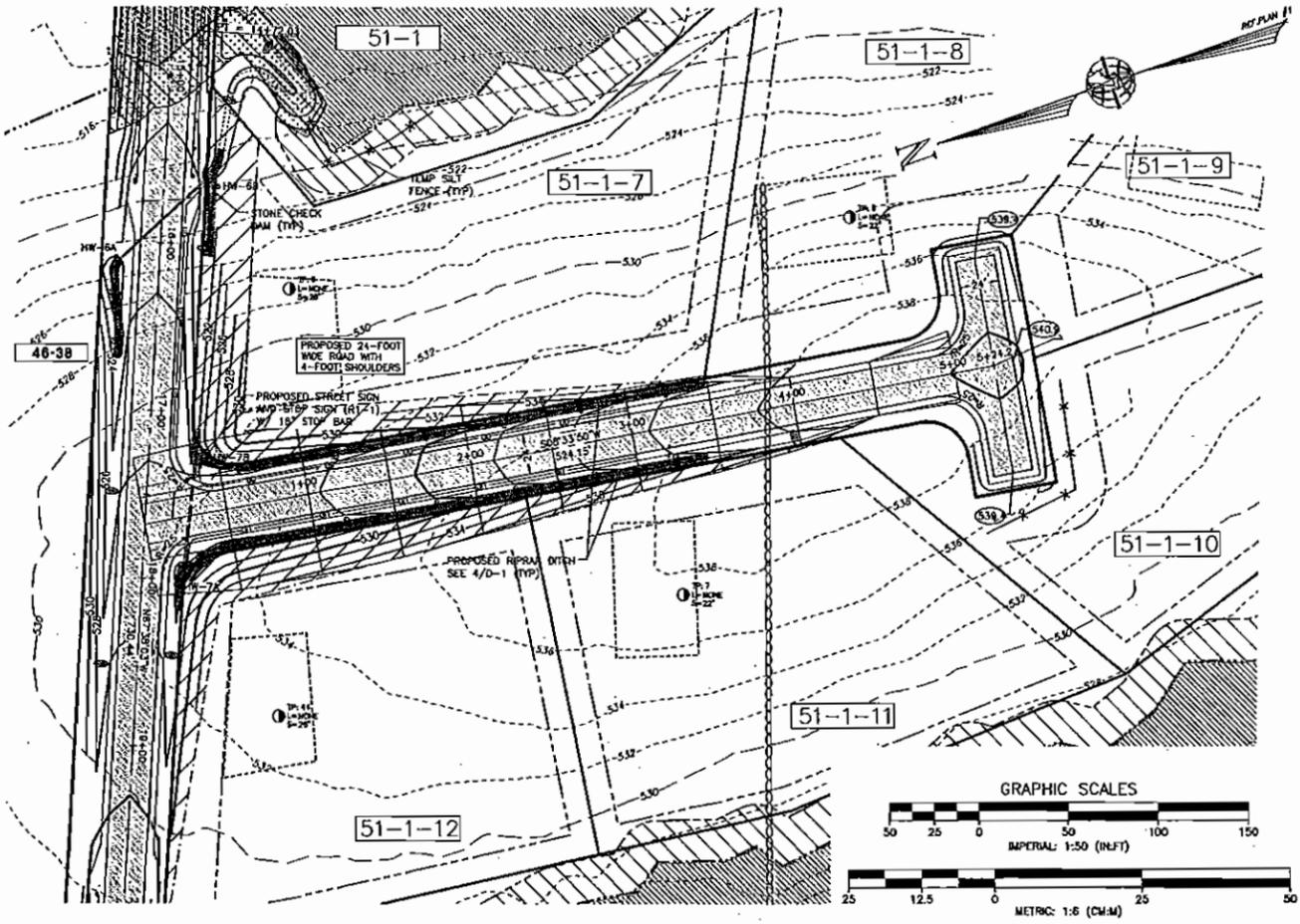
- RIGHT OF WAY
- EASEMENT
- ABUTTER LOT LINE
- STONE WALL
- - - 2 FT. CONTOUR
- - - 10 FT. CONTOUR
- EDGE OF PAVEMENT
- ▨ DELINEATED WETLANDS
- ▨ WETLANDS BUFFER
- ~ EDGE OF FOLIAGE
- FENCE
- - - STORM WATER DRAINAGE
- O/H — OVERHEAD UTILITIES
- ⊙ UTILITY POLE
- ⊙ WELL
- ⊙ LEDGE OUTCROP
- ▨ BUILDING
- LOT TAX MAP & LOT#

PROPOSED FEATURES

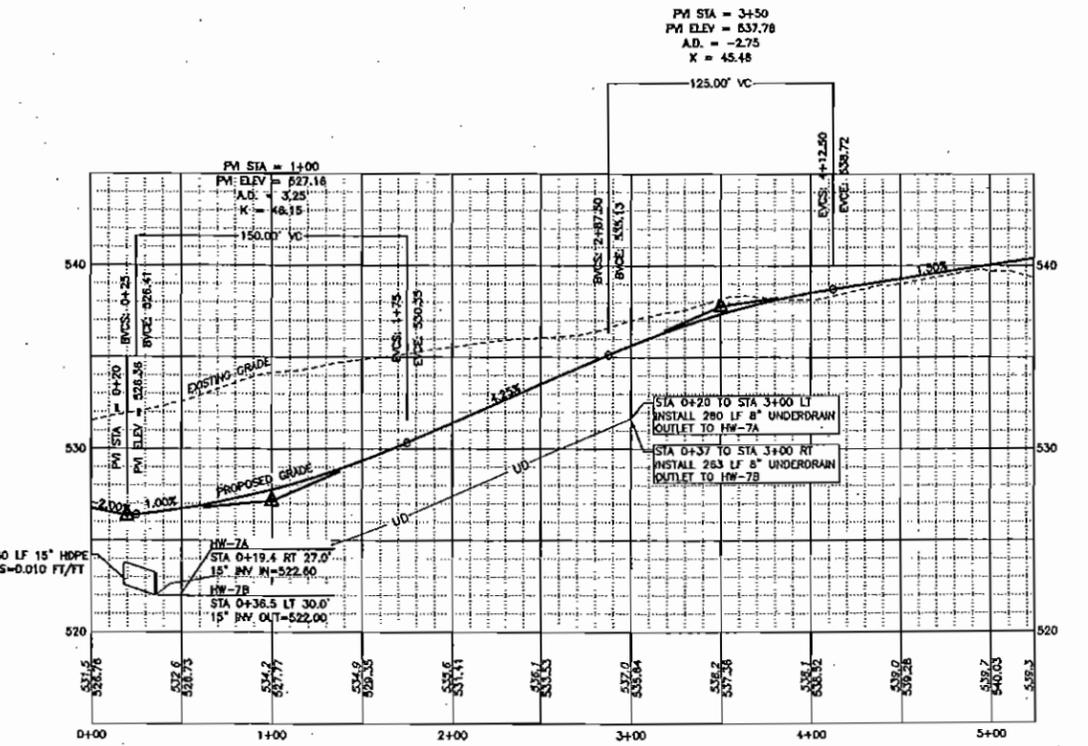
- LOT LINE
- BUILDING SETBACK LINE
- EASEMENT
- - - 2 FT. CONTOUR
- - - 10 FT. CONTOUR
- ⊙ SPOT ELEVATION
- EDGE OF PAVEMENT
- GUARDRAIL
- ▨ PAVEMENT
- UD — 8" UNDERDRAIN
- - - STORM WATER DRAIN
- OS-1 ⊙ OUTLET STRUCTURE
- HW-1 ⊥ CULVERT HEADWALL
- PROPOSED SIGN
- ▨ EARTH BERM
- ▨ RIP RAP APRON (SEE SHEET D-3)
- ⊙ STONE CHECK DAM
- X — X — TEMPORARY SILT FENCE
- SWALE
- ▨ WETLANDS IMPACT AREA
- ▨ WETLANDS BUFFER IMPACT AREA
- 51-1-3 PROPOSED LOT



DETENTION BASIN-3: SCALE 1"=50'



DRIVEWAY LOCATIONS FOR LOTS 51-1-8 THROUGH 51-1-12 MUST BE APPROVED BY MDPW TO ENSURE THEY DO NOT INTERFERE WITH WATER MAINTENANCE OF THE HAMMERHEAD.



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JOHN A. HEAVYSIDES
No. 7998
LICENSED PROFESSIONAL ENGINEER
10/19/13

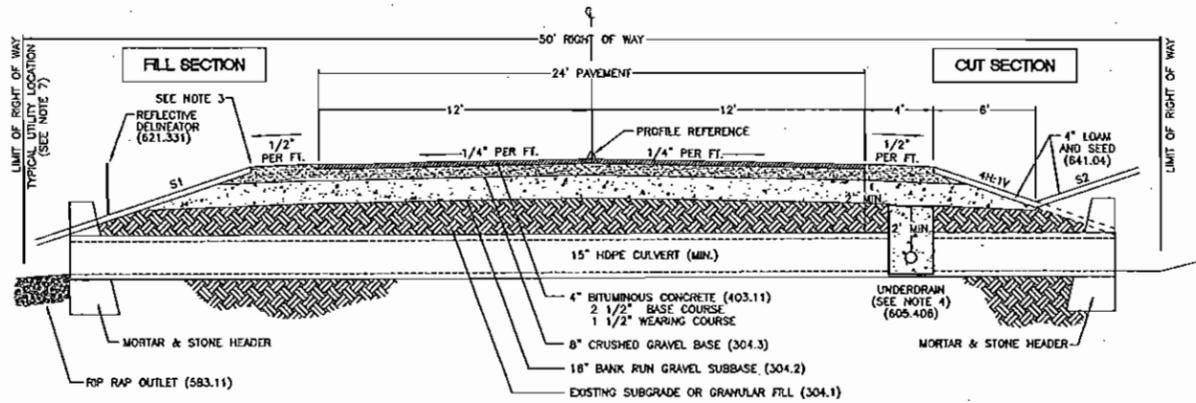
REV	DATE	DESCRIPTION	DR	CK
A	1/02/08	UPDATE LOTS, EASMENTS & IMPROVEMENTS	WRD	WRD
B	10/15/13	UPDATE LOTS, EASMENTS & IMPROVEMENTS	WRD	WRD

PLAN AND PROFILE
TAX MAP LOT 51-1
MILFORD, NEW HAMPSHIRE
STA. 0+00 TO STA. 5+24

DATE: MAY 23, 2007
SCALE: 1" = 50' HORIZ. / 1" = 5' VERT.

CAROLE M. COLBURN REVOCABLE TRUST

PROJECT: 985.01
SHEET NO.: 8 of 12



ROAD DESIGN REQUIREMENTS

ROAD GRADE (MIN.)	1%
ROAD GRADE (MAX.)	8%
GRADE WITHIN 75' OF INTERSECTION	3%
ANGLE AT INTERSECTION	90°
CENTERLINE RADIUS - CURVES (MIN.)	200'
TANGENT LENGTHS (MIN.)	100'
EDGE OF PAVEMENT RADIUS (MIN.)	20'
DESIGN SPEED (LOCAL ROAD)	35 MPH
"K" VALUE (MIN.)	40 CREST/45 SAG
BINDER COURSE	2 1/2" (MIN.)
WEARING COURSE	1 1/2" (MIN.)

DISTANCE TO ORIGINAL GROUND	S1 (FILL)	S2 (CUT)
LESS THAN 10'	4:1	3:1
10' TO 20'	3:1	2:1
GREATER THAN 20'	2:1	1:2

- NOTES:
- THE ROAD DESIGNS ARE IN ACCORD WITH THE FOLLOWING DESIGN STANDARDS:
 NHDOT - "HIGHWAY DESIGN MANUAL" MAY 1981
 MSHTO - "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS", 1990
 - DESIGN SPEED MAY BE MODIFIED UPON APPROVAL OF THE MILFORD CHIEF OF POLICE AND IN ACCORDANCE WITH STATE LAW.

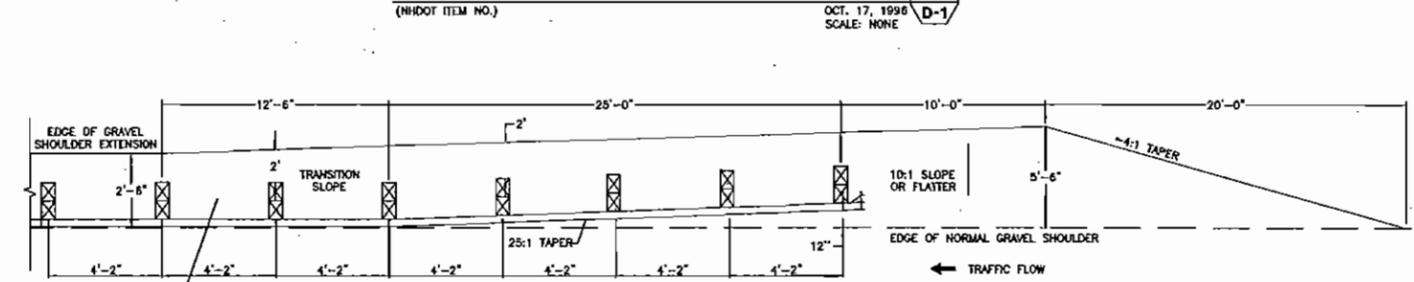
GENERAL ROAD CONSTRUCTION NOTES

- REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER ROAD FOUNDATION MATERIAL WITHIN 3' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO THE DIRECTOR OF PUBLIC WORKS. COMPACTION TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
- ALL MATERIALS AND CONSTRUCTION SHALL MEET AND BE COMPLETED IN STRICT ACCORDANCE WITH THE TOWN OF MILFORD'S CURRENT ROAD AND DRAINAGE SPECIFICATIONS, DATED DECEMBER 1995.
- A 2.5' SHOULDER EXTENSION IS REQUIRED WHEREVER GUARDRAILS ARE TO BE LOCATED (SEE BELOW) TO PROVIDE FOR GUARDRAIL CONSTRUCTION AND SUPPORT.
- UNDERDRAIN SHALL BE REQUIRED IN CUT SECTIONS GREATER THAN 3'. THE PIPE SHALL DISCHARGE THROUGH A MORTARED RUBBLE AND MASONRY ENDWALL.
- AN EASEMENT SHALL BE PROVIDED BEYOND THE LIMITS OF THE RIGHT OF WAY TO THE BOUNDARY OF THE EXISTING WETLAND TO PROVIDE FOR MAINTENANCE OF THE DRAINAGE STRUCTURES.
- WHERE ROAD GRADE IS 3% OR GREATER, ROAD SWALE SHALL BE LINED WITH RIPRAP (2 LAYERS, 6" TO 8" STONE, 6" WIDE WITH 6" GRAVEL BASE OR EROSION CONTROL FABRIC). WHERE ROAD GRADE IS LESS THAN 3%, EROSION CONTROL FABRIC SHALL BE INSTALLED EXTENDING 3' EACH SIDE FROM SWALE CENTERLINE.
- ALL UTILITY POLES AND TRANSFORMER SLABS SHALL BE LOCATED AT THE RIGHT OF WAY LINE.

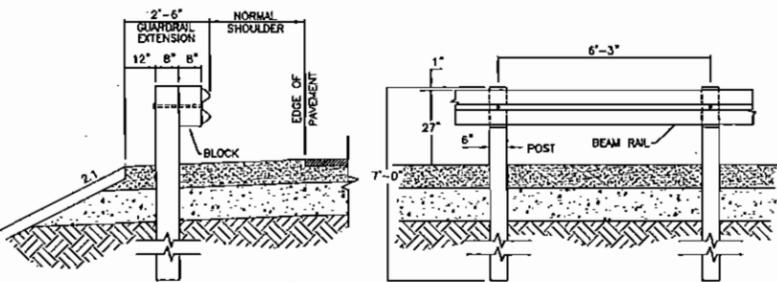
GUARDRAIL LOCATIONS

IF THE FILL SLOPE IS STEEPER THAN 4:1 WITH MORE THAN 10' OF FILL, A GUARDRAIL SHALL BE PROVIDED.

TYPICAL RURAL ROAD CROSS-SECTION



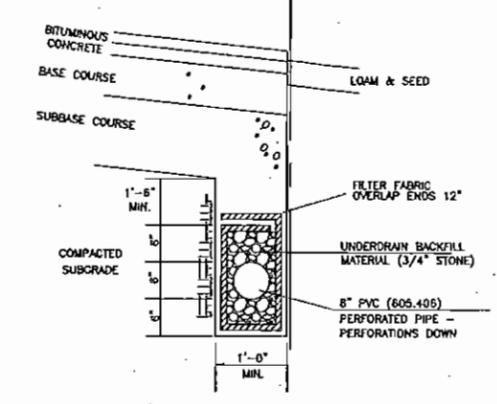
TERMINAL UNIT TYPE EAQRT
(606.1455)



STANDARD NH DOT BEAM GUARDRAIL
(606.140)

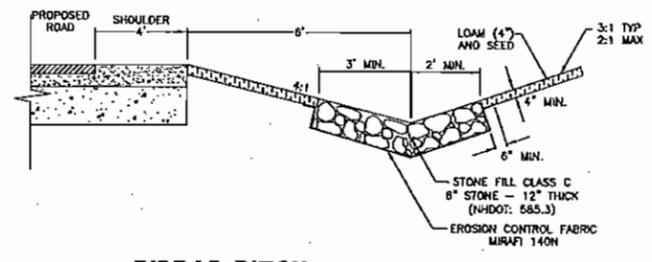
STANDARD NH DOT BEAM GUARDRAIL and TERMINAL UNIT TYPE EAQRT
(NH DOT ITEM NO.)

- GUARDRAIL NOTES**
- ALL MATERIALS AND CONSTRUCTION REQUIREMENTS SHALL CONFORM TO "NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS SET FORTH IN SECTION 606, 2006 EDITION.
 - ALL GUARDRAIL SHALL BE STEEL BEAM GUARD RAIL WITH 6"x8" WOOD POST AND OFFSET BLOCK (606.140).
 - THE END TREATMENT FOR EACH SEGMENT OF RAIL SHALL BE AN ENERGY ABSORBING GAURDRAIL TERMINAL (EAQRT) (606.1455).
 - ALL RAIL MATERIALS SHALL BE GALVANIZED STEEL AND IS SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.



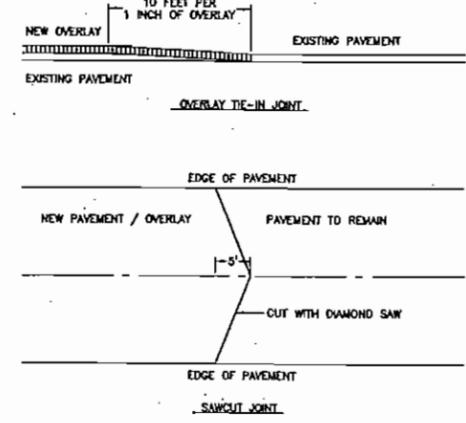
UNDERDRAIN DETAIL
(NH DOT ITEM #)

APRIL 26, 1996
SCALE: NONE



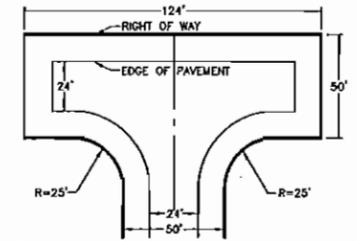
RIPRAP DITCH

MAY 5, 2000
SCALE: NONE



PAVEMENT JOINTS

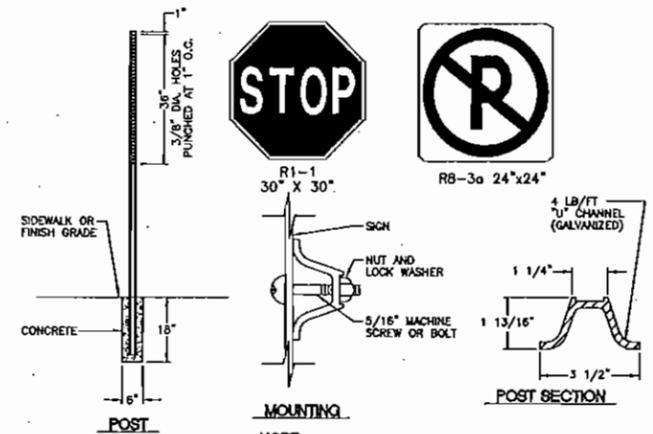
AUG. 28, 1998
SCALE: NONE



HAMMER HEAD TURN-AROUND

MAY 16, 2007
SCALE: NONE

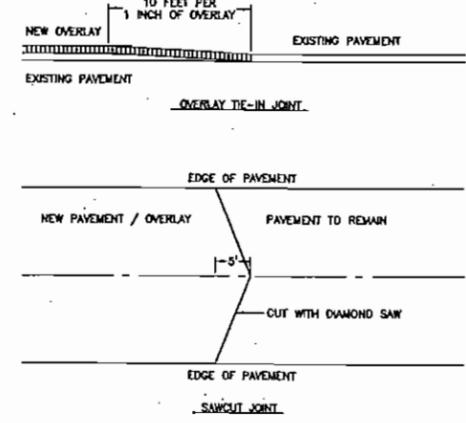
- NOTES:
- ALL CURBING SHALL BE GRANITE CURB, WHEN CURBING IS REQUIRED.
 - BOUNDS SHALL BE CONSTRUCTED AT EACH PROPERTY LINE INTERSECTION WITH THE R.O.W.
 - ROADWAY WIDTHS SHALL COMPLY WITH ROADWAY STANDARDS TABLE.
 - DRIVEWAYS SHALL NOT BE ALLOWED DIRECTLY OFF THE ENDS OF THE HAMMERHEAD.



SIGN POST

- NOTE:
- STREET NAME SIGNS TO BE INSTALLED PER TOWN STANDARDS.

JUNE 14, 1995
SCALE: NONE



TYPICAL UTILITY TRENCH

JULY 20, 1998
SCALE: NONE

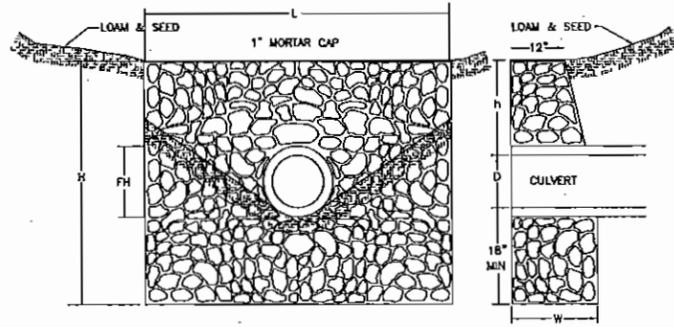
MERIDIAN
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STATE OF NEW HAMPSHIRE
JOHN A. HEAVESIDE
No. 7995
LICENSED PROFESSIONAL ENGINEER
10/19/03

REV.	DATE	DESCRIPTION	DR	CK
B	10/15/13	UPDATE LOTS, EMBANKMENTS & IMPROVEMENTS		
A	11/22/08	SITE SPECIFIC REVISIONS		

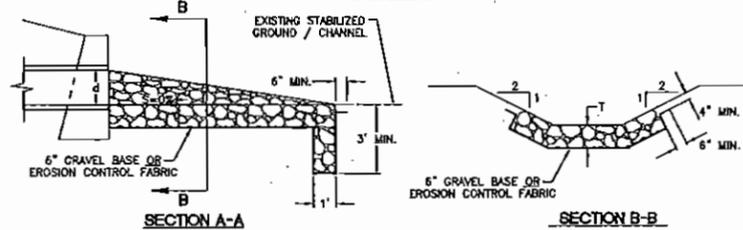
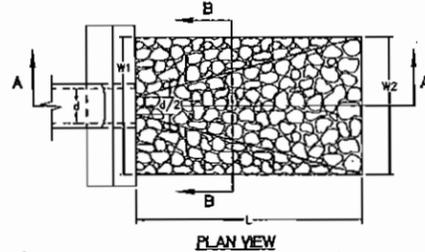
CONSTRUCTION DETAILS
TAX MAP LOTS 46-38 + 51-1
MILFORD, NEW HAMPSHIRE
CAROLE M. COLBURN REVOCABLE TRUST
SCALE: N.T.S.
DATE: MAY 23, 2007

D-1
SHEET
FILE: 985018.dwg
PROJECT: 985.01
SHEET NO.: 9 OF 12



CULVERT DIAM.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM
D	L	H	FH	h	W
INCHES					
FEET & INCHES					
12	4-3	3-9	1-1	1-3	2-0
15	6-0	4-3	1-7	1-3	2-1
18	7-0	4-6	1-10	1-6	2-2
24	9-0	5-0	2-4	1-6	2-3

FIELDSTONE & MORTAR HEADWALL
MAY 3, 2000
SCALE: NONE



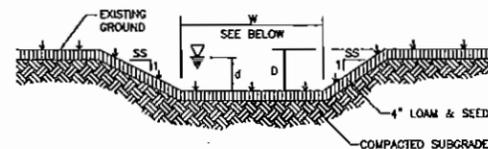
APRON SIZING					
LOCATION	L (FT)	W1 (FT)	W2 (FT)	d50 (IN)	T (IN)
HW-1B	10	6	14	6	12
HW-2B	17	6	10	6	12
HW-3	10	6	13	6	12
HW-4B	13	6	9	6	12
HW-5B	10	6	13	6	12
HW-6B	12	6	14	6	12
HW-7B	10	6	14	6	12
HW-8B	10	6	18	6	12
HW-8	9	6	13	6	12
HW-10B	14	6	10	6	12
HW-11B	14	6	9	6	12
HW-12	10	6	13	6	12

TABLE 7-24 RECOMMENDED RIPRAP GRADATION RANGES	
% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100	1.5 TO 2.0 d50
85	1.3 TO 1.8 d50
50	1.0 TO 1.5 d50
15	D.3 TO 0.5 d50

* STORM WATER AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE (THE "GREEN BOOK") AUGUST 1992, PREPARED BY ROCKINGHAM COUNTY CONSERVATION DISTRICT FOR THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.

NOTE: WHERE PIPES OUTLET TO A DEFINED CHANNEL, WIDTH OF APRON SHALL EQUAL CHANNEL WIDTH

RIPRAP OUTLET PROTECTION
APRIL 4, 2006
SCALE: NONE



TREATMENT SWALE DIMENSIONS					
SWALE NO.	L (FT)	W (FT)	D (FT)	S (FT/FT)	SS (FT/FT)
TS-1	100	4	2	0.0050	3
TS-2	125	4	2	0.0015	3
TS-3	125	4	2	0.0015	3
TS-4	100	4	2	0.0080	3
TS-5	100	4	2	0.0010	3

STORM WATER RUNOFF TREATMENT SWALE
APRIL 4, 2006
SCALE: NONE

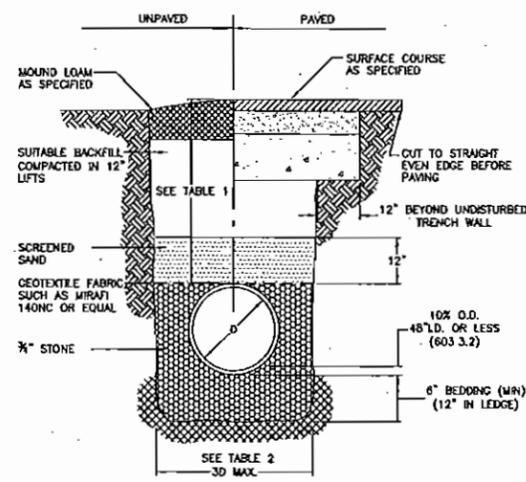
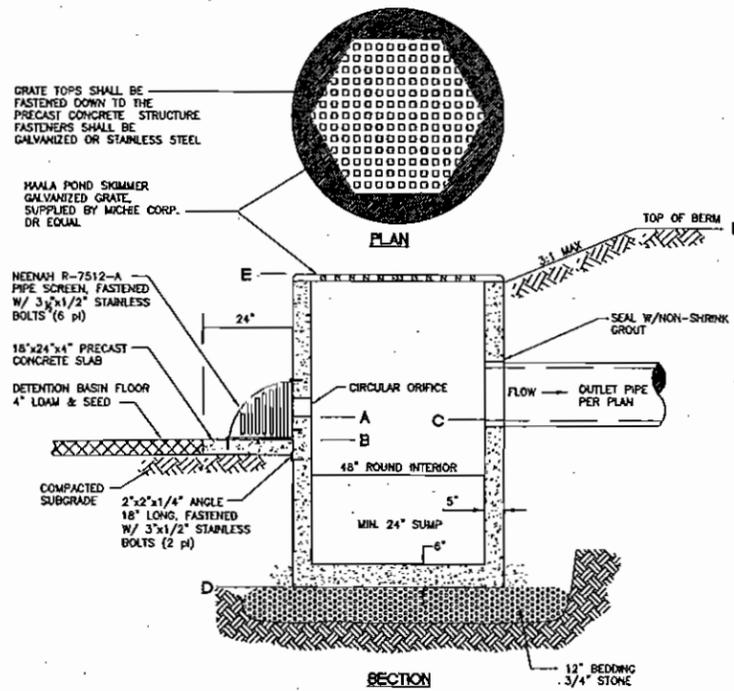


TABLE 1			TABLE 2 (206.4.1.2)	
LOCATION	PIPE MATERIAL	MINIMUM COVER	INSIDE DIAMETER	TOTAL WIDTH
PAVED ROADS	ALL	3 FT.	12" TO 24"	1 D. + 24"
UNPAVED ROADS	ALL	3 FT.	OVER 24"	2 x I.D.
DRIVEWAYS	ALL	1 FT.		
UNPAVED AREAS	ALL	2 FT.		

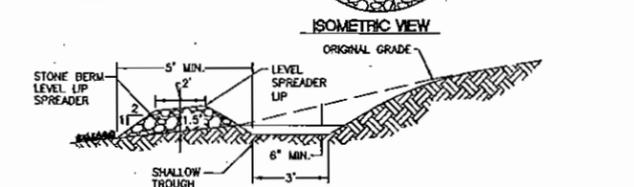
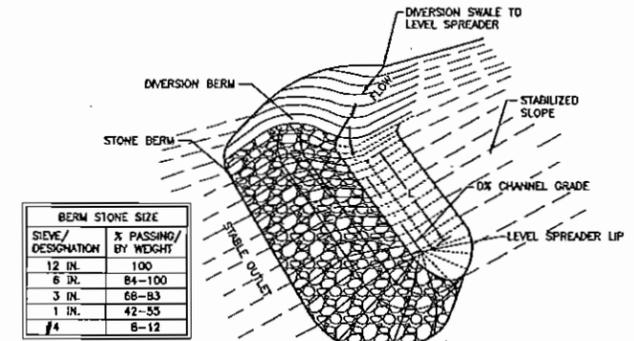
NOTE: PROVIDE 3/4" RIGID FOAM INSULATION OVER PIPE FOR CULVERT-1 (HW-1)

SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE TYPICAL DRAINAGE TRENCH
(NHDOT ITEM NO.)
SEPT 30, 2002
SCALE: NONE



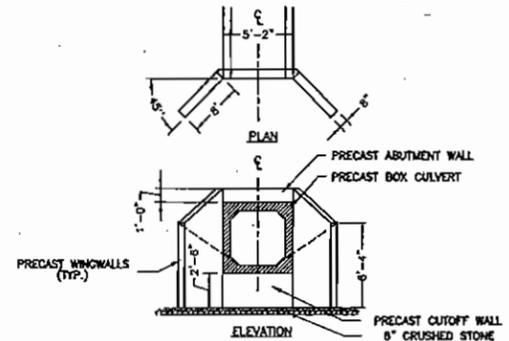
LOCATION	ORF TYPE	ORF DIA.	ELEVATIONS (FT.)					
			A	B	C	D	E	F
05-1	CIRCULAR	3" DIA.	503.00	502.50	502.30	499.80	507.00	508.00
05-2	CIRCULAR	3" DIA.	532.00	531.50	531.30	528.80	535.00	536.00
05-3	CIRCULAR	3" DIA.	517.70	517.20	517.00	514.50	521.00	522.00

DETENTION BASIN OUTLET STRUCTURE - ROUND
DEC. 10, 2006
SCALE: NONE



1. CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO ENSURE UNIFORM SPREADING OF RUNOFF.
2. THE RECEIVING AREA SHALL BE STABLE PRIOR TO CONSTRUCTION OF THE LEVEL SPREADER.
3. THE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING A STONE BERM 1.5' H x 5' W ALONG THE ENTIRE LENGTH OF THE LIP.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.

LEVEL SPREADER CROSS-SECTION
OCT. 1, 2010
SCALE: NONE



4'X4' BOX ENDWALL DETAIL (HW's: 5A, 5B, 8A, 8B)
DEC. 12, 2006

GRAIN FOR EMBANKMENT FILL	% PASSING
#4	90-100
#40	50-80
#100	29-43
#200	15-30

MATERIAL SHALL HAVE NO ORGANIC MATTER AND NO STONES LARGER THAN 6 INCHES. STONES AROUND STRUCTURE AND CONDUITS SHALL NOT EXCEED 2 INCHES.

NOTE: ELEVATION SYMBOLS (B & F) CORRESPOND TO ELEVATIONS POSTED IN DETAIL 5/D-2. FOR GRADING DETAILS, REFER TO PLAN.
REMOVE TOP 3" OF EXISTING MATERIAL UNDER FINISH GRADE, INCLUDING ALL UNDESIRABLES. PLACE EMBANKMENT MATERIALS IN 10" LIFTS, COMPACTION TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING. ALL SLOPES WILL BE FINISHED WITH 4" LOAM AND SEED. ALL OUTLET PIPE CONNECTIONS SHALL WATER-TIGHT. SEAL ALL PIPE TO MANHOLE AND PIPE TO HEADWALL WITH NON SHRINK GROUT, USE O-RING GASKETS FOR PIPE JOINTS.

DETENTION BASIN CROSS-SECTION
SCALE: NONE

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ENGINEERS - LAND SURVEYORS - SCIENTISTS - LAND PLANNERS

STATE OF NEW HAMPSHIRE
JOHN A. HEAVISIDES
No. 7986
LICENSED PROFESSIONAL ENGINEER
10/10/13

DATE	DESCRIPTION	BY	CHK
10/15/13	UPDATE LOTS, EASMENTS & IMPROVEMENTS	JAR	JAR
11/02/08	SITE SPECIFIC REVISIONS	WED	WED

DRAINAGE DETAILS
TAX MAP LOTS 46-38 + 51-1
MILFORD, NEW HAMPSHIRE
CAROLE M. COLBURN REVOCABLE TRUST
DATE: MAY 23, 2007
SCALE: N.T.S.

D-2
SHEET
FILE: 865V01B.dwg
PROJECT: 855.01
SHEET NO: 10 OF 12

- INSTALL HAYBALE BARRIERS AND SILTATION CONTROL FENCES IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
- CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE BURIED ON SITE AT THE LOCATIONS SHOWN. STUMPS SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
- REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING.
- REMOVE EXISTING STRUCTURES NECESSARY TO PERMIT CONSTRUCTION AND OTHER SITE WORK AS REQUIRED.
- INSTALL DETENTION BASINS AND SWALES, ROUGH GRADE SITE AND CONSTRUCT ROAD. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
- INSTALL DRAINAGE PIPES AND STRUCTURES; PLACE HAYBALES AROUND INLETS OF ALL STRUCTURES UNTIL ROAD IS PAVED AND ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A DAILY BASIS AND AFTER ANY STORMS.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING TO PREPARE FOR PAVING AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- FINISH PAVING. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PAVING (SEE EROSION CONTROL NOTES).
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.

CONSTRUCTION SEQUENCE

DEC. 7, 1994
SCALE: NONE

- ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS OR SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION

JUNE 16, 2000
SCALE: NONE

- TEMPORARY PROTECTION OF DISTURBED AREAS SHALL BE IMPLEMENTED WHERE A TEMPORARY STAND OF GRASS OR SMALL GRAINS WILL NORMALLY PRODUCE SUFFICIENT COVER TO RETARD EROSION AND REDUCE SEDIMENT.
- USE OF TEMPORARY SEEDING SHALL BE IMPLEMENTED WHEN A DISTURBED AREA OR MATERIAL STOCKPILE WILL BE INACTIVE FOR A PROLONGED PERIOD OF TIME.
- ALL ESSENTIAL GRADING SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT CULMING AND REDUCE SILTATION SHALL BE COMPLETED PRIOR TO SEEDING.
- PREPARE SEEDBED BY REMOVING ALL STONES, TRASH AND STUMPING DEBRIS THAT WILL INTERFERE WITH SEEDING AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3 INCHES TO PREPARE SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATIONS SHOULD BE PERFORMED ACROSS THE SLOPE.
- A MINIMUM OF 300 POUNDS PER ACRE (7 LBS. PER 1,000 SQ.FT.) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHALL BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL.
- THE SEED SHALL BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHALL BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.
- HAY OR STRAW MULCH MAY BE NECESSARY TO PROMOTE SEED GERMINATION IN DRY AND/OR INFERTILE CONDITIONS.

PLANT SELECTION AND APPLICATION RATES:

SPECIES	RATE 1 (LBS./AC.)	RATE 2 (LBS./1,000 S.F.)	REMARKS
WINTER RYE	112	2.5	FALL 8/15 TO 9/15 PLANT 1.0 INCH DEEP
GAIS	50	2.0	SPRING PRIOR TO 5/15 PLANT 1.0 INCH DEEP
ANNUAL RYEGRASS	40	1.0	QUICK, SHORT DURATION GOOD APPEARANCE EARLY SPRING & FALL PLANT 0.25 INCH DEEP
PERENNIAL RYEGRASS	30	0.7	LASTS LONGER THAN ANNUAL LATE SPRING & FALL MULCHING WILL ALLOW USE ALL SEASON PLANT 0.5 INCH DEEP

SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS

AUGUST 30, 2008
SCALE: NONE

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

- INSTALLATION OF HAYBALE BARRIERS AND SILTATION FENCE WHERE INDICATED SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
- HAYBALE BARRIERS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY 0.5" OF RAIN.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL NON-ACTIVE DISTURBED AREAS (i.e. CLEARED FOR CONSTRUCTION BUT NOT PRESENTLY UNDERGOING CONSTRUCTION) SHALL BE STABILIZED WITHIN 28 DAYS OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- ALL DITCHES, SWALES AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING STORM WATER FLOW TO THEM.
- AN AREA MAY BE CONSIDERED STABILIZED WHEN ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH A SEED MIXTURE OR OTHER LANDSCAPING COVER (BARK MULCH, ETC.). THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.30 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED	
CREeping RED FESCUE	0.67 LBS.
KENTUCKY BLUEGRASS	0.71 LBS.
RYE GRASS	0.58 LBS.
RED TOP	0.14 LBS.

SLOPE SEED	
CREeping RED FESCUE	1.01 LBS.
RYE GRASS	0.75 LBS.
RED TOP	0.18 LBS.
ALSIKE CLOVER	0.18 LBS.
BIRDSFOOT TREFLOW	0.18 LBS.

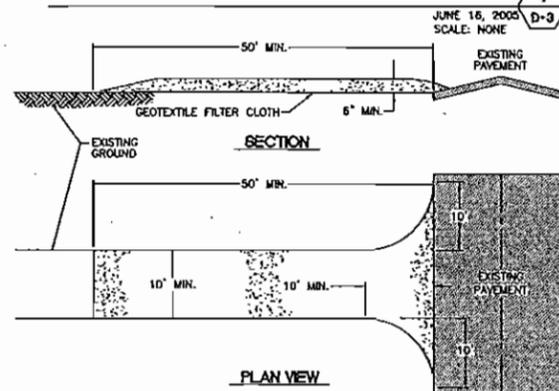
- LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF SEEDING. A MINIMUM OF 100 LBS. PER 1,000 S.F. OF AGRICULTURAL LIMESTONE AND 11.5 LBS. PER 1,000 S.F. OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH SECTION 7 OF "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL DESIGN HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE", USDA SCS, AUGUST 1992 ED.

- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

- PER THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, NO MORE THAN 5 ACRES OF TERRAIN SHALL BE DISTURBED AT ANY ONE TIME. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT OCCUR UNTIL AFTER THE ROADWAY AND ASSOCIATED DRAINAGE HAVE BEEN COMPLETED AND STABILIZED.

- THE SITE CONTRACTOR SHALL MAINTAIN A VIGOROUS DUST CONTROL PROGRAM THROUGHOUT THE CONSTRUCTION PROCESS. EXPOSED EARTH SHALL BE KEPT MOST OR MULCHED AT ALL TIMES TO PREVENT DUST FORMATION. SPECIAL ATTENTION SHALL BE PAID TO HIGH TRAFFIC AREAS.

EROSION CONTROL

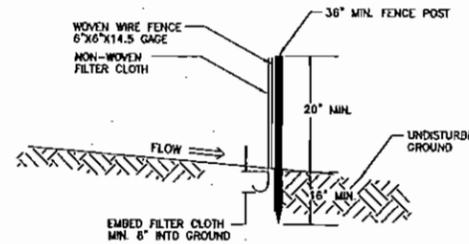
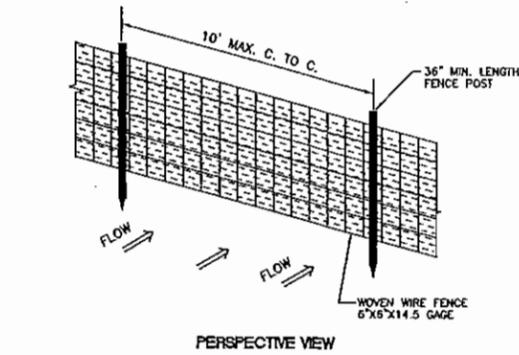


NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET.
- THE THICKNESS OF THE STONE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

TEMPORARY STABILIZED CONSTRUCTION ENTRANCE

DEC. 11, 1998
SCALE: NONE

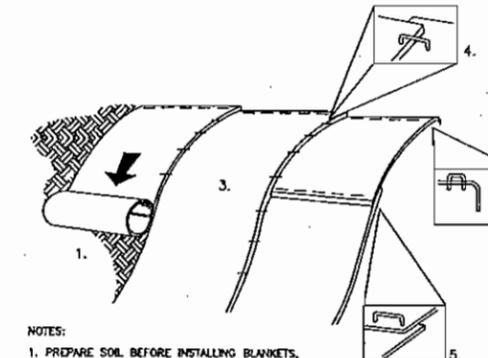


CONSTRUCTION SPECIFICATIONS

- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4'.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARDS PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

SILT FENCE & HAY BALE BARRIER

DEC. 27, 1995
SCALE: NONE

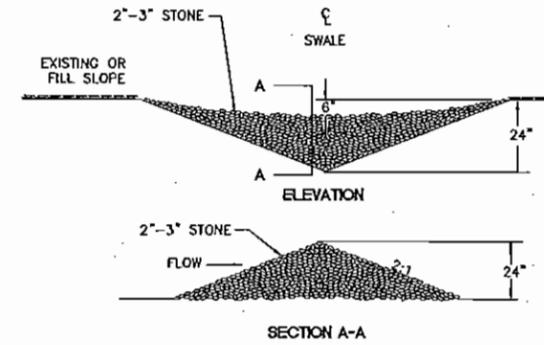


NOTES:

- PREPARE SOIL BEFORE INSTALLING BLANKETS, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
- ROLL BLANKETS (A) DOWN SLOPE.
- THE EDGE OF PARALLELED BLANKETS MUST BE STAPLED APPROXIMATELY 2" OVERLAP.
- BLANKETS MUST BE SPICED DOWN SLOPE SHINGLE STYLE APPROXIMATELY 4" END OVER END. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

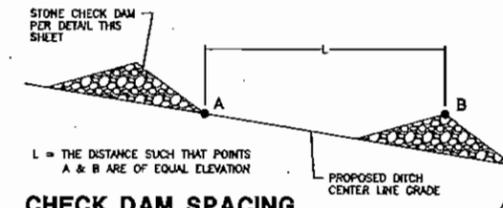
BLANKET FABRIC STABILIZATION INSTALLATION

AUG. 2, 2002
SCALE: NONE



CRUSHED STONE CHECK DAM

JUNE 18, 1998
SCALE: NONE



CHECK DAM SPACING

JUNE 18, 1998
SCALE: NONE

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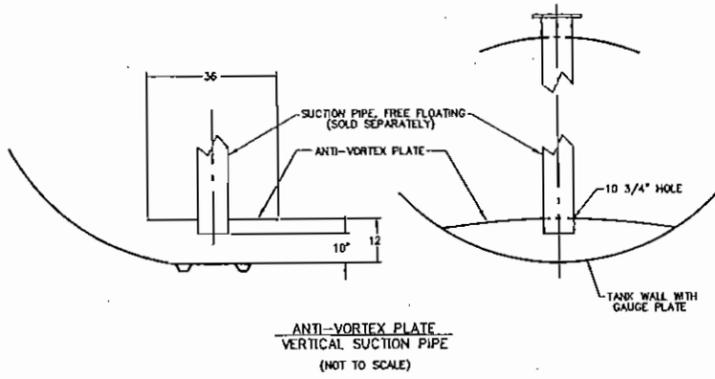
ENGINEERS - LAND SURVEYORS - SCIENTISTS - LAND PLANNERS

STATE OF NEW HAMPSHIRE
JOHN A. HEAVYSEGG
No. 7995
LICENSED PROFESSIONAL ENGINEER
10/10/13

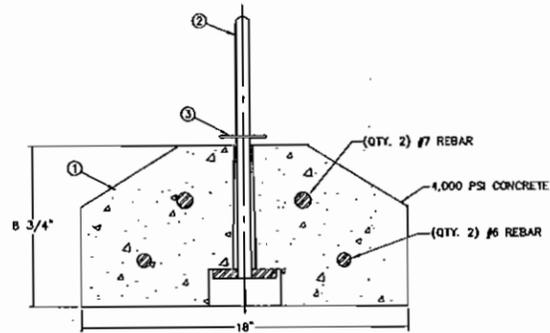
REV.	DATE	DESCRIPTION	DR	CK
B	10/15/13	UPDATE LOGS, EMENTS & IMPROVS		
A	11/02/08	SITE SPECIFIC REVISIONS		

EROSION CONTROL DETAILS
TAX MAP LOTS 46-38 + 51-1
MILFORD, NEW HAMPSHIRE
CAROLE M. COLBURN REVOCABLE TRUST
SCALE: N.T.S.
DATE: MAY 23, 2007

D-3
SHEET
FILE: 965V018.dwg
PROJECT: 965.01
SHEET NO.: 11 OF 12



ANTI-VORTEX PLATE
VERTICAL SUCTION PIPE
(NOT TO SCALE)



ITEM	QTY	UNIT	DESCRIPTION
1	6	EA	DEADMAN, 8 3/4" x 18" x 18"
2	20	EA	GALVANIZED ANCHOR POINT
3	20	EA	COTTER PIN

- XERXES DEADMEN ARE ENGINEERED AND DESIGNED TO BE USED WITH XERXES TANKS.
- IN MULTIPLE TANK INSTALLATIONS, EACH TANK REQUIRES ITS OWN SET OF DEADMEN.
- FOR CAST IN PLACE OR DEADMAN CONSTRUCTED OFF SITE, REFER TO XERXES INSTALLATION MANUAL AND OPERATING GUIDELINES FOR PROPER SIZING AND ANCHOR POINT SPECIFICATIONS.

DEADMAN ANCHOR POINT ASSEMBLY
10" DIA. 30,000 GAL. TANK
(NOT TO SCALE)

MATERIAL DATA

TANK VOLUME = 30,590 GAL.	= 4,090 CF
TANK WEIGHT (EMPTY)	= 9,400 LBS
UNIT WEIGHT SOL. (DRY)	= 110.0 LBS/CF
UNIT WEIGHT WATER	= 62.4 LBS/CF
UNIT WEIGHT CONCRETE	= 150.0 LBS/CF
ASSUME SEASONAL HIGH GROUNDWATER @ 36" (TOP OF TANK)	

DEADMAN

EACH DEADMAN = 16.0 CF	
18.0 CF X 6 = 96.0 CF	
DOWNWARD FORCE	
96.0 CF X (150-62.4)LBS/CF	= 8,410 LBS

SOIL

(1) TO TOP OF TANK (10' X 5' X 55.81') - (4,090/2)	= 745.5 CF
(2) TOP OF TANK TO FINISH GRADE (10' X 3' X 55.81')	= 1,674.3 CF
(3) ABOVE DEADMAN TO TOP OF TANK (1.5' X 10' X 18' X 6)	= 1,820.0 CF
(4) ABOVE DEADMAN, TOP OF TANK TO FINISH GRADE (1.5' X 3' X 18' X 6)	= 468.0 CF
TOTAL SOIL VOLUME (DRY) (2,4)	= 2,160.3 CF
TOTAL SOIL VOLUME (SAT.) (1,3)	= 2,365.5 CF

DOWNWARD FORCE

2,160.3 CF X 110 LBS/CF	= 237,633 LBS
2,365.5 CF X (110-62.4)LBS/CF	= 112,588 LBS
	350,221 LBS

TOTAL FORCE DOWNWARD

9,400 + 8,410 + 350,221	= 368,041 LBS
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BOLIVANCY FORCE ON TANK

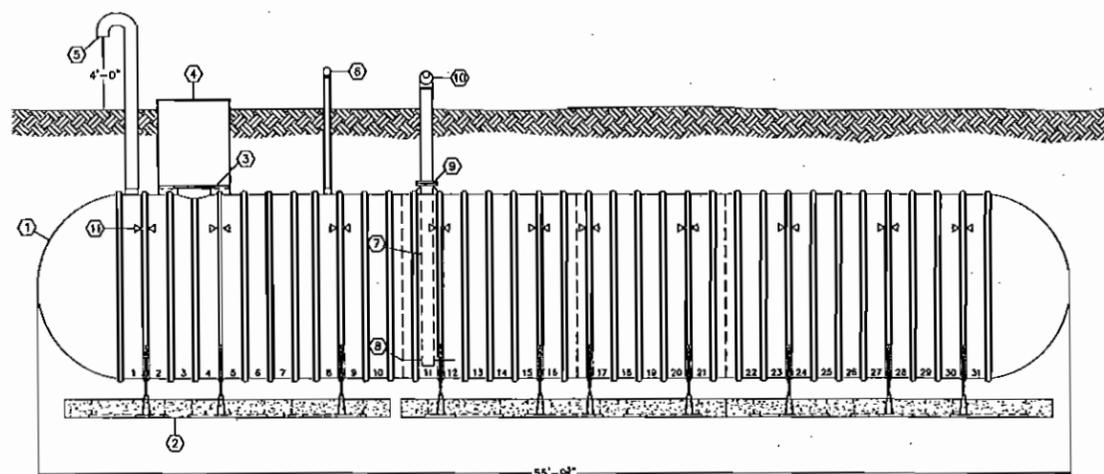
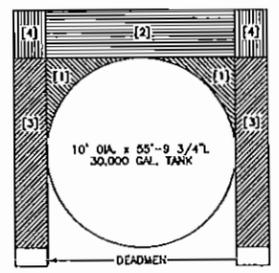
4,090 CF X 62.4 LBS/CF	= 255,216 LBS
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EFFECTIVE WEIGHT

368,041 - 255,216	= 112,825 LBS
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SAFETY FACTOR: 368,041/255,216 = 1.44

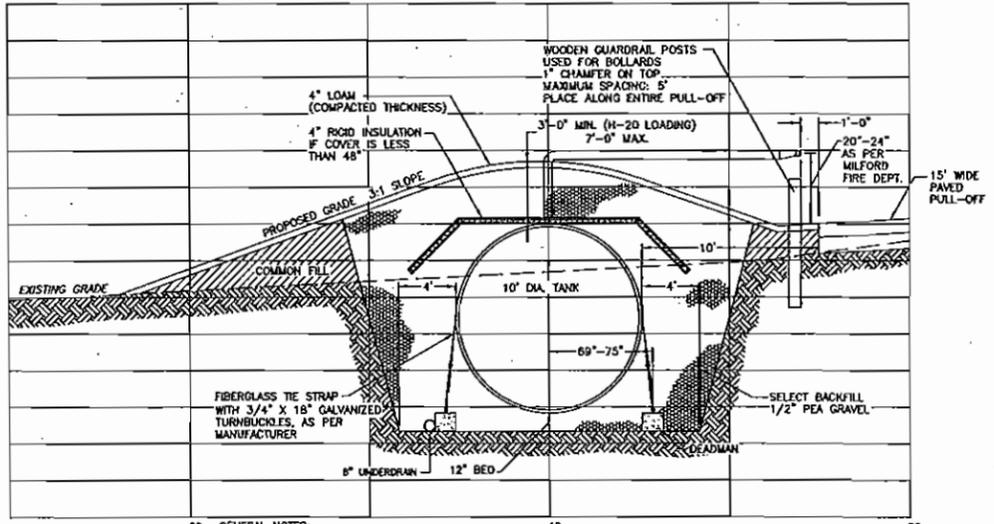
BOLIVANCY CALCULATIONS
10" DIA. 30,000 GAL. TANK
(NOT TO SCALE)



NO.	DESCRIPTION
1	XERXES SINGLE WALL FRP TANK, 10 FT. DIAMETER, 30,000 GALLON
2	XERXES PRECAST DEADMAN SYSTEM W/ HOLD-DOWN STRAP AND TURBUCLUE ASSY. -- 3 EACH SIDE
3	22" MANWAY W/ GAUGE PLATES
4	1/2" DIA. COLLAR W/ LOCKABLE 48" DIA. RIBBED PVC RISER W/ FRP LEL EXTEND TO 8" ABOVE FINISH GRADE
5	8" PVC RING W/ GAUGE PLATE AND INSET SCREEN - 1/4" STAINLESS STEEL MESH
6	8" FILL RISER W/ GAUGE PLATE
7	8" FRP VERTICAL SUCTION
8	FRP ANTI-VORTEX PLATE
9	8" FLANGED AND GUSSETED NOZZLE W/ GAUGE PLATE
10	8" SUCTION RISER AND CONNECTION
11	HOLD-DOWN STRAP LOCATION

FIRE WATER STORAGE
VERTICAL SUCTION WITH ANTI-VORTEX PLATE
(NOT TO SCALE)

CISTERN TANK	FINISHED GRADE ELEV.	TOP TANK ELEV.	BOTTOM TANK ELEV.	BOTTOM EXCAVATION ELEV.
1	527.3	523.3	513.3	512.3
2	578.7	574.7	564.7	563.7



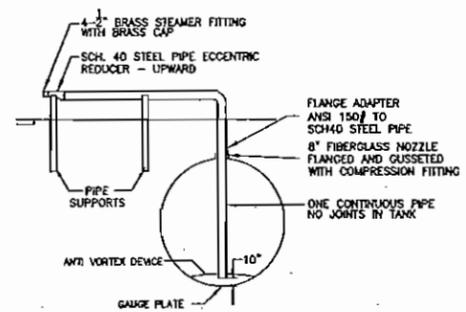
GENERAL NOTES:

- PROPOSED CISTERNS ARE XERXES 10" DIA. 30,000 GALLON SINGLE WALL FIBERGLASS TANK OR APPROVED EQUAL.
- ALL PENETRATIONS SHALL BE MADE BY THE MANUFACTURER AND NO FIELD MODIFICATIONS OF THE FIBERGLASS TANK SHALL BE MADE.
- TANK SHALL BE INSTALLED TO PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS TO WITHSTAND H-20 LOADING.
- EXCAVATION SHALL BE Dewatered DURING CONSTRUCTION.
- ZERO LEAK ALLOWANCE FOR 1 WEEK, MONITORED BY AN AGENT OF THE PLANNING BOARD.
- THE HOLD-DOWN STRAPS AND HARDWARE SHALL BE CORROSION RESISTANT.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE TOWN AND DESIGN ENGINEER FOR APPROVAL PRIOR TO FABRICATION.
- ALL STEEL PIPING SHALL BE HOT DIP GALVANIZED.

CROSS-SECTION -- 10" DIA. 30,000 GALLON CISTERN
(SCALE: 1"=5')

XERXES
CORPORATION

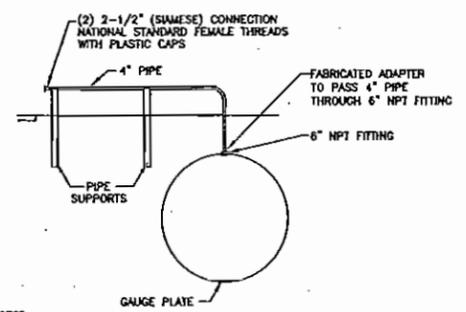
CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS TO THE TOWN AND THE DESIGN ENGINEER



SUCTION RISER NOTES:

- TANK SHALL BE EQUIPPED WITH MANUFACTURER INSTALLED 8" FLANGED AND CONICALLY GUSSETED NOZZLE EXTENDING TO 10" OFF THE BOTTOM OF THE TANK. THE NOZZLE SHALL INCLUDE THE INSTALLATION OF GAGE PLATES BY THE MANUFACTURER.
- THE HORIZONTAL RUN SHALL HAVE A MINIMUM SLOPE OF 1/8" PER FOOT TOWARDS THE TANK.
- THE HORIZONTAL RUN SHALL BE SUPPORTED AT SPACING NOT EXCEEDING 8'-0" BY PIPE SUPPORTS. THE SUPPORTS SHALL BE 6" DIAMETER CONCRETE FILLED STEEL POST THAT EXTEND 4'-0" BELOW FINISH GRADE. THE TOP OF THE POST SHALL BE SHAPED TO CONFORM TO THE HORIZONTAL PIPE. ONE SUPPORT SHALL BE 1'-0" FROM THE CONNECTION.
- THE CENTERLINE OF THE SUCTION CAP SHALL BE BETWEEN 20" AND 24" ABOVE AND 12" BACK FROM THE EDGE OF TURNOUT OR AS CALLED FOR BY THE MILFORD FIRE DEPARTMENT.
- INSTALL TWO (2) WOODEN GUARDRAIL POSTS, PLACED 12" IN FRONT OF, AND BETWEEN 40" TO 80" TO EACH SIDE OF THE FINAL OUTLET LOCATION. POST HEIGHT ABOVE GRADE SHALL BE 48".
- ALL STEEL SHALL BE PAINTED LIGHT BLUE WITH A 3 COAT PAINT SYSTEM -- TWO COATS OF TWO-PART EPOXY AND ONE COAT OF POLYURETHANE FINAL COAT.
- FITTINGS SHALL BE CLEARED WITH THE FIRE DEPARTMENT BEFORE INSTALLATION.

SUCTION RISER
(NOT TO SCALE)



FILL RISER NOTES:

- TANK SHALL BE EQUIPPED WITH MANUFACTURER INSTALLED 6" NPT FITTING AND SHALL INCLUDE THE INSTALLATION OF GAGE PLATES BY THE MANUFACTURER.
- THE HORIZONTAL RUN SHALL BE SUPPORTED AT SPACING NOT EXCEEDING 8'-0" BY PIPE SUPPORTS. THE SUPPORTS SHALL BE 6" DIAMETER CONCRETE FILLED STEEL POST THAT EXTEND 4'-0" BELOW FINISH GRADE. THE TOP OF THE POST SHALL BE SHAPED TO CONFORM TO THE HORIZONTAL PIPE. ONE SUPPORT SHALL BE 1'-0" FROM THE CONNECTION.
- THE CENTERLINE OF THE FILL CAP SHALL BE BETWEEN 2'-9" AND 3'-3" AND 1'-0" BACK FROM THE EDGE OF TURNOUT OR AS CALLED FOR BY THE MILFORD FIRE DEPARTMENT.
- INSTALL TWO (2) 6" DIAMETER CONCRETE FILL STEEL POSTS, PLACED 12" IN FRONT OF, AND 40" TO 48" TO EACH SIDE OF THE FINAL OUTLET LOCATION. POST HEIGHT ABOVE GRADE SHALL BE 48".
- ALL STEEL SHALL BE PAINTED LIGHT BLUE WITH A 3 COAT PAINT SYSTEM -- TWO COATS OF TWO-PART EPOXY AND ONE COAT OF POLYURETHANE FINAL COAT.
- FITTINGS SHALL BE CLEARED WITH THE FIRE DEPARTMENT BEFORE INSTALLATION.

FILL RISER
(NOT TO SCALE)

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www.meridianland.com

STATE OF NEW HAMPSHIRE
JOHN A. HEAVESIDES
No. 7906
LICENSED PROFESSIONAL ENGINEER
10/19/13

REV.	DATE	DESCRIPTION	BY	CHK
A	17/02/08	UPDATE LOTS, EASEMENTS & IMPROVEMENTS	WHD	WRD
B	02/15/13	UPDATE LOTS, EASEMENTS & IMPROVEMENTS	WHD	WRD

TAX MAP LOTS 46-38 + 51-1
MILFORD, NEW HAMPSHIRE
FIRE CISTERN DETAILS
30,000 GALLON
CAROLE M. COLBURN REVOCABLE TRUST
SCALE: N.T.S.
DATE: MAY 23, 2007

D-4
SHEET
FILE: 965V01B.dwg
PROJECT: 965.01
SHEET NO: 12 OF 12



STAFF MEMO

Planning Board Meeting

November 20, 2013

Agenda Item #4: St. Joseph Hospital – Nashua St – Map 31/Lot 32-1 and Map 32/Lot 1

Continuation Design review for a new medical building with associated site improvements.

Proposal:

The applicant is back before the Planning Board to continue with the design review stage and to present information detailing the progression of the Milford Medical Center (MMC) plans. The applicant will provide the Board with resolutions of old business as posed at the September 2013 Planning Board meeting and new information. Site changes and new information to date, include:

- Reduced building footprint
- Relocated and new parking areas
- Repositioning of the easterly access to the site off Nashua Street
- Enhanced architectural designs
- Landscape plan and cross sections for berm/retaining wall
- Dumpster location
- Improved stormwater management plan

The project as currently proposed continues to include the demolition of the existing Nashua Street building, and the construction of a new medical facility that will connect with the medical office building constructed in 2005.

At the August 20, 2013 meeting the applicant requested a waiver from the Milford Development Regulations of Section 6.05.3, Parking Space Dimensions for the required off-street parking space dimensions of 9' x 18'. The applicant sought relief to allow a reduced dimension of 9' x 16' in all areas where parking spaces are head-in towards a green space or parking island. The Planning Board approved the waiver request for the 2 foot reduction allowing for 9' x 16' parking spaces and the current plan reflects this reduced parking size.

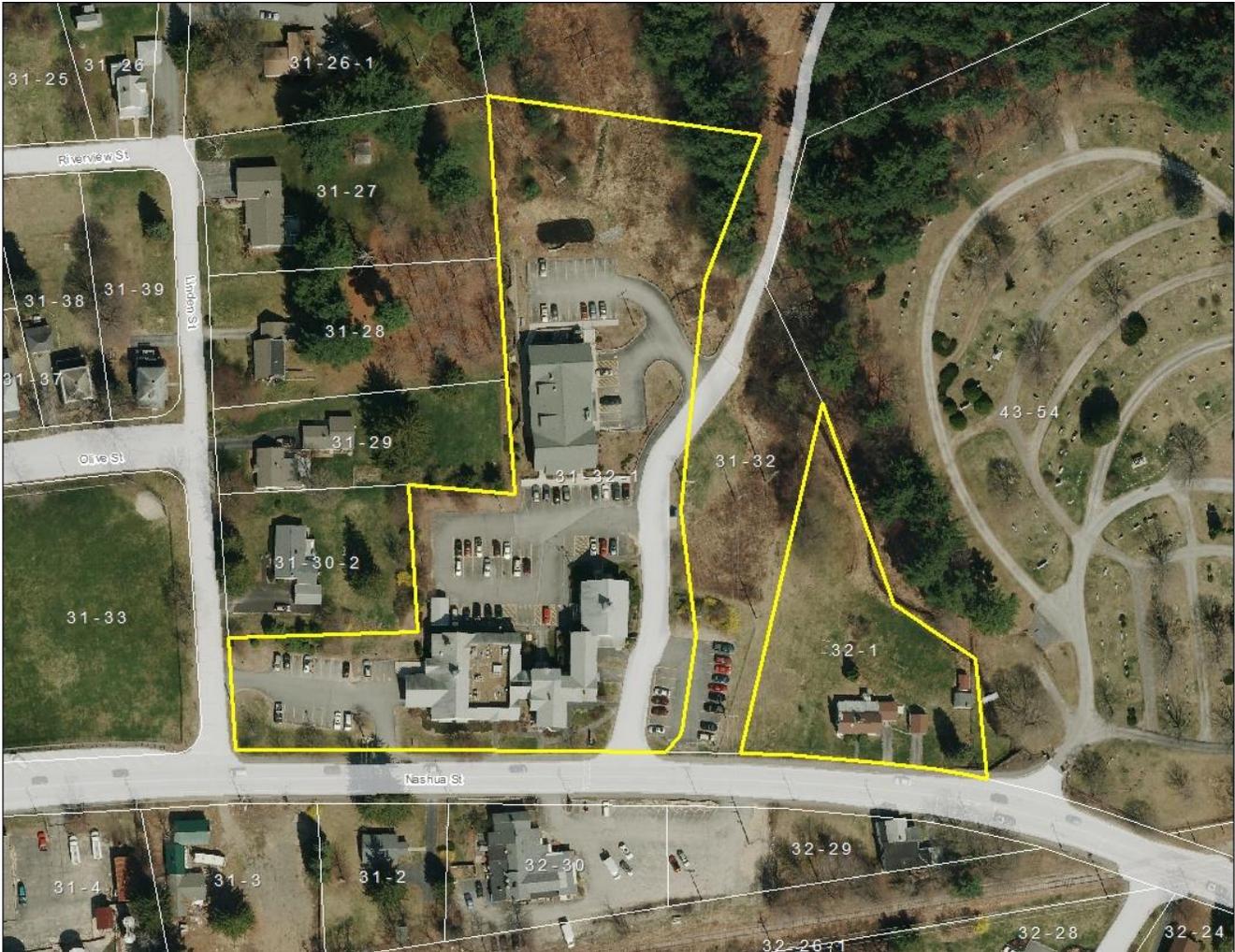
ZBA Variance:

On November 7, 2013 a variance was received from Article II, Section 2.03 and Article V, Section 5.02.1 to permit the expansion, alteration and/or relocation of an existing, non-conforming use by razing an existing structure and establishing a new medical center structure with related site improvements.

Staff Recommendations:

The Planning Board should review the application and discuss any questions they have with the applicant. As this project received the require ZBA variance to permit expansion of a non-conforming use within the Residential “A” zoning District, the Planning Board should make a motion to close the design review hearing and request the applicant return with final application for a major site plan.

See attached revised plan set, architecturals, landscape plan and regional impact comments from NRPC





TOWNSHIP OF MILL CREEK
RECEIVED
OCT 21 2013
PB 7BA 1000



TOWN OF MILFORD
RECEIVED
OCT 31 2013
FB ZBA Office



REFERENCE PLANS:

1. "SITE PLAN - TAX MAP PARCELS 31-32-1 - MILFORD MEDICAL CENTER - MILFORD, NEW HAMPSHIRE - PREPARED FOR - ST. JOSEPH HOSPITAL OF NASHUA, N.H." SCALE 1"=40', DATED MARCH 24, 1995, BY THIS OFFICE.

NOTES:

1. THE OWNER OF RECORD OF THE MILFORD MEDICAL CENTER AT 442 NASHUA STREET, MILFORD N.H. IS ST. JOSEPH HOSPITAL OF NASHUA, N.H., 172 KINSLEY STREET, NASHUA, N.H. DEED REFERENCES IN THE HCRD ARE VOL. 3037 PG. 1 DATED JUNE 20, 1983, VOL. 3184 PG. 350 DATED JULY 12, 1984 AND VOL. 5074 PG. 1452 DATED DECEMBER 21, 1988.
2. THE APPLICANT IS ST. JOSEPH HOSPITAL OF NASHUA.
3. [31-32-1] AND [32-1] DENOTE TAX MAP PAGE AND PARCEL NUMBERS.
4. THE AREA OF THE PARCELS OWNED BY ST JOSEPH HOSPITAL ARE 4.658 ACRES (202,923 SQ. FT.)
5. ZONING FOR THE SITE IS RESIDENCE A. SEE VARIANCE GRANTED BY THE BOARD OF ADJUSTMENT, JULY 19, 1990 - ARTICLE V, PARAGRAPH 5.D21 - ALLOWING THE EXPANSION OF A NON-CONFORMING USE (MEDICAL CENTER).
6. EXAMINATION OF THE "NATIONAL FLOOD INSURANCE PROGRAM - FLOOD INSURANCE RATE MAPS" COMMUNITY PANEL 330096 0002 B, DATED MAY 1, 1980, INDICATES THAT THE PARCELS ARE NOT LOCATED WITHIN THE 100 YEAR FLOOD HAZARD ZONE.
7. THE SITE HAS THE BENEFIT OF AN AGREEMENT AND CONSENT OF JOINT USE WITH PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, VOL. 5228, PG. 41, DATED OCTOBER 23, 1990, FOR THE CONSTRUCTION AND MAINTENANCE OF THE DRAINAGE FACILITIES SHOWN HEREON.
8. THE SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
9. GROSS BUILDING FOOTPRINT AREA SHOWN IS APPROXIMATELY 13,500 SQ.FT.
10. THE PURPOSE OF THIS DESIGN REVIEW PLAN IS TO SHOW:
 - A) THE PROPOSED IMPROVEMENTS TO NASHUA STREET TO PROVIDE FOR AN EAST BOUND LEFT TURN LANE IN TO THE SITE;
 - B) SITE IMPROVEMENTS INCLUDING THE PROPOSED MEDICAL OFFICE BUILDING, ASSOCIATED PARKING, PAVING, GRADING AND UTILITY IMPROVEMENTS ON THE SITE.
 THE IMPROVEMENTS ARE PROPOSED TO MEET THE DEVELOPMENT PLAN OF ST JOSEPH HOSPITAL AT THE MILFORD MEDICAL CENTER.
11. PARKING CALCULATIONS (Medical Office, largest shift)

REQUIRED PARKING

10 PHYSICIAN @ 4 SPACES/PHYSICIAN =	40
37 EMPLOYEES @ 1 SPACE/2 EMPLOYEES =	19
TOTAL PARKING REQUIRED =	59 SPACES

PROPOSED PARKING

EX. REGULAR SPACES TO REMAIN	33
EX. HANDICAP ACCESSIBLE SPACE TO REMAIN	5
REGULAR SPACES ADDED	77
HANDICAP ACCESSIBLE SPACES ADDED	6

TOTAL REGULAR SPACES	110
TOTAL HANDICAP ACCESSIBLE	11
TOTAL PARKING PROVIDED =	121 SPACES

ADA-REQUIRED HANDICAP ACCESSIBLE SPACES
101 to 150 TOTAL SPACES IN LOT = 5 HC SPACES

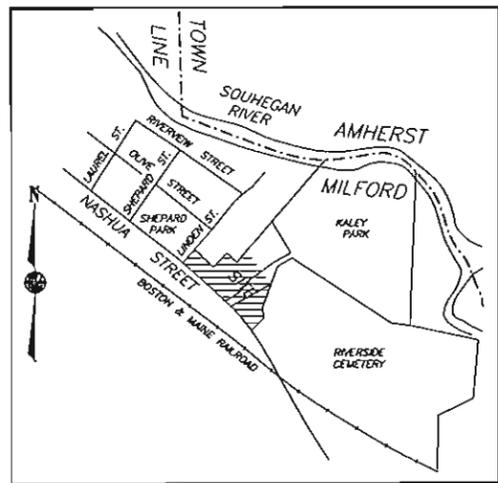
12. PRELIMINARY OPEN SPACE CALCULATIONS:

TAX MAP PARCEL#	31-32-1	32-1	31-32
ACREAGE (AC)	3.858 AC	1.000 AC	19.700 AC
ROW DEDICATION (SF)	1241 SF	2,129 SF	70 SF
NET LOT (SF)	158,122 SF	41,431 SF	858,062 SF
OPEN SPACE (SF)	72,472 SF	25,744 SF	847,072 SF
OPEN SPACE (%)	45.8%	62.1%	98.7%

13. THE EXISTING GRANITE CURBING ALONG NASHUA STREET AND ON-SITE SHALL BE REMOVED AND SAVED TO BE RE-INSTALLED IN THE LOCATIONS SHOWN.
14. THE ENTIRE NASHUA STREET FRONTAGE SHALL BE RECONSTRUCTED WITH A CONTINUOUS ASPHALT SIDEWALK, BROKEN ONLY AT THE TWO SITE ENTRANCES, FROM LINDEN STREET TO THE RIVERSIDE CEMETERY ENTRANCE.
15. THE SITE IS WITHIN A LEVEL 1 GROUNDWATER PROTECTION DISTRICT.
16. NO SNOW STORAGE IS ALLOWED WITHIN THE PSNH EASEMENT.

PLANNING BOARD

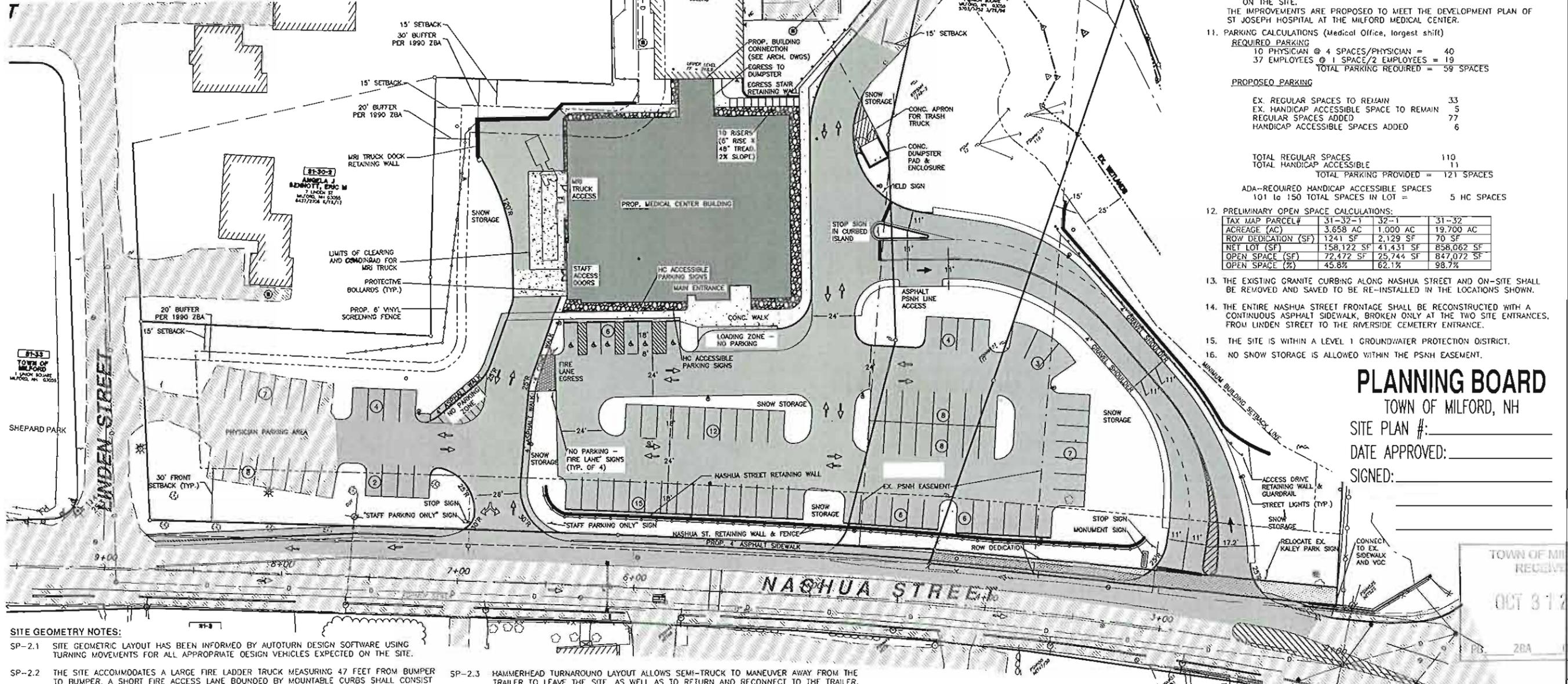
TOWN OF MILFORD, NH
 SITE PLAN #:
 DATE APPROVED:
 SIGNED:



LOCUS PLAN
SCALE: 1" = 1000'

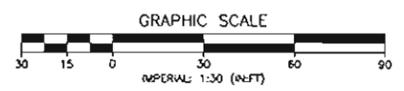


- GENERAL CONSTRUCTION NOTES:
1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
 2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL UTILITY COMPANIES AND JURISDICTIONAL AGENCIES PRIOR TO AND DURING CONSTRUCTION.
 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.



SITE GEOMETRY NOTES:

- SP-2.1 SITE GEOMETRIC LAYOUT HAS BEEN INFORMED BY AUTOTURN DESIGN SOFTWARE USING TURNING MOVEMENTS FOR ALL APPROPRIATE DESIGN VEHICLES EXPECTED ON THE SITE.
- SP-2.2 THE SITE ACCOMMODATES A LARGE FIRE LADDER TRUCK MEASURING 47 FEET FROM BUMPER TO BUMPER. A SHORT FIRE ACCESS LANE BOUNDED BY MOUNTABLE CURBS SHALL CONSIST OF PERVIOUS MATERIAL THAT SHALL ALSO PROVIDE ADEQUATE SUPPORT FOR FIRE TRUCK WEIGHT IN TRANSIT, BUT NOT FOR STATIONARY OUTRIGGER SUPPORTS.
- SP-2.2 THE SITE ACCOMMODATES AN AASHTO WB-62 SEMI-TRUCK & TRAILER DESIGN VEHICLE THAT IS APPROXIMATELY THE SAME SIZE AND CONFIGURATION AS THE MRI TRUCK.
- SP-2.3 HAMMERHEAD TURNAROUND LAYOUT ALLOWS SEMI-TRUCK TO MANUEVER AWAY FROM THE TRAILER TO LEAVE THE SITE, AS WELL AS TO RETURN AND RECONNECT TO THE TRAILER.
- SP-2.4 THE TRAILER IS TO BE BACKED AWAY FROM THE BUILDING, PERFORMING A 3-POINT TURN ON-SITE, WITHIN THE STAFF PARKING LOT AISLES, TO THEN PULL ONTO EASTBOUND NASHUA STREET.
- SP-2.5 DUMPSTER ENCLOSURE PLACEMENT IS OUTSIDE OF PSNH EASEMENT.



OWNER SIGNATURE

MERIDIAN
 ENGINEERS
 LAND SURVEYORS
 SCIENTISTS
 LAND PLANNERS

OFFICE: 31 BLD NASHUA ROAD, SUITE 200, NASHUA, NEW HAMPSHIRE 03061
 TEL: 603-872-1441
 FAX: 603-872-1504
 MAILING: P.O. BOX 119, NASHUA, NEW HAMPSHIRE 03061
 ADDRESS: MILFORD, NEW HAMPSHIRE 03065

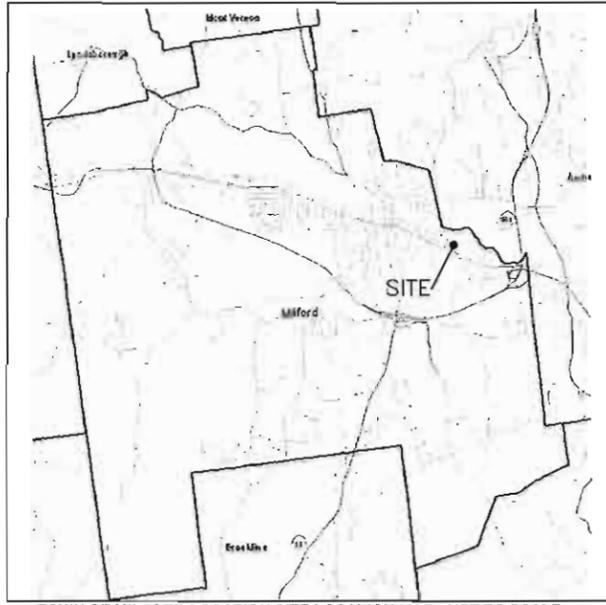
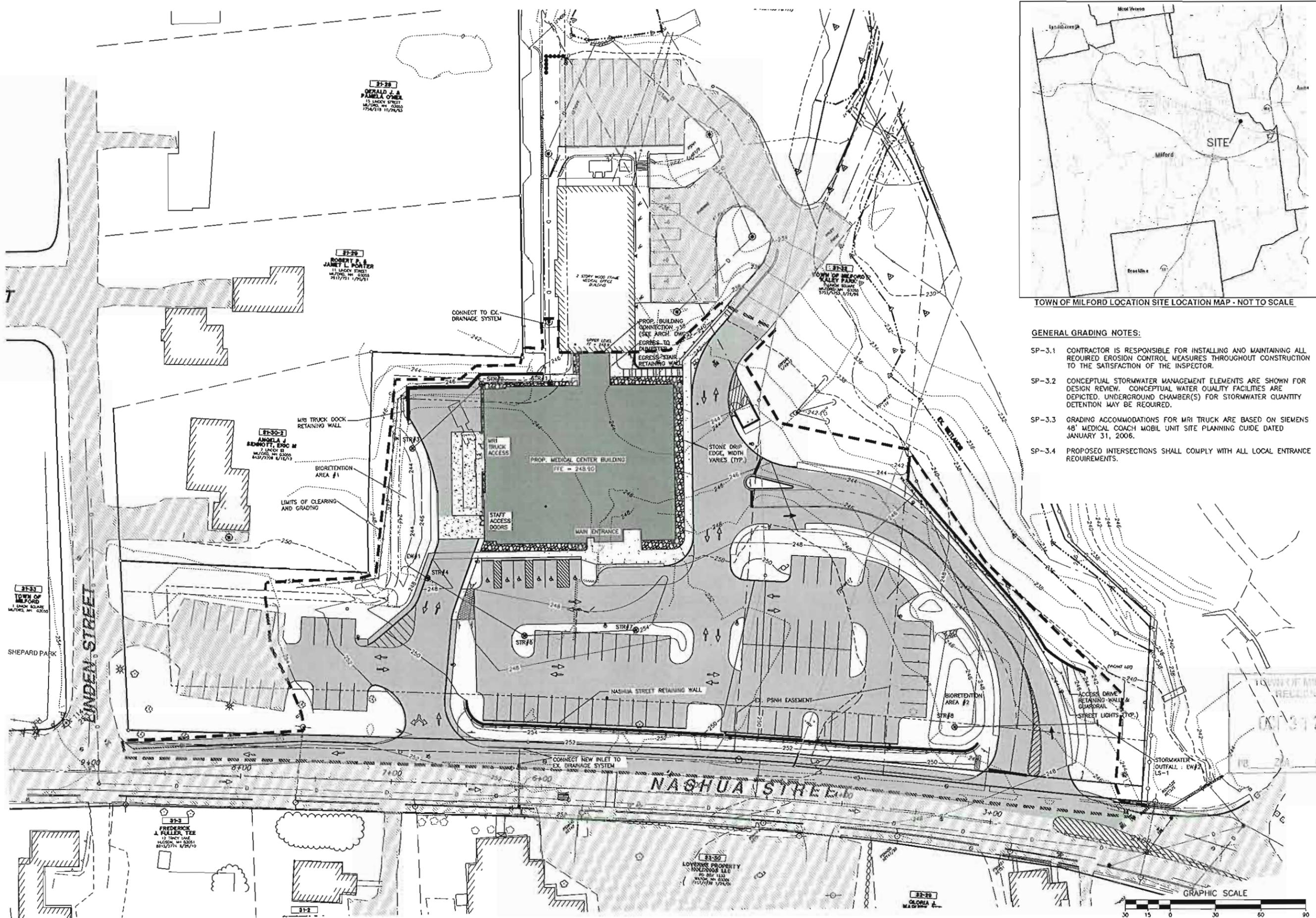
PROPOSED MEDICAL OFFICE BUILDING SITE PLAN

ST. JOSEPH HOSPITAL
 MILFORD MEDICAL CENTER
 LOTS 31-32-1 and 32-1
 MILFORD-NEW HAMPSHIRE

OCTOBER 31, 2013

SCALE: 1" = 30'

FILE: 124505A-0.dwg
 PROJECT: 000.00
 SHEET NO. 1 OF 1



TOWN OF MILFORD LOCATION SITE LOCATION MAP - NOT TO SCALE

GENERAL GRADING NOTES:

- SP-3.1 CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL REQUIRED EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO THE SATISFACTION OF THE INSPECTOR.
- SP-3.2 CONCEPTUAL STORMWATER MANAGEMENT ELEMENTS ARE SHOWN FOR DESIGN REVIEW. CONCEPTUAL WATER QUALITY FACILITIES ARE DEPICTED. UNDERGROUND CHAMBER(S) FOR STORMWATER QUANTITY DETENTION MAY BE REQUIRED.
- SP-3.3 GRADING ACCOMMODATIONS FOR MRI TRUCK ARE BASED ON SIEMENS 48' MEDICAL COACH MOBIL UNIT SITE PLANNING GUIDE DATED JANUARY 31, 2006.
- SP-3.4 PROPOSED INTERSECTIONS SHALL COMPLY WITH ALL LOCAL ENTRANCE REQUIREMENTS.

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 ENGINEERS
 LAND SURVEYORS
 SCIENTISTS
 LAND PLANNERS

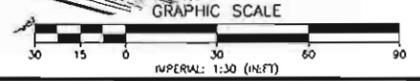
OFFICE: 31 OLD NASHUA ROAD, SUITE 2
 MILFORD, NEW HAMPSHIRE 03055
 TEL: 603-872-1441
 FAX: 603-872-1984
 MAILING ADDRESS: MILFORD, NEW HAMPSHIRE 03055
 MERIDIAN@MERIDIANLANDSERVICES.COM

REV.	DATE	DESCRIPTION
A		
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Z		
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CK		

PROPOSED MEDICAL OFFICE BUILDING
 PROPOSED GRADING PLAN
 OCTOBER 31, 2013

ST. JOSEPH HOSPITAL
 MILFORD MEDICAL CENTER
 LOTS 31-32-1 and 32-1
 MILFORD, NEW HAMPSHIRE

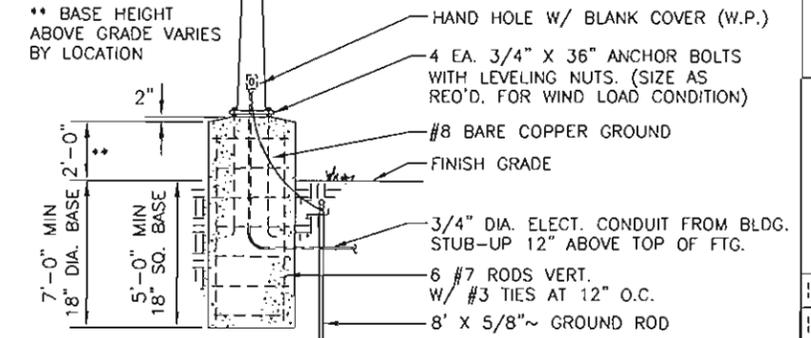
SP-3
 SHEET
 FILE: 1245/05A-0.dwg
 PROJECT: 000.00
 SHEET NO.: 1 OF 1



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
☐	2	S3	SINGLE	TLM-B04-LED-E1-SL3/ SSS4A18SFM1/ 2' PED
☐	4	S4	SINGLE	TLM-B04-LED-E1-SL4/ SSS4A18SFM1/2' PED
☐	7	S5	SINGLE	TLM-B04-LED-E1-5WQ/ SSS4A18SFM1/ 2' PED

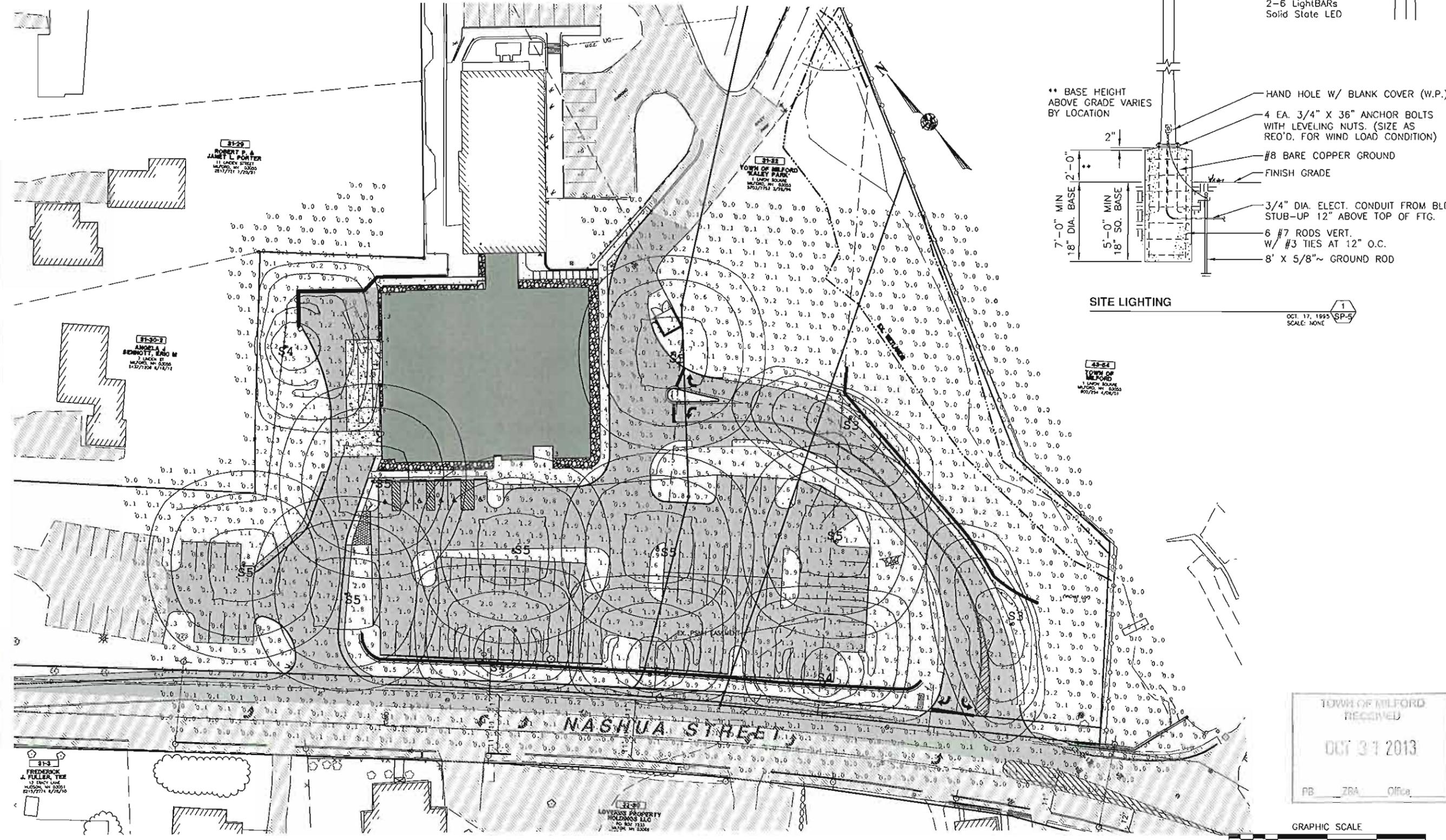
LARGE PARKING LOT AREA

Illuminance (Fc)
 Average = 1.29
 Maximum = 4.5
 Minimum = 0.4
 Avg/Min Ratio = 3.23
 Max/Min Ratio = 11.25

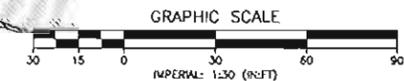


SITE LIGHTING

OCT. 17, 1993
 SCALE: NONE



TOWN OF MILFORD
 RECEIVED
 OCT 31 2013
 PB ZBA Office



REV.	DATE	DESCRIPTION
1		DR
2		
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PROPOSED MEDICAL OFFICE
 BUILDING
 PHOTMETRIC PLAN
 OCTOBER 31, 2013

ST. JOSEPH HOSPITAL
 MILFORD MEDICAL CENTER
 LOTS 31-32-1 and 32-1
 MILFORD, NEW HAMPSHIRE

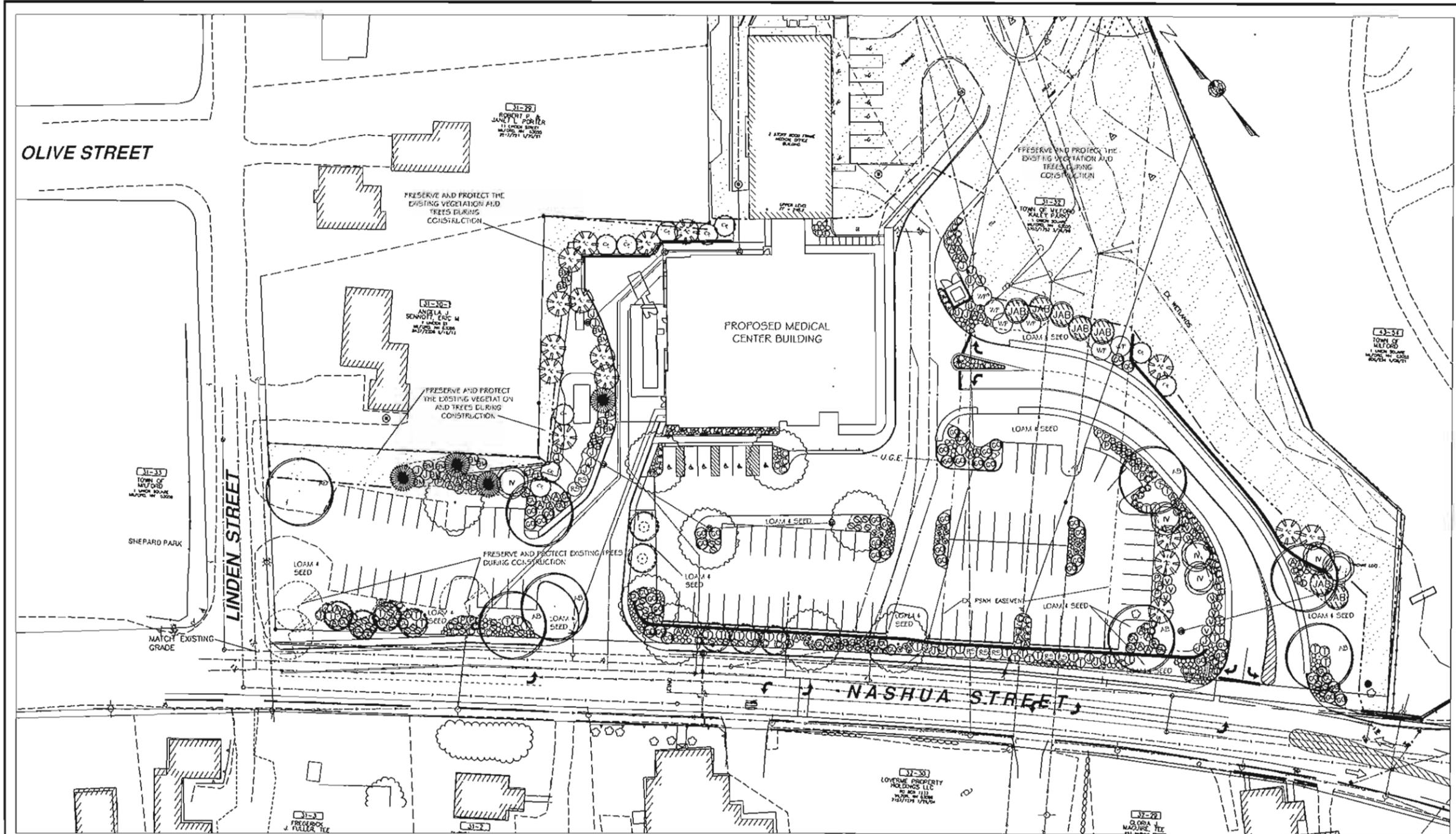
REV.	DATE	DESCRIPTION	BY	CHK
1				
2				
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PROPOSED MEDICAL OFFICE BUILDING
 LANDSCAPE PLAN
 OCTOBER 28, 2013

ST. JOSEPH HOSPITAL
 MILFORD MEDICAL CENTER
 LOTS 31-32-1 and 32-1
 MILFORD, NEW HAMPSHIRE
 SCALE: 1" = 30'

LO-1
 SHEET 1 OF 1
 PROJECT: 000-00
 SHEET NO. 1 OF 1

2013



LANDSCAPE CALCULATIONS:

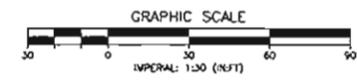
LANDSCAPING SHOWN ON THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE TOWN OF MILFORD LANDSCAPE REGULATIONS.

LANDSCAPE CALCULATIONS:

SECTION 6.05.6 - LANDSCAPE ALONG BUILDING FRONTAGE
 1' SHRUBS BY 10' x 6' FRUIT - 126.8175 = 25 SHRUBS REQUIRED

SECTION 6.05.7A - TREES/SHRUB LANDSCAPE ADJACENT PARKING LOTS
 ONE TREE/30 L.P. PAVEMENT OR 669.68750
 22 TREES REQ. 20 TREES PROPOSED AND 2 EXISTING TO REMAIN
 (THESE TREES SHALL BE PLANTED WITH SUITABLE SHRUBS AND GROUND COVER)

SECTION 6.05.6B - LANDSCAPING WITHIN PARKING LOTS
 ONE TREE/15 PARKING SPACES OR 36.715 = 6 TREES REQ. 6 TREES SHOWN

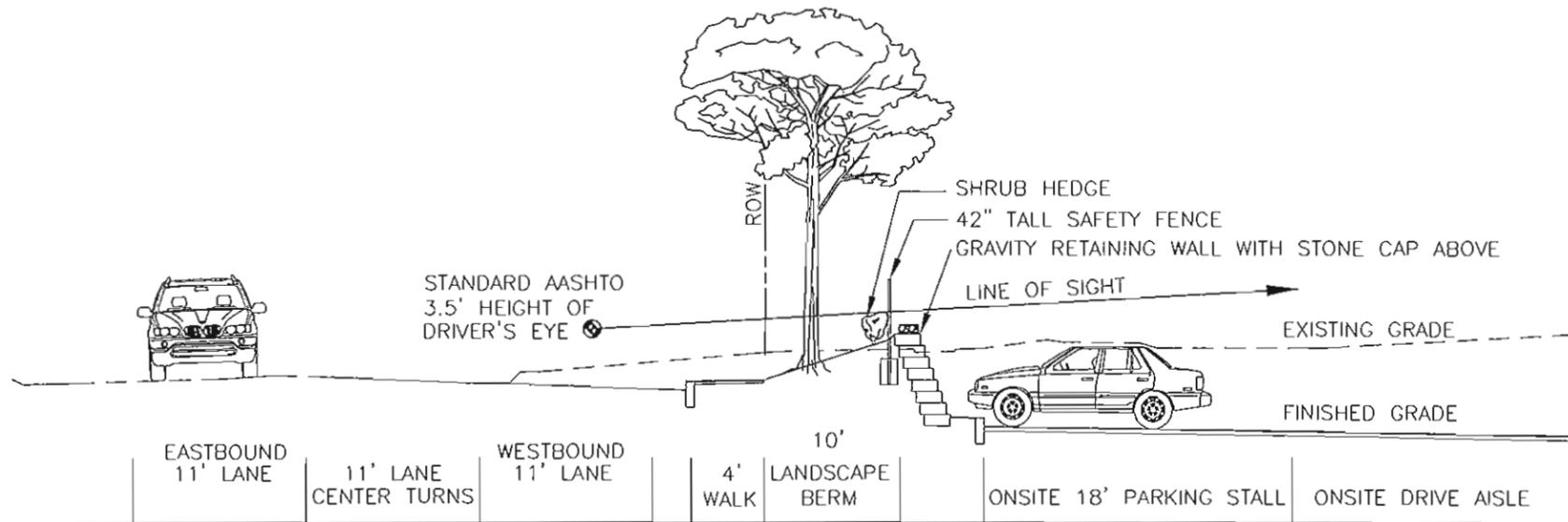


SEE SHEET LS-2 FOR LEGEND, DETAILS AND NOTES

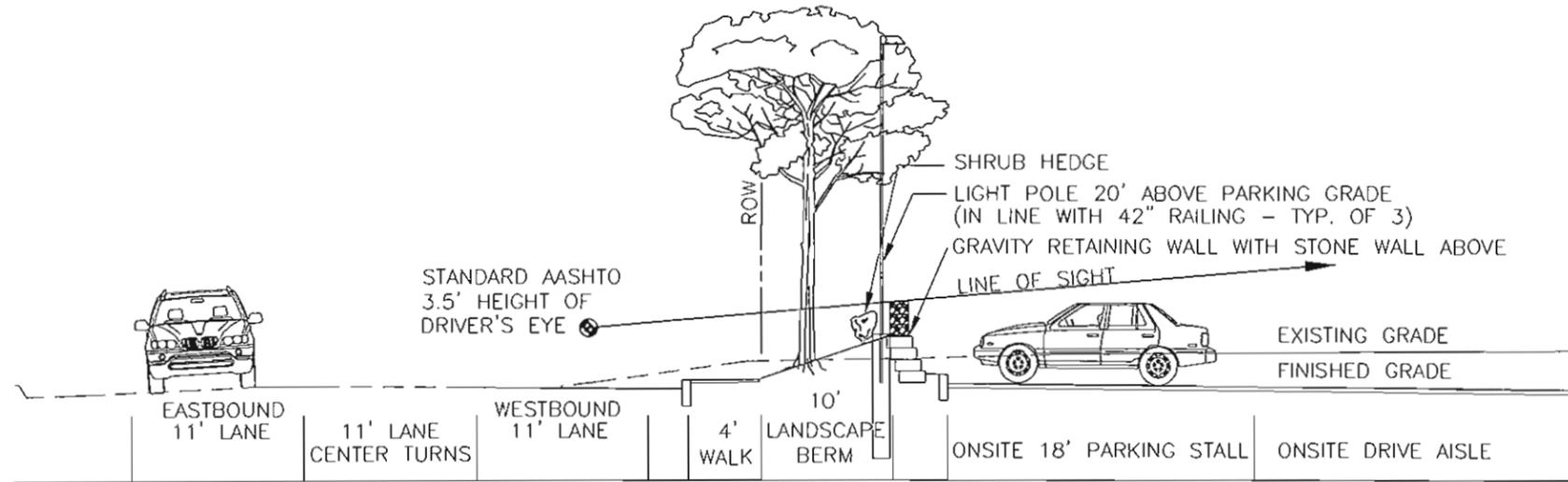
KNOWLES DESIGN
 landscape architecture
 graphics, renderings & design solutions
 PO BOX 5376, MANCHESTER, NH 03108
 603-497-4212

BASE INFORMATION SHOWN TAKEN ENTIRELY FROM PLAN BY OTHERS. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR LOCATION AND FIELD VERIFICATION OF ALL UTILITIES AND ELEVATIONS. THIS PLAN IS NOT THE RESULT OF AN ON-SITE SURVEY.

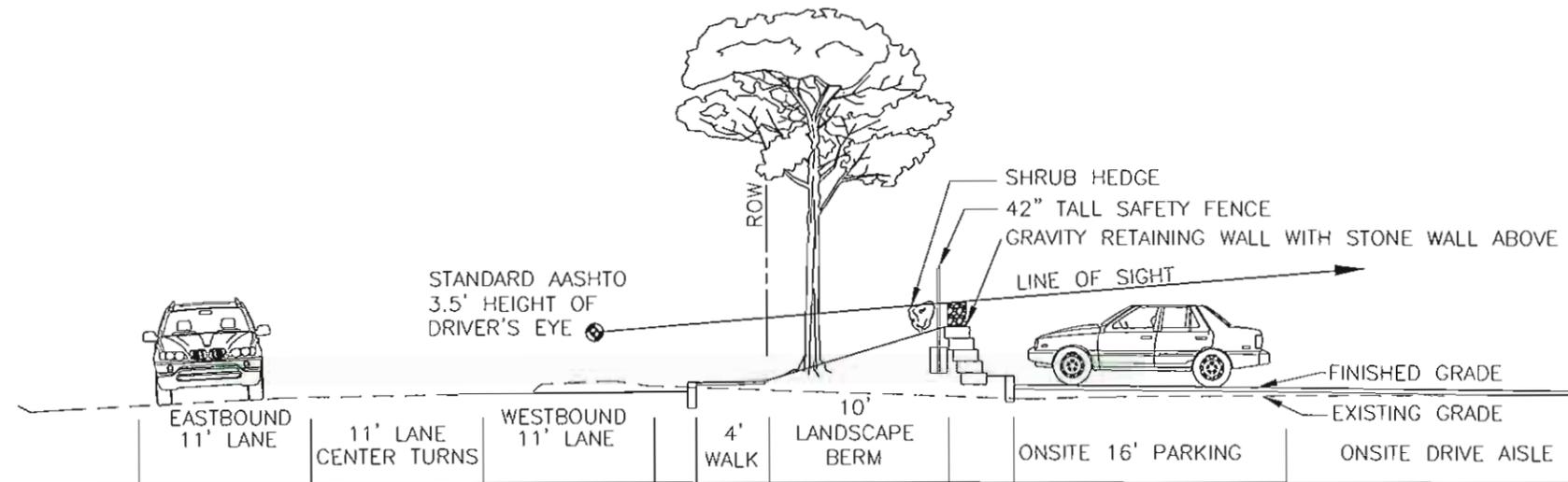
PLOTTER: 10/28/2013 11:42 AM Plt: R11
 C:\Users\jgordon\Documents\2013\Meridian\St. Joseph Medical Center\10047035_01.dwg
 WJL 10/28/2013 11:42 AM



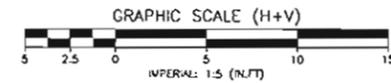
NASHUA STREET WALL SECTION : WEST END



NASHUA STREET WALL SECTION : CENTER



NASHUA STREET WALL SECTION : EAST END



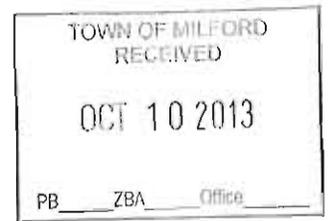
REV.	DATE	DESCRIPTION
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2	B	DR
3	C	DR
4	D	DR
5	E	DR
6	F	DR
7	G	DR
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9	I	DR
10	J	DR
11	K	DR
12	L	DR
13	M	DR
14	N	DR
15	O	DR
16	P	DR
17	Q	DR
18	R	DR
19	S	DR
20	T	DR
21	U	DR
22	V	DR
23	W	DR
24	X	DR
25	Y	DR
26	Z	DR

PROPOSED MEDICAL OFFICE BUILDING
 NASHUA ST WALL SECTIONS
 OCTOBER 31, 2013

ST. JOSEPH HOSPITAL
 MILFORD MEDICAL CENTER
 LOTS 31-32-1 and 32-1
 MILFORD, NEW HAMPSHIRE
 SCALE: H:1"=5', V:1"=5'



124501-NASHUA ST WALL SECTIONS.dwg



October 8, 2013

Shirley Wilson, Administrative Assistant
Town of Milford Planning Board
Town Hall
One Union Square
Milford, NH 03055

Dear Shirley,

This letter is in response to the request from the Town of Milford, dated August 26, 2013, for comments on a potential project of regional impact. Staff has reviewed the minutes and plans for a proposal to replace the existing St. Joseph's Medical Facility on Nashua Street and has identified the following items for consideration:

Nashua and Elm Street Corridor Design Guidelines

- **Parking** – The Design Guidelines identify the rear and side of the property as the ideal location for parking however; the proposed site plan locates almost all of the parking in the front of the building adjacent to the street. The Board may want to consider other options to enhance the layout of the site with the parking focused on the rear and side of the buildings.
- **Building Orientation** - The Design Guidelines call for building entrances to be facing the street and directly accessible from the sidewalk, enhancing the pedestrian-oriented streetscape. The proposed plans as shown do not promote a pedestrian oriented environment, with the building set far back and the parking adjacent to the street.
- **Gateway Opportunity** – A number of potential gateway opportunities are identified in the Design Guidelines and one is shown in the vicinity of the St. Joseph's site. This may be an opportunity to work with the applicant to see if opportunities exist for locating a gateway sign.

Access Management and Pedestrian Amenities

- **Pedestrian Access (includes Sidewalks and Crosswalks)** – The redevelopment of this site provides a potential opportunity to enhance the configuration of the existing sidewalk and pedestrian amenities. Ideally, in addition to a sidewalk, a grassy esplanade area would also be included that buffers the sidewalk from the travel lane along Nashua Street. This should be considered during the road widening. Alternatively, a meandering sidewalk with appropriate landscaping and street trees could be located in a grassy area along the front of the site. If pedestrian access is anticipated to increase in this area, enhancements to the existing crosswalk should be considered. There are a variety of pavement treatments and illumination that could be incorporated for safety.

- Throat Length – The plans as shown do depict a significant amount of throat length to accommodate queuing cars.
- Bus Shelter – The design guidelines promote planning for future transit access. It is suggested that “all major developments that could generate high volumes of transit users” must incorporate transit access into the site design. This could be addressed by designating an easement for a transit shelter or pull out in the future. Given that the facility is located on one of the town’s major arterials this is an ideal location to accommodate a future transit stop.

Please do not hesitate to contact me with additional questions at camillep@nashuarpc.org or at 603-424-2240, ext. 14.

Best Regards,

NASHUA REGIONAL PLANNING COMMISSION


Camille Pattison
Principal Planner

#200AA-239