



TOWN OF MILFORD, NEW HAMPSHIRE
OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055

TEL: (603)249-0620

WEB: WWW.MILFORD.NH.GOV

STAFF MEMO

Date: April 12, 2021
To: Town of Milford Planning Board
From: Jason Cleghorn, Town Planner
Subject: **SD2021-10 Poodle Crossing LLC (owners), 633 Elm Street, Map 13, Lots 3-1.** Public Hearing for a review of a major site plan related to the construction of a 28x40 three bay garage for the storage of vehicles and equipment.

BACKGROUND:

The applicant is before the Planning Board seeking approval of a major site plan in order to construct a 1,120 square foot, 28x40 three bay garage for the storage of vehicles and equipment in conjunction with the existing office building located on the property currently. The applicant received a NH Shoreland Impact Permit 2020-02402 because of the project's location near the Souhegan River.

ADDRESS:

633 Elm St.

EXISTING USE:

The property currently houses several office uses including a hair salon, accountant, financial advisor and steel construction management.

LOT AREA:

The lot is 28,836 s.f. (.66 acres)

APPLICATION STATUS:

The application is complete and ready to be accepted. The Board will need to make a determination of regional impact.

NOTICES:

Notices were sent to all property abutters on April 7, 2021.

ZONING DISTRICT/INFORMATION:

The subject property is within the Integrated Commercial-Industrial (ICI) District: The intent of the Integrated Commercial-Industrial District is to provide an area for sales and service activities, both wholesale and retail, as well as industrial activities. This District is intended to be the area in which vehicular oriented business can occur.

EXISTING CONDITIONS:

The subject property, Tax Map 13, Lot 3-1 is currently developed with an existing building housing several different offices for various businesses.

TRAFFIC AND ACCESS MANAGEMENT:

Vehicular ingress and egress to the property will not be altered from the current configuration which utilizes an access point along Elm Street and a second access point offering access to the rear of the site along North River Road.

OPEN SPACE/LANDSCAPING:

LOT 13-3-1
IMPERVIOUS AREA TABLE (sf)

IMPERVIOUS SURFACE	EXISTING	PROPOSED
EXISTING BUILDING	2016	2016
PROPOSED GARAGE	0	1120
GRAVEL PARKING AREA	2511	0
PAVED DRIVEWAY & PARKING	10773	11301
TOTALS:	15,300 s.f.	14437 s.f.

AREA OF LOT = 28,836 S.F.
 PRECONSTRUCTION IMPERVIOUS AREA 15300/28836 = 53%
 POST-CONSTRUCTION IMPERVIOUS AREA 14437/28836 = 49%
 POST CONSTRUCTION REDUCTION OF IMPERVIOUS AREA = 4%
 OPEN SPACE = 14,399 S.F.

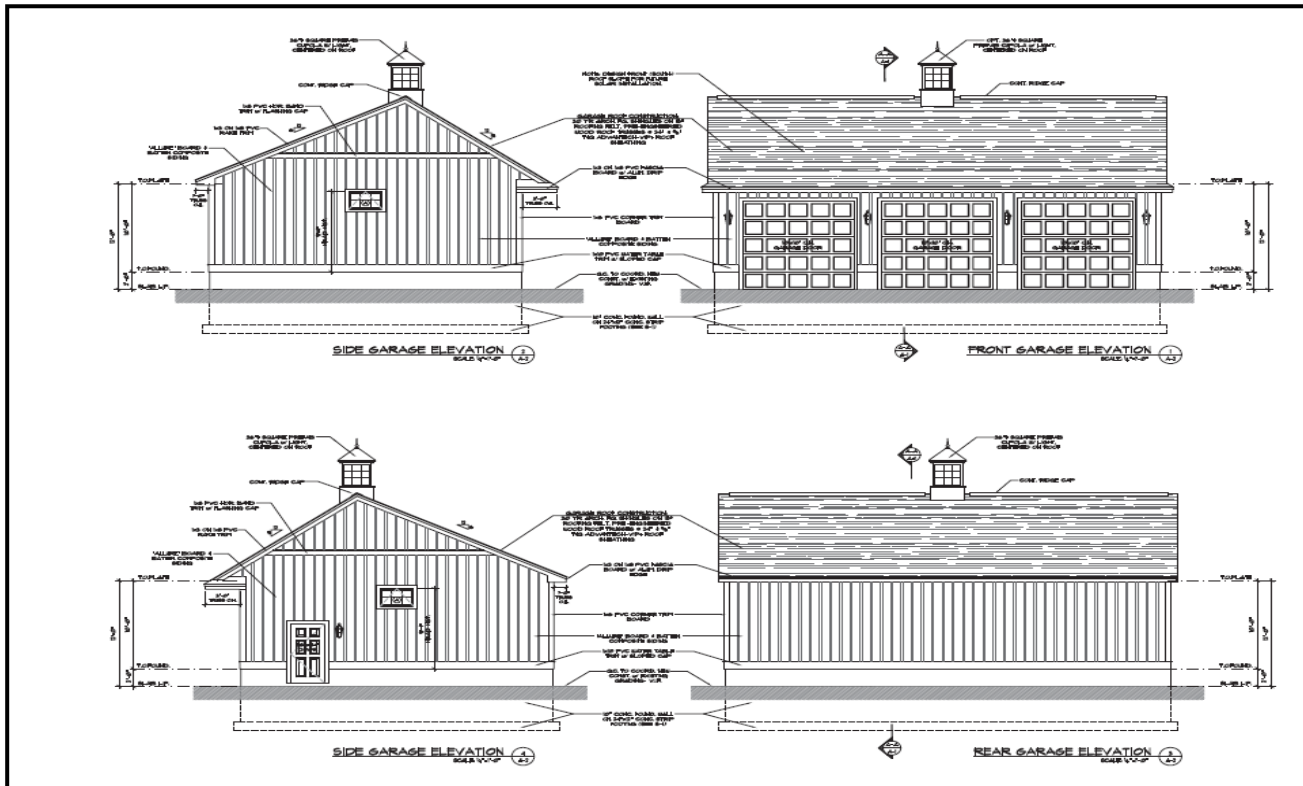
DRAINAGE:

Although the project is not located within the 100-year flood plain as shown on the Flood Insurance Rate Map Number 330096, dated September 25, 2009, the properties fall within the 400' Sanitary Radius.

PARKING: N/A

LIGHTING PLAN: N/A

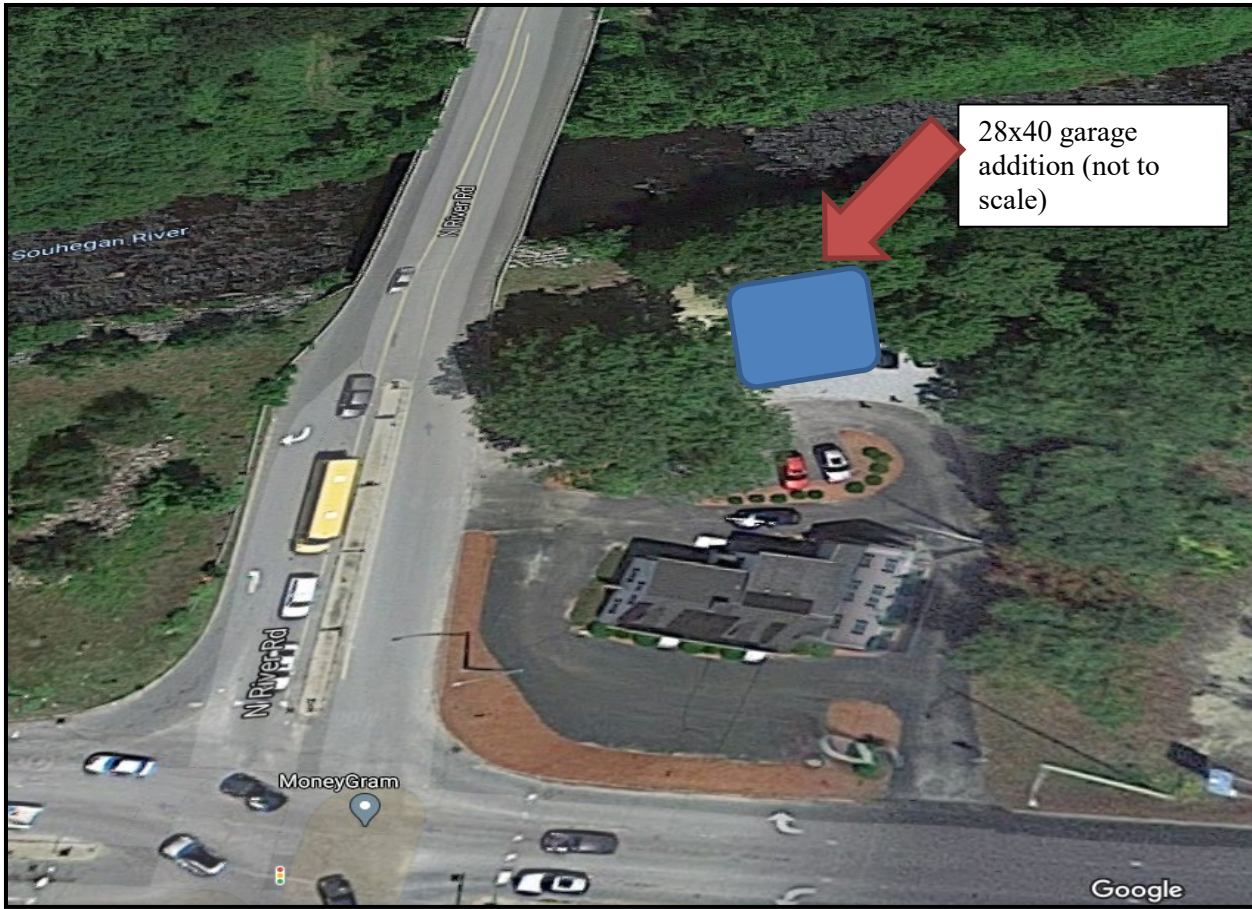
BUILDING ELEVATIONS:



STAFF RECOMMENDATIONS:

Barring any/all input and recommendations from the Board, Staff recommends approving the application conditionally. Primary conditions of approval could include adherence to the conditions listed within the Shoreland Impact Permit issued by the NHDES on October 19, 2020.

Aerial of 633 Elm Street, Map 13 Lots 3-1



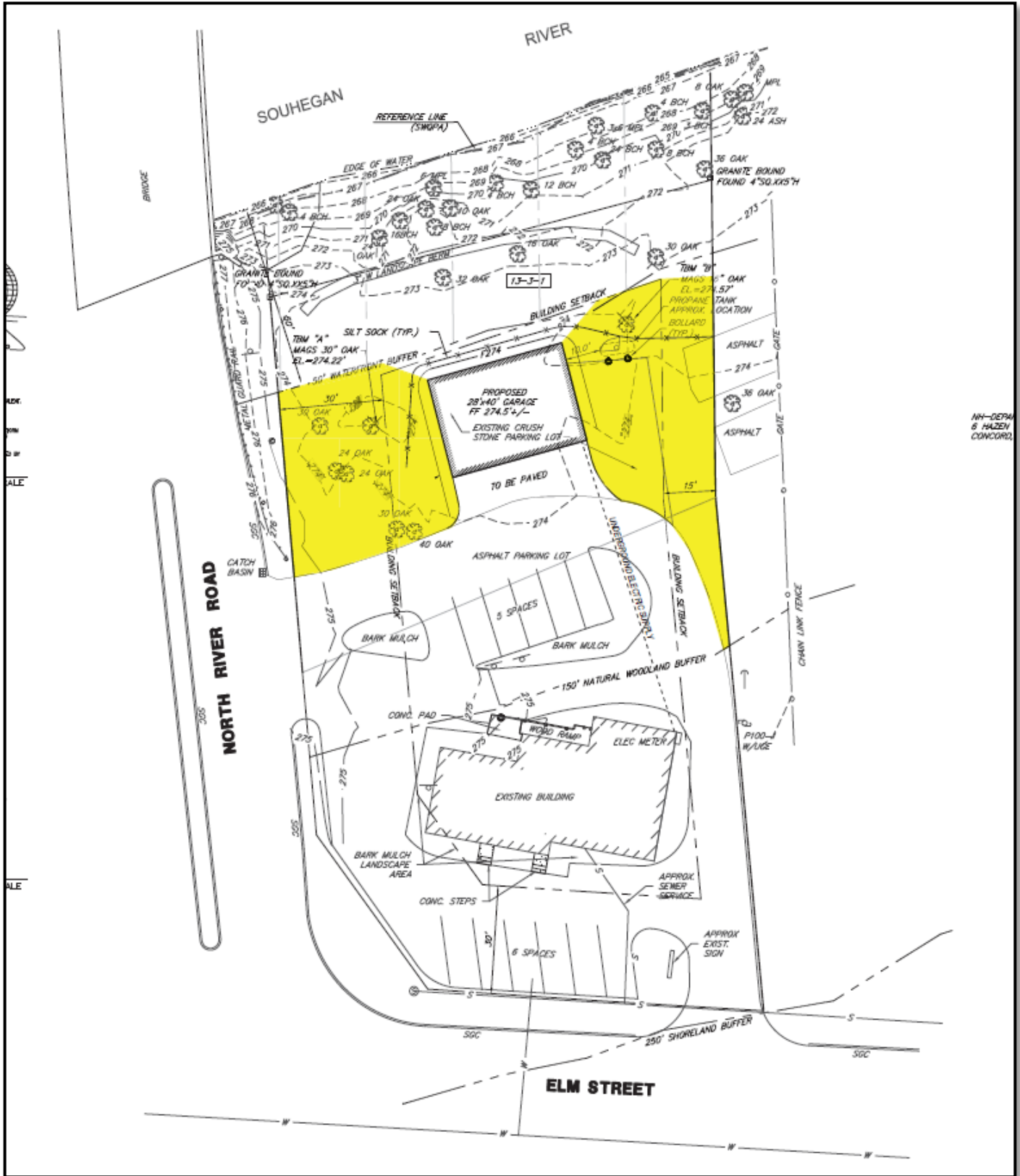
Existing Conditions (view from the south)



View from the west looking toward where the garage will be built



Site Plan



PROPOSED SITE PLAN DOCUMENTS

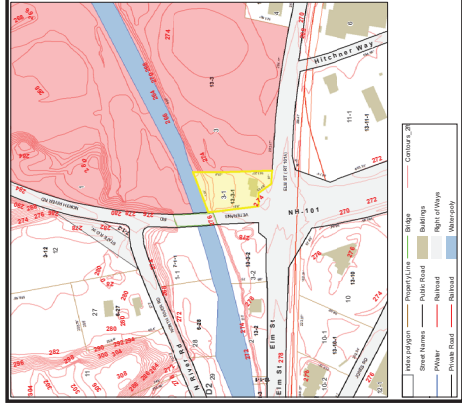
FOR _____

POODLE CROSSING, LLC.

**PROPOSED
LOCATION OF 3-BAY GARAGE
LOCATION OF SITE:
633 ELM STREET, TOWN OF MILFORD
HILLSBOROUGH COUNTY, NEW HAMPSHIRE
MAP #13, LOT #3-1**

TOWN OF MILFORD PLANNING BOARD		
SIGNATURE	DATE	

PROPERTY OWNER(S)		
SIGNATURE	DATE	
<i>[Signature]</i>	03/18/2021	
<i>[Signature]</i>	03/18/2021	



EXISTING CONDITIONS / TOPO



EXISTING TRAFFIC FLOW



LOCUS MAP



SITE BOUNDARIES

- TOWN OF MILFORD NOTES:**
- THE PURPOSE OF THIS PLAN IS TO PROVIDE THE PROPOSED SITE DEVELOPMENT AT THE LOCATION OF THE PROPOSED 3-BAY GARAGE AT 633 ELM STREET, TOWN OF MILFORD, HILLSBOROUGH COUNTY, NEW HAMPSHIRE. THE PLAN IS SUBJECT TO THE TOWN OF MILFORD ZONING ORDINANCES AND ANY OTHER APPLICABLE REGULATIONS.
 - THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF MILFORD, HILLSBOROUGH COUNTY, NEW HAMPSHIRE, AND ANY OTHER APPLICABLE AGENCIES.
 - THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF MILFORD, HILLSBOROUGH COUNTY, NEW HAMPSHIRE, AND ANY OTHER APPLICABLE AGENCIES.
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SITE INFORMATION

- APPLICANT: POODLE CROSSING, LLC
47 GOLDENVALE WINTERHURD ROAD
AMHERST, NH 03031
- PROJECT: POODLE CROSSING, LLC
3-BAY GARAGE AT 633 ELM STREET, TOWN OF MILFORD, HILLSBOROUGH COUNTY, NEW HAMPSHIRE
- PARCEL: MAP #13, LOT #3-1
TOWN OF MILFORD
HILLSBOROUGH COUNTY, NEW HAMPSHIRE

COVER SHEET

C-101

ORG. DATE - 03/18/2021

REVISIONS		
NO.	DATE	COMMENT

811
Before you dig, call 811
ALWAYS CALL 811
It's that. It's free. It's the law.

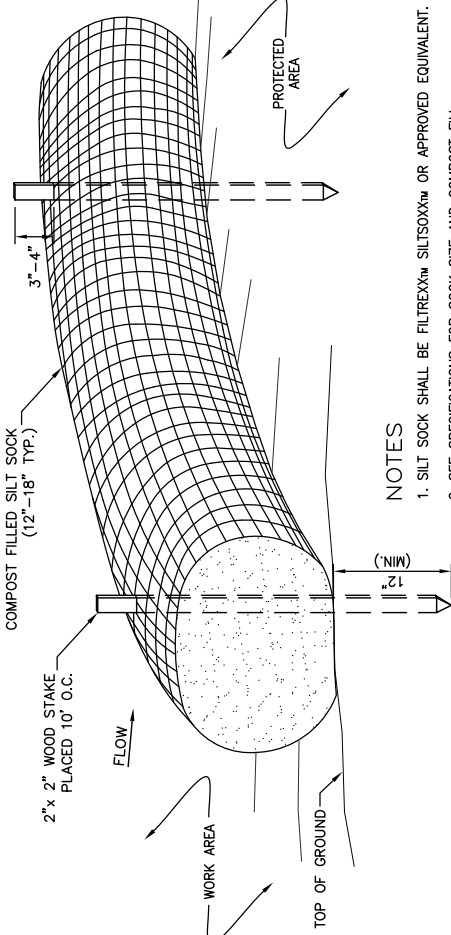
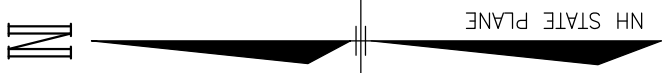
PERMIT SET

PROJECT NO.:
DRAWN BY:
CHECKED BY:
DATE:

PROPOSED SITE PLAN DOCUMENTS

POODLE CROSSING, LLC.

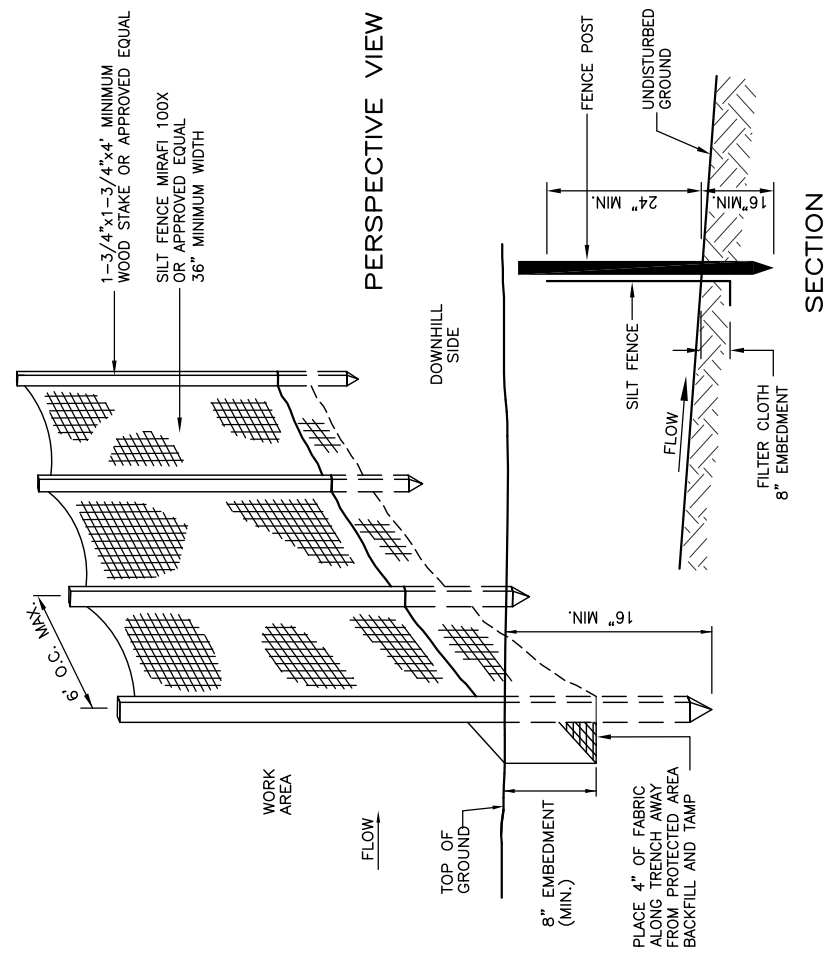
PROPOSED LOCATION OF 3-BAY GARAGE
MAP #13, LOT #3-1
TOWN OF MILFORD
HILLSBOROUGH COUNTY, NEW HAMPSHIRE



- NOTES**
1. SILT SOCK SHALL BE FURNISH, SHOWN OR APPROVED EQUIPMENT.
 2. REINFORCEMENTS FOR SOCK SIZE AND COMPOST FILL.
 3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS TO DETERMINE IF THE SOCK IS FULL AND REINFORCEMENT SHALL BE PERFORMED AS NOTED.
 4. COMPOST MATERIAL SHALL BE DISPOSED ON SITE AS DETERMINED BY THE OWNER.

SILT SOCK

NOT TO SCALE



SILT FENCE

NOT TO SCALE

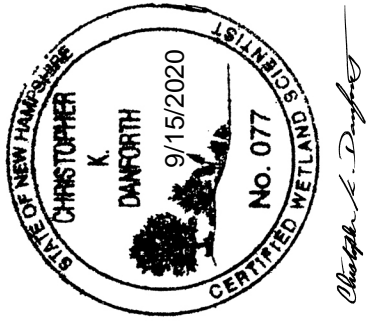
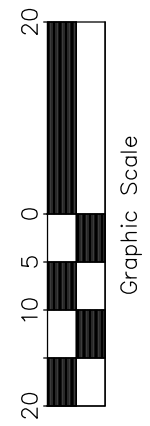
- NATURAL AREA IN WOODLAND BUFFER
- RESTORED IMPERVIOUS AREAS
- PROJECT DISTURBANCE AREA
- GRAVEL SURFACE PARKING AREA
- PAVED PARKING AND DRIVEWAY
- SNOW STORAGE



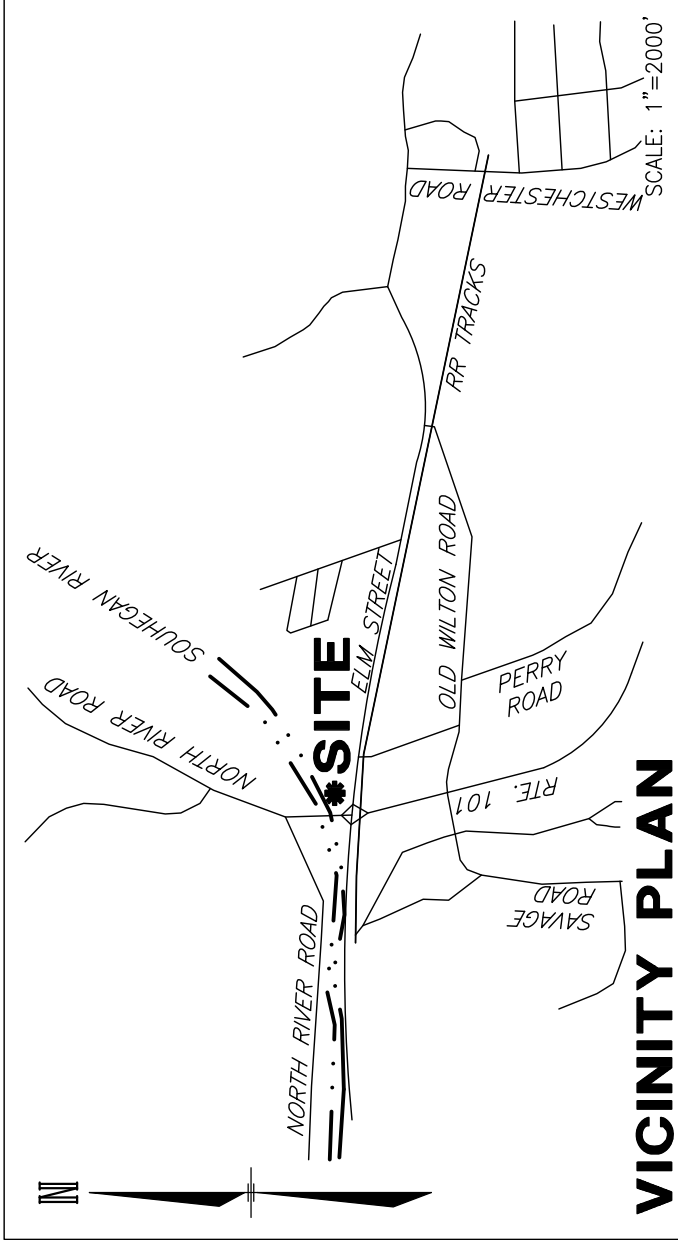
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 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

7-1
 MW LORREN SUFFESOP PRST
 WILLIAM CLEAVE'S GRCEL TRUST
 LYNDEBOROUGH, NH 03082



WETLAND CERTIFICATION
 JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON DATE BY CHRISTOPHER K. DANFORTH CWS #077, THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE DETERMINED USING FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 [HTTP://WETLAND.PLANTS.USACE.ARMY.MIL](http://wetland.plants.usace.army.mil).



VICINITY PLAN

NOTES

1. OWNER OF RECORD OF MAP 13 LOT 3-1: POODLE CROSSINGS, LLC 47 GOVERNOR WENTWORTH ROAD CONCORD, NH 03301-0000 DEED REFERENCE TO PARCEL IS BK. 9072 PG. 1787
2. 13-3-1 INDICATES TAX MAP AND LOT NUMBER.
3. THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF A PROPOSED 3-BAY GARAGE FOR STORAGE OF VEHICLES AND EQUIPMENT, TEMPORARY AND PERMANENT IMPACTS TO AREAS SUBJECT TO THE JURISDICTION OF THE SHORELAND WATER QUALITY PROTECTION ACT (NH-RSA 483-B).
4. HORIZONTAL DATUM, NH STATE PLANE VERTICAL DATUM, NAVD83 BENCHMARKS SET: AS NOTED
5. THE SOUTHIEGAN RIVER IS A DESIGNATED RIVER AND IS SUBJECT TO REVIEW BY THE SOUTHIEGAN RIVER LOCAL ADVISORY COMMISSION. A COPY OF THIS APPLICATION HAS BEEN SUBMITTED FOR THEIR REVIEW AND COMMENT.
6. THE NH FISH & GAME NATIONAL HERITAGE BUREAU HAS DETERMINED THAT THERE IS A SENSITIVE SPECIES IN THE VICINITY OF THIS PROJECT BUT HAS DETERMINED THE PROJECT WILL HAVE NO NEGATIVE EFFECT ON THE RESOURCE.
7. NO OTHER PERMITS FROM THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES ARE REQUIRED FOR THIS PROJECT.
8. NO IMPACTS WITHIN THE WATERFRONT BUFFER (50 FEET) ARE PROPOSED
9. CONSTRUCTION IMPACTS (GROUND DISTURBANCES ARE 2980 S.F. THE BUILDING WILL BE LOCATED WITHIN EXISTING GRAVEL PARKING WITHIN A NET INCREASED IMPERVIOUS AREAS. PREDEVELOPMENT IMPERVIOUS AREA IN THE WOODLAND BUFFER IS 15300 S.F. POST DEVELOPMENT IMPERVIOUS AREA IS 14437 S.F. THE TOTAL AREA OF WOODLAND BUFFER (50'-150') IS 12,802 S.F. 10,874 S.F. WILL REMAIN IN A NATURAL STATE.
10. THE NEW GARAGE WILL BE CONSTRUCTED MOSTLY WITHIN AN EXISTING GRAVEL PARKING AREA. THE REMAINING GRAVEL PARKING AREA (1016 S.F.) AND THE REMAINING ASPHALT SURFACED DRIVEWAY ENTRANCE (120 S.F.) TO THE ADJACENT LOT WILL BE RESTORED TO A PERVIOUS SURFACE BY REMOVING THE GRAVEL, LOOSENING THE SOIL BY FLOWING OR TILLING AND APPLYING A MINIMUM OF 4 INCHES OF TOPSOIL. A MINIMUM OF 75 PERCENT AERIAL COVERAGE IS ACHIEVED. GRASS SEED CAN BE AUGMENTED WITH NATIVE SHRUBS/TREES OR WILDFLOWER MIX AS APPROPRIATE.
11. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT TO ENSURE PERFORMANCE. ALL DISTURBED SOILS SHALL BE STABILIZED BY APPLYING TOPSOIL, SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PERIMETER CONTROLS CAN CONSIST OF COMPOST BERMS, SILT-SOCK OR SILT FENCE INSTALLED AT THE PERIMETER OF THE PROJECT AREA. PERIMETER DIMENSION SHIELDS SHALL BE INSTALLED TO PREVENT UNCONTROLLED SURFACE WATER RUNOFF.
12. PRIOR TO ANY EXCAVATION CONTACT DIGSAFE TO HAVE THE SITE MARKED FOR UNDERGROUND UTILITIES.

13-3
 NH-DEPARTMENT OF ENVIRONMENTAL SERVICES
 6 HAZEN DRIVE P.O. BOX 25
 CONCORD, NH 03302-0095

LOT 13-3-1 TABLE (S.F.)

IMPERVIOUS SURFACE	EXISTING	PROPOSED
EXISTING BUILDING	2016	2016
PROPOSED GARAGE	0	1120
GRAVEL PARKING AREA	2511	0
PAVED DRIVEWAY & PARKING	10773	11301
TOTALS:	15,300 S.F.	14,437 S.F.

AREA OF LOT WITHIN 250' OF THE RIVER = 29,836 S.F.
 PRECONSTRUCTION IMPERVIOUS AREA 15,300/29836 = 5.1%
 POST-CONSTRUCTION IMPERVIOUS AREA 14,437/29836 = 4.9%
 OPEN SPACE = 14,399 S.F.

TAX MAP 13 LOT 3-1
SHORELAND IMPACT PLAN
POODLE CROSSINGS LLC
633 ELM STREET MILFORD, NH
 OWNED BY/PREPARED FOR
POODLE CROSSINGS LLC

SCALE: 1"=20'

SEPTEMBER 15, 2020

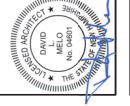
Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists
 www.tfmra.com

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747

76044.06
 DR STB
 CK HGM
 CADFILE 76044-06 SURVEY

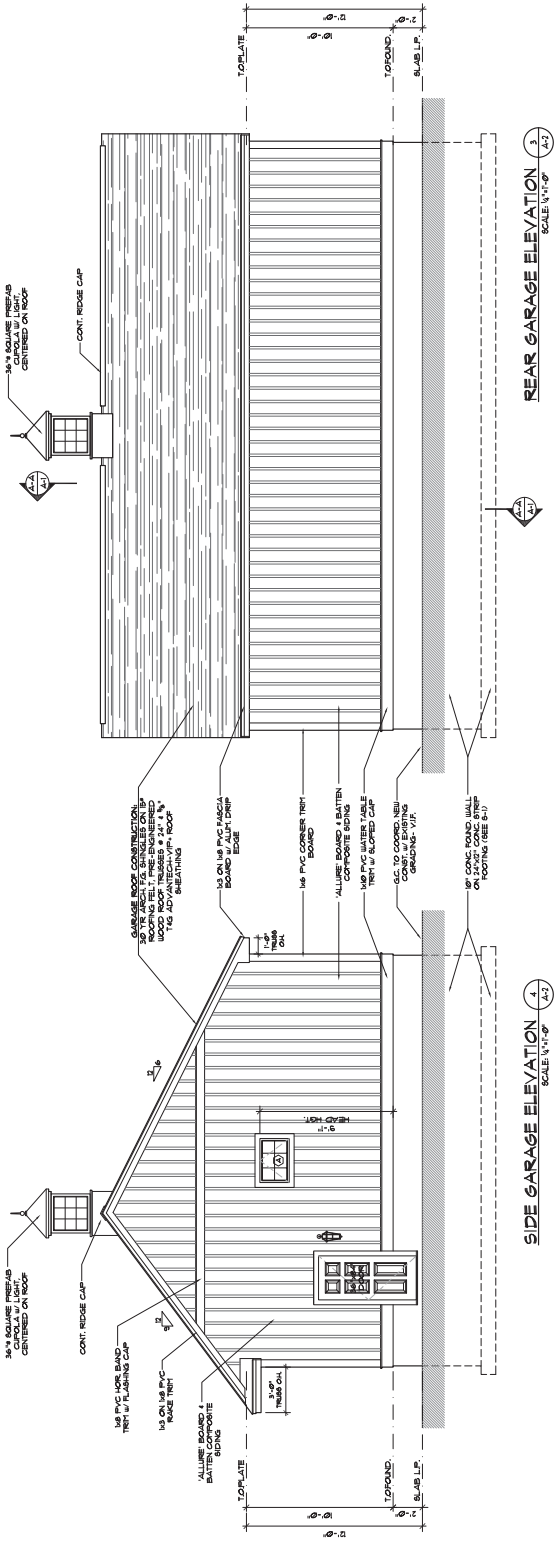
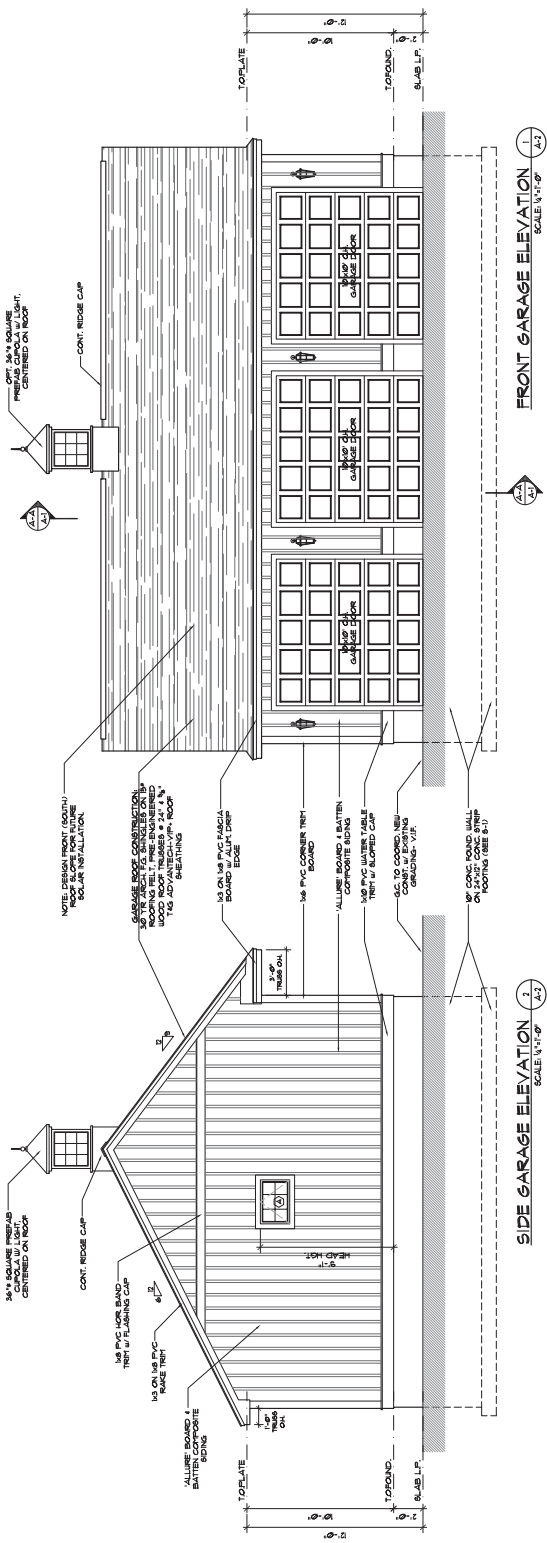
SHEET 1 OF 1

REV.	DATE	DESCRIPTION	DR	CK



DM Designs
 I HAVE REVIEWED AND FOUND THIS SET OF DRAWINGS TO BE COMPLETE AND ACCURATE FOR THE PROJECT AS SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE COST OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE COST OF CONSTRUCTION.
 2018.10.16

REVISIONS	
NO.	DATE

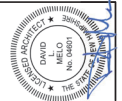


FRONT GARAGE ELEVATION SCALE 1/4"=1'-0"
 1 A1 A2

REAR GARAGE ELEVATION SCALE 1/4"=1'-0"
 3 A1 A2

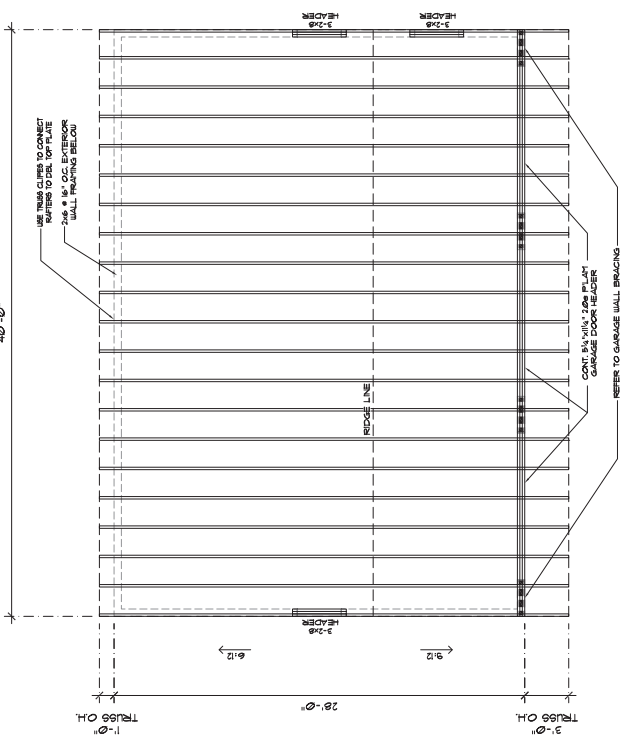
FRONT GARAGE ELEVATION SCALE 1/4"=1'-0"
 1 A1 A2

REAR GARAGE ELEVATION SCALE 1/4"=1'-0"
 3 A1 A2



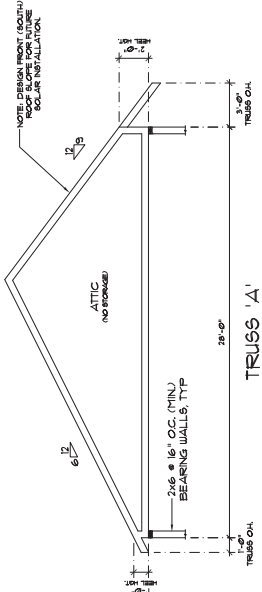
DM Designs
 DAVID MELO
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF NEW HAMPSHIRE
 NO. 68186
 EXPIRATION DATE 12/31/2024

NO.	DATE	BY	REVISION



TRUSS ROOF FRAMING PLAN (1)
 SCALE: 1/4" = 1'-0"

- GENERAL FRAMING NOTES:**
- ALL CONSTRUCTION SHALL COMPLY WITH 2018 INTERNATIONAL BUILDING CODE BY NEW HAMPSHIRE JURISDICTION.
 - ALL DECKING LOADS ON TRUSS WALLS SHALL BE TRANSMITTED TO THE TRUSS ROOF. A CONTINUOUS LOAD PATH OF INTERCONNECTED FRAMING ELEMENTS FROM FOOTING TO TRUSS ROOF SHALL BE PROVIDED. ALL CONNECTIONS SHALL BE DESIGNED FOR THE FULL SERVICE LIFE OF THE STRUCTURE. ALL TRUSS ROOF FRAMING SHALL BE PROVIDED WITH A FLUSH FINISHED BOTTOM SURFACE TO ALLOW FOR THE INSTALLATION OF FINISH MATERIALS.
 - ALL TRUSS ROOF FRAMING SHALL BE PROVIDED WITH A FLUSH FINISHED BOTTOM SURFACE TO ALLOW FOR THE INSTALLATION OF FINISH MATERIALS.
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TRUSS PROFILES (2)
 SCALE: 3/8" = 1'-0"

- TRUSS PROFILES (2)**
- ALL TRUSS PROFILES SHALL BE PROVIDED WITH AN ATTIC SPACE FOR FUTURE SOLAR INSTALLATION.
 - ALL TRUSS PROFILES SHALL BE PROVIDED WITH AN ATTIC SPACE FOR FUTURE SOLAR INSTALLATION.
 - ALL TRUSS PROFILES SHALL BE PROVIDED WITH AN ATTIC SPACE FOR FUTURE SOLAR INSTALLATION.
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DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

APPLICATION FOR MAJOR SITE PLAN APPROVAL

POODLE CROSSING, LLC

MAP 13 LOT 3-1

633 Elm Street

Milford, NH 03055



APPLICATION FOR SITE PLAN APPROVAL

CONTACT INFORMATION

Property Owners(s): Name: Poodle Crossing, LLC
Address: 47 Govenor Wentworth Road
Amherst, NH 03031

Telephone Number: 603.769.1526 Fax: 603.672.1154

Email Address: Allise@jaysteel.com poodlecrossingllc@gmail.com

Applicant: Name: SAME
(if different from above) Address: _____

Telephone Number: _____ Fax: _____

Email Address: _____

Engineer/ Name: TF Moran
Surveyor/ Address: 48 Constitution Drive
Architect: Bedford, NH 03110

Telephone Number: 603.472.4488 Fax: 603.472.9747

Email Address: cdanforth@tfmoran.com

Primary Contact Person: Chris Danforth

TYPE OF APPLICATION

(Please check all that apply)

- Discussion - Informal meeting with Planning Board.
- Minor Site Plan - Less than 600 sq. ft. of additional exterior construction.
- Major Site Plan
 - Design Review Plan
 - Final Plan
- Request for Waiver of Site Plan Review
- Request for Waiver of Specific Site Plan Requirements
- Other - (i.e. amendments and/or revisions)

SITE INFORMATION

LOCATION: Tax Map Number 13 Lot(s) 3-1 ZONING DISTRICT: Integrated Commercial Industrial

ROAD FRONTAGE ON: Elm Street TOTAL SITE AREA: 0.662 acres

BRIEF DESCRIPTION OF PROJECT: _____
construction of a 28'x40' 3 bay garage for storage of vehicles and equipment
Project area disturbance is 2080 square feet.

NAME OF EXISTING OR PROPOSED SITE PLAN: tax map 13 lot 3-1 Shoreline Impact Plan

INSTRUCTIONS FOR SUBMITTING A COMPLETE APPLICATION (Please read carefully)

For an application to be scheduled on the next available Planning Board agenda, the following items MUST be submitted to the Department of Planning & Community Development by close of business on the officially posted submittal date:

- 1. **Completed and signed SITE PLAN APPLICATION FORM and ABUTTERS LIST.**
The application will not be placed on the Planning Board agenda unless all required signatures are on the application. The owner MUST sign the application form.
- 2. **Three (3) large and one (1) 11" x 17" prints of the site plan or site plan set.**
At least one (1) plan MUST be signed by the owner. All applicable information as described on the attached SITE PLAN CHECKLIST MUST be shown on the plans. Owner's signature must be on at least one (1) plan, indicating his/her knowledge of the plan and application.
- 3. **Application fee and Abutter Mailing Fees.**
These fees will be determined at the time you turn in the application. Fees are based on square footage of new construction and number of certified mailings, which must be sent. All checks are to be made payable to the **Town of Milford**.

AUTHORIZED SIGNATURES

Owner(s): I/We, as owner(s) of the property described hereon, certify that this application is correctly completed with all required attachments and requirements in accordance with the Site Plan Regulations for the Town of Milford. I/We also authorized members of the Milford Planning Board and its agents to access the property described on this application for on-site review of the proposed site plan.

Alicia de Jesus member 3/17/12
Name (please print) and Title Date

IF APPLICABLE:

Owner(s) authorization for Applicant or Agent to represent the application:

The applicant or agent, as stated hereon, has authorization from the property owner to submit this site plan application and represent the property owner on matters relative to the Town site plan approval process.

Owner's Signature Date

Applicant's Signature:

I acknowledge, as the applicant stated hereon, that this site plan application has been completed and submitted in conformance with all applicable Town of Milford regulations, and that I am the designated representative for the property owner on matters relative to this site plan application.

Applicant's Signature Date

Agent's Signature (someone other than the Owner or Applicant who is representing the project):

I acknowledge, as the agent stated hereon, that this site plan application has been completed and submitted in conformance with all applicable Town of Milford regulations, and that I am the designated representative for the property owner on matters relative to this site plan application.

Agent's Signature Date

ABUTTER LIST

Abutter - Any person whose property is located in New Hampshire and adjoins or is directly across the street, stream, or active railroad property from the land under consideration by the local land use board.

For purposes of receiving testimony only, and not for purposes of notification, the term "abutter" shall include any person who is able to demonstrate that his/her land will be directly affected by the proposal under consideration.

For purposes of receipt of notification by a municipality of a local land use board hearing, in the case of an abutting property being under a condominium or other collective form of ownership, the term "abutter" means the officers of the collective or association, as defined in RSA 356-B:3, XXIII. For purposes of receipt of notification by a municipality of a local land use board hearing, in the case of an abutting property being under a manufactured housing park form of ownership defined in RSA 205-A:1, the term "abutter" includes the manufactured housing park owner and the tenants who own manufactured housing which adjoins or is directly across the street, stream, or active railroad from the land under consideration by the local land use board. For purposes of receipt of notification by a municipality of a local land use board hearing, in the case of an abutting property being an active railroad property, the owner of the railroad property shall be notified. For purposes of receipt of notification by a municipality of a local land use board hearing, in the case where the applicant is different from the owner of the land under consideration by the local land use board, the term "abutter" includes the applicant.

Map	Lot	Property Owner	Street Address	Town	State	Zip Code
13	3	NH State Dept. of Env. Services	6 Hazen Drive	Concord	NH	03302
7	1	Lorde, Ann Successor Trustee, Cleaves, Wm. W Rvcbl Trst	633 Center Road	Lyndeborough	NH	03082

My signature attests that the above abutter listing reflects the most current assessing records and that the Milford Planning Board is released from any responsibility for inaccurate information or incorrect abutter notification.

 _____
Signature of Owner

3/17/21 _____
Date

13 3-7 _____
Map & Lot



TOWN OF MILFORD, NH

Application Checklist

MAJOR SITE PLAN

Major Site Plan: An application of greater than six hundred (600) square feet of additional building space.

For any boxes under "Required" checked "No" please submit written justification if the reasons are not apparent. This checklist is for administrative efficiency. It does not take the place of the comprehensive requirements of the Development Regulations, nor does it preclude the Board from requesting additional information if deemed necessary for making an informed decision.

Waiver Requests: Provide written justification for any waiver requests, citing the appropriate section number of the regulations. Waiver Forms are available at the Community Development Office or online at: <http://www.milford.nh.gov>.

If you have any questions please contact the Community Development office at (603) 249-0620.

Name of Application Poodle Crossing LLC

Map(s) 13 Lot(s) 3-1

Required			Submitted		Waived
YES	NO		YES	NO	
X		1.	Complete, signed Application		
X		2.	Four (4) large 22" x34" copies and one (1) reduced 11" x 17" copy		
Plan Information					
X		A.	Name, address & signature of applicant		
X		B.	Name, address & signature of owner (if different from applicant)		
X		C.	Name & address of person/firm preparing plan		
X		D.	Names & address of all abutters		
X		E.	North arrow		
X		F.	Scale		
X		G.	Date Prepared		
X		H.	Locus map		
X		I.	Property boundary lines with distances and angles to scale		
X		J.	Lot area, frontage & associated minimum zoning requirements		
X		K.	Current zoning of property		
X		L.	Delineation of all wetlands and wetland buffers		
X		M.	Existing & proposed topography at five (5') ft intervals or two (2') ft intervals if major changes are proposed		

Required				Submitted		Waived	
YES	NO		General Submission Requirements		YES	NO	
X		N.	Scaled roadway centerline at 50' increments for rural areas and 10' increments in the Urbanized/Oval Sub-Dist area		X		
X		O.	Location of buildings within 50 ft		X		
X		P.	Location of all roads or driveways within 200 ft		X		
X		Q.	Locations of infiltrating drainage systems within 200ft		X		
X		R.	Existing access roads, recreational trails and boundaries (such as stone walls, barbed wire, etc.)		X		
X		S.	Existing & proposed buildings, driveways, sidewalks, parking spaces, loading areas, significant trees, vegetated areas, open drainage courses & service areas		X		
X		T.	Building setback lines		X		
X		U.	Flow of traffic		X		
X		V.	Provisions for storage of recycling and refuse		X		
X		W.	Location, size and detail of signs		X		
X		X.	Location, size and detail of exterior lighting		X		
X		Y.	Location, size and detail of storage tanks		X		
X		Z.	Snow storage locations		X		
X		AA.	Note defining the Purpose of the plan		X		
X		BB.	Note detailing Open Space calculations		X		
X		CC.	Brief history of the property (i.e. previous disturbances)		X		
X		DD.	General description of existing characteristics such as: developed, productive farmland, meadow, forest, viewshed, archeological site, areas contiguous with other open space and wildlife corridors.		X		
X		EE.	Brief description of drainage upstream onto property and discharge downstream from property		X		
X		FF.	Note detailing applicable impact fees		X		
X		GG.	A note indicating: "Water, sewer, road (including parking lot) and drainage work shall be constructed in accordance with the Town of Milford's Water Utilities Department and Public Works Department Standards."		X		
X		HH.	A note indicating: "As-built plans shall be delivered to the Building Department prior to a Certificate of Occupancy being issued."		X		
X		II.	Note detailing Groundwater Protection District information		X		
X		JJ.	Note referencing and delineations on the plan of all easements, rights-of-way and deeded property restrictions.		X		
X		KK.	Landscaping Plan		X		
	X	LL.	Stormwater Management and/or Erosion Control Plan			X	
X		MM.	Architectural plans and details		X		
X		NN.	Utility Plan		X		
X		OO.	Note detailing any approved waivers		X		
	X	PP.	Note detailing Flood Hazard information			X	

			Other Information (as necessary)			
	X	1.	Stormwater Management and Erosion Control permit if > 5000 SF of land disturbance (see Stormwater Management and Erosion Control Regulation)			X
	X	2.	Alteration of Terrain Permit from NH DES			X
	X	3.	NH Wetlands Bureau and/or Milford Zoning Board of Adjustment for the relocation, filling, or dredging of wetlands or wetlands buffers			X
	X	4.	NH Water Supply and Pollution Control Commission for septic systems			X
	X	5.	All new deeds, easements, covenants and rights-of-way on property	X		
	X	6.	NH DOT or Milford DPW Driveway Permit			X
X		7.	NH DES Shoreland Protection Permit	X		
	X	8.	Any other State/Federal Permits			X

Signature of person preparing the Major Site Plan Application Checklist:

Name/Title: Allison S. [Signature] MEMBER Date: 3/17/21

Application for Site Plan Approval – Checklist Addendum

Poodle Crossing, LLC
Map 13 Lot 3-1
633 Elm Street
Milford, NH 03055

Checklist Item

- O. No buildings within 50' except existing structure
- Q. No infiltrating drainage system within 200 ft.
- V. All recycling and refuse will be addressed within the office building.
- W. No additional signage will be added to the site.
- X. The only modifications to exterior lighting will be the switched sconces near the doors of the garage.
- Y. No storage tanks.
- Z. Snow storage locations shown on plan in yellow highlight.
- CC. Existing structure houses several businesses (Salon, Accountant, Financial Advisor and Steel Construction Management).
- DD. Developed property adjacent to Souhegan River and property owned by State of NH
- EE. Proposed modification will not alter existing drainage patterns.
- FF. Fees associated with this Site Plan will be $\$75 = (2 \times 4.11) + (0.05 \times 2080) = \187.22
- NN. Electrical utility feeding proposed garage to be fed from existing office building. No other utilities are proposed for the new structure.
- OO. No waivers requested.



Abutters List Report

Milford, NH
August 26, 2020

Subject Property:

Parcel Number: 013-003-001-000
CAMA Number: 013-003-001-000
Property Address: 633 ELM ST

Mailing Address: POODLE CROSSING, LLC
47 GOVERNOR WENTWORTH RD
AMHERST, NH 03031

Abutters:

Parcel Number: 007-001-000-000
CAMA Number: 007-001-000-000
Property Address: 0 NORTH RIVER RD

Mailing Address: LORDEN, ANN SUCCESSOR TRSTEE
CLEAVES, WILLIAM W RVCBL TRST
633 CENTER RD
LYNDEBOROUGH, NH 03082

Parcel Number: 013-003-000-000
CAMA Number: 013-003-000-000
Property Address: 621 ELM ST

Mailing Address: NH STATE OF DEPT OF
ENVIRONMENTAL SERVICES
6 HAZEN DR P O BOX 95
CONCORD, NH 03302-0095



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

8/26/2020

Page 1 of 1

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS: That **New Bridge Trust, Inc.**, a New Hampshire Corporation, of 1170 Mitchell Hill Road, Wilton, Hillsborough County, NH 03086, for consideration paid grant(s) to **Poodle Crossing, LLC**, a New Hampshire Limited Liability Company, of 47 Governor Wentworth Road, Amherst, Hillsborough County, New Hampshire 03031 with WARRANTY COVENANTS:

A certain tract or parcel of land with any buildings thereon situated on the northerly side of Elm Street, Milford, in the County of Hillsborough and State of New Hampshire, and being shown as Lot 13-3-1, on plan of land entitled "Subdivision Plan of Land, O.K. Tool Company, Inc., Milford, N.H., Scale: 1" = 50' dated December 2, 1985, and recorded in the Hillsborough County Registry of Deeds as Plan No. 19019, bounded and described as follows:

Beginning at the southeast corner of the herein described premises at a granite bound set on the northerly side of Elm Street; thence

1. Westerly by the Northerly side of Elm Street in a curve the radius of which is 7693.44 feet, 97 feet more or less to a point; thence
2. North 36° 51' 53" West, 53.48 feet to a granite bound; thence
3. North 05° 07' 55" West, 170.00 feet, more or less, to a point on the southerly side of the Souhegan River; thence
4. Northeasterly by the side of the Souhegan River, 134.00 feet more or less to a point; thence
5. South 00° 45' 16" East by other land of the grantor 118.24 feet to a point; thence
6. South 05° 32' 40" East by other land of the grantor, 143.23 feet to the bound of beginning.

Containing 0.662 acre or 28,800 square feet, be the same more or less.

Together with the benefit of an access deed dated May 19, 1994 recorded in the Hillsborough County Registry of Deeds at Book 5571, Page 352.

GAUTHIER &
MARTIN, PLLC
ATTORNEYS AT LAW
123 ELM ST.
MILFORD, NH 03055
603-673-7220

MWF

Subject to a 25 foot easement for purposes of ingress as shown on the above referenced plan for the benefit of Lot 13-3, as described in Corrective Warranty Deed dated October 10, 1990 and recorded in said Registry of Deeds at Book 5217, Page 239. See also Deed of O.K. Tool Company, Inc. to the State of New Hampshire, dated August 27, 1990 and recorded in said Registry of Deeds at Book 5214, Page 578.

Subject to a sewer easement granted to the Town of Milford dated June 26, 1979 and recorded in said Registry of Deeds at Book 2701, Page 436.

Subject to Restriction of Access Deed and Channel Easement Deed dated August 27, 1990 and recorded in said Registry at Book 5214, page 578 as the terms hereof may apply.

Subject to Notice of Condemnation dated September 22, 1977 and recorded in said Registry of Deeds at Book 2561, Page 164 and Deed to the State of New Hampshire dated August 22, 1977 and recorded in said Registry of Deeds at Book 2556, Page 517, as the terms thereof may apply.

Subject to any and all matters as shown on Plan No. 19019 of the Hillsborough County Registry of Deeds.

Subject to an easement to Verizon New England, Inc. and Public Service Company dated April 24, 2003 and recorded in the Hillsborough County Registry of Deeds at Book 6935, Page 2936.

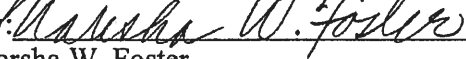
See Notice of Consent Decree from Marsha Foster a/k/a Marsha W. Foster, President of New Bridge Trust, Inc. of near or even date to be recorded herewith in the Hillsborough County Registry of Deeds.

The within described property is not subject to homestead rights.

Meaning and intending to describe and convey the same premises conveyed to New Bridge Trust, Inc. by Corrective Warranty Deed of O.K. Tool Company, Inc. dated October 10, 1990 and recorded in the Hillsborough County Registry of Deeds at Book 5217, Page 239. Meaning and intending to describe and convey the same premises conveyed to New Bridge Trust, Inc. by Quitclaim Deed of Allan L. Foster and Marsha L. Foster dated June 3, 2003 and recorded in the Hillsborough County Registry of Deeds at Book 6950, Page 364.

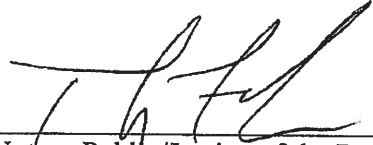
Executed this 14th day of May, 2018.

New Bridge Trust, Inc.

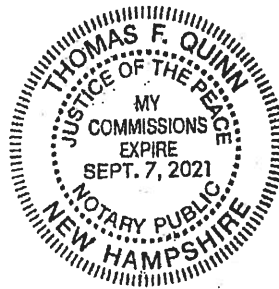
By: 
Marsha W. Foster,
President and Director, Duly Authorized

State of New Hampshire
County of Hillsborough

Then personally appeared before me on this 14th day of May, 2018, Marsha W. Foster, duly authorized President and Director of New Bridge Trust, Inc., known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained.



Notary Public/Justice of the Peace
Commission expiration:



Z Drive:Cara:Deeds:Foster.doc

GAUTHIER &
MARTIN, PLLC
ATTORNEYS AT LAW
123 ELM ST.
MILFORD, NH 03055
603-673-7220



Edward Sapienza

Register of Deeds, Hillsborough County

RETURN TO:

Thomas F. Quinn, Esq.
Law Office of Thomas F. Quinn, Prof. Corp.
62 Elm Street
Milford, NH 03055

RELEASE OF EASEMENT

The **STATE OF NEW HAMPSHIRE**, acting through its Department of Administrative Services pursuant to RSA 4:40, as authorized by the Governor and Executive Council on August 5, 2020 (Meeting Agenda Item # 76), with a mailing address of Department of Administrative Services, Office of the Commissioner, 25 Capitol Street, Concord, New Hampshire 03301 (the "State"), for consideration paid, grants to **POODLE CROSSING, LLC**, a New Hampshire limited liability company, with a mailing address of 47 Governor Wentworth Road, Amherst, New Hampshire 03031 (the "Grantee"), with **QUITCLAIM COVENANTS**,

A certain interest in a parcel of Grantee's land located at 633 Elm Street, Town of Milford, County of Hillsborough, State of New Hampshire, said interest being more particularly described as follows:

Any and all rights of ingress across said parcel of Grantee's land as were acquired by Quitclaim Deed of the O.K. Tool Company, Inc., dated March 26, 1996, recorded in the Hillsborough County Registry of Deeds at Book 5824, Page 75, together with any and all rights of egress across said parcel of Grantee's land as were acquired or referenced by Restriction of Access Deed of the O.K. Tool Company, Inc., dated August 27, 1990, recorded in the Hillsborough County Registry of Deeds at Book 5214, Page 578.

Meaning and intending to describe an interest in that certain parcel of Grantee's land described in Warranty Deed of New Bridge Trust, Inc., dated May 14, 2018, recorded in the Hillsborough County Registry of Deeds at Book 9072, Page 1787, and being shown as "Lot 13-3-1" on a certain plan entitled "Subdivision Plan of Land, O.K. Tool Company, Inc., Milford, New Hampshire," Scale: 1"=50', dated December 2, 1985, prepared by Monadnock Survey, Inc., recorded in the Hillsborough County Registry of Deeds as Plan No. 19019 (the "Plan").

By executing and delivering this Release of Easement, the State hereby grants, transfers, releases, waives, and terminates all right, title, and interest in and to any appurtenant access easement or right-of-way across said parcel of Grantee's land providing access from or to North River Road, so-called, to or from the State's abutting parcel of land located at 621 Elm Street, said parcel being shown as "Lot 13-3" on the Plan.

The Premises are conveyed subject to any liens, restrictions, and encumbrances of record.

The Premises are not homestead property.

Pursuant to Rev. 802.03(a), the Grantee shall be liable for payment of any real estate transfer tax imposed by RSA Chapter 78-B.

Dated this 7th day of August 2020.

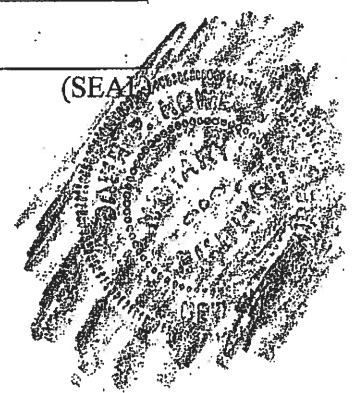
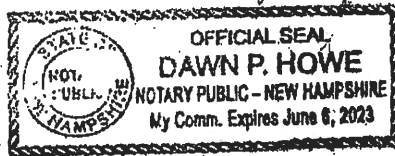
STATE OF NEW HAMPSHIRE
By and through its
DEPARTMENT OF ADMINISTRATIVE
SERVICES

By: *Charles M. Arlinghaus*
Charles M. Arlinghaus, Commissioner

STATE OF NEW HAMPSHIRE
COUNTY OF Merrimack

On this 7th day of August 2020, personally appeared the above-named Charles M. Arlinghaus, known to me (satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument, and acknowledged that he is the duly authorized Commissioner of the New Hampshire Department of Administrative Services and that he executed the foregoing instrument for the purposes therein contained.

Dawn Howe
Notary Public / Justice of the Peace
My Commission Expires: _____





The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

SHORELAND IMPACT PERMIT 2020-02402

NOTE CONDITIONS

PERMITTEE: POODLE CROSSING LLC
47 GOVERNOR WENTWORTH RD
AMHERST NH 03031

PROJECT LOCATION: 633 ELM ST, MILFORD
TAX MAP #13, LOT #3-1

WATERBODY: SOUHEGAN RIVER

APPROVAL DATE: OCTOBER 19, 2020

EXPIRATION DATE: OCTOBER 19, 2025

Based upon review of the above referenced application, in accordance with RSA 483-B, a Shoreland Impact Permit was issued by the New Hampshire Department of Environmental Services (NHDES). This permit shall not be considered valid unless signed as specified below.

PERMIT DESCRIPTION: Impact 2,080 square feet of protected shoreland in construct a 28 foot x 40 foot garage bay partially within the existing gravel parking area. Remaining gravel area will be restored to a pervious surface.

THIS APPROVAL IS SUBJECT TO THE FOLLOWING PROJECT SPECIFIC CONDITIONS:

1. All work shall be in accordance with plans by TFM dated September 15, 2020 and received by the NH Department of Environmental Services (NHDES) on September 21, 2020 pursuant to 483-B:5-b Permit Required; Exemption, I, (a).
2. Orange construction fencing shall be installed at the limits of the temporary impact area as shown on the approved plans prior to the start of work and shall be maintained throughout the project in order to prevent accidental encroachment into areas in which impacts have not been approved as required per Rule Env-Wq 1406.20, (e).
3. No more than 49% of the area of the lot within the protected shoreland shall be covered by impervious surfaces unless additional approval is obtained from NHDES in order to ensure compliance with RSA 483-B:9, V, (g).
4. Native vegetation within an area of at least 3,200 square feet within the Woodland Buffer located between 50 and 150 feet landward of the reference line shall be retained as natural woodlands in an unaltered state in order to comply with RSA 483-B:9, V, (b), (2).
5. Erosion and siltation control measures shall be installed prior to the start of work, be maintained throughout the project, and remain in place until all disturbed surfaces are stabilized as required per Rule Env-Wq 1406.20, (a).
6. Erosion and siltation controls shall be appropriate to the size and nature of the project and to the physical characteristics of the site, including slope, soil type, vegetative cover, and proximity to wetlands or surface waters as required per Rule Env-Wq 1406.20, (b).
7. Within three days of final grading or temporary suspension of work in an area that is in or adjacent to wetlands or surface waters, all exposed soil areas shall be stabilized by seeding and mulching during the growing season, or if not within the growing season, by mulching with tack or netting and pinning on slopes steeper than 3:1 as required pursuant to RSA 483-B:9, V, (d) Erosion and Siltation, (1).
8. Any fill used shall be clean sand, gravel, rock, or other suitable material as required per Rule Env-Wq 1406.20, (d).

RECEIVED

OCT 22 2020

TFM REDFORD

www.des.nh.gov

29 Hazen Drive • PO Box 95 • Concord, NH 03302-0095

NHDES Main Line: (603) 271-3503 • Subsurface Fax: (603) 271-6683 • Wetlands Fax: (603) 271-6588

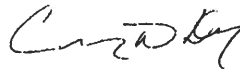
TDD Access: Relay NH 1 (800) 735-2964

9. This permit shall not preclude NHDES from taking any enforcement or revocation action as authorized pursuant to 483-B:5, I. If NHDES later determines that any of the structures depicted as "existing" on the plans submitted by the applicant were not previously permitted or grandfathered.

GENERAL CONDITIONS THAT APPLY TO ALL NHDES SHORELAND IMPACT PERMITS:

1. A copy of this permit shall be posted on site during construction in a prominent location visible to inspecting personnel;
2. This permit does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of others;
3. The NHDES Wetlands Bureau shall be notified upon completion of work;
4. This permit does not relieve the applicant from the obligation to obtain other local, state or federal permits, and/or consult with other agencies as may be required (including US EPA, US Army Corps of Engineers, NH Department of Transportation, NH Division of Historical Resources (NH Department of Cultural Resources), NHDES Alteration of Terrain, etc.);
5. Transfer of this permit to a new owner shall require notification to and approval by NHDES;
6. This project has been screened for potential impacts to **known** occurrences of protected species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or have only received cursory inventories, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species.

APPROVED:



Craig W. Day
Shoreland Inspector
Land Resources Management, Water Division

=====

BY SIGNING BELOW, I HEREBY CERTIFY THAT I HAVE FULLY READ THIS PERMIT AND AGREE TO ABIDE BY ALL PERMIT CONDITIONS.

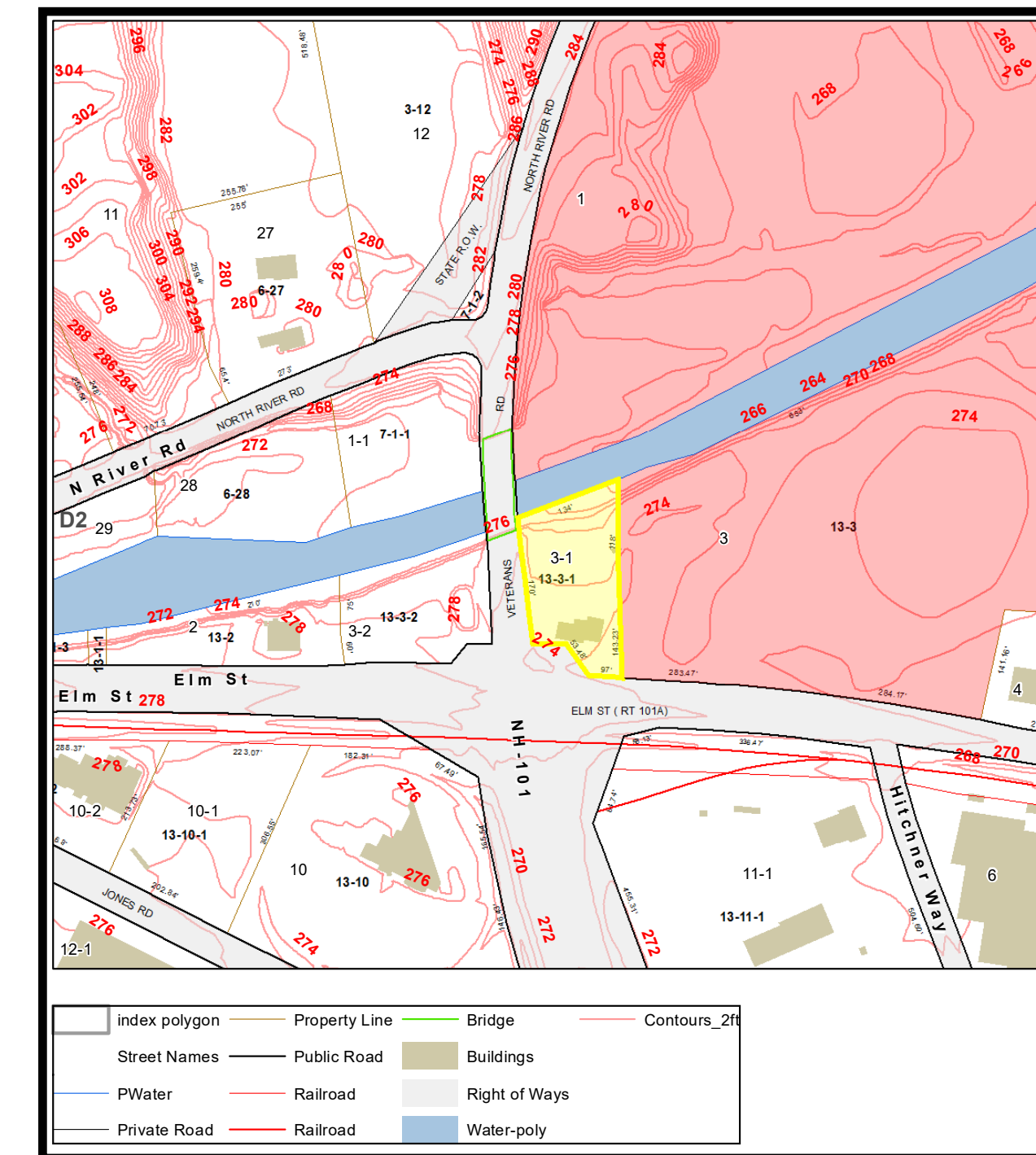
OWNER'S SIGNATURE (required)

CONTRACTOR'S SIGNATURE (required)

PROPOSED SITE PLAN DOCUMENTS

FOR
POODLE CROSSING, LLC.

PROPOSED
LOCATION OF 3-BAY GARAGE
LOCATION OF SITE:
633 ELM STREET, TOWN OF MILFORD
HILLSBOROUGH COUNTY, NEW HAMPSHIRE
MAP #13, LOT #3-1



EXISTING CONDITIONS / TOPO

TOWN OF MILFORD PLANNING BOARD	
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____

PROPERTY OWNER(S)	
SIGNATURE _____	DATE 03/18/2021
SIGNATURE _____	DATE 03/18/2021
SIGNATURE _____	DATE _____

REVISIONS			
REV	DATE	COMMENT	DRAWN BY / CHECKED BY

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

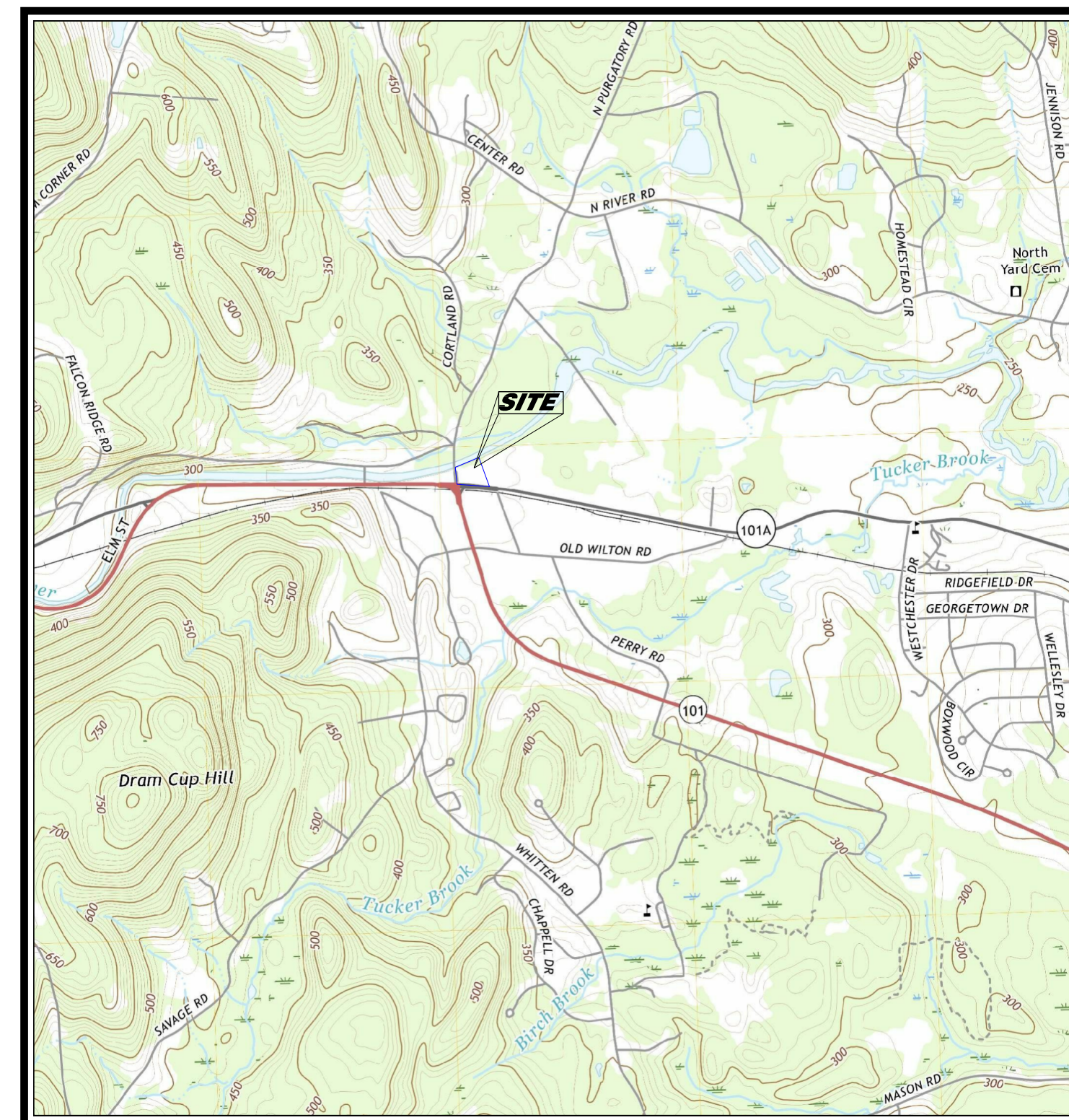
PROJECT No.:	JAY
DRAWN BY:	N/A
CHECKED BY:	03/18/2021
DATE:	N/A
CAD I.D.:	N/A

PROJECT:
PROPOSED SITE PLAN DOCUMENTS
FOR
POODLE CROSSING, LLC.
PROPOSED LOCATION OF 3-BAY GARAGE
MAP #13, LOT #3-1
633 ELM STREET
TOWN OF MILFORD
HILLSBOROUGH COUNTY,
NEW HAMPSHIRE

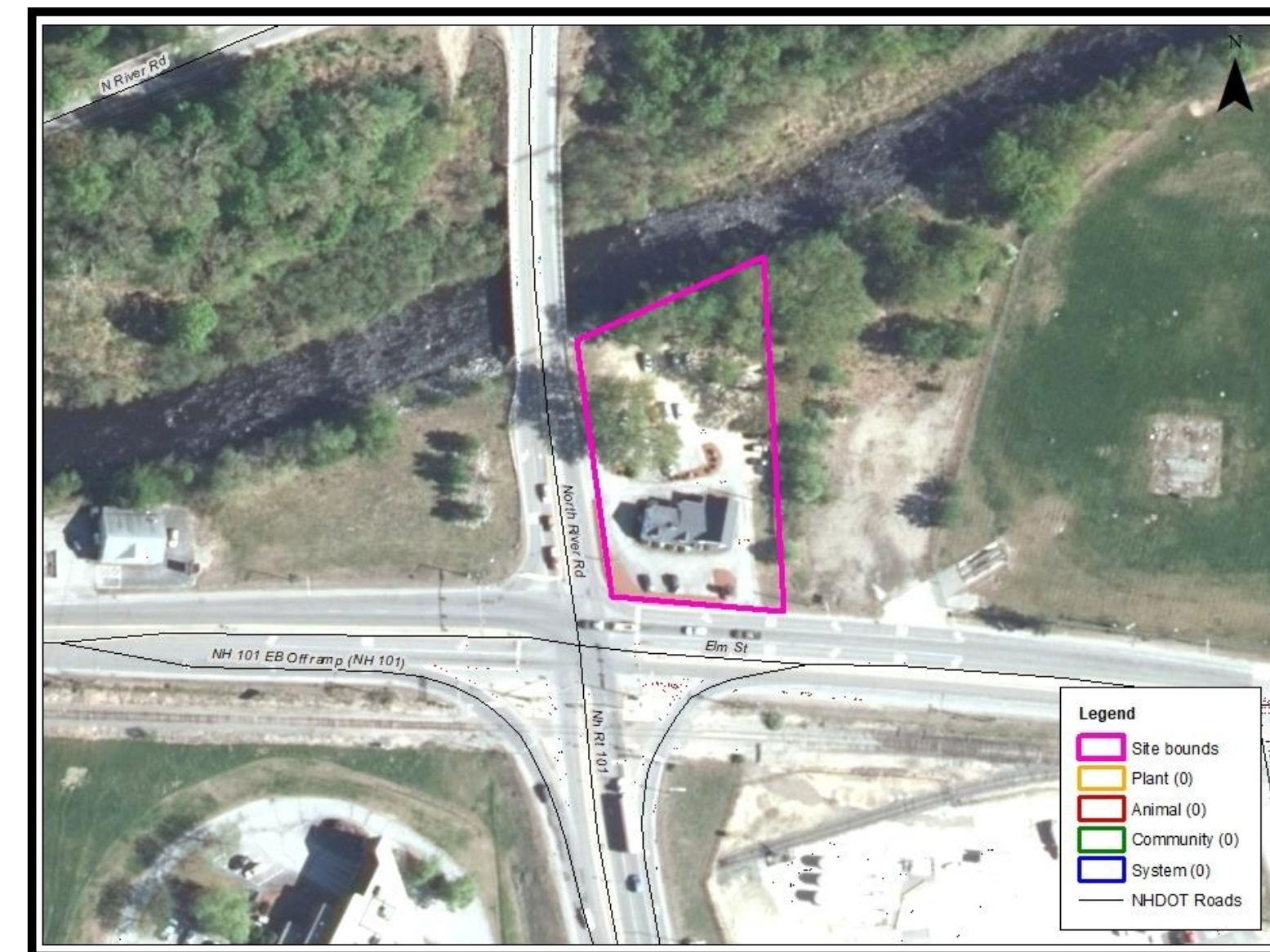
- TOWN OF MILFORD NOTES:
1. THE PURPOSE OF THIS PLAN IS TO REFLECT THE PROPOSED SITE DEVELOPMENT AT THE SUBJECT PROPERTY FOR SUBMISSION TO THE TOWN OF MILFORD PLANNING BOARD.
 2. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
 3. WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
 4. OPEN SPACE = 14,399± SF TOTAL AREA
 5. PROPOSED MODIFICATIONS WILL NOT ALTER EXISTING DRAINAGE PATTERNS.
 6. GROUNDWATER PROTECTED AREA: LEVEL 1 PER MAP DATED 10/24/2002
 7. ALL RECYCLING AND REFUSE WILL BE ADDRESSED WITHIN THE EXISTING OFFICE BUILDING.
 8. ZONING DISTRICT: INTEGRATED COMMERCIAL INDUSTRIAL
 9. PROPOSED GRADE DOES NOT ALTER EXISTING TRAFFIC PATTERN OR PAVED PARKING SPACES.



EXISTING TRAFFIC FLOW



LOCUS MAP



SITE BOUNDARIES

SITE INFORMATION

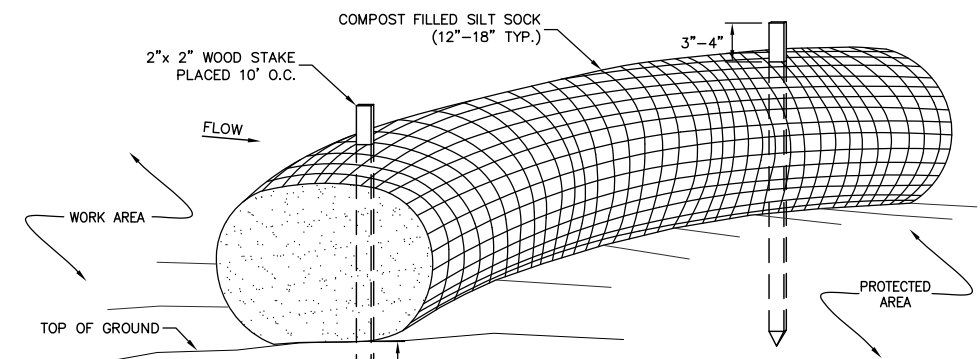
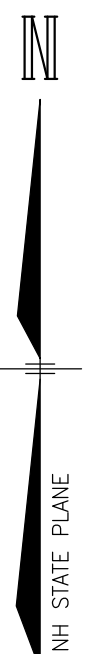
1. APPLICANT:
POODLE CROSSING, LLC.
47 GOVERNOR WENTWORTH ROAD
AMHERST, NH 03031
2. OWNER:
POODLE CROSSING, LLC.
47 GOVERNOR WENTWORTH ROAD
AMHERST, NH 03031
3. PARCEL:
MAP #13, LOT #3-1
633 ELM STREET
TOWN OF MILFORD
HILLSBOROUGH COUNTY, NEW HAMPSHIRE

SHEET TITLE:

COVER SHEET

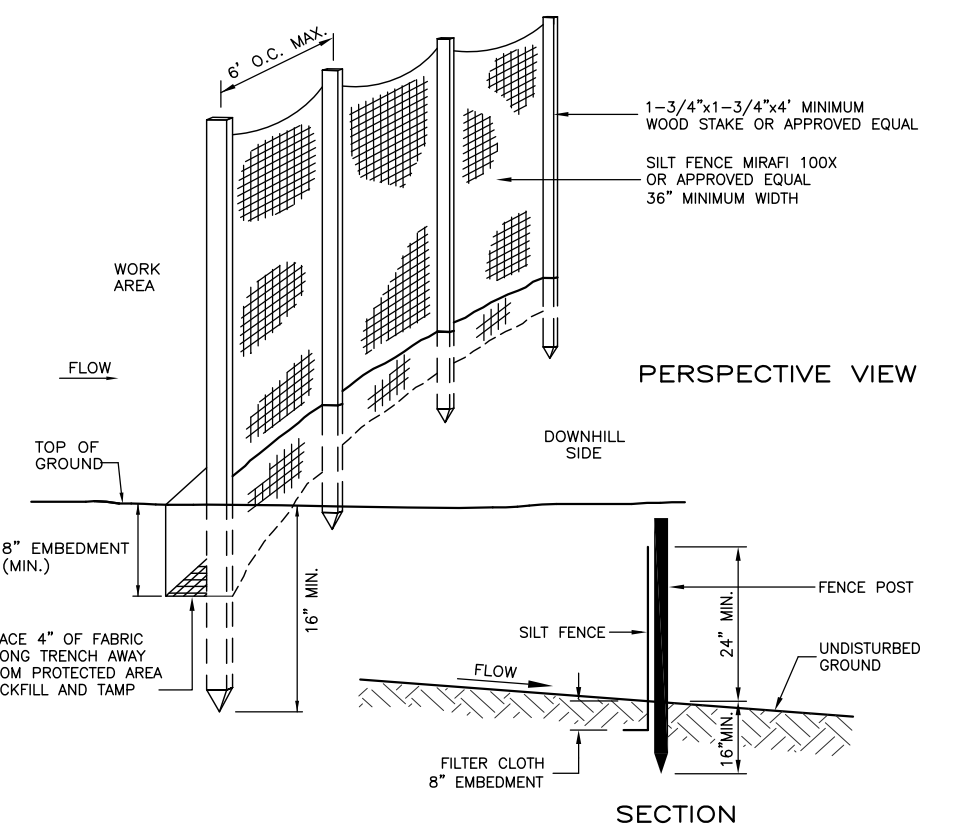
SHEET NUMBER:
C-101

ORG. DATE - 03/18/2021



- NOTES**
- SILT SOCK SHALL BE FILTERMATS SITSOCK OR APPROVED EQUIVALENT.
 - SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
 - SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
 - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

SILT SOCK NOT TO SCALE



SILT FENCE NOT TO SCALE

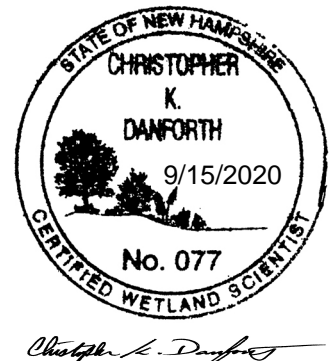
- NATURAL AREA IN WOODLAND BUFFER
- RESTORED IMPERVIOUS AREAS
- PROJECT DISTURBANCE AREA
- GRAVEL SURFACE PARKING AREA
- PAVED PARKING AND DRIVEWAY
- SNOW STORAGE



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON DATE BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 [HTTP://WETLAND_PLANTS.USACE.ARMY.MIL](http://wetland_plants.usace.army.mil).



Christopher K. Danforth

7-1
ANN LORDEN-SUCCESSOR TRST
WILLIAM CLEAVES RYCE TRUST
633 CENTER ROAD
LYNDEBOROUGH, NH 03082

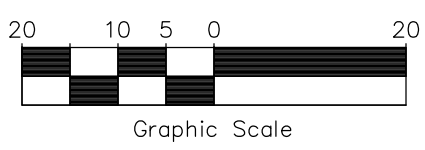


13-3
NH-DEPARTMENT OF ENVIRONMENTAL SERVICES
6 HAZEN DRIVE P.O. BOX 95
CONCORD, NH 03302-0095

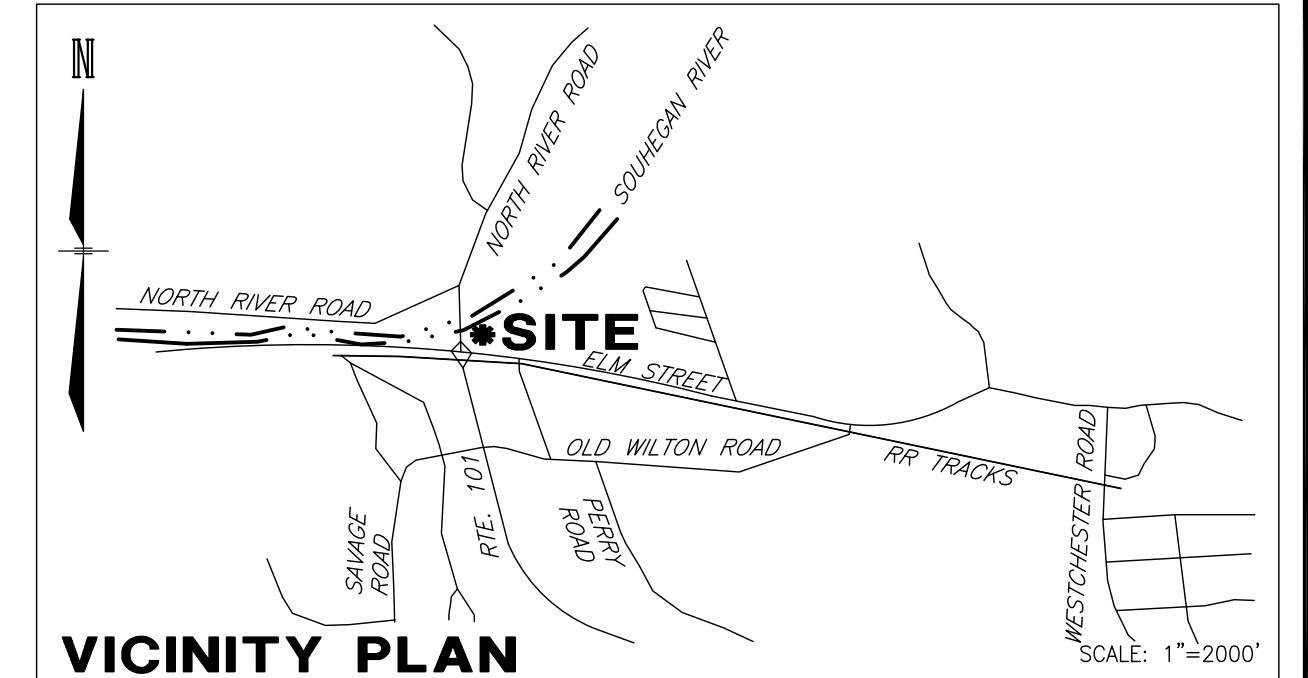
LOT 13-3-1
IMPERVIOUS AREA TABLE (sq ft)

IMPERVIOUS SURFACE	EXISTING	PROPOSED
EXISTING BUILDING	2016	2016
PROPOSED GARAGE	0	1120
GRAVEL PARKING AREA	2511	0
PAVED DRIVEWAY & PARKING	10773	11301
TOTALS:	15,300 s.f.	14,437 s.f.

AREA OF LOT WITHIN 250' OF THE RIVER = 28,836 S.F.
PRECONSTRUCTION IMPERVIOUS AREA 15,300/28836 = 53%
POST-CONSTRUCTION IMPERVIOUS AREA 14437/28836 = 49%
POST CONSTRUCTION REDUCTION OF IMPERVIOUS AREA = 4%
OPEN SPACE = 14,399 S.F.



REV.	DATE	DESCRIPTION	DR	CK



NOTES

- OWNER OF RECORD OF MAP 13 LOT 3-1: POODLE CROSSING, LLC 47 GOVERNOR WENTWORTH ROAD AMHERST, NH 03031 DEED REFERENCE TO PARCEL IS BK. 9072 PG. 1787
- 13-3-1 INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF A PROPOSED 3-BAY GARAGE FOR STORAGE OF VEHICLES AND EQUIPMENT. TEMPORARY AND PERMANENT IMPACTS TO AREAS SUBJECT TO THE JURISDICTION OF THE SHORELAND WATER QUALITY PROTECTION ACT (NH-RSA 483-B).
- HORIZONTAL DATUM: NH STATE PLANE VERTICAL DATUM: NAVD83 BENCHMARKS SET: AS NOTED
- THE SOUHEGAN RIVER IS A DESIGNATED RIVER AND IS SUBJECT TO REVIEW BY THE SOUHEGAN RIVER LOCAL ADVISORY COMMISSION. A COPY OF THIS APPLICATION HAS BEEN SUBMITTED FOR THEIR REVIEW AND COMMENT.
- THE NH FISH & GAME NATURAL HERITAGE BUREAU HAS DETERMINED THAT THERE IS A SENSITIVE SPECIES IN THE VICINITY OF THIS PROJECT BUT HAS DETERMINED THE PROJECT WILL HAVE NO NEGATIVE EFFECT ON THE RESOURCE.
- NO OTHER PERMITS FROM THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES ARE REQUIRED FOR THIS PROJECT.
- NO IMPACTS WITHIN THE WATERFRONT BUFFER (50 FEET) ARE PROPOSED
- CONSTRUCTION IMPACTS/GROUND DISTURBANCES ARE 2080 S.F. THE BUILDING WILL BE LOCATED MOSTLY WITHIN AN EXISTING GRAVEL PARKING AREA WITH A NET DECREASE IN IMPERVIOUS AREAS. PREDEVELOPMENT IMPERVIOUS AREA IN THE WOODLAND BUFFER IS 15300 S.F. POST DEVELOPMENT IMPERVIOUS AREA IS 14437 S.F. THE TOTAL AREA OF WOODLAND BUFFER (50-150') IS 12,802 S.F. 10,974 S.F. WILL REMAIN IN A NATURAL STATE.
- THE NEW GARAGE WILL BE CONSTRUCTED MOSTLY WITHIN AN EXISTING GRAVEL PARKING AREA. THE REMAINING GRAVEL PARKING AREA (1016 S.F.) AND THE REMAINING ASPHALT SURFACED DRIVEWAY ENTRANCE (120 S.F.) TO THE ADJACENT LOT WILL BE RESTORED TO A PERVIOUS SURFACE BY REMOVING THE GRAVEL, LOOSENING THE SOIL BY PLOWING OR TILLING AND APPLYING A MINIMUM OF 4 INCHES OF PLANTABLE TOPSOIL. APPLY GRASS SEED OR NATIVE PLANT MIX TO THE RESTORED SOILS AND MAINTAIN UNTIL 75 PERCENT AERIAL COVERAGE IS ACHIEVED. GRASS SEED CAN BE AUGMENTED WITH NATIVE SHRUBS/TREES OR WILDFLOWER MIX AS APPROPRIATE.
- EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. PERIMETER CONTROLS SHALL BE INSTALLED AND MAINTAINED TO ENSURE PERFORMANCE. ALL DISTURBED SOILS SHALL BE STABILIZED BY APPLYING TOPSOIL, SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PERIMETER CONTROLS CAN CONSIST OF COMPOST BERMS, SILT-SOCK OR SILT FENCE INSTALLED AT THE PERIMETER OF THE PROJECT AREA. TEMPORARY DIVERSION SWALES SHALL BE INSTALLED TO PREVENT UNCONTROLLED SURFACE WATER RUNOFF.
- PRIOR TO ANY EXCAVATION CONTACT DIGSAFE TO HAVE THE SITE MARKED FOR UNDERGROUND UTILITIES.

TAX MAP 13 LOT 3-1
SHORELAND IMPACT PLAN
POODLE CROSSINGS LLC
633 ELM STREET MILFORD, NH
OWNED BY/PREPARED FOR
POODLE CROSSINGS LLC

SCALE: 1"=20' SEPTEMBER 15, 2020

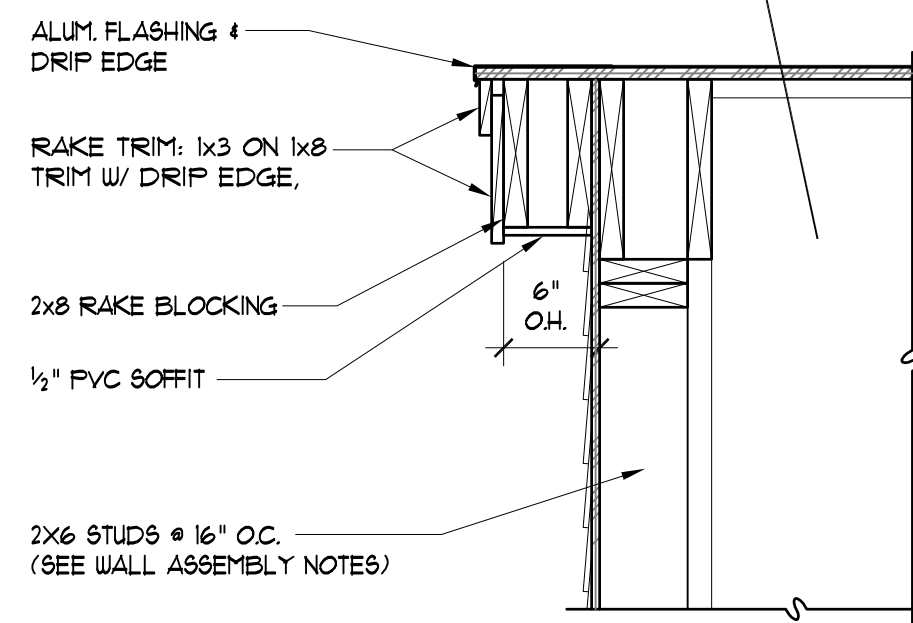
TFM Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

FILE 76044.06 DR STB FB CK HGM CADFILE 76044-06 SURVEY SHEET 1 OF 1

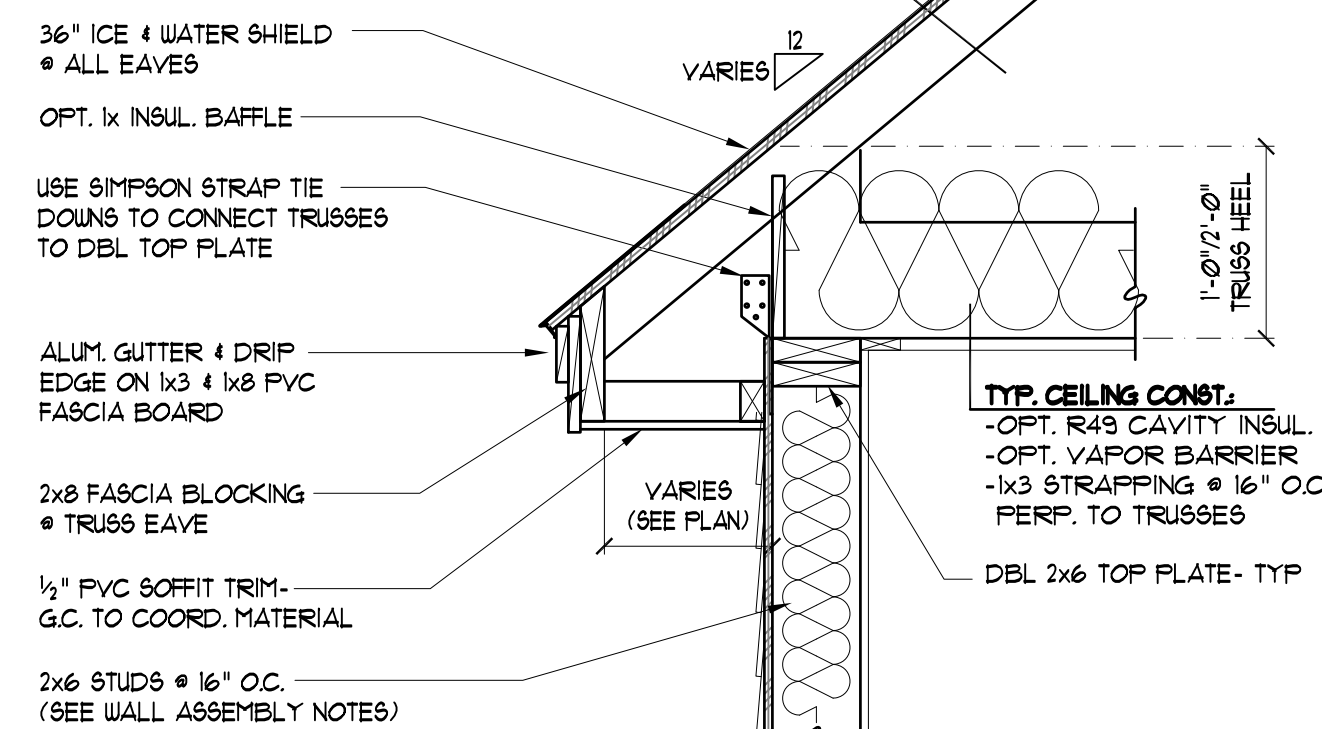
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GARAGE ROOF CONSTRUCTION:
 30 YR ARCH. FG. SHINGLES ON 15" ROOFING FELT, FIRE-ENGINEERED WOOD ROOF TRUSSES @ 24" & 3/8" T&G ADVANTECH-VIP+ ROOF SHEATHING

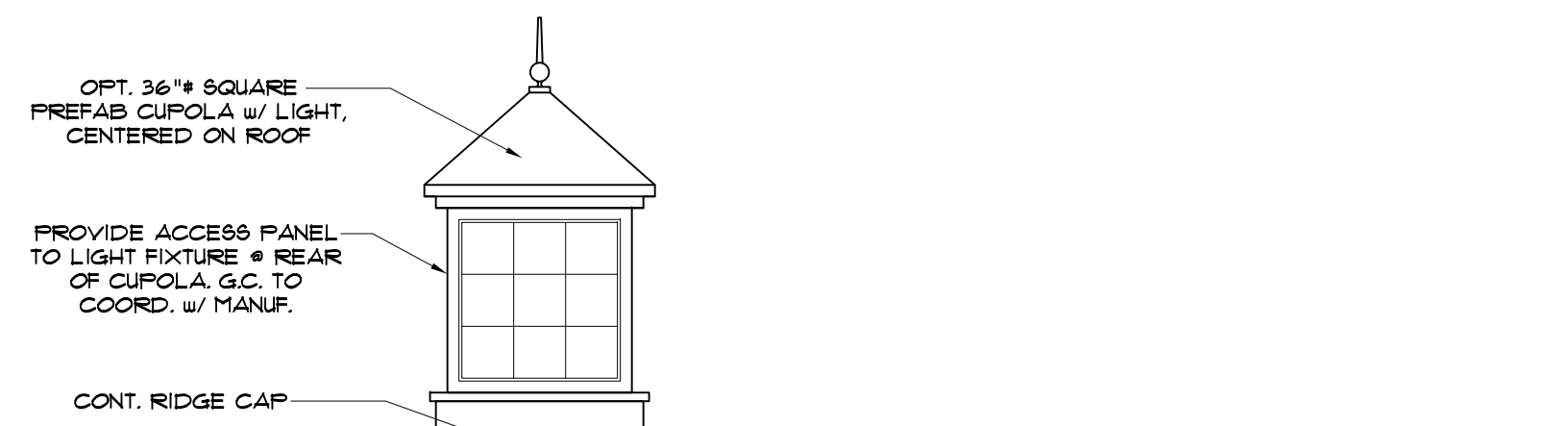


TYP RAKE SECTION (4)
 SCALE: 1/4"=1'-0"

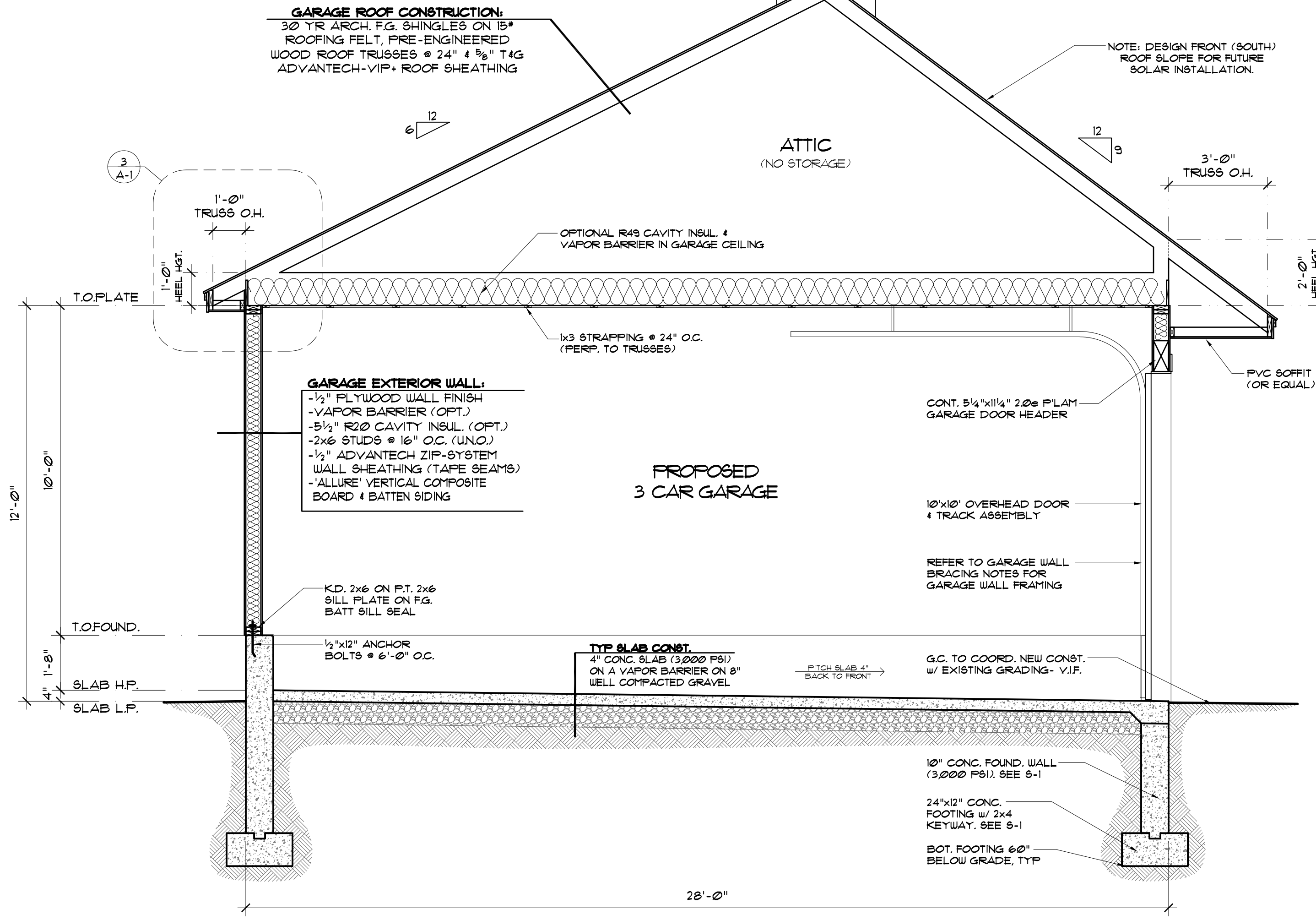
GARAGE ROOF CONSTRUCTION:
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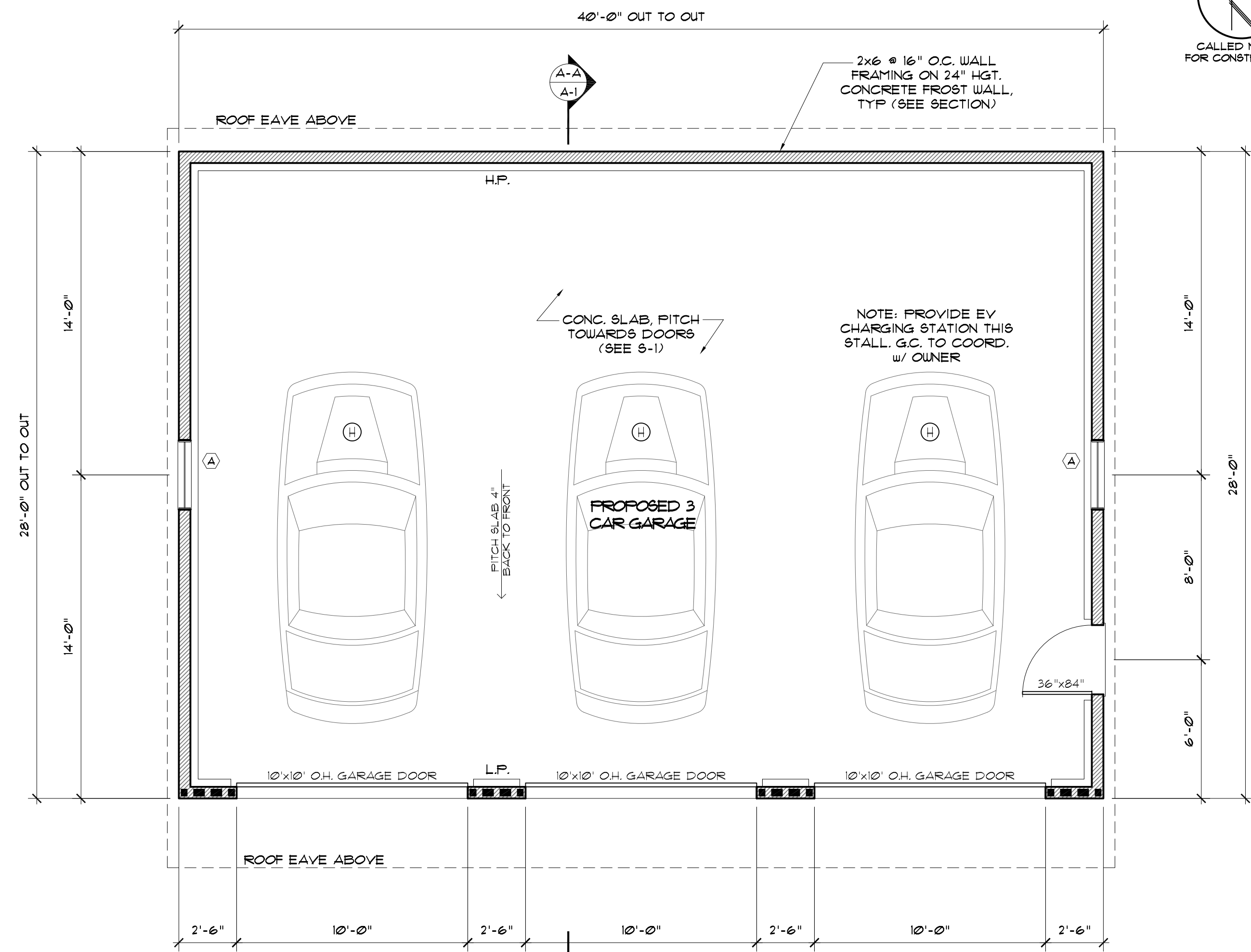
TYP EAVE SECTION (3)
 SCALE: 1/4"=1'-0"



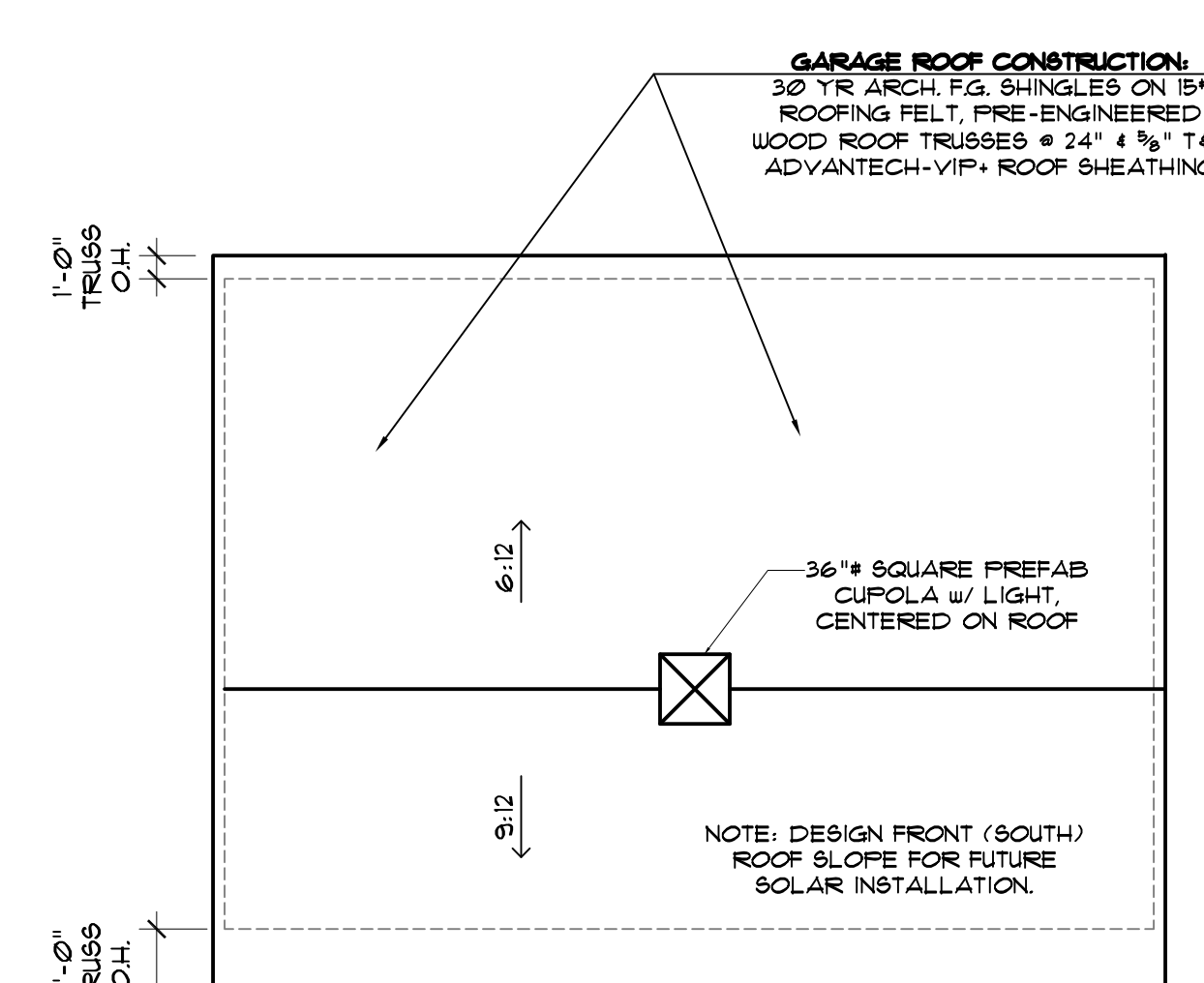
GARAGE ROOF CONSTRUCTION:
 30 YR ARCH. FG. SHINGLES ON 15" ROOFING FELT, FIRE-ENGINEERED WOOD ROOF TRUSSES @ 24" & 3/8" T&G ADVANTECH-VIP+ ROOF SHEATHING



GARAGE BUILDING SECTION (A-A)
 SCALE: 3/8"=1'-0"



GARAGE FLOOR PLAN (1)
 SCALE: 1/4"=1'-0"



GARAGE ROOF PLAN (2)
 SCALE: 1/8"=1'-0"

LEGEND

	PROPOSED WALL		SOFFIT / CEILING CHANGE OR CABINETS, AS NOTED
	BRACED WALL PANEL (SEE WALL BRACING NOTES)		SMOKE / CARBON MONOXIDE DETECTOR - COORD. FINAL LOCATION w/ FIRE DEPT
	DOOR & DOOR SIZE		HEAT DETECTOR - COORD. FINAL LOCATION w/ FIRE DEPT
	WINDOW & WINDOW TAG		REVISION
	DETAIL / SECTION MARK SECTION # / SHEET LOCATION		BUILDING SECTION SECTION # / SHEET LOCATION

DRAWING LIST

A-1	GARAGE PLANS, SECTIONS & NOTES
A-2	GARAGE BUILDING ELEVATIONS & NOTES
S-1	GARAGE FOUNDATION PLAN & NOTES
S-2	GARAGE ROOF FRAMING PLAN & NOTES

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH 2009 INTERNATIONAL BUILDING CODE w/ NH STATE AMENDMENTS
- CONTRACTOR SHALL LOCATE & COORDINATE ALL UTILITIES (IE. WATER, SEPTIC SYSTEM, GAS, ELECTRIC, TELEPHONE, CABLE TV ETC.)
- CONTRACTOR SHALL COORDINATE PROPOSED CONSTRUCTION WITH EXISTING & PROPOSED SITE GRADING CONDITIONS & LANDSCAPING REQUIREMENTS. SEE SITE ENGINEERING DRAWINGS BY OTHERS FOR MORE INFORMATION.
- ALL ELECTRICAL, PLUMBING & HVAC WORK SHALL COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS.

WINDOW SCHEDULE

MARK	MODEL #	UNIT DIMENSION	ROUGH OPENING	H. HEIGHT	QTY.
A	HARVEY 'AUN-31'	3'-0" x 2'-0"	3'-0" x 2'-0"	10'-0"	2

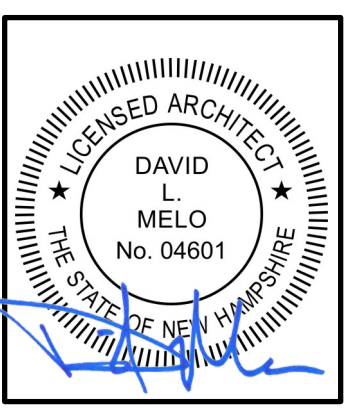
WINDOW NOTES:

- ALL WINDOW COMPONENTS & GLAZING SHALL BE DESIGNED TO BE ABLE TO WITHSTAND AN ULTIMATE DESIGN WIND SPEED OF XXX MPH. (MILFORD, NH)
- ALL WINDOWS SPECIFIED ARE HARVEY INDUSTRIES, UNLESS NOTED OTHERWISE
- ANY WINDOW GLAZING CLOSER THAN 18" FROM THE FLOOR, EXCEEDING 6 SQUARE FEET IN AREA, IN A DOOR, ABOVE TUB/SINK, OR WITHIN 24" OF A DOOR MUST BE TEMPERED GLASS.

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GARAGE PLANS
SECTIONS & DETAILS



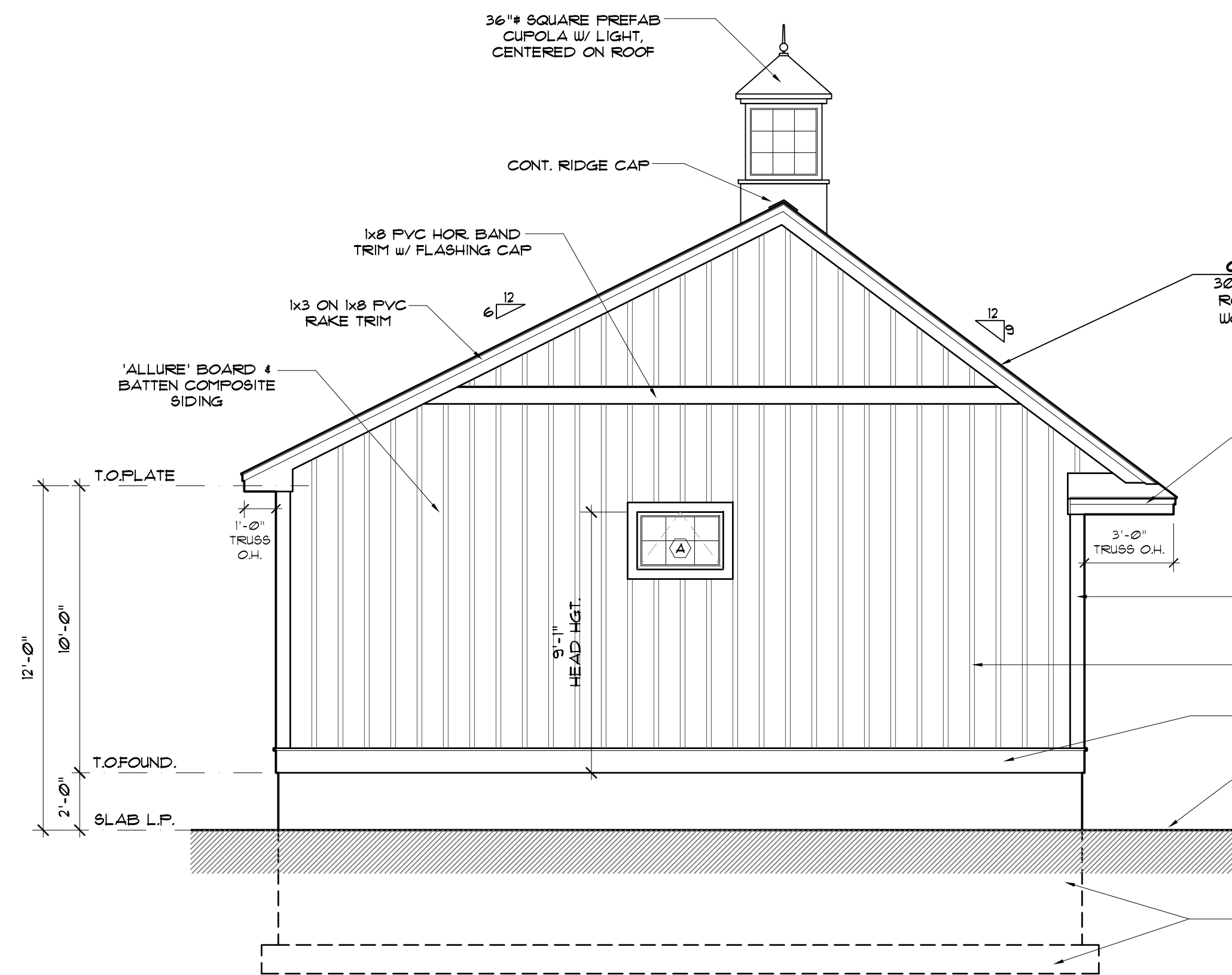
DM Designs
 THE ARCHITECTURAL DESIGNER NAMED HEREON IS RESPONSIBLE FOR THE CONCEPTUAL PLANS AND DETAILS ONLY AS SHOWN IN THIS PLAN SET AND IS NOT LIABLE FOR COSTS OR CONSTRUCTION OF THE BUILDING SHOWN HEREON. ALL CONSTRUCTION SHALL COMPLY WITH NH STATE BUILDING CODE, 2015 IBC.

Revisions

Mk.	date/ description

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 date: 01.17.2021
 job no.: 2016 JS GARAGE
 sheet no.

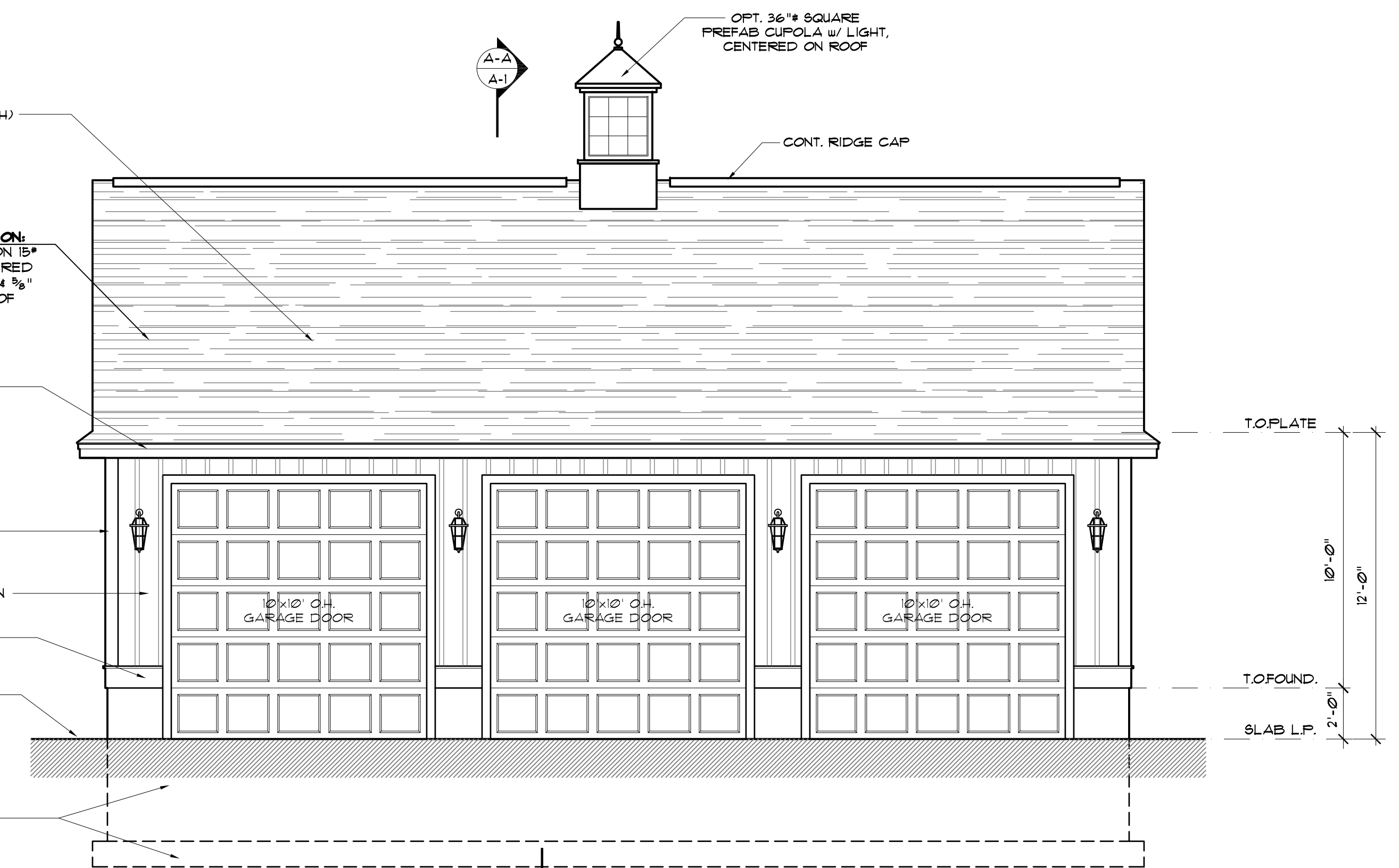
A-1



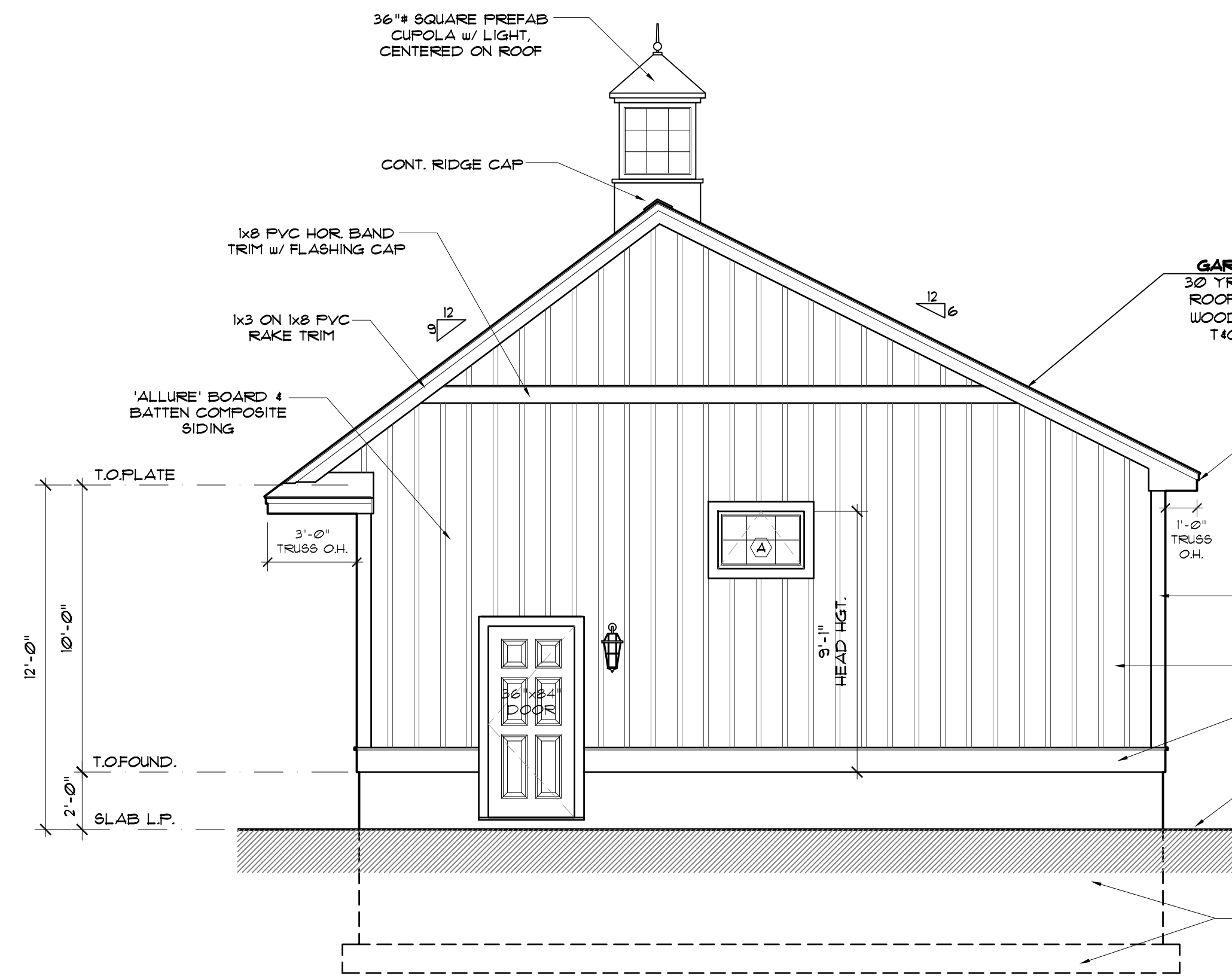
SIDE GARAGE ELEVATION 2
SCALE: 1/4"=1'-0" A-2

NOTE: DESIGN FRONT (SOUTH) ROOF SLOPE FOR FUTURE SOLAR INSTALLATION.

GARAGE ROOF CONSTRUCTION:
30 YR ARCH. FG. SHINGLES ON 15* ROOFING FELT, PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" & 5/8" T&G ADVANTECH-VIP* ROOF SHEATHING

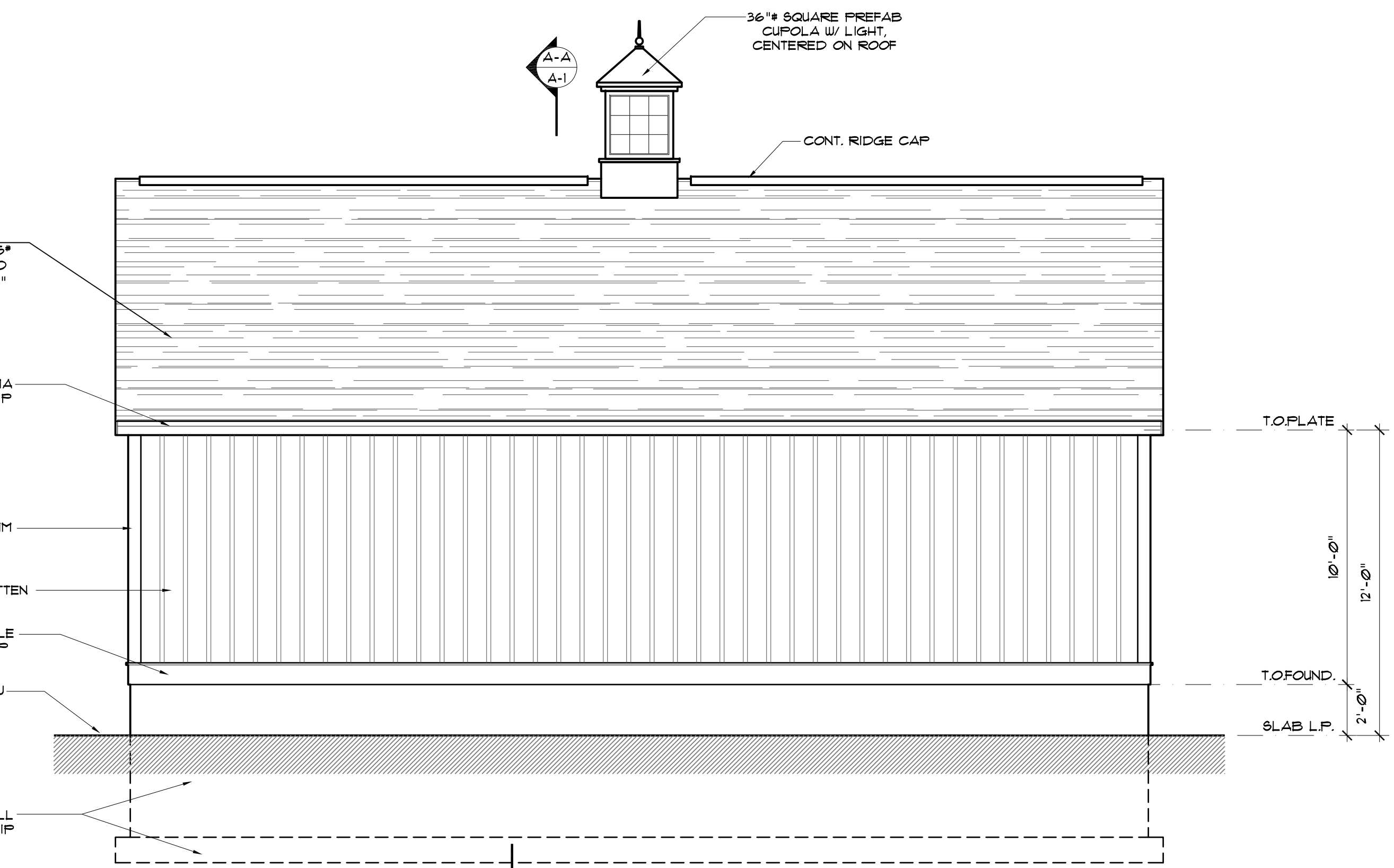


FRONT GARAGE ELEVATION 1
SCALE: 1/4"=1'-0" A-2

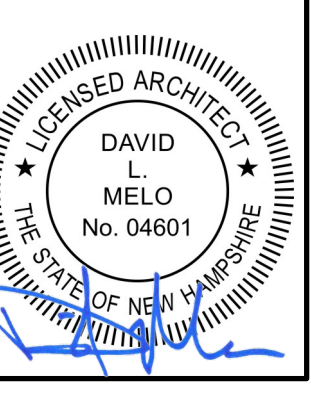


SIDE GARAGE ELEVATION 4
SCALE: 1/4"=1'-0" A-2

GARAGE ROOF CONSTRUCTION:
30 YR ARCH. FG. SHINGLES ON 15* ROOFING FELT, PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" & 5/8" T&G ADVANTECH-VIP* ROOF SHEATHING



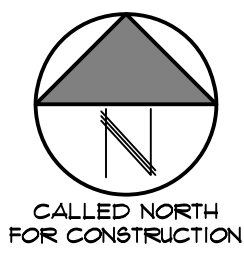
REAR GARAGE ELEVATION 3
SCALE: 1/4"=1'-0" A-2



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633 ELM ST. MILFORD, NH

**GARAGE FOUNDATION
PLAN, DETAILS & NOTES**

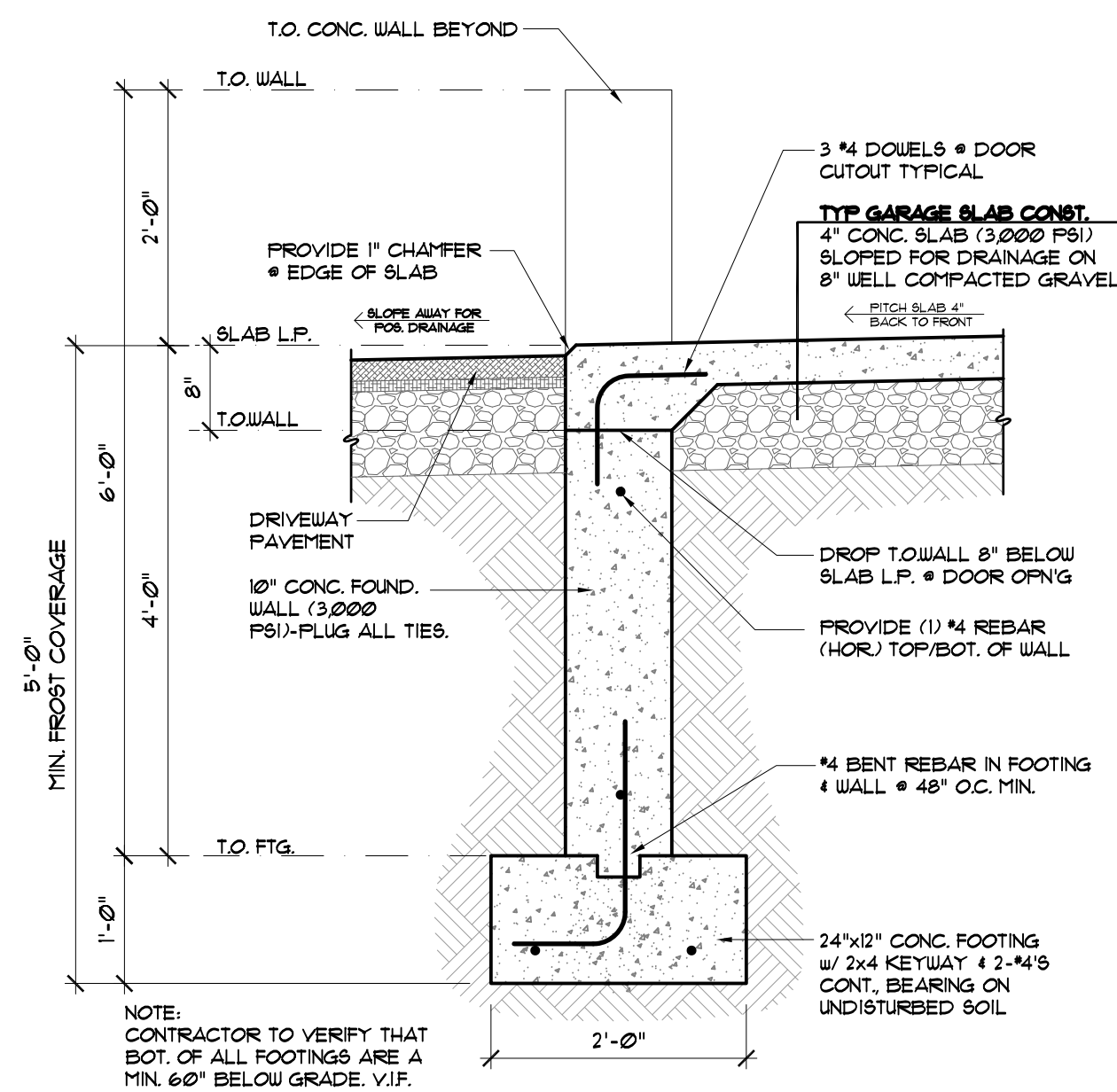


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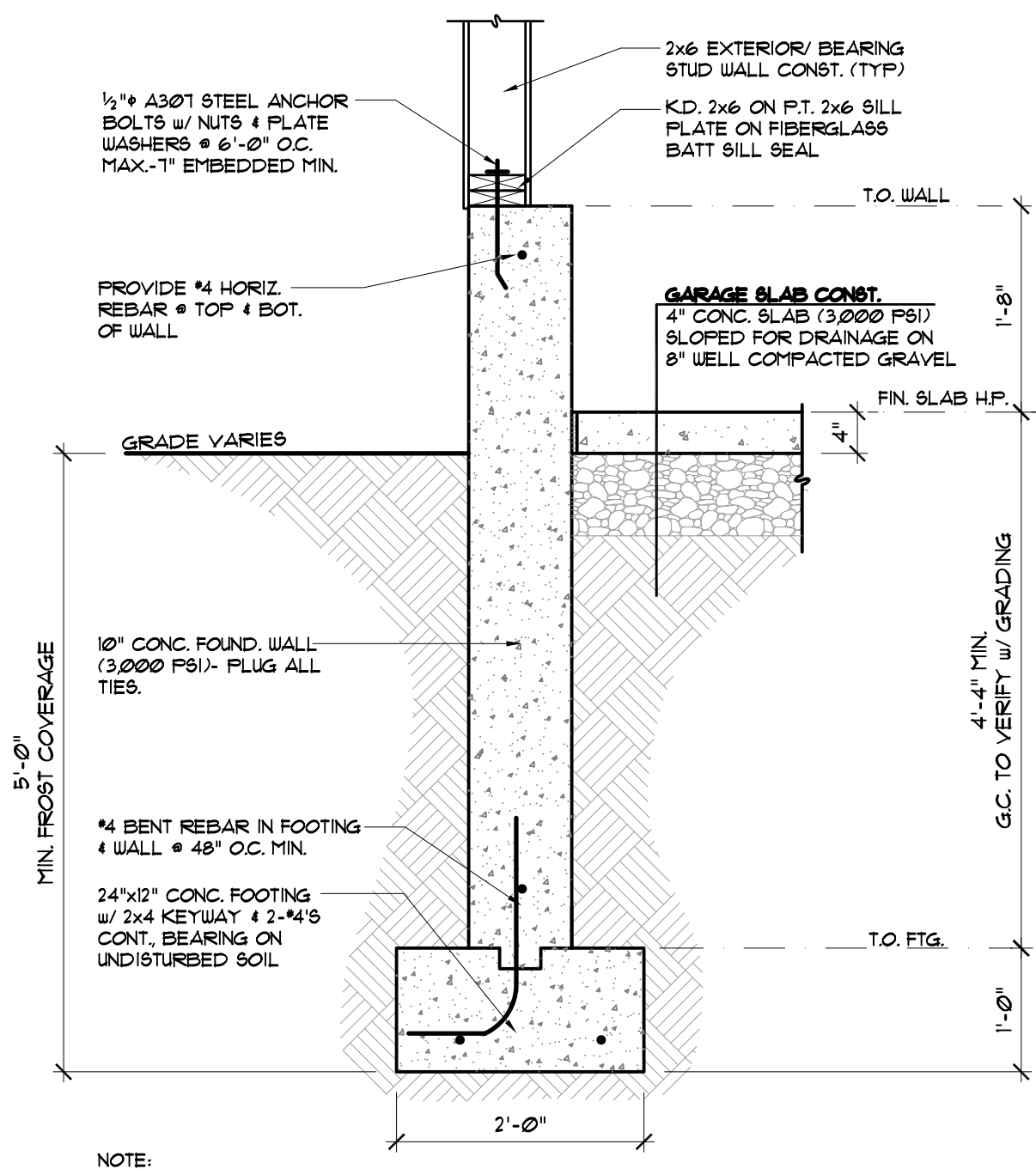
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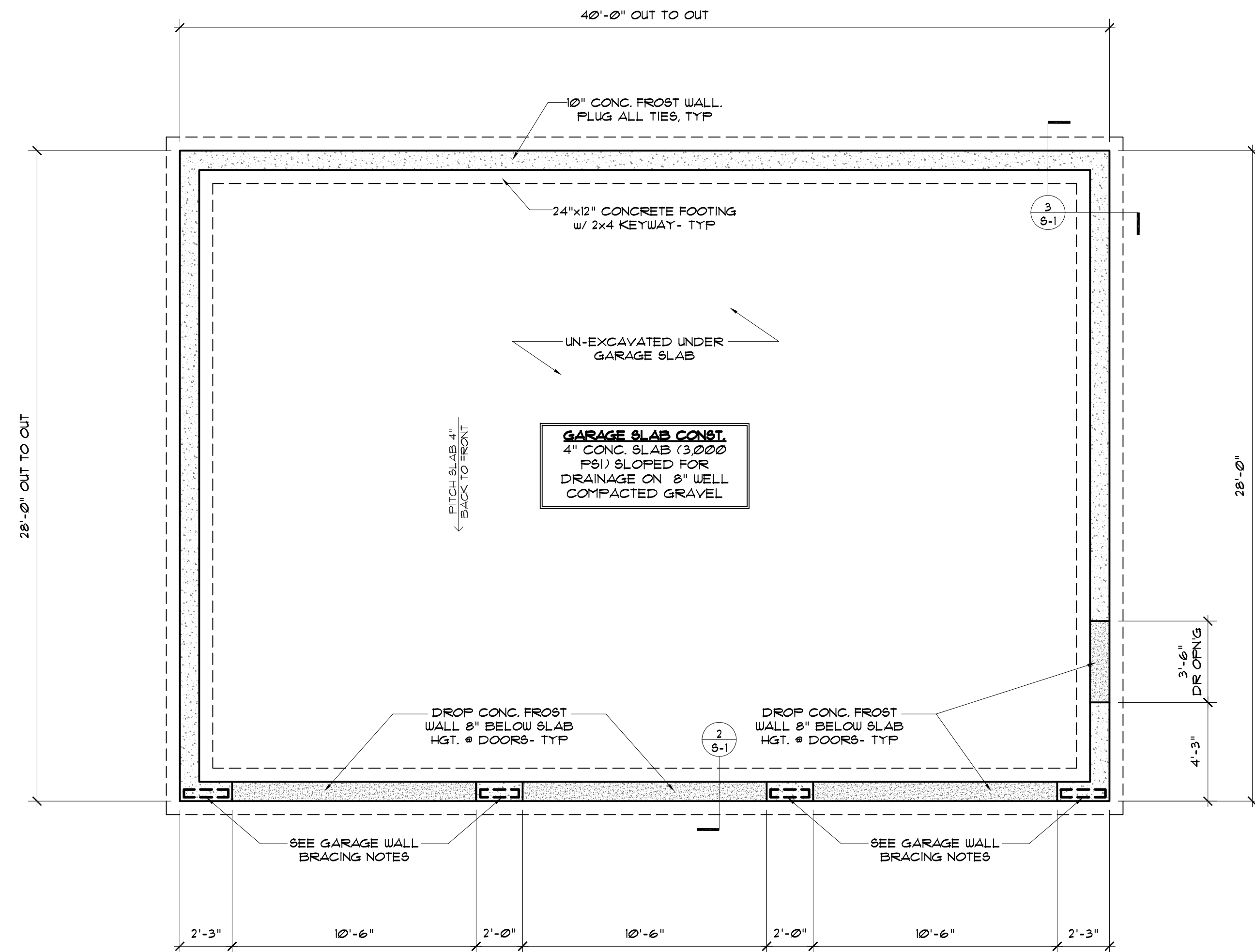
S-1



FROST WALL SECTION @ GARAGE 2
SCALE: 3/4"=1'-0" 5-1

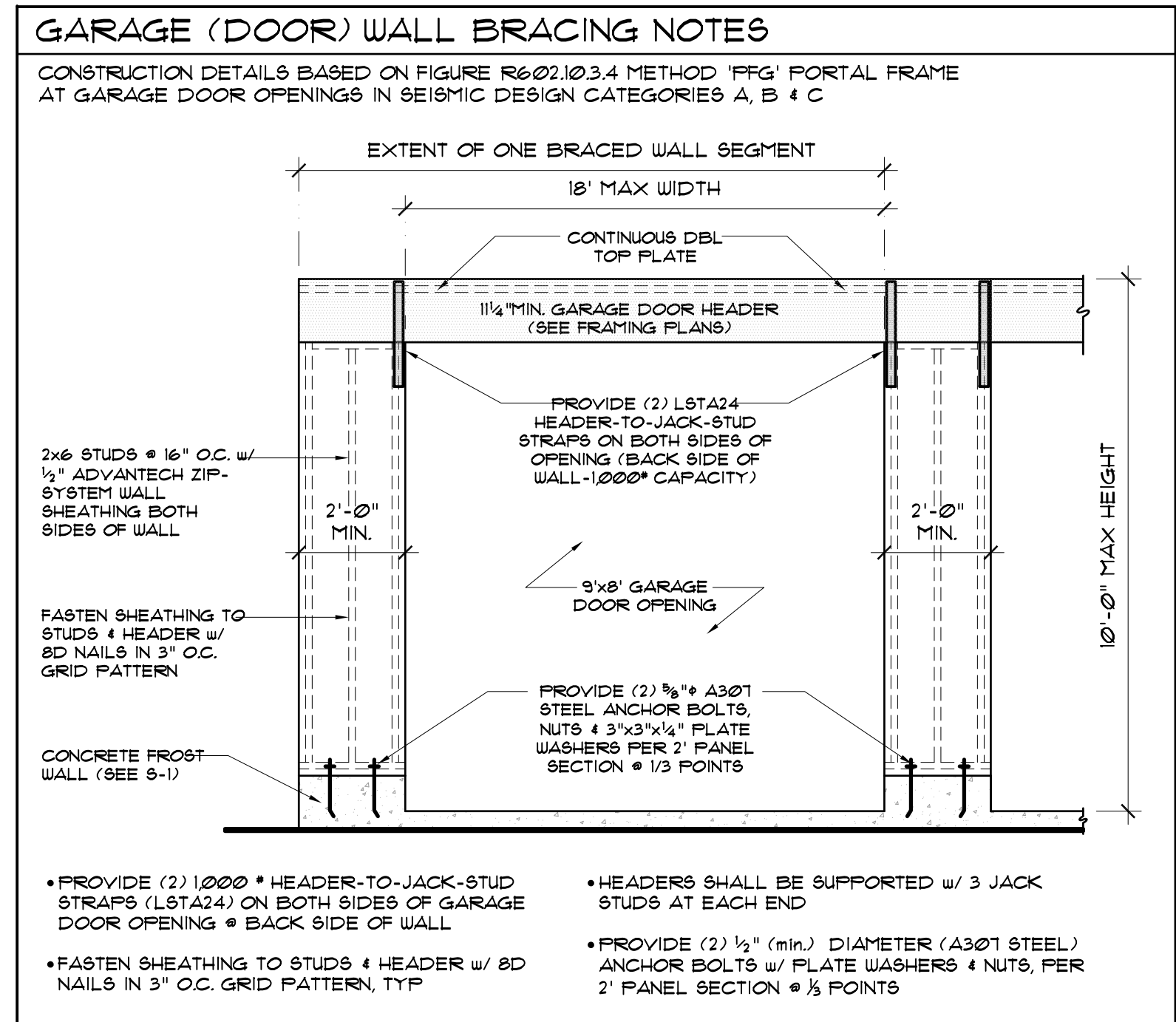


TYP. FOUND. WALL SECTION 3
SCALE: 3/4"=1'-0" 5-1



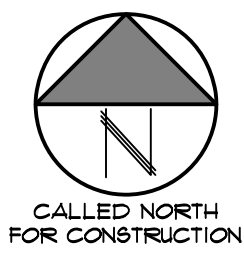
GARAGE FOUNDATION PLAN 1
SCALE: 1/4"=1'-0" 5-1

NOTE:
 • CONTRACTOR TO VERIFY THAT BOT. OF FOOTING IS MIN. 60" BELOW GRADE & STEP FOOTING AS NEEDED, COORD. W/ EXISTING CONDITIONS.
 • G.C. TO COORD. FOUNDATION DROPS IN FIELD WHERE REQUIRED DUE TO EXISTING GRADING CONDITIONS-TYP.
 • G.C. TO COORD. FINAL FOUND. WALL HEIGHTS & REQ'TS W/ FINAL GRADING PLANS BY OTHERS & EXISTING SOIL CONDITIONS.



FOUNDATION NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH 2015 INTERNATIONAL BUILDING CODE W/ NEW HAMPSHIRE AMENDMENTS.
- CONCRETE FOR ALL SLABS, FOOTINGS & FOUNDATION WALLS SHALL BE 3,000 PSI CONCRETE. CONCRETE SLABS SHALL BE INSTALLED ON A VAPOR BARRIER & 8" OF WELL COMPACTED GRAVEL. (NO VAPOR BARRIER REQUIRED IN GARAGE & CRAWL SPACE SLABS)
- G.C. TO VERIFY EXISTING SOILS & TOPOGRAPHIC CONDITIONS AND COORDINATE THE NEED FOR ANY ADDITIONAL REINFORCING REQUIREMENTS IN THE FOUNDATIONS PRIOR TO CONSTRUCTION.
- ALL NEW FROST WALLS SHALL BE 10" THICK. PLUG ALL TIES. PROVIDE (1) #4 REBAR AT TOP & BOTTOM OF WALL.
- ALL ORGANIC MATERIAL SHALL BE REMOVED FROM ALL FOUNDATION, FOOTING AND SLAB AREAS
- TOP OF FOUNDATION AND BOTTOM OF FOOTING ELEVATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ALL FOOTINGS SHALL EXTEND A MINIMUM OF 5'-0" BELOW THE FINISHED GRADE.
- ANCHOR ALL PRESSURE TREATED SILL PLATES TO CONCRETE FOUNDATIONS WITH 1/2" DIAMETER (A307 STEEL) ANCHOR BOLTS W/ NUTS & PLATE WASHERS @ 6'-0" O.C. MAXIMUM (1" EMBEDDED MIN.) AND NOT MORE THAN 12" FROM ALL CORNERS AND OPENINGS IN EACH DIRECTION. ANCHOR BOLTS ARE USED TO RESIST ALL UPLIFT, LATERAL, AND SHEAR LOADS
- ALL FOOTINGS SHALL BEAR ON SUITABLE BEARING MATERIAL WITH A MINIMUM BEARING CAPACITY OF 2,000 POUNDS PER SQUARE FOOT.
- ALL FOUNDATION WALLS SHALL BEAR ON A 24" WIDE X 12" DEEP CONCRETE FOOTING WITH A CONTINUOUS 2x4 KEYWAY. PROVIDE (2) #4 REBAR CONTINUOUS
- ALL WOOD FRAMING IN CONTACT WITH THE CONCRETE SHALL BE PRESSURE TREATED.
- ALL SILLS SHALL BE KILN DRIED (K.D.) 2x6 ON PRESSURE TREATED (P.T.) 2x6 ON FIBERGLASS BATT SILL SEAL, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL FOUNDATION DROPS AND TOP OF FOUNDATION ELEVATIONS AS REQUIRED DUE TO EXISTING & PROPOSED GRADING CONDITIONS.
- GENERAL CONTRACTOR TO PROVIDE PERFORATED PERIMETER DRAINAGE SYSTEM ALONG FOOTING IF A HIGH WATER TABLE IS PRESENT @ BUILDING LOCATION. G.C. TO FIELD VERIFY & COORDINATE.
- G.C. TO COORD. ALL BASEMENT WINDOW LOCATIONS & REQUIREMENTS THAT MAY BE SUBJECT TO ANY PROPOSED OR EXISTING GRADING CONDITIONS.
- GARAGE WALL BRACING: BRACING PANELS (2' MIN. WIDTH) PROVIDE (2) #6" DIAMETER (A307 STEEL) ANCHOR BOLTS W/ 4 3"x3" PLATE WASHERS NUTS PER 2' PANEL SECTION @ 1/3 POINTS. CONSTRUCTION DETAILS BASED ON FIGURE R602.10.3.4 METHOD 'FRG' PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B & C



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 633 ELM ST. MILFORD, NH

**GARAGE TRUSS ROOF
 FRAMING PLAN & NOTES**

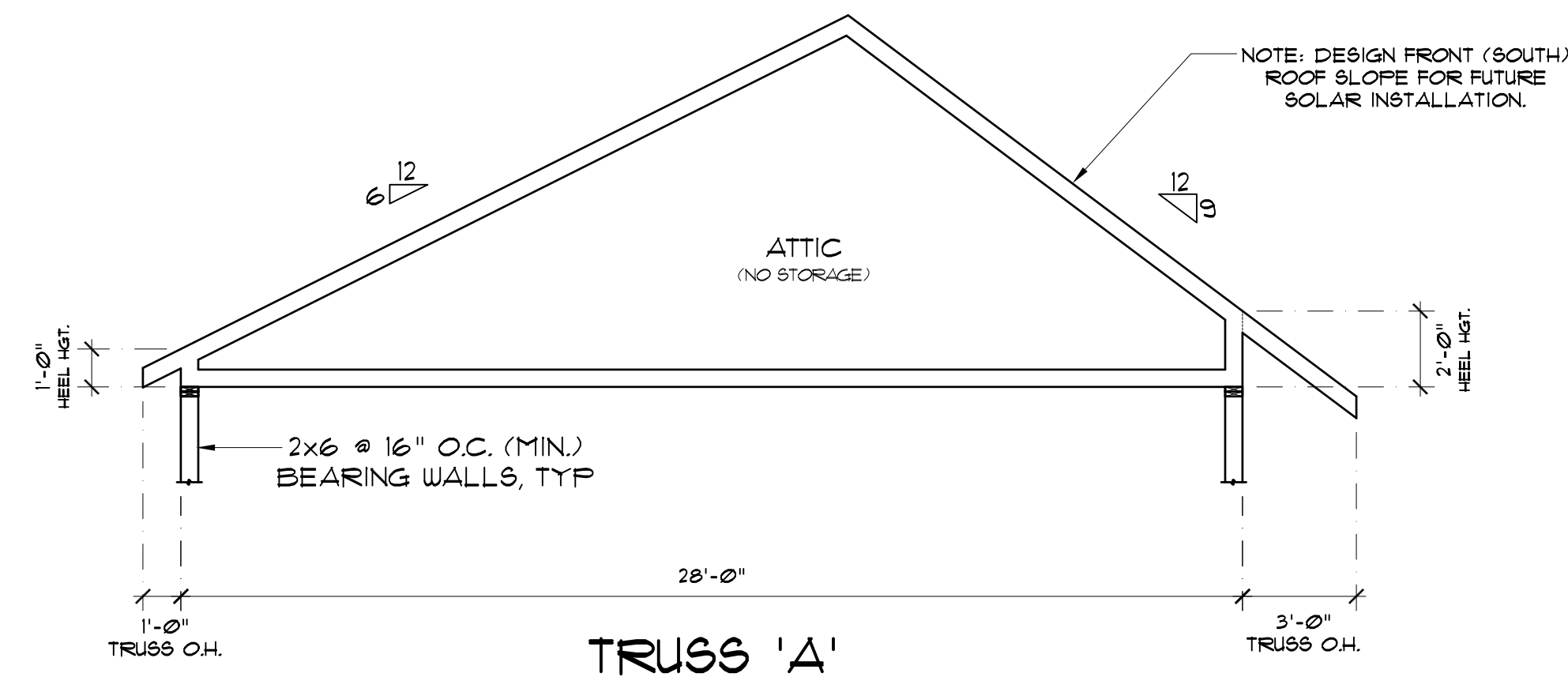


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Revisions	
Mrk.	date/ description

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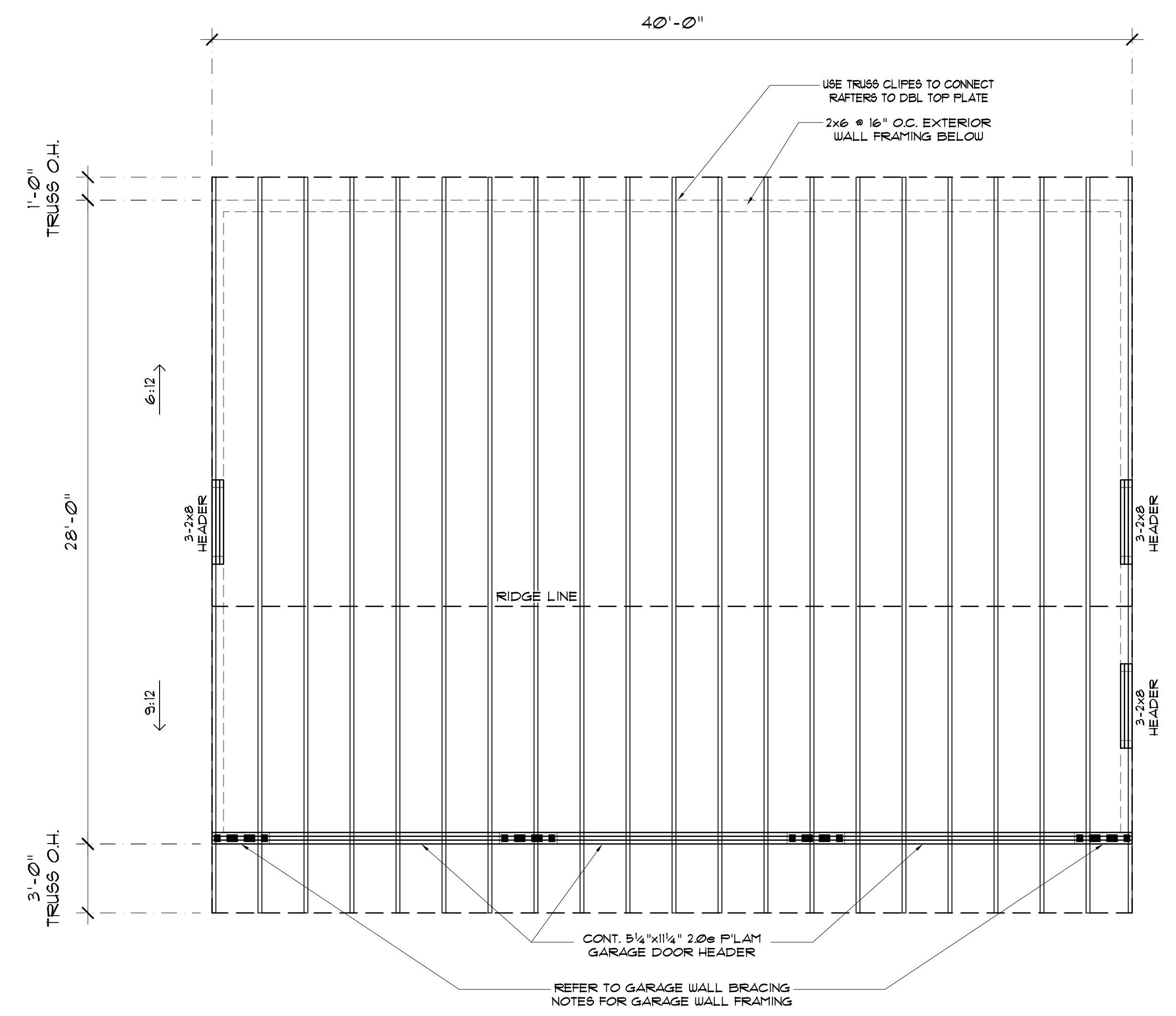
S-2



TRUSS ROOF FRAMING NOTES:

- PROVIDE ENGINEERED TRUSS SHOP DUG'S FOR BUILDING PERMIT SUBMISSION & CONSTRUCTION
- TRUSS FRAMING PLAN SHOWN, ALONG W/ TRUSS PROFILES SHOWN ARE SCHEMATIC & FOR INFORMATIONAL DIRECTION FOR TRUSS DESIGN ENGINEER
- ALL TRUSSES @ 24" O.C. UNLESS NOTED OTHERWISE BY TRUSS ENGINEER
- TRUSS LOADING: SNOW LOAD = 49 PSF FOR AMHERST, NH
- TRUSS ROOF SHEATHING TO BE 5/8" PLYWOOD ROOF SHEATHING W/ H-CLIPS

TRUSS PROFILES
 SCALE: 3/16"=1'-0"
 2
 S-2



TRUSS ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"
 2
 S-2

GENERAL FRAMING NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH 2015 INTERNATIONAL BUILDING CODE W/ NEW HAMPSHIRE AMENDMENTS.
- ALL EXTERIOR & LOAD BEARING WALLS SHALL BE FRAMED WITH 2X6 WALL STUDS @ 16" O.C. OR AS INDICATED ON THE DRAWINGS. ALL INTERIOR WALLS TO BE 2X4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE. ALL JOISTS/ RAFTERS FRAMING INTO A FLUSH FRAMED BEAM SHALL BE SUPPORTED BY JOIST HANGERS.
- INSTALL SOLID OR LAMINATED POSTS UNDER THE BEARING POINTS OF ALL BEAMS AND ANY OTHER REQUIRED LOCATIONS.
- A CONTINUOUS LOAD PATH OF INTERCONNECTED FRAMING ELEMENTS FROM FOOTINGS AND FOUNDATION WALLS TO FLOORS, WALLS AND ROOF FRAMING SHALL BE PROVIDED.
- USE SIMPSON STRAP TIE DOWNS (HURRICANE/TRUSS CLIPS) TO CONNECT ROOF RAFTERS TO DBL TOP PLATE
- G.C. TO PROVIDE ENGINEERED SHOP DRAWINGS OF ALL PROPOSED ENGINEERED LUMBER (LVL'S, I-JOISTS, ETC.) FROM LUMBER YARD TO BUILDING DEPARTMENT AS PART OF BUILDING PERMIT APPLICATION.
- FRAME GARAGE DOOR WALL LINE IN ACCORDANCE WITH DETAILS BASED ON FIGURE 1 OF THE 'AIA NARROW-WALL BRACING METHOD WITHOUT HOLD-DOWNS FOR USE IN A FULLY SHEATHED HOUSE'. SEE 'GARAGE WALL & DOOR OPENING BRACING NOTES' FOR FASTENER CONNECTION REQUIREMENTS & FRAMING CRITERIA
- ALL BUILDING COMPONENTS MUST BE ABLE TO WITHSTAND THE REQUIREMENTS SET FORTH IN THE BUILDING CODE FOR STRUCTURES DESIGNED TO WITHSTAND THE ULTIMATE WIND SPEED AS NOTED ABOVE. G.C. TO COORDINATE PRIOR TO CONSTRUCTION.
- ALL DIMENSIONAL WOOD LUMBER SIZES BASED ON USING SPRUCE PINE FIR #2 OR BETTER- G.C. TO COORD.
- ALL ROOF SHEATHING SHALL BE 5/8" TONGUE & GROOVE CDX ROOF SHEATHING (BASED ON 24" O.C. TRUSS RAFTER SPACING).
- EXTERIOR WALL SHEATHING SHALL BE 1/2" ADVANTECH ZIP-SYSTEM WALL SHEATHING (TAPE SEAMS) AND SHALL SPAN OVER ALL PLATES, HEADERS, ETC.

STRUCTURAL DESIGN CRITERIA:
 EXPOSURE CATEGORY: EXPOSURE B- URBAN/ SUBURBAN AREAS
 PROJECT LOCATION: MILFORD, NH
 ULTIMATE WIND SPEED: MILFORD, NH- 111 MPH
 ROOF SNOW LOAD: MILFORD, NH- 49 PSF