

SITE DEVELOPMENT PLANS

- TAX MAP 6, LOT 33

SELF-STORAGE FACILITY

SAVAGE ROAD
MILFORD, NEW HAMPSHIRE
APRIL 19, 2021

ABUTTER INFORMATION:

MAP 6 LOTS 34
BRE ASSOCIATES LLC
C/O MARY THOMAS
5 QUAIL RIDGE ROAD
CONCORD, NH 03301
BK.3707, PG.33

MAP 6 LOTS 35
NASH & FOREST REAL ESTATE
91 AMHERST STREET
NASHUA, NH 03064-2553
BK.5659, PG.1803

MAP 6 LOTS 36
TUCKER BROOK LLC
35 MEADOWBROOK DRIVE
MILFORD, NH 03055-4613
BK.5715, PG.1993

MAP 6 LOTS 42
HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK.5800, PG.559

MAP 6 LOTS 42-1
HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK.5800, PG.562

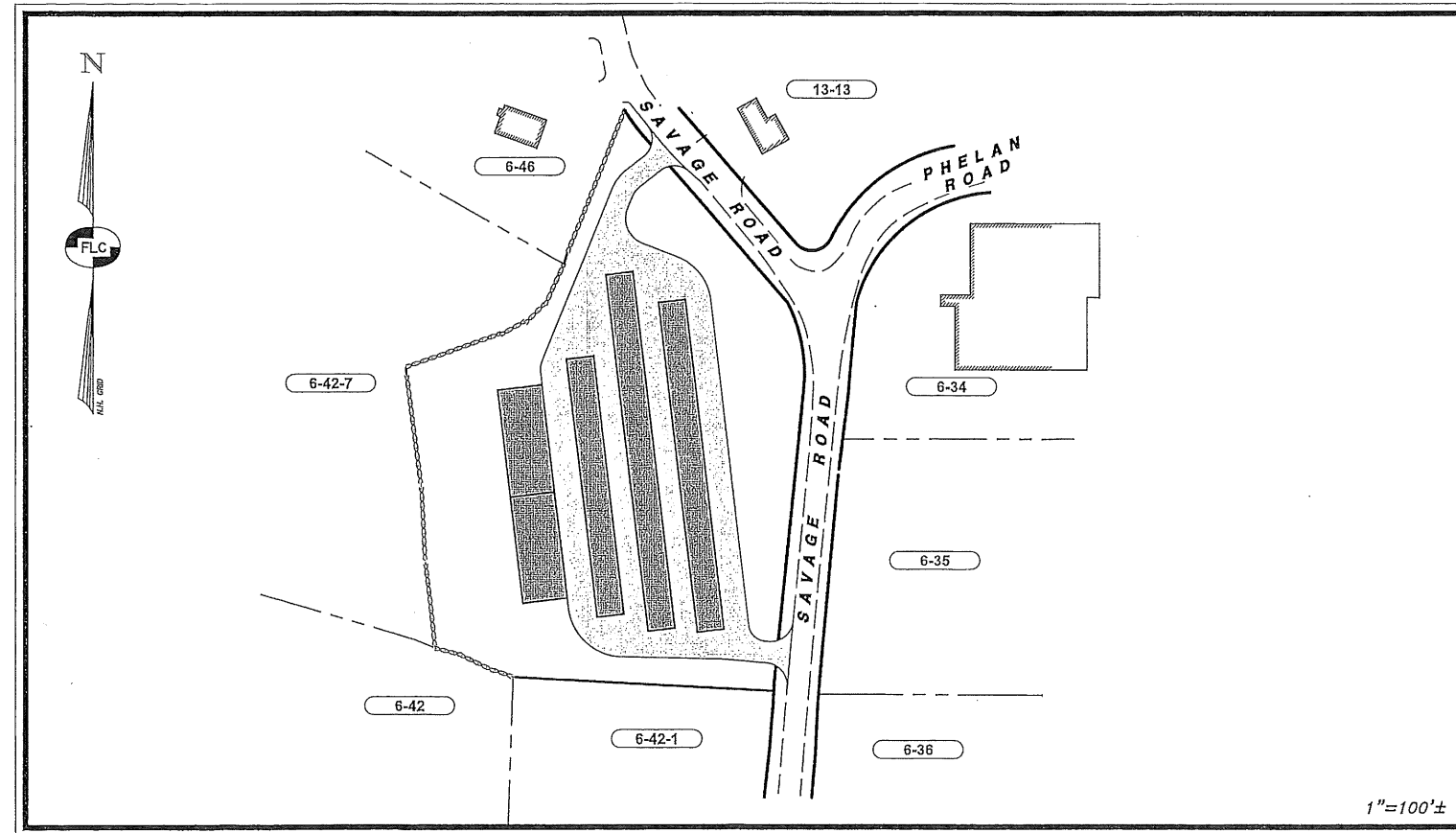
MAP 6 LOTS 42-7
HOT TO TOUCH LLC
51 SCARBOROUGH LANE
MILFORD, NH 03055-3117
BK.8836, PG.1385

MAP 6 LOTS 46
SECOND CAMPANA TRUST
LISA B. MILLER, TRUSTEE
P.O. BOX 850005
WEST NEWTON, MA 02465
BK.6281, PG.778

MAP 6 LOTS 42
MBDR, LLC
36 SAVAGE ROAD
MILFORD, NH 03055
BK.8291, PG.1

REFERENCE PLANS:

1. "EASEMENT PLAN OF LAND - TAX MAP LOTS 6-33 - PREPARED FOR HERITAGE HILL INDUSTRIAL PARK, LLC - MILFORD, NEW HAMPSHIRE" - SCALE: 1"=50' - DATED APRIL 6, 2008. PREPARED BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN #34861.
2. "SUBDIVISION PLAN OF LAND - TAX MAP PARCEL 6-33 - PREPARED FOR HENRY R. KRANNER - MILFORD, NEW HAMPSHIRE" - SCALE: 1"=50', DATED DECEMBER 22, 2000 AND LAST REVISED JANUARY 15, 2001. PREPARED BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN #30971.
3. "BOUNDARY PLAN OF TAX MAP PARCELS 7-129-1 & 13-13 - PREPARED FOR JOHN & JOYCE LAWTON - MILFORD, N.H." - SCALE: 1"=100' - DATED AUGUST 24, 1980. PREPARED BY THOMAS F. MORAN INC. RECORDED IN THE H.C.R.D. AS PLAN #13605.



SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	SP-1	SITE LAYOUT PLAN
3	EX-1	EXISTING CONDITIONS PLAN
4	GR-1	GRADING & DRAINAGE PLAN
5	LT-1	LIGHTING PLAN
6	LS-1	UTILITIES & LANDSCAPING PLAN
7	DT-1	CONSTRUCTION DETAILS
8	DT-2	EROSION CONTROL DETAILS

PREPARED FOR & LAND OF:
HERITAGE HILL INDUSTRIAL PARK, LLC
6 MANHATTAN DRIVE
AMHERST, NH 03031

TOWN OF MILFORD
RECEIVED

APR 19 2021

PB _____ ZBA _____ Office _____

1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.

2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL UTILITY COMPANIES AND JURISDICTIONAL AGENCIES PRIOR TO AND DURING CONSTRUCTION.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

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72 HOURS PRIOR
TO CONSTRUCTION
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811

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REV.	DATE	DESCRIPTION	C/O	DR	CK

FILE: 196CV01.dwg PROJ. NO. 196.01 SHEET: CV-1 PAGE NO. 1 OF 8

LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- - - ABUTTING LOT LINE
- - - BUILDING SETBACK LINE
- - - EDGE OF PAVED ROAD
- - - EDGE OF GRAVEL ROAD
- - - CURB LINE
- - - STONE WALL
- - - EDGE OF TREE LINE
- - - EXISTING EASEMENT LINE
- - - 500' 10' CONTOUR INTERVAL
- - - 502' 2' CONTOUR INTERVAL
- - - CULVERT
- - - OVERHEAD UTILITY LINE
- - - UNDERGROUND UTILITY LINE
- - - WATER LINE PER REFERENCE PLAN
- - - SEWER LINE

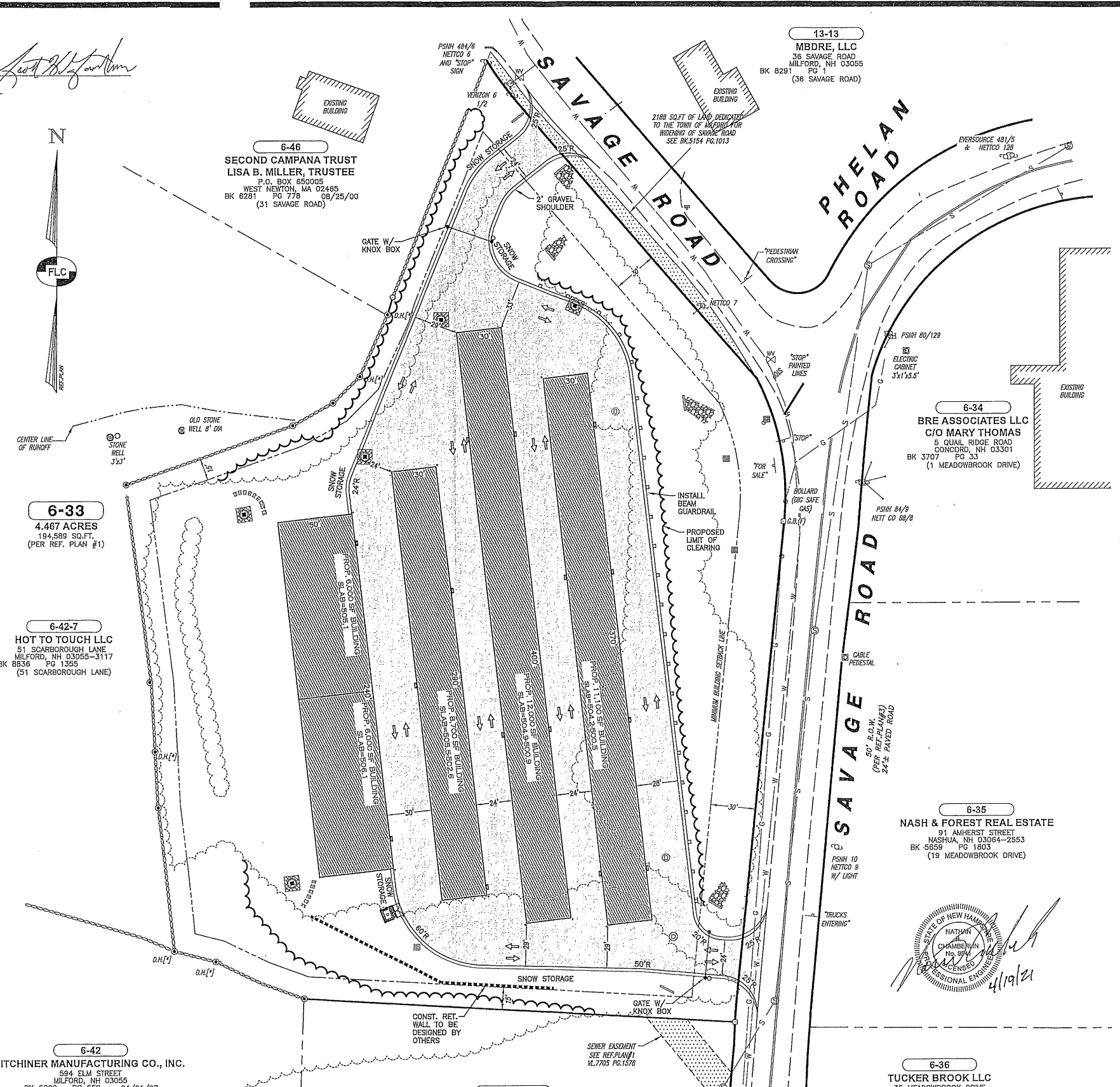
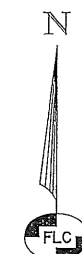
PROPOSED FEATURES

- EDGE OF PAVEMENT
- GRAVEL SHOULDER
- SWALE
- WATER SERVICE LINE
- UNDERGROUND UTILITY LINE
- PAVED AREA
- BUILDING
- LIMITS OF CLEARING
- TRAFFIC FLOW (NOT PAINTED ARROWS)
- BUILDING MOUNTED LIGHT
- BOLLARD
- STORM WATER CATCH BASIN W/ SILT SACK
- STORM DRAIN MANHOLE
- STORM DRAIN HEADWALL
- EARTHEN BERM

PROPOSED NOTES:

- A. THE ASSOCIATED SITE IMPROVEMENTS OF THIS PROJECT WILL COMPLY WITH THE OPEN SPACE REQUIREMENTS AS OUTLINED IN THE INDUSTRIAL DISTRICT. APPROXIMATELY 47.8% OF THE SITE WILL REMAIN AS OPEN SPACE WHICH EXCEEDS THE 30% REQUIREMENT.
- B. THE SITE WILL BE SERVICED BY UNDERGROUND UTILITIES USING EXISTING CONNECTIONS.
- C. THERE IS NO PROPOSED PROJECT SIGNAGE AT THIS TIME. ANY PROPOSED SIGNS WILL REQUIRE A SIGN PERMIT FROM THE MILFORD BUILDING DEPARTMENT.
- D. THIS PROJECT WILL NOT CHANGE THE EXISTING DRAINAGE PATTERNS ON SITE.
- E. THIS PROJECT WILL BE SUBJECT TO POLICE IMPACT FEES WHICH WILL BE DETERMINED AT THE TIME OF THE BUILDING PERMIT APPLICATION.
- F. ALL EXTERIOR LIGHTING SHALL BE DOWNCAST PER THE MILFORD DEVELOPMENT REGULATIONS.
- G. THE PROPOSED ENTRANCE EXCEEDS THE LOCAL SAFE SIGHT DISTANCE REQUIREMENTS AS DETERMINED BY A SITE INSPECTION.
- H. ALL SNOW SHALL BE STORED ADJACENT TO THE PAVED AREAS AS SHOWN.
- I. THE PROPOSED GATES, AS SHOWN, WILL BE INSTALLED FOR SECURITY PURPOSES IF AND WHEN NEEDED.
- J. TRASH REMOVAL WILL BE PROVIDED BY AN ON-SITE DUMPSTER.
- K. WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- L. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- M. A SITE PLAN FOR MULTI-UNIT INDUSTRIAL BUILDINGS WAS APPROVED IN 2005. SITE WORK WAS STARTED BUT THE BUILDINGS WERE NEVER CONSTRUCTED.
- N. STORM WATER RUNOFF FROM THE SITE WILL BE MANAGED BY EXISTING LEACHING TRENCHES AND LEACHING CATCH BASINS INSTALLED PER PREVIOUSLY APPROVED SITE PLAN.

OWNER/APPLICANT SIGNATURE: *[Signature]*



6-33
4.467 ACRES
194,589 SQ.FT.
(PER REF. PLAN #1)

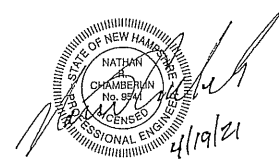
6-42-7
HOT TO TOUCH LLC
51 SCARBOROUGH LANE
MILFORD, NH 03055-3117
BK 8836 PG 1355
(51 SCARBOROUGH LANE)

6-42
HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK 5800 PG 559 04/01/97
(1 SCARBOROUGH LANE)

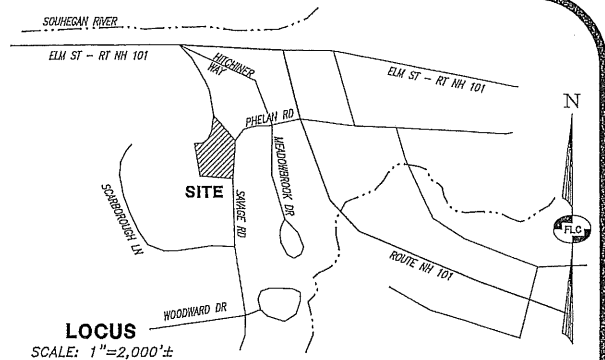
6-42-1
HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK 5800 PG 562 04/01/97
(SAVAGE ROAD)

6-35
NASH & FOREST REAL ESTATE
91 AMHERST STREET
NASHUA, NH 03064-2553
BK 5659 PG 1803
(19 MEADOWBROOK DRIVE)

6-36
TUCKER BROOK LLC
35 MEADOWBROOK DRIVE
MILFORD, NH 03055-4613
BK 5715 PG 1993
(35 MEADOWBROOK DRIVE)



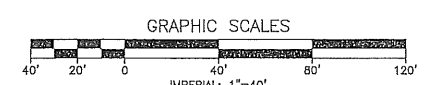
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NOTES:

1. THE OWNER OF RECORD FOR TAX MAP 6 LOT 33 IS HERITAGE HILL INDUSTRIAL PARK, LLC - 6 MANHATTAN DRIVE, AMHERST, NH 03031-2301. THE DEED REFERENCE FOR THE PARCEL IS VOL.7485 PG.984 DATED MAY 23, 2005 IN THE H.C.R.D. SEE VOL.7519 PG.1474 DATED AUGUST 3, 2005 IN THE H.C.R.D. FOR LOT MERGER.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED SELF-STORAGE FACILITY ALONG WITH ASSOCIATED SITE IMPROVEMENTS FOR TAX MAP LOT TAX MAP 6 LOT 33 AS SHOWN.
3. ZONING FOR THE PARCEL IS INDUSTRIAL DISTRICT (I). MINIMUM REQUIREMENTS INCLUDE:

INDUSTRIAL DISTRICT	REQUIRED	LOT 6-33
MIN LOT AREA	NONE	194,589 SF
MIN LOT FRONTAGE	NONE	619.38 FT
MIN FRONT SETBACK	30 FT	30 FT
MIN SIDE SETBACK	15 FT	15 FT
MIN REAR SETBACK	15 FT	15 FT
MAX. BUILDING HEIGHT	40 FT	N/A
MIN. OPEN SPACE	30%	100%
4. THE SITE LIES WITHIN THE WEST ELM GATEWAY OVERLAY DISTRICT.
5. THE IMPROVEMENTS SHOWN WERE DEVELOPED FROM A FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF MARCH, 2021.
6. HORIZONTAL ORIENTATION IS BASED ON THE REFERENCE PLAN #1 CITED HEREON. VERTICAL DATUM IS ASSUMED.
7. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
8. JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. OUDA, C.W.S. IN MARCH, 2021 IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
9. THE SITE IS LOCATED WITHIN THE LEVEL 2 GROUNDWATER PROTECTION DISTRICT. THE SITE LIES OUTSIDE ALL WELLHEAD SANITARY RADIUS (400').
10. THE SITE IS CURRENTLY VACANT AND NOT SERVICED BY OVERHEAD UTILITIES OR BY MUNICIPAL SEWER AND WATER.
11. THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, TOWN OF MILFORD, NEW HAMPSHIRE, COMMUNITY NO. 330096, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301100454D, DATED: SEPTEMBER 25, 2009.
12. BOUNDARY INFORMATION SHOWN IS BASED ENTIRELY ON THE REFERENCE PLAN #1 AND DEED CITED HEREON AND IS NOT THE RESULT OF A PRECISE BOUNDARY SURVEY BY THIS OFFICE.
13. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS OR ENCUMBRANCES ON THE SUBJECT PARCEL OTHER THAN THAT SHOWN HEREON.
14. LOCATION OF BUILDINGS WITHIN 50', ROADS WITHIN 200', AND INFILTRATION DRAINAGE SYSTEMS WITHIN 200' ARE SHOWN HEREON.



REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE LAYOUT PLAN
TAX MAP 6 LOT 33
(SAVAGE ROAD)
MILFORD, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
HERITAGE HILL INDUSTRIAL PARK, LLC
6 MANHATTAN DRIVE, AMHERST, NH 03031

SCALE: 1" = 40' APRIL 19, 2021

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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Phone: (603) 672-5456 Fax: (603) 413-5456
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LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- CURB LINE
- STONE WALL
- EDGE OF TREE LINE
- EXISTING EASEMENT LINE
- 500- 10' CONTOUR INTERVAL
- 502- 2' CONTOUR INTERVAL
- ==== CULVERT
- OH — OVERHEAD UTILITY LINE
- U/G — UNDERGROUND UTILITY LINE
- W — WATER LINE PER REFERENCE PLAN
- S — SEWER LINE
- 6-33 TAX MAP & LOT NUMBER
- G.B.(f) GRANITE BOUND FOUND
- D.H.(f) DRILL HOLE FOUND
- I.P.I.P.(f) IRON PIPE FOUND
- I.P.N.(f) IRON P.N. FOUND
- (f) PER REFERENCE PLAN

NRCS SOILS LEGEND:
 SOURCE: USDA NRCS WEB SOIL SURVEY

--- SOIL BOUNDARY

HsB HINCKLEY LOAMY SAND
3 TO 8% SLOPES

HsD HINCKLEY LOAMY SAND
15 TO 35% SLOPES

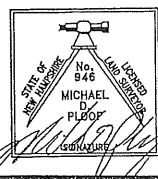
REFERENCE PLANS:

- "EASEMENT PLAN OF LAND - TAX MAP LOTS 6-33 - PREPARED FOR HERITAGE HILL INDUSTRIAL PARK, LLC - MILFORD, NEW HAMPSHIRE - SCALE: 1"=50' - DATED APRIL 6, 2006. PREPARED BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN #34861.
- "SUBDIVISION PLAN OF LAND - TAX MAP PARCEL 6-33 - PREPARED FOR HENRY R. KRANNER - MILFORD, NEW HAMPSHIRE. SCALE: 1"=50'. DATED DECEMBER 22, 2000 AND LAST REVISED JANUARY 16, 2001. PREPARED BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN #30971.
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- "EXISTING CONDITIONS SITE PLAN - TAX MAP PARCEL 6-33 AND 6-33-1 - PREPARED FOR GAUTHIER BROTHERS CONCRETE - MILFORD, NEW HAMPSHIRE - SCALE: 1"=50' - DATED MARCH 21, 2005. PREPARED BY MERIDIAN LAND SERVICES, INC.

CERTIFICATION:

"I HEREBY CERTIFY THAT THE EXISTING CONDITIONS SHOWN WERE DEVELOPED FROM A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF MARCH 2021 AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000)."

DATE: 4/19/2021



6-42
HITCHINER MANUFACTURING CO., INC.
 594 ELM STREET
 MILFORD, NH 03055
 BK 5800 PG 559 04/01/97
 (1 SCARBOROUGH LANE)

6-42-1
HITCHINER MANUFACTURING CO., INC.
 594 ELM STREET
 MILFORD, NH 03055
 BK 5800 PG 582 04/01/97
 (SAVAGE ROAD)

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 51 SCARBOROUGH LANE
 MILFORD, NH 03055-3117
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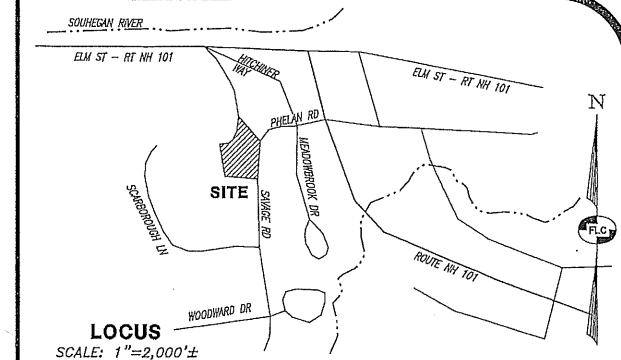
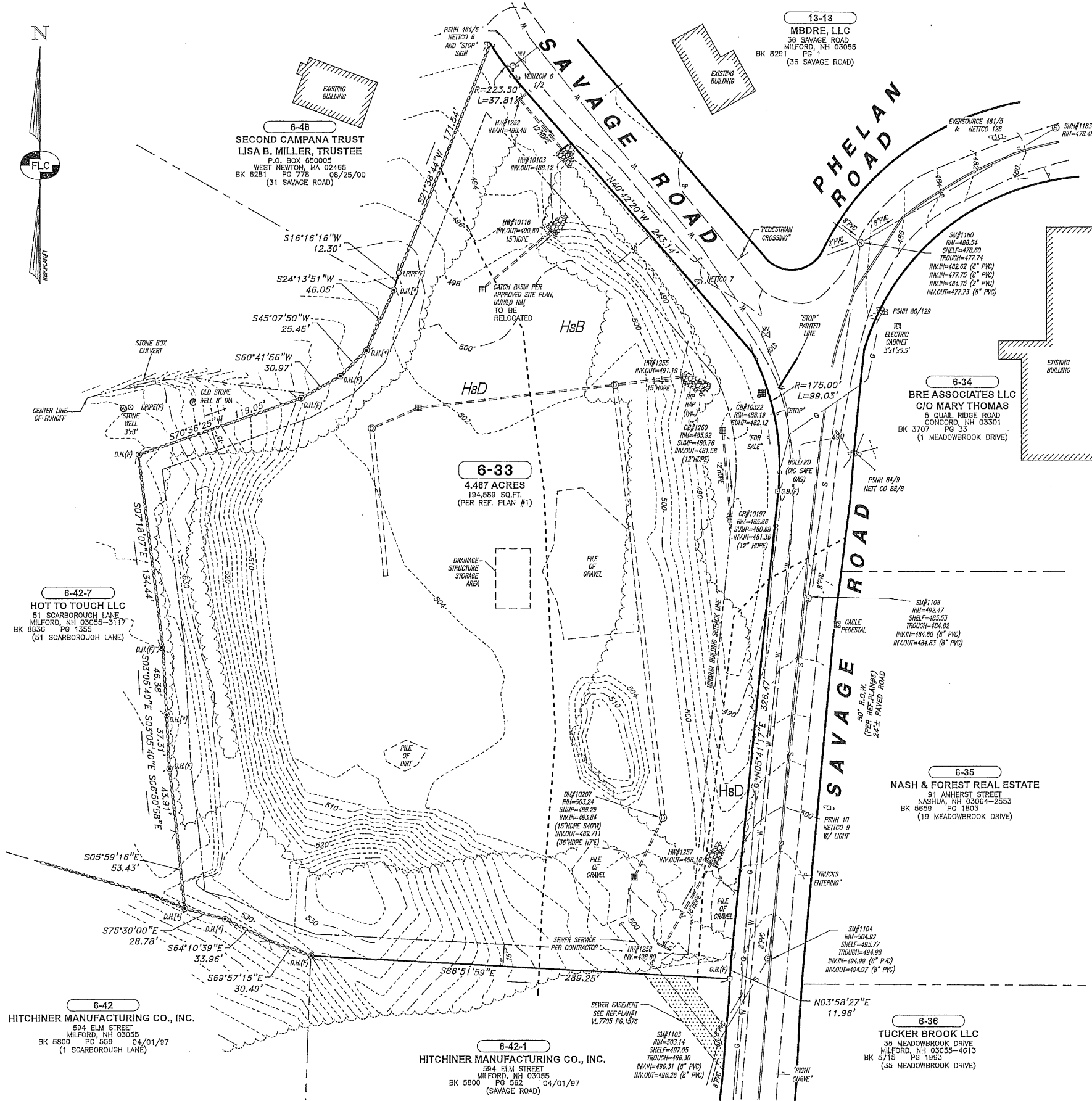
6-46
SECOND CAMPANA TRUST
LISA B. MILLER, TRUSTEE
 P.O. BOX 650005
 WEST NEWTON, MA 02465
 BK 6281 PG 778 08/25/00
 (51 SAVAGE ROAD)

13-13
MBDRE, LLC
 36 SAVAGE ROAD
 MILFORD, NH 03055
 PG 1
 (36 SAVAGE ROAD)

6-34
BRE ASSOCIATES LLC
C/O MARY THOMAS
 5 QUAIL RIDGE ROAD
 CONCORD, NH 03301
 BK 3707 PG 33
 (1 MEADOWBROOK DRIVE)

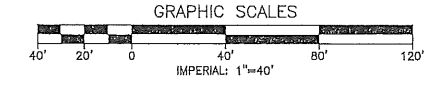
6-35
NASH & FOREST REAL ESTATE
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 NASHUA, NH 03064-2553
 BK 5650 PG 1803
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 MILFORD, NH 03055-4613
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 - LOCATION OF BUILDINGS WITHIN 50', ROADS WITHIN 200', AND INFILTRATION DRAINAGE SYSTEMS WITHIN 200' ARE SHOWN HEREON.
 - THE EXISTING ON-SITE DRAINAGE WAS INSTALLED PER THE APPROVED SITE PLAN (REFERENCE PLAN #4) AS DEPICTED.



REV.	DATE	DESCRIPTION	C/O	DR	CK

EXISTING CONDITIONS PLAN
TAX MAP 6 LOT 33
(SAVAGE ROAD)
MILFORD, NEW HAMPSHIRE
 PREPARED FOR & LAND OF:
HERITAGE HILL INDUSTRIAL PARK, LLC
 6 MANHATTAN DRIVE, AMHERST, NH 03031

SCALE: 1" = 40' MARCH 19, 2021

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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- 502' ——— 2' CONTOUR INTERVAL
- CULVERT
- OH — OVERHEAD UTILITY LINE
- U/G — UNDERGROUND UTILITY LINE
- W — WATER LINE PER REFERENCE PLAN
- S — SEWER LINE
- 6-33 TAX MAP & LOT NUMBER
- GR. (F) GRANITE BOUND FOUND
- D.H. (F) DRILL HOLE FOUND
- PIPE (F) IRON PIPE FOUND
- FIN (F) IRON FIN FOUND
- [] PER REFERENCE PLAN

PROPOSED FEATURES

- 502 — 2 FT. CONTOUR
- 500 — 10 FT. CONTOUR
- 500.2 — SPOT ELEVATION
- EDGE OF PAVEMENT
- GRAVEL SHOULDER
- SWALE
- PAVED AREA
- BUILDING
- WALL LIGHT
- U/G — UNDERGROUND UTILITY LINES
- STONE CHECK DAM
- LIMITS OF CLEARING
- SWALE/GUTTER/CROWN LINE
- DRAINAGE FLOW ARROW
- TEMPORARY SILT FENCE
- CATCH BASIN
- SILT SACK

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

STRUCT.	FROM RIM	TO INV. OUT	LENGTH FEET	DIA. INCHES	SLOPE FT/FT	TO STRUCT.	INV. IN
CB1	518.00	502.40	86	15	0.045	CB2	498.48
CB2	502.00	498.38	101	15	0.010	CB3	497.38
CB3	500.00	497.28	86	15	0.010	CB4	496.42
CB4	499.30	496.30	72	15	0.010	DMH1	498.58
DMH1	500.40	499.71	300	36 PERF. LEVEL		DMH10207	499.71
DMH1	500.40	494.22	45	15	0.067	HW4	491.19
CB5	517.00	502.40	90	15	0.045	CB6	498.26
CB6	504.00	498.16	168	15	0.010	DMH2	496.48
DMH2	503.90	496.38	50	15	0.010	DMH10207	496.88
DMH10207	503.50	499.71	300	36 PERF. LEVEL		DMH1	499.71
CB2	502.00	496.32	100	12 PERF. LEVEL			

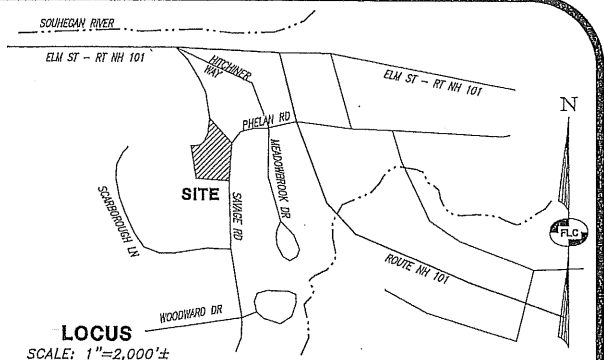
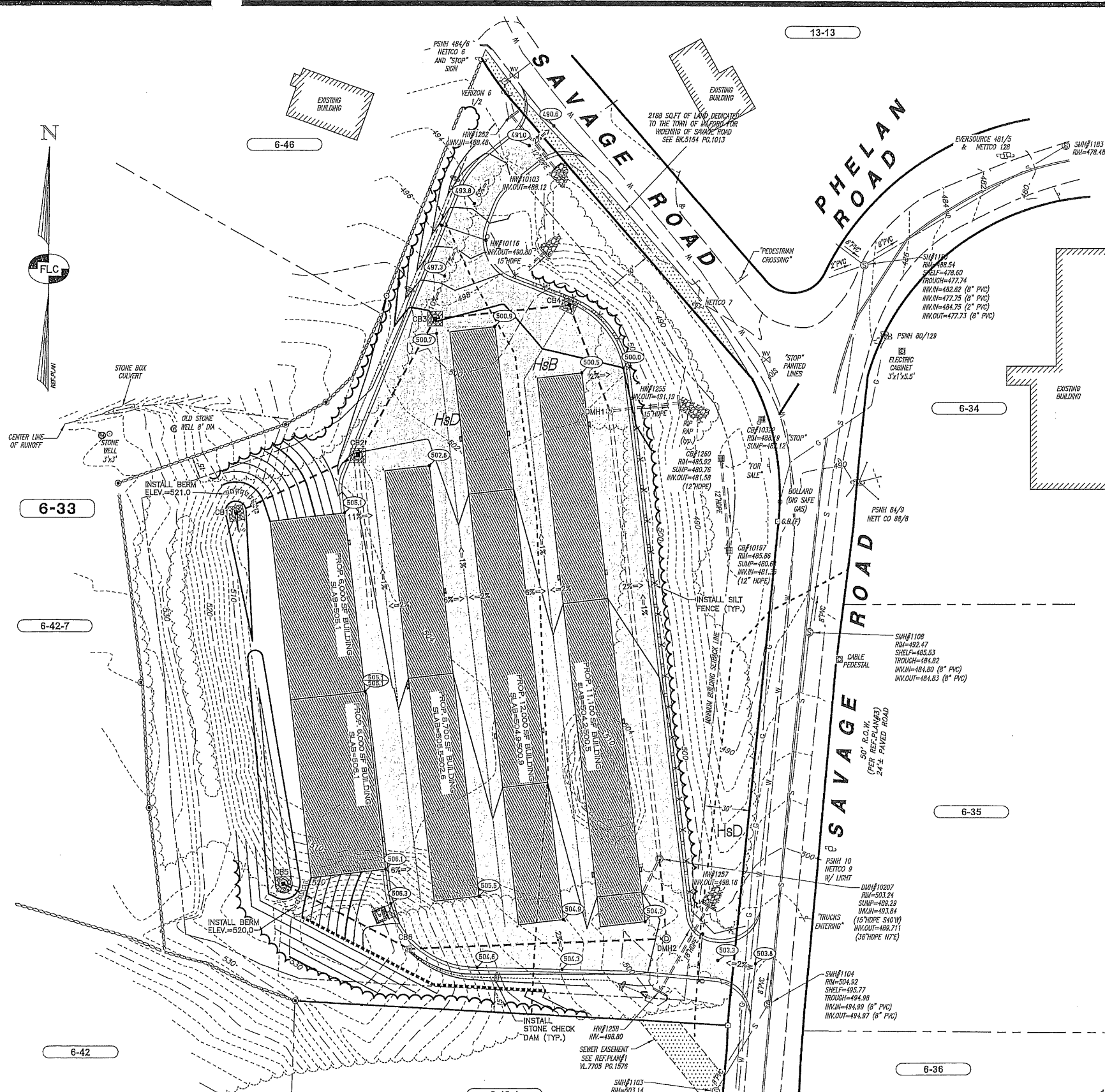
NOTE: PIPE LENGTHS ARE MEASURED TO THE INSIDE OF STRUCTURES. ROOF DRAINS ARE TO BE SCHEDULE 40 PVC, ALL OTHER DRAIN PIPE SHALL BE SMOOTH INTERIOR HDPE (NHDOT 603.802...)

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 OR DIAL 8 1 1
 CALL 811 - KNOW WHAT'S BELOW

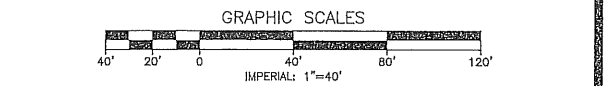
NRCS SOILS LEGEND:
 SOURCE: USDA NRCS WEB SOIL SURVEY

--- SOIL BOUNDARY

HsB HINCKLEY LOAMY SAND 3 TO 8% SLOPES
 HsD HINCKLEY LOAMY SAND 15 TO 35% SLOPES



- GENERAL CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF MILFORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF MILFORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233).
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF MILFORD FIRE DEPARTMENT REGULATIONS.
 - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED.
 - ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 - ALL POWER WORK SHALL CONFORM TO PUBLIC SERVICE OF NEW HAMPSHIRE STANDARDS.
 - ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
 - STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH THE TOWN OF MILFORD SPECIFICATIONS.



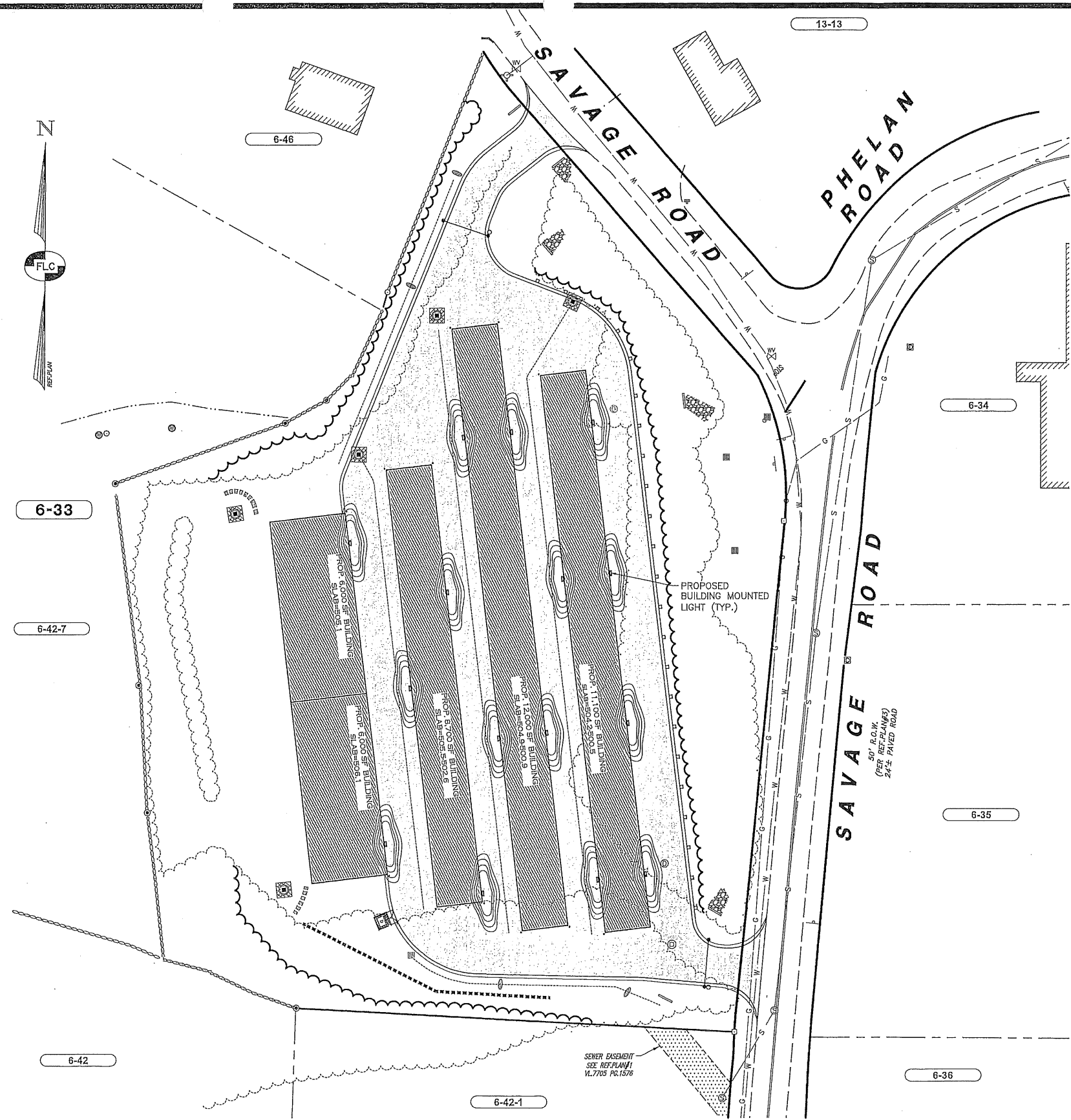
REV.	DATE	DESCRIPTION	C/O	DR	CK

GRADING & DRAINAGE PLAN
 TAX MAP 6 LOT 33
 (SAVAGE ROAD)
 MILFORD, NEW HAMPSHIRE
 PREPARED FOR:
GAUTHIER BROTHERS CONCRETE
 6 MANHATTAN DRIVE, AMHERST, NH 03031

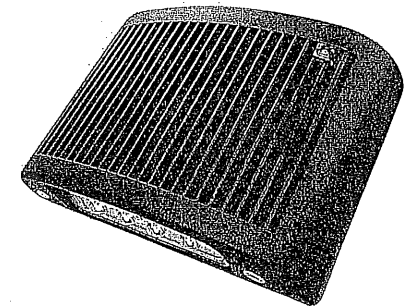
SCALE: 1" = 40' APRIL 15, 2021

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MERU Series
LED GENERAL & EMERGENCY LIGHTING *OR EQUAL*



PRODUCT SPECIFICATIONS

CONSTRUCTION
Die cast aluminum housing with superior lens sink • Scratch resistant Polyester powder coat finish • UV resistant polycarbonate lens • Snap-fit housing and mounting plate are held together by four stainless steel clips • Universal mounting pattern molded into the back plate • 1/2" threaded top access for surface conduit installation • Silicone rubber seal with hollow center, shape adaptive design protects the electrical components • Junction box neoprene seal is attached to the back plate for a weather proof installation • Dark Bronze or White textured finish.

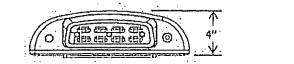
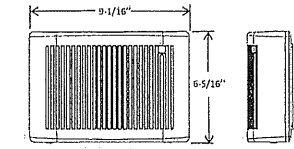
ELECTRICAL
Dual voltage 120/277VAC 60Hz input • Solid state charging and switching • Battery low voltage disconnect • AC power indicator and test switch at the bottom of the unit • Standard with Self Diagnostics to monitor proper operation.

LAMPS
Supplied with eight (8) LG SMD 4000K LED'S • L70 > 72,000hours • 17 Watts total (32 Watts with IH option) • 1600 Lumens in AC mode, 600 Lumens in Emergency mode • Full cut-off optics for Dark Sky compliance

BATTERY
Maintenance-free, long-life rechargeable NiCad battery will operate fixture for a minimum of 90 minutes in the event of a power outage • 24 hour recharge after 90 minute discharge.

CODE COMPLIANCE
UL924 • Listed for wet location applications (0°C-50°C) • Optional "IH" cold weather package for (-40°C-50°C) • IP65 Rated • NFPA 101 Life Safety Code compliant • NEC and OSHA compliant • DLC Listed • RoHS Compliant

WARRANTY
5-year warranty. Product specifications subject to change without notice.



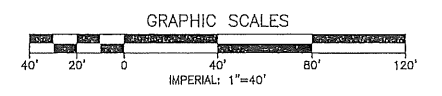
ORDERING INFORMATION

model	operation mode	housing color	options
MERU-LED	ACEM = General & Emergency Lighting	DB = Dark Bronze	Self-Diagnostics & Photocell (included Standard)
	AC = General Lighting	WH = White	IH = Internal Heater
		BK = Black	PIR = Passive Infra-Red Motion Sensor
		NK = Nickel	

Ordering Example: MERU-ACEM-DB NK

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description
J	15	W	SINGLE	MERU-LED-AC-DB-PIR/ MTD 8' APG



REV.	DATE	DESCRIPTION	C/O	DR	CK

LIGHTING PLAN
TAX MAP 6 LOT 33
(SAVAGE ROAD)
MILFORD, NEW HAMPSHIRE

PREPARED FOR:
HERITAGE HILL INDUSTRIAL PARK, LLC
6 MANHATTAN DRIVE, AMHERST, NH 03031

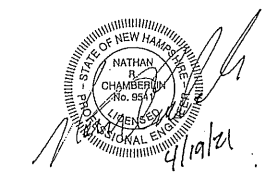
SCALE: 1" = 40' APRIL 19, 2021

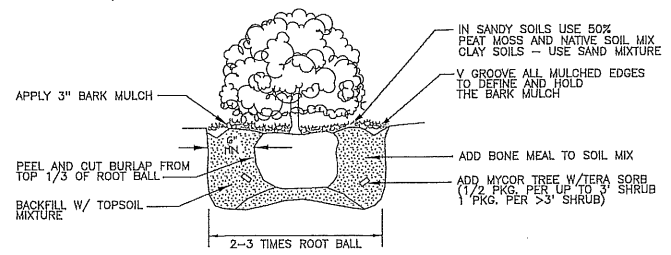
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FIELDSTONE
LAND CONSULTANTS, PLLC

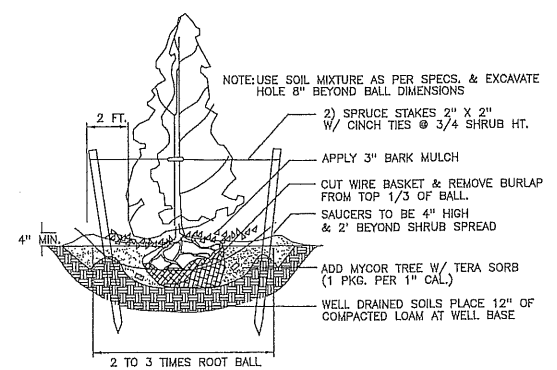
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 196SP01.dwg PROJ. NO. 196.01 SHEET: LT-1 PAGE NO. 5 OF 8

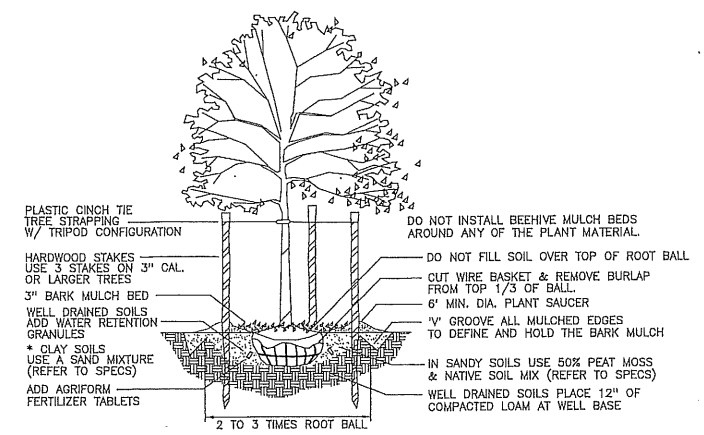




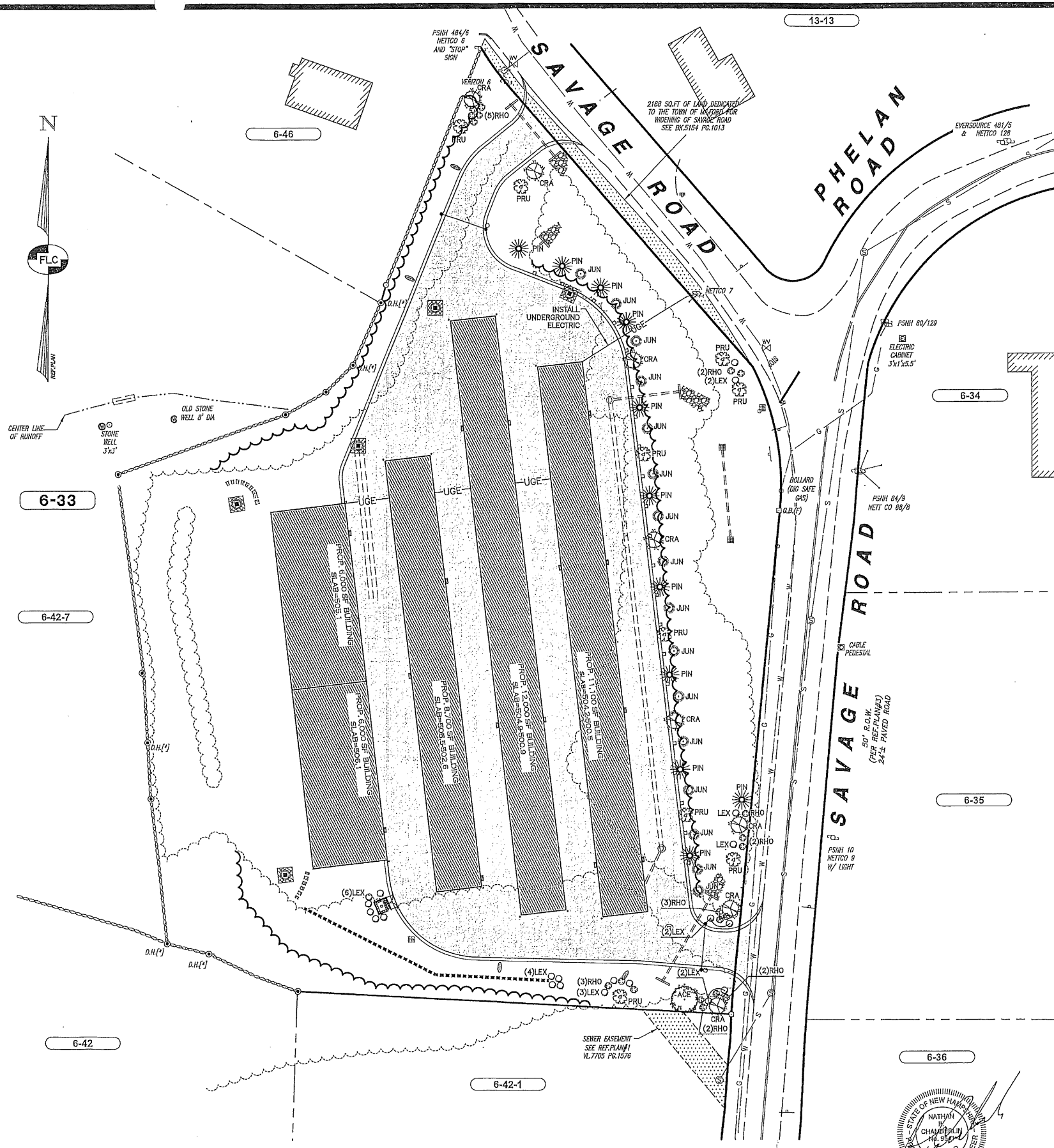
SHRUB PLANTING DETAIL
SCALE: N.T.S.



EVERGREEN TREE PLANTING DETAIL
SCALE: N.T.S.



DECIDUOUS TREE PLANTING DETAIL
SCALE: N.T.S.



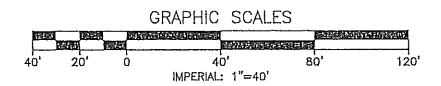
PLANT SYMBOLS	PLANT LIST (OR EQUAL)	QTY.	SIZE
PIN	PINUS SYLVESTRIS (SCOTS PINE)	(11)	6' MIN. HT.
ACE	ACER GINNALA (AMUR MAPLE)	(1)	2.5"-3.5" CAL. (12' MIN. HT.)
PRU	PRUNUS MAACKII (AMUR CHOKECHERRY)	(9)	2.5"-3.5" CAL. (12' MIN. HT.)
CRA	CRATAEGUS PHAENOPHRUM (WASHINGTON HAWTHORN)	(8)	2.5"-3.5" CAL. (12' MIN. HT.)
RHO	RHOODODENDRON CAROLINIANUM (CAROLINA RHODODENDRON)	(20)	24" HT.
LEX	ILEX GLABRA COMPACTA (DWARF INKBERRY)	(21)	18"-24" HT.
JUN	JUNIPERUS HORIZONTALIS BLUE CHIP (BLUE CHIP JUNIPER)	(16)	18"-24" HT.

LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
2. EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
3. UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
4. UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
5. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN.
6. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
7. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
8. IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISOQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORME SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
9. UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 4" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
10. WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
11. PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION
12. ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT THE ENTRANCE AND INTERNAL INTERSECTIONS.
13. ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
14. PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES.

LANDSCAPING CALCULATION:

1. LANDSCAPING PARKING LOTS AND ACCESS WAYS CALCULATION:
120'± FT. OF LANDSCAPING BUFFER ALONG ACCESS WAYS X 1 TREE PER 30' OF BUFFER
= 4 TREES REQUIRED, 12 PROVIDED
2. LANDSCAPING ALONG BUILDING FRONTAGE CALCULATION:
370 FT. OF BUILDING FRONTAGE X 1 SHRUB PER 5' OF FRONTAGE
= 74 SHRUBS REQUIRED, 74 PROVIDED



REV.	DATE	DESCRIPTION	C/O	DR	CK

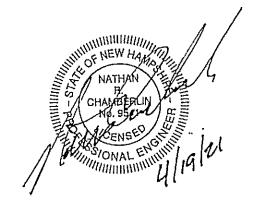
UTILITIES & LANDSCAPING PLAN
TAX MAP 6 LOT 33
(SAVAGE ROAD)
MILFORD, NEW HAMPSHIRE
 PREPARED FOR:
HERITAGE HILL INDUSTRIAL PARK, LLC
 6 MANHATTAN DRIVE, AMHERST, NH 03031

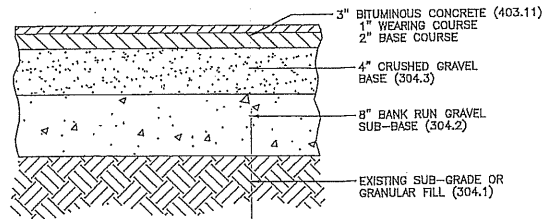
SCALE: 1" = 40' APRIL 19, 2021

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 LAND CONSULTANTS, PLLC

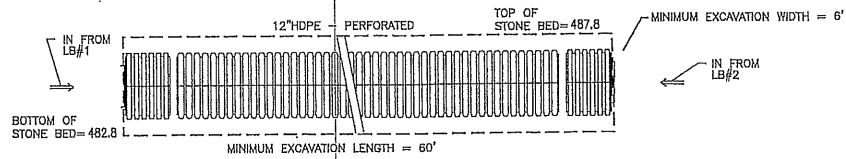
206 Elm Street, Milford, NH 03055
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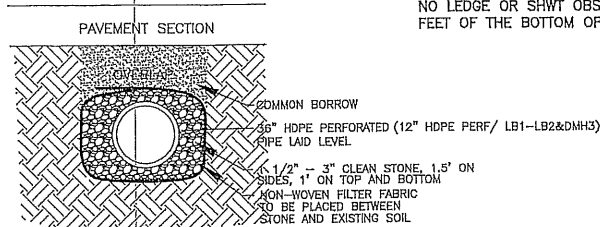
PAVEMENT

(NH DOT ITEM NO.) DEC. 20, 1995 SCALE: NONE **1** D-1



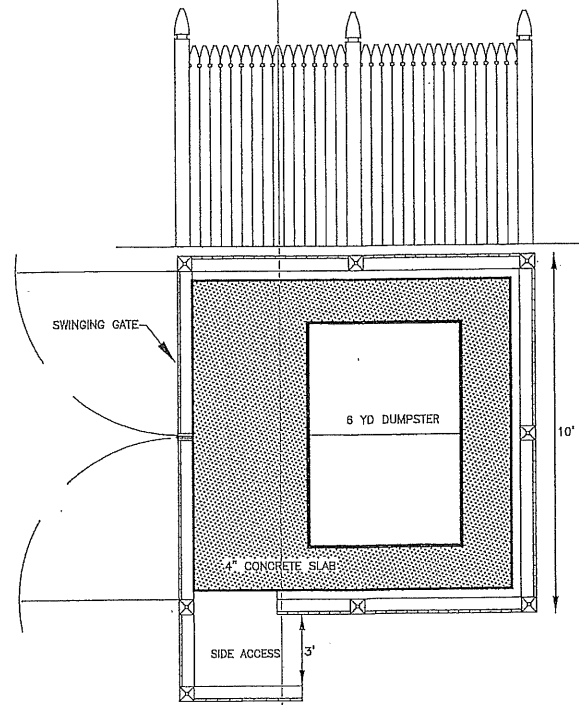
LEACHING TRENCHES

(NH DOT ITEM NO.) SCALE: NONE **2A** D-1



SECTION VIEW-TYPICAL

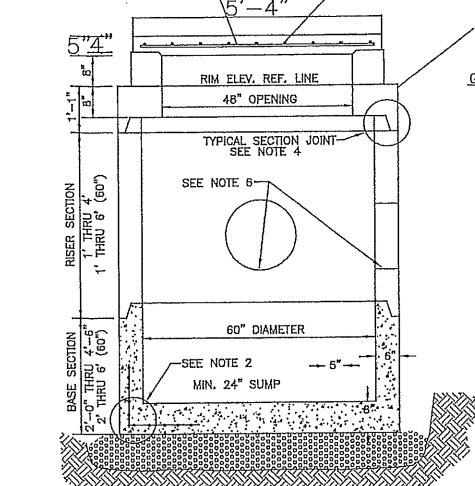
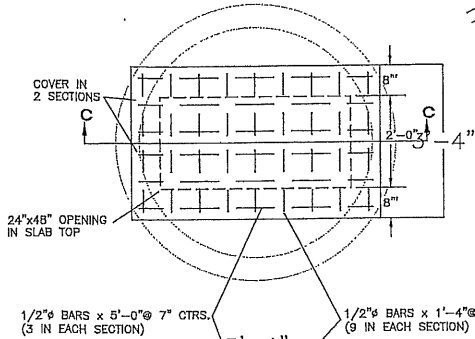
(NH DOT ITEM NO.) SCALE: NONE **2B** D-1



NOTES:
1) THE STYLE OF FENCE IS # 704 (MASSACHUSETTS) AS OFFERED BY AMERICAN FENCES, INC. THE FENCE IS TO BE 6' HIGH.

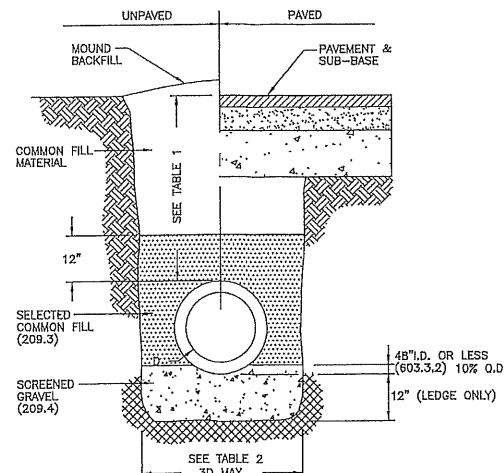
DUMPSTER AREA DETAIL

FEB. 24, 1995 SCALE: NONE **3** D-1



DROP INLET (CB#1 AND CB#5)

OCTOBER 9, 2002 SCALE: NONE **4** D-1

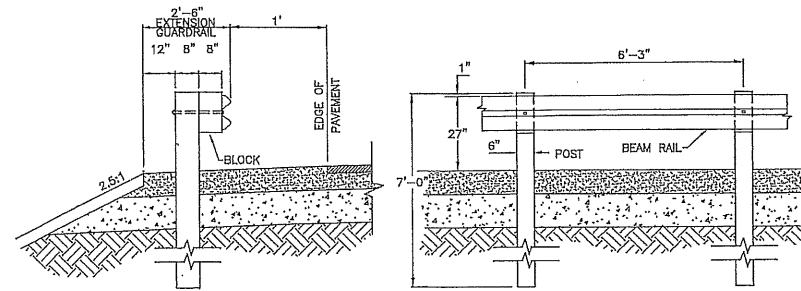


LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
UNPAVED ROADS	ALL	3 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	L.D. + 24"
OVER 24"	2 x L.D.

TYPICAL DRAINAGE TRENCH (603.3)

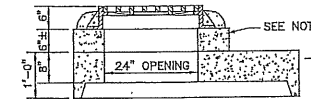
(NH DOT ITEM NO.) DEC. 7, 1994 SCALE: NONE **5** D-1



STANDARD NH DOT BEAM GUARDRAIL

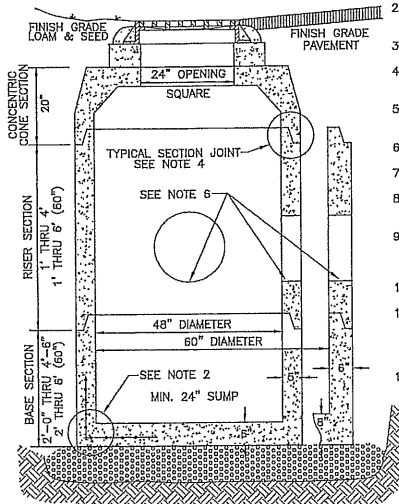
STANDARD NH DOT BEAM GUARDRAIL

(NH DOT ITEM NO.) OCT. 18, 1995 SCALE: NONE **6** D-1



GUARDRAIL NOTES:

- 1) ALL MATERIALS AND CONSTRUCTION REQUIREMENTS SHALL CONFORM TO "NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS SET FORTH IN SECTION 606, 1990 EDITION.
- 2) ALL GUARDRAIL SHALL BE STEEL BEAM GUARDRAIL WITH 6"x8" WOOD POST AND OFFSET BLOCK (606.140).
- 3) ALL RAIL MATERIALS SHALL BE GALVANIZED STEEL.



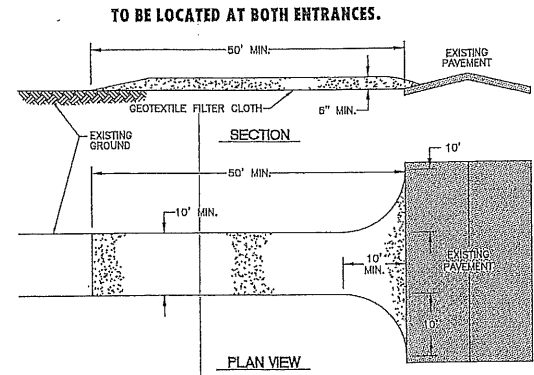
TYPICAL CATCH BASIN

MARCH 5, 2002 SCALE: NONE **7** D-1



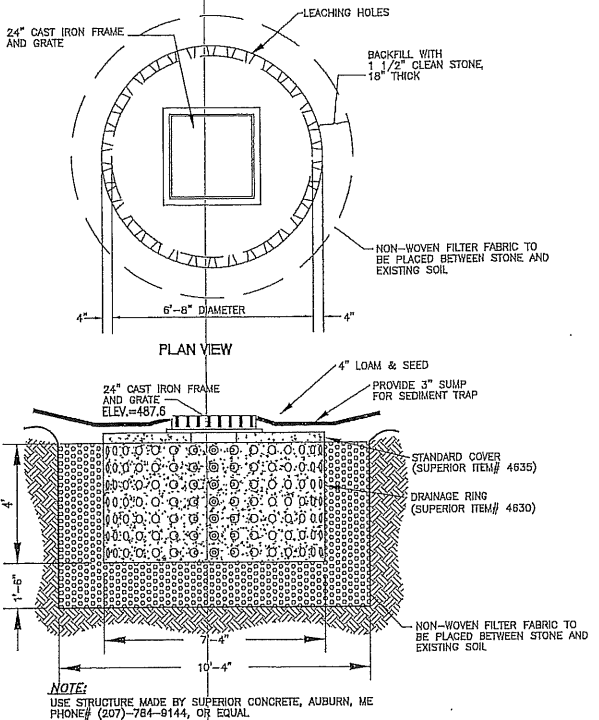
CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 8 1 1
 IT'S SMART, IT'S FREE, IT'S THE LAW

REV.	DATE	DESCRIPTION	C/O	DR	CK
CONSTRUCTION DETAILS TAX MAP 6 LOT 33 (SAVAGE ROAD) MILFORD, NEW HAMPSHIRE PREPARED FOR: HERITAGE HILL INDUSTRIAL PARK, LLC 6 MANHATTAN DRIVE, AMHERST, NH 03031 SCALE: NOT TO SCALE APRIL 19, 2021 Surveying + Engineering + Land Planning + Permitting + Septic Designs FIELDSTONE LAND CONSULTANTS, PLLC 206 Elm Street, Milford, NH 03055 Phone: (603) 672-5456 Fax: (603) 413-5456 www.FieldstoneLandConsultants.com FILE: 196D101.dwg PROJ. NO. 196.01 SHEET: DT-1 PAGE NO. 7 OF 8					



- NOTES:**
- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
 - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET.
 - THE THICKNESS OF THE STONE SHALL NOT BE LESS THAN 6 INCHES.
 - THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
 - GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
 - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 6:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
 - WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - LOCATE STABILIZED CONSTRUCTION ENTRANCES AT BOTH ENDS OF ECHO HILL ROAD.

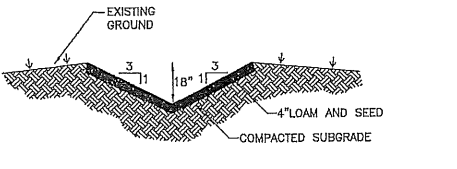
STABILIZED CONSTRUCTION ENTRANCE 1
JULY 8, 1994
SCALE: NONE D-2



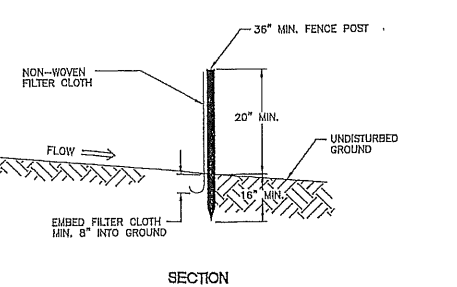
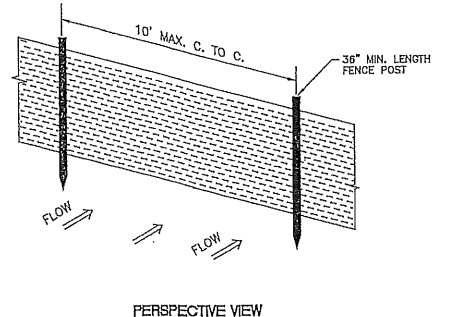
LEACHING CATCH BASIN 2
JULY 14, 1997
SCALE: NONE D-2

- INSTALL SILT FENCE IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- CLEAR SITE; DISPOSE OF DEBRIS. CONSTRUCT SWALES AND BASIN.
- EXCAVATE SITE AND CONSTRUCT BUILDINGS. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
- INSTALL DRAINAGE STRUCTURES; PLACE STONE CHECK DAMS AROUND CATCH BASIN RIMS UNTIL PARKING AREAS ARE PAVED. MAINTAIN HAYBALE AROUND CATCH BASINS IN NON-PAVED AREAS UNTIL ALL DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A DAILY BASIS.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING TO PREPARE FOR PAVEMENT, LOAMING AND SEEDING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- FINISH PAVING ALL PARKING AREAS AND DRIVES.
- PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF DRIVE AND PARKING AREA PAVING (SEE EROSION CONTROL NOTE B).
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.

CONSTRUCTION SEQUENCE 3
NOV. 11, 1994
SCALE: NONE D-1



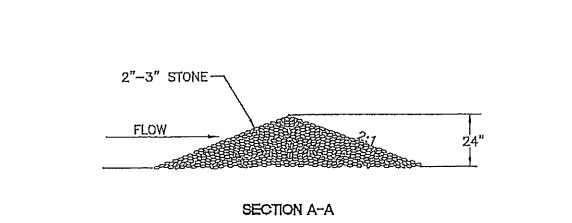
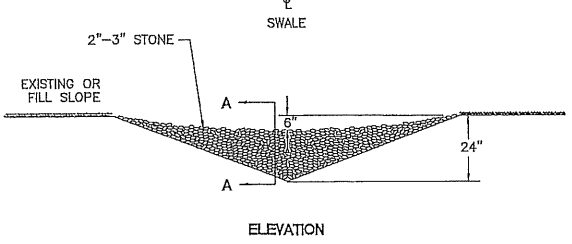
TYPICAL GRASS SWALE 4
DEC. 21, 1995
SCALE: NONE D-2



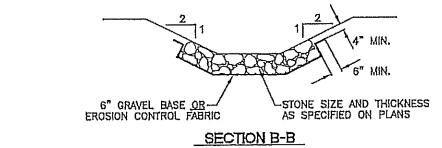
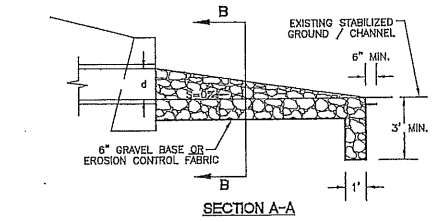
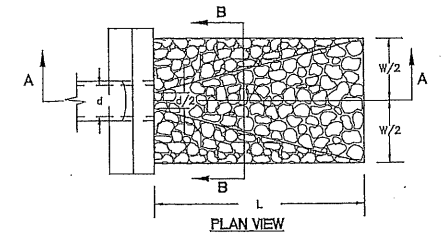
SILT FENCE 5
JULY 20, 1995
SCALE: NONE D-2

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:
- INSTALLATION OF CRUSHED STONE & SILT FENCE WHERE INDICATED SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
 - ALL BARRIERS SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAINFALL.
 - EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
 - THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL NON-ACTIVE DISTURBED AREAS (NOT CLEARED FOR CONSTRUCTION BUT NOT PRESENTLY UNDERGOING CONSTRUCTION) SHALL BE STABILIZED WITHIN 14 DAYS OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
 - CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL DUST BY PERIODICALLY MOISTENING EXPOSED SOIL SURFACES AND TRAVEL WAYS WITH WATER OR SPREADING OF CALCIUM CHLORIDE GRANULE OR FLAKES.
 - ALL DITCHES, SWALES, AND STORMWATER DETENTION BASINS SHALL BE STABILIZED PRIOR TO DIRECTING STORM WATER FLOW TO THEM.
 - ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4.0" OF LOAM. LOAM SHALL BE COVERED WITH A SEED MIXTURE OR OTHER LANDSCAPING COVER (BARK MULCH, ETC.). THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.30 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:
 CREEPING RED FESCUE 1.15 LBS.
 KENTUCKY BLUEGRASS 1.15 LBS.
 - LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF SEEDING. A MINIMUM OF 100 LBS. PER 1,000 S.F. OF AGRICULTURAL LIMESTONE AND 11.5 LBS. PER 1,000 S.F. OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH SECTION 7 OF "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL DESIGN HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE", USDA SCS, AUGUST 1992 ED.
 - PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

EROSION CONTROL 6
JULY 20, 1995
SCALE: NONE D-2



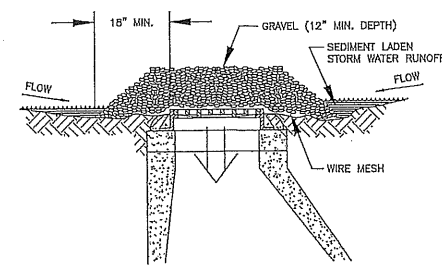
CRUSHED STONE CHECK DAM 7
JUNE 18, 1995
SCALE: NONE D-2



RIPRAP OUTLET PROTECTION 8
JUNE 13, 2000
SCALE: NONE D-2

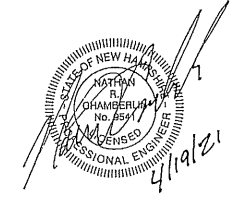
- ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND FLAGGING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION 9
JUNE 16, 2005
SCALE: NONE D-2



- A WIRE MESH SHOULD BE PLACED OVER CATCH BASIN OPENING SO THAT THE ENTIRE OPENING, AND A MINIMUM OF 12 INCHES AROUND THE OPENING, ARE COVERED BY THE MESH. THE MESH MAY BE ORDINARY HARDWARE CLOTH OR WIRE MESH WITH OPENINGS UP TO 1/2 INCH.
- THE WIRE MESH SHOULD BE COVERED WITH A CLEAN COURSE AGGREGATE SUCH AS SEWER STONE (1-1/2" - 2") FOR A MINIMUM OF 12 INCHES.
- THE COURSE AGGREGATE SHOULD EXTEND AT LEAST 18 INCHES ON ALL SIDES OF THE DRAINAGE OPENING.

GRAVEL & MESH SEDIMENT FILTER 10
DEC. 21, 1995
SCALE: NONE D-2



REV.	DATE	DESCRIPTION	C/O	DR	CK
EROSION CONTROL DETAILS					
TAX MAP 6 LOT 33 (SAVAGE ROAD) MILFORD, NEW HAMPSHIRE					
PREPARED FOR: HERITAGE HILL INDUSTRIAL PARK, LLC 6 MANHATTAN DRIVE, AMHERST, NH 03031					
SCALE: NOT TO SCALE			APRIL 19, 2021		
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs					
206 Elm Street, Milford, NH 03055 Phone: (603) 672-5456 Fax: (603) 413-5456 www.FieldstoneLandConsultants.com					