

TOWN OF MILFORD, NH  
OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055  
WWW.MILFORDNH.COM

TEL: (603)249-0620

WEB:

**STAFF MEMO**

**Date:** August 11, 2020

**To:** Planning Board

**From:** Kellie Walsh, Town Planner

**Subject: Quiet Caboose Holdings, LLC (applicant/owner)** – Review for acceptance and consideration of final approval for a major site plan to construct a 1,800 square foot building with garage and associated site improvements for wholesale, storage and warehousing. The parcel is located at 15 Elm Street in the Commercial and Nashua Elm Street Overlay Districts. Tax Map 25, Lot 16.

**BACKGROUND/PROPOSAL:**

Map 25, Lot 16 is located at 15 Elm Street in the Commercial and Nashua Elm Street Overlay Districts. The property is the location of Hayes Heating & Air Conditioning and an existing building which has 2 residential units and an office space. It is abutted by Jacques Memorial School to the north and east, a multifamily residence to the west and the Unitarian Universalist Congregation to the south. The proposal is to construct a 1,800 square foot building with garage for wholesale, storage and warehousing. The garage does not intend to expand the business as it will house vehicles and materials that are currently onsite. As part of the proposal, a dilapidated storage shed will be removed completely and replaced with a permeable paver patio. As the Board may recall, the applicant presented a conceptual plan for this parcel in Fall 2019. The applicant has now submitted a formal application and is seeking final approval.

**APPLICATION STATUS:**

The application is complete and ready to be accepted.

**NOTICES:**

Notices were sent to all property abutters on August 6, 2020.

**WAIVERS:**

No waivers have been requested.

**ZONING:**

The parcel is within the Commercial District. The intent of the Commercial District is to provide areas for those businesses, institutional, financial, governmental and compatible residential uses which constitute the commercial requirements of the Town.

The parcel is located within the Nashua and Elm Street Corridor District. The purpose of this Ordinance is to implement the Town of Milford's vision for the future as set forth in the Community Character Chapter of the Master Plan 2007 Update: *Goal No. 2: Foster the traditional character of Milford's neighborhoods by encouraging a human scale of development that is similar in setbacks, size and height, and that is comfortable and safe for pedestrians and non-motorized vehicles while allowing for an efficient and safe roadway network.*

The parcel also lies within the Level 1 Groundwater Protection District.

**TRAFFIC AND ACCESS MANAGEMENT:**

Vehicular egress and access to the property will be from a single existing curb cut off of Elm Street. Designated parking areas have been provided internally on site.

**PARKING:**

The proposed parking meets the minimum requirements set forth in Section 6.05.4 Table of off Street Parking which requires one (1) spaces per 1,000 square feet for wholesale, storage and warehouse: 3,148 SF = 3.54 spaces; 3 spaces per 1,000SF for office: 1,949SF = 5.85 spaces; 2 spaces per dwelling unit: 2 units = 4 spaces. Total spaces required = 14 spaces. The applicant has proposed 14 spaces on site.

**OPEN SPACE/LANDSCAPING:**

The applicant is proposing to keep the existing landscaping. There is no additional landscaping being proposed at this time. The Board may wish to discuss potential areas on site where landscaping could be added.

As per Section 5.03.7 of the Zoning Ordinance, open space shall be provided for all uses, other than single-family and two-family dwellings in an amount equal not less than thirty (30) percent of the total lot area. The property exceeds the minimum open space requirements 32.1% of the total parcel area.

**DRAINAGE/STORMWATER MANAGEMENT**

The proposed improvements mitigate the increase in stormwater flow from the increased impervious area and the project is acceptable from an engineering perspective. See KV Partners letter dated August 11, 2020.

**BUILDING ELEVATIONS**

The applicant has provided the proposed building elevations for review and consideration by the Board (see attached). The proposed elevations provide the appropriate scale, massing and form when compared to the surrounding properties and buildings.

**INTERDEPARTMENTAL REVIEWS:**

**Ambulance:** No concerns/issues.

**Assessing:** No concerns/issues.

**Building Department:** No comments

**Code Enforcement/ Health:** No comments.

**Conservation Commission:** Comments due by 8/15/2020.

**Fire Department:** No concerns/issues.

**Heritage Commission:** Comments due by 8/15/2020.

**Police Department:** No concerns/issues

**Public Works:** No comments.

**Water/Sewer Utilities:** No comments.

**Drainage/Stormwater:** See attached letter from KV Partners.

**Community Development / Planning:**

1. This parcel is located in the Nashua and Elm Street Corridor District. The Board may wish to discuss potential opportunities to incorporate certain requirements of the Nashua/Elm Corridor District into this proposal.
2. Site Plan. A dumpster enclosure located on the north side of the property is shown to be encroaching on the abutting lot 25-17. This should be removed/moved
3. Landscape Plan. Staff would recommend additional landscaping within the site in compliance with Section 6.08.6 requiring a minimum of 1 shrub for every 5 feet of building frontage or in instances where it is not possible to locate all required shrubs along the building frontage due to doorways, walkways or other impervious surfaces, the required shrubs shall be utilized within the parking lot or landscape buffers.
4. Signage. If the applicant intends on changing the existing sign a sign permit may be required. Please coordinate with the Office of Community Development – zoning administrator.

**STAFF RECOMMENDATIONS:**

The applicant should be prepared to address the comments raised by the Planning Board, Conservation Commission, Town Consultants, Staff, and public pertaining to the Site Plan. If the Board is satisfied with the information and responses from the applicant and finds the remaining concerns can be addressed with staff, staff would recommend a conditional approval.





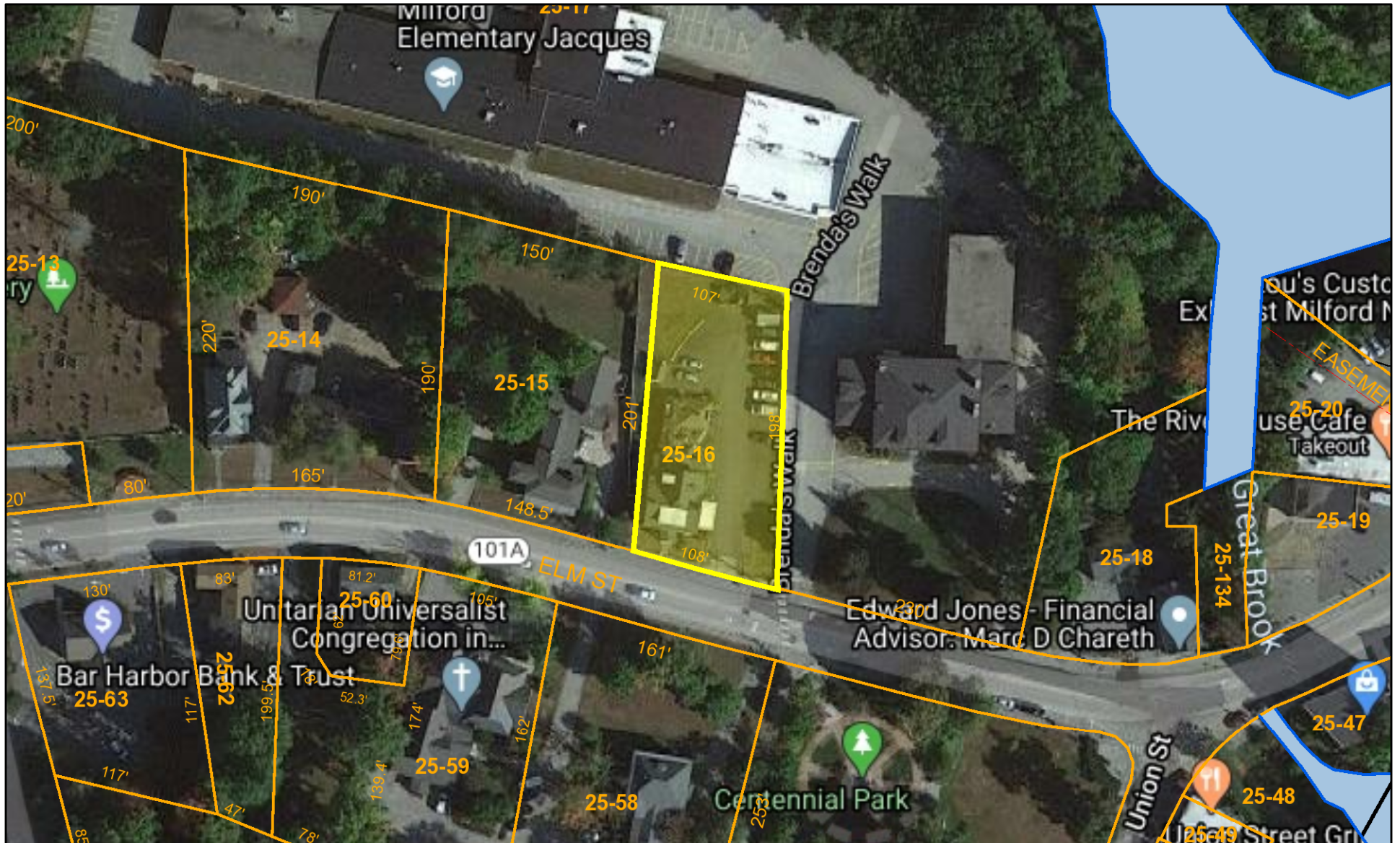


Milford, NH

1 inch = 100 Feet



August 12, 2020



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



August 11, 2020

Kellie Walsh, Town Planner  
Town of Milford  
Community Development  
1 Union Square  
Milford NH 03055

**Re: Hayes Heating and Airconditioning Site Plan (Tax Map 25, Lot 16) – Site Plan Review**

Dear Ms. Walsh:

We reviewed the three-sheet plan set and the Stormwater Management Report both dated July 20, 2020 and prepared by Meridian Land Services, Inc. in accordance with our agreement with the Town. Based on that review, we find that the proposed improvements mitigate the increase in stormwater flow from the increased impervious area and the project is acceptable from an engineering perspective.

If you have any questions or need any additional information, please feel free to contact me at 603-413-6650 or on my cell phone at 603-731-1562 or by email at [MVignale@kvpllc.com](mailto:MVignale@kvpllc.com).

Sincerely,

**KV Partners LLC**



Michael S. Vignale, P.E.  
Principal Engineer

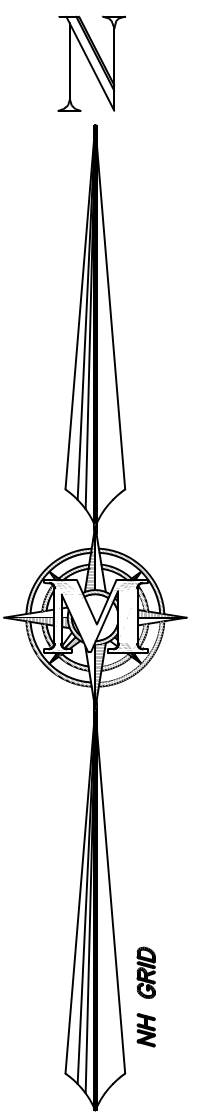
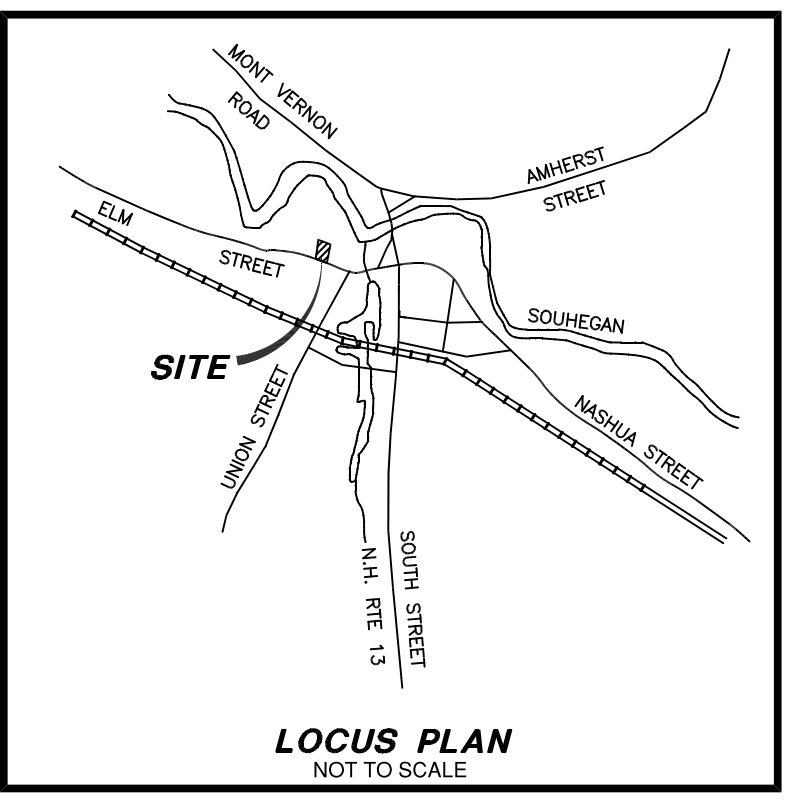
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TOPOGRAPHIC EXISTING CONDITIONS

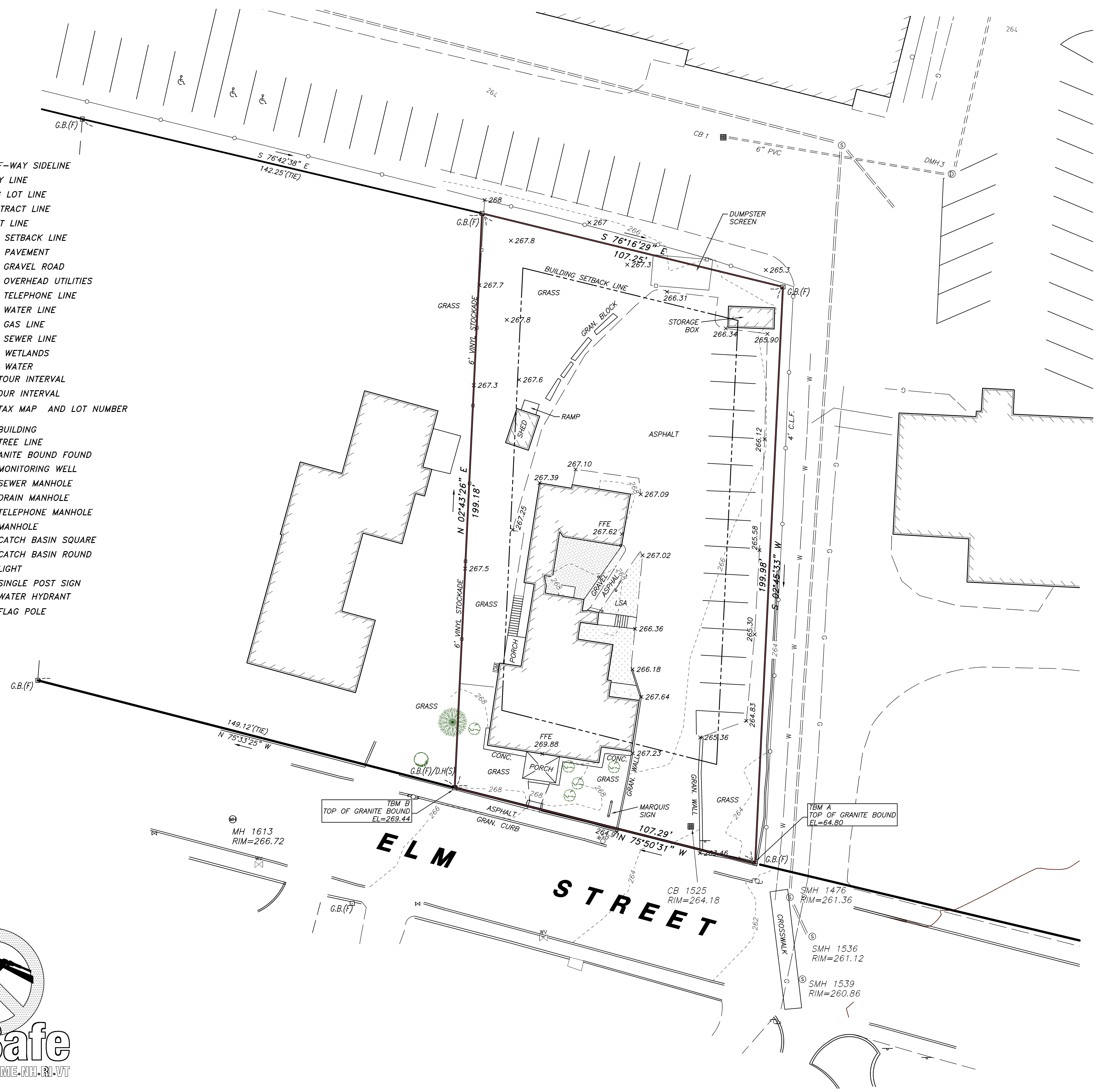
HAYES HEATING + AIR CONDITIONING  
 15 ELM STREET  
 MAP 25 LOT 16  
 MILFORD, NEW HAMPSHIRE

**EX-1**  
 SHEET

FILE: 4143T03.dwg  
 PROJECT: 4143.03  
 SHEET NO. 2 OF 3

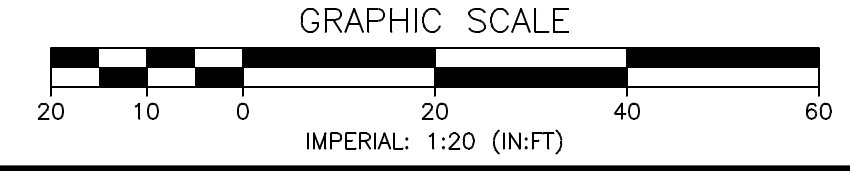


- LEGEND:**
- RIGHT-OF-WAY SIDELINE
  - PROPERTY LINE
  - ABUTTING LOT LINE
  - FORMER TRACT LINE
  - - - EASEMENT LINE
  - - - BUILDING SETBACK LINE
  - - - EDGE OF PAVEMENT
  - - - EXISTING GRAVEL ROAD
  - OH — EXISTING OVERHEAD UTILITIES
  - T — EXISTING TELEPHONE LINE
  - W — EXISTING WATER LINE
  - G — EXISTING GAS LINE
  - S — EXISTING SEWER LINE
  - - - EDGE OF WETLANDS
  - - - EDGE OF WATER
  - - - 10' CONTOUR INTERVAL
  - - - 2' CONTOUR INTERVAL
- 25-16** EXISTING TAX MAP AND LOT NUMBER
- ▭ EXISTING BUILDING
  - ▭ EXISTING TREE LINE
  - EXIST. GRANITE BOUND FOUND
  - EXISTING MONITORING WELL
  - ⊙ EXISTING SEWER MANHOLE
  - ⊖ EXISTING DRAIN MANHOLE
  - ⊕ EXISTING TELEPHONE MANHOLE
  - ⊗ EXISTING MANHOLE
  - ⊞ EXISTING CATCH BASIN SQUARE
  - ⊝ EXISTING CATCH BASIN ROUND
  - ⊛ EXISTING LIGHT
  - ⊚ EXISTING SINGLE POST SIGN
  - ⊙ EXISTING WATER HYDRANT
  - ⊙ EXISTING FLAG POLE

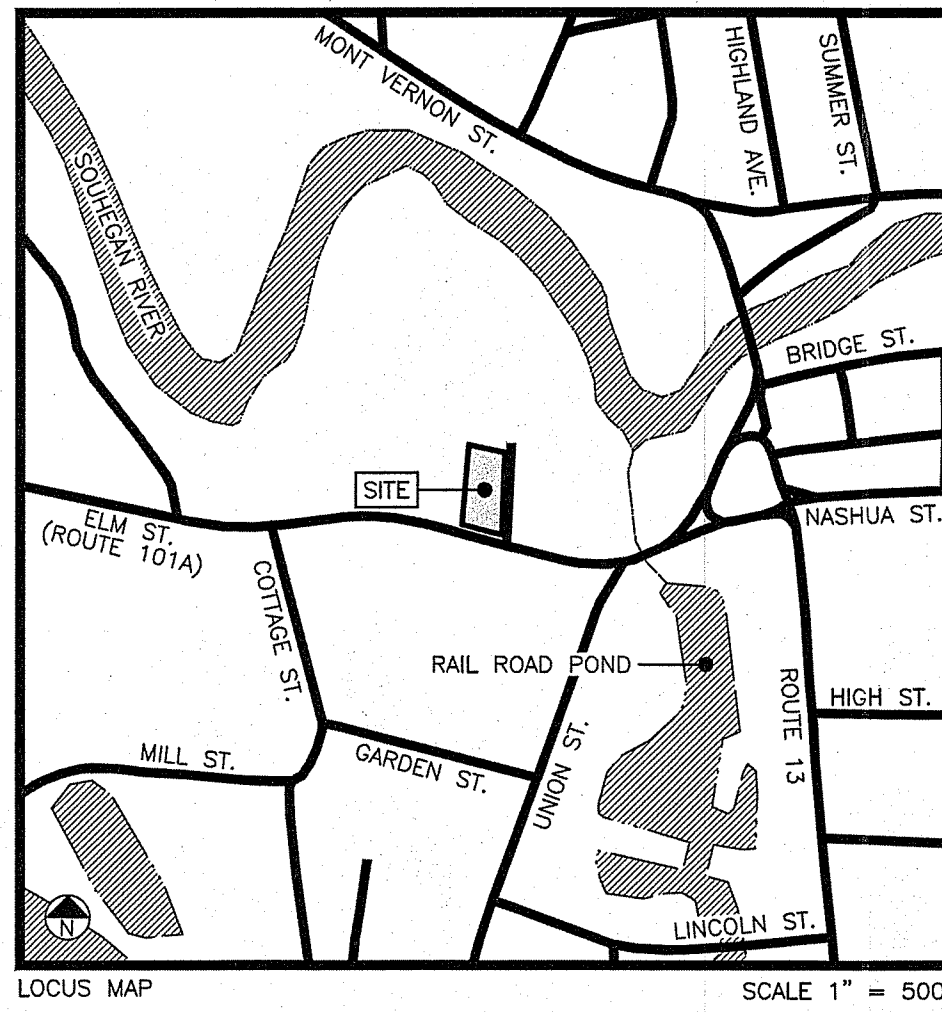


- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE OBSERVABLE EXISTING CONDITIONS FOR TAX MAP 25 LOTS 16.
  - THE OWNER OF TAX MAP 25 LOTS 16 IS QUIET CABOOSE HOLDINGS, LLC, 15 ELM STREET, MILFORD, NH 03055. SEE H.C.R.D. VOL. 8680 PG. 1626.
  - ZONING FOR TAX MAP 25 LOT 16 IS COMMERCIAL. MINIMUM REQUIREMENTS INCLUDE 150' OF FRONTAGE AND 20,000 SQ FT OF NET AREA. MINIMUM SETBACKS INCLUDE 30' FRONT AND 15' FROM SIDE & REAR. THE PARCEL IS ALSO LOCATED IN THE NASHUA AND ELM STREETS CORRIDOR OVERLAY DISTRICT.
  - FEMA DFIRM PANEL 33011C0459D, EFFECTIVE DATE 9/25/09, GRAPHICALLY DEPICT THE PARCEL WITHIN ZONE X, LANDS NOT SUBJECT TO THE ANNUAL 0.2% CHANGE FLOOD.
  - NO EVIDENCE OF WETLANDS ON SITE WERE OBSERVED IN THE COURSE OF THE SURVEY.
  - THE PROPERTY IS SERVED BY MUNICIPAL WATER AND SEWER.
  - PER THE TOWN OF MILFORD ASSESSING RECORDS THE BUILDING WAS CONSTRUCTED IN 1836.
  - THIS SITE IMPROVEMENTS SHOWN ARE THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE IN JULY 1 & 30, 2019.
  - NORTH ORIENTATION REFERENCES NH GRID NORTH (NAD83/94) ESTABLISHED BY STATIC GPS SURVEY WITH POST PROCESSING UTILIZING NGS OPUS.

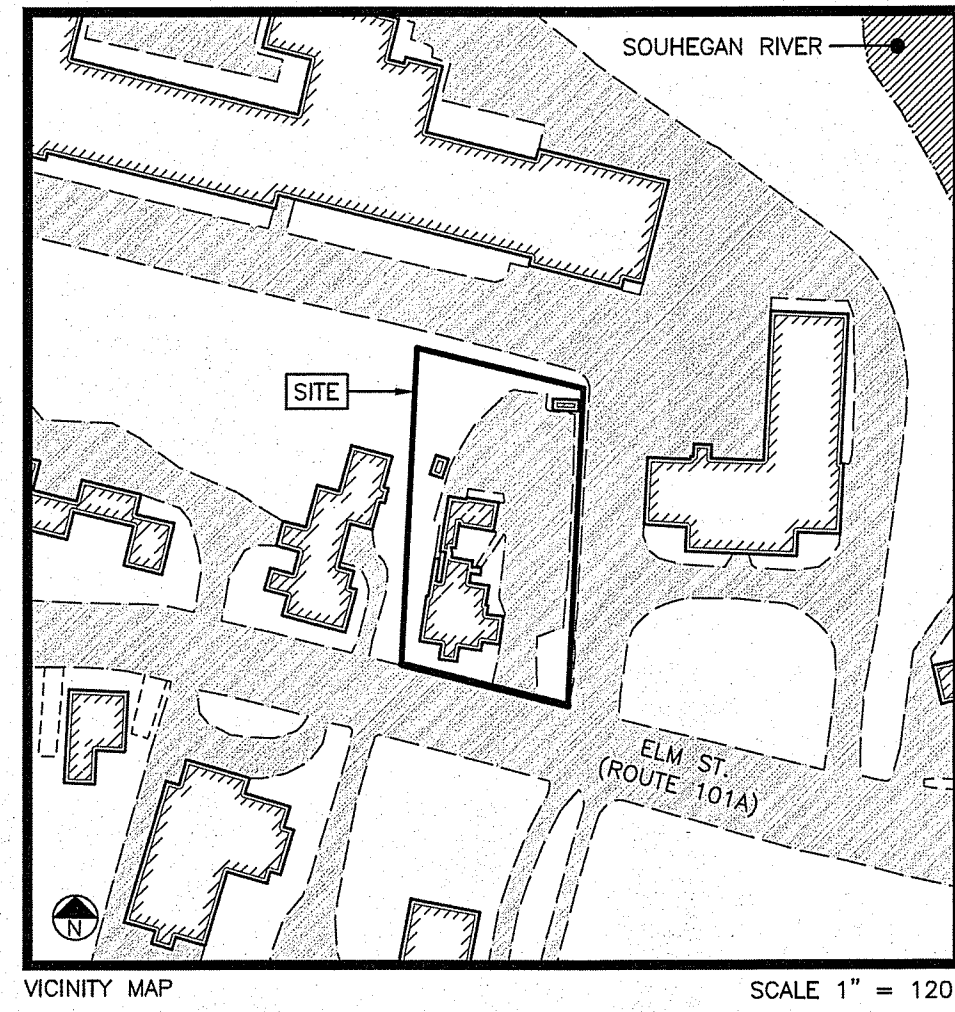
**SURVEY ENDORSEMENT:**  
 "TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THIS PLAN WAS PREPARED BY A SURVEY SUPERVISED BY ME AND DEPICTS THE EXISTING SITE CONDITIONS OBSERVED ON JULY 30, 2019"







LOCUST MAP SCALE 1" = 500'



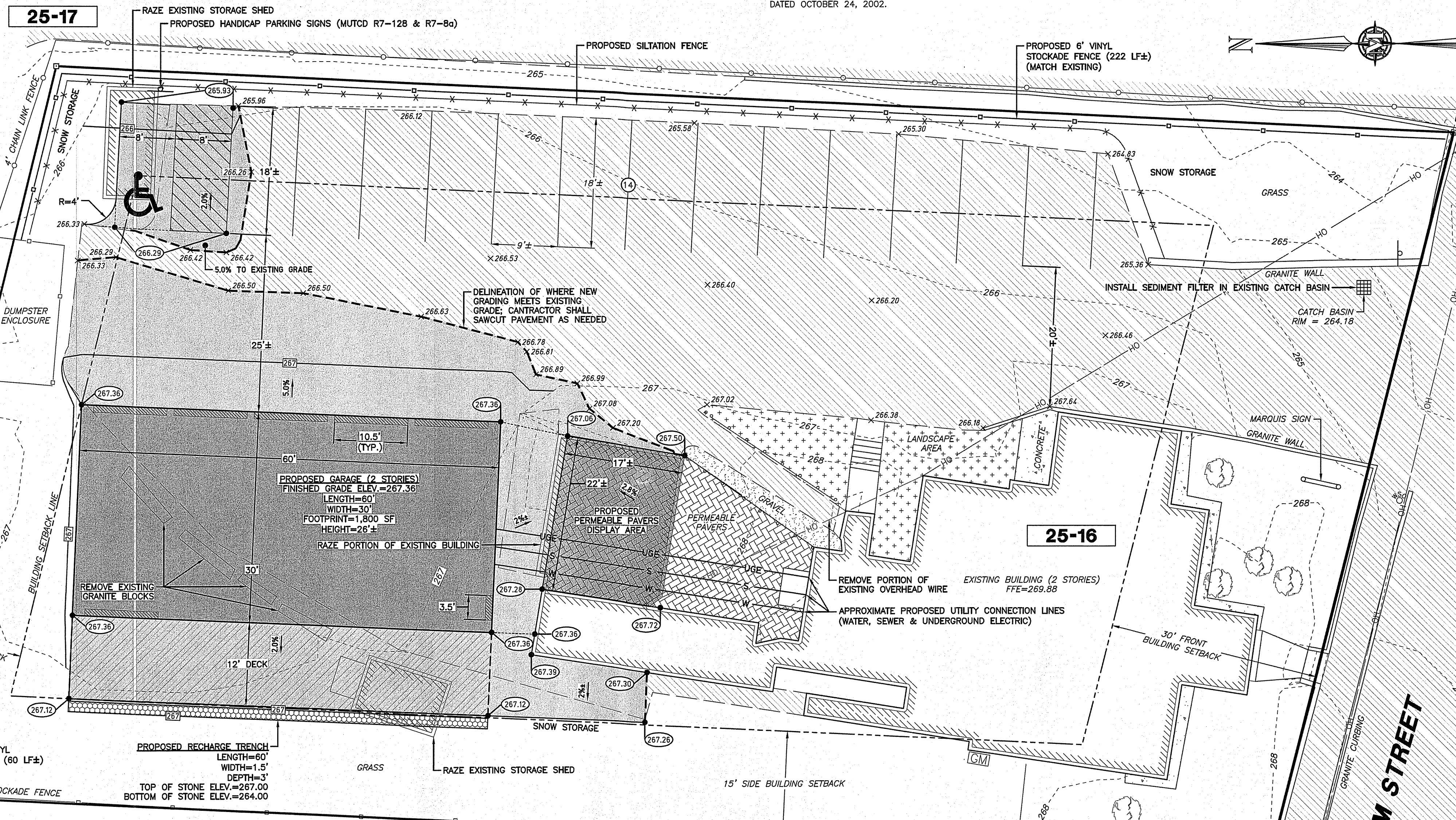
VICINITY MAP SCALE 1" = 120'

**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A GARAGE TO BE USED FOR STORAGE AND WAREHOUSING AS WELL AS ASSOCIATED SITE IMPROVEMENTS ON TAX MAP 25 LOT 16.
2. OWNER OF RECORD: QUIET CABOOSE HOLDINGS, LLC. 15 ELM STREET MILFORD, NH 03055  
APPLICANT: HAYES HEATING & AIR CONDITIONING 15 ELM STREET MILFORD, NH 03055
3. REFERENCING THE ZONING MAP OF THE TOWN OF MILFORD, TAX MAP 25 LOT 16 IS LOCATED WITHIN THE COMMERCIAL (C) DISTRICT.
4. COMMERCIAL (C) DISTRICT DIMENSIONAL REQUIREMENTS:  
MINIMUM LOT SIZE: 20,000 SQUARE FEET  
MINIMUM FRONTAGE: 150 FEET  
FRONT BUILDING SETBACK: 30 FEET  
SIDE BUILDING SETBACK: 15 FEET  
REAR BUILDING SETBACK: 15 FEET  
MINIMUM OPEN SPACE: 30%  
MAXIMUM BUILDING HEIGHT: 40 FEET
5. THE EXISTING CONDITION WAS OBTAINED FROM A TOPOGRAPHIC SURVEY MADE BY THIS OFFICE ON JULY 21, 2019.
6. THE EXISTING AREA OF TAX MAP 25 LOT 16 IS 0.482 ACRES (21,001 SQUARE FEET). THE EXISTING FRONTAGE OF TAX MAP 25 LOT 16 IS 107.29 FEET.
7. TAX MAP 25 LOT 16 IS LOCATED WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD), PER F.I.R.M. COMMUNITY PANEL NUMBER 33011C0459D, DATED SEPTEMBER 25, 2009.
8. TAX MAP 25 LOT 16 WAS INSPECTED IN ACCORDANCE TO THE ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 AND THE NORTHEAST SUPPLEMENT BY SPENCER C. TATE, C.W.S. OF THIS OFFICE AND IT WAS DETERMINED THAT THERE ARE NO WETLANDS ON THIS PROPERTY.
9. MAP 25 LOT 16 LIES WITHIN LEVEL I GROUNDWATER PROTECTION AREA PER A MAP ENTITLED "GROUNDWATER PROTECTION DISTRICT - MILFORD, NH" DATED OCTOBER 24, 2002.
10. OPEN SPACE CALCULATION:  
EXISTING: 8,021 SQUARE FEET  
PROPOSED: 6,732 SQUARE FEET  
PARCEL AREA: 21,001 SQUARE FEET  
PERCENT OPEN SPACE: 38.2%  
32.1%
11. PARKING SPACE CALCULATION:  
**MIXED USE (2 SPACES PER DWELLING UNIT)**  
EXISTING: 2 DWELLING UNITS (4.00 SPACES)  
**OFFICE FOR PROFESSIONALS, BUSINESSES, LEGAL, FINANCIAL AND REAL ESTATE (3 SPACES PER 1,000 SQUARE FEET)**  
EXISTING: 1,949 SQUARE FEET (5.85 SPACES)  
**WHOLESALE, STORAGE AND WAREHOUSE (1 SPACE PER 1,000 SQUARE FEET)**  
EXISTING (TO BE REMOVED): 755 SQUARE FEET (0.76 SPACES)  
PROPOSED: 3,148 SQUARE FEET (3.15 SPACES)  
TOTAL: 3,533 SQUARE FEET (3.54 SPACES)  
REQUIRED: 4.00 + 5.85 + 3.54 = 13.39 SPACES (1 H.C.)  
PROPOSED: 14 SPACES (1 H.C.)
12. THE PROPOSED RECHARGE TRENCH WAS USED TO MITIGATE OFFSITE RUNOFF DUE TO ADDITIONAL IMPERVIOUS AREA FROM THE PROJECT PARCEL.
13. WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
14. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
15. THERE ARE NO KNOWN INFILTRATING DRAINAGE SYSTEMS WITHIN 200 FEET OF THE PROJECT PARCEL.
16. ALL LIGHTING SHALL BE DOWNCAST STYLE FIXTURES WITH A CONCEALED OR SHIELDED LIGHT SOURCE TO PREVENT GLARE OR SPILL TO ADJACENT PARCELS.
17. A LANDSCAPING BUFFER TO TAX MAP 25 LOT 15 IS PROVIDED THROUGH AN EXISTING 6 FOOT STOCKADE FENCE.

**ABUTTERS:**

- MAP 25 LOT 16  
QUIET CABOOSE HOLDINGS, LLC.  
15 ELM STREET  
MILFORD, NH 03055
- MAP 25 LOT 15  
MICHAEL JOHN MILLER  
ALEXANDRIA J. PEARY  
32 SEASONS LANE  
LONDONDERRY, NH 03053
- MAP 25 LOT 17  
TOWN OF MILFORD  
1 UNION SQUARE  
MILFORD, NH 03055-4230
- MAP 25 LOT 58  
LAUREN ALLEN  
DANIEL ALLEN  
16 FRENCH COURT  
MERRIMACK, NH 03054-2400

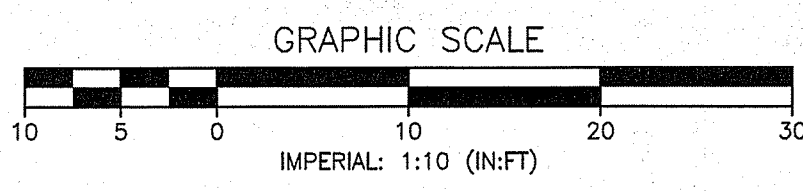


**LEGEND:**

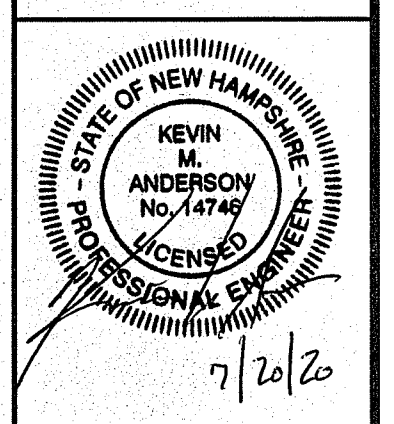
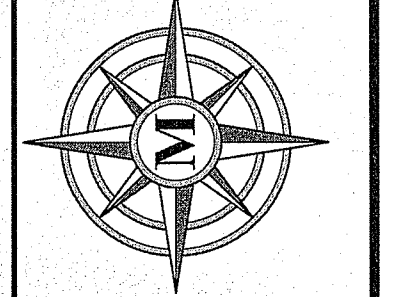
- - - - - EXISTING 2' CONTOUR INTERVAL
- - - - - EXISTING 1' CONTOUR INTERVAL
- - - - - EXISTING PROPERTY LINE
- - - - - EXISTING RIGHT-OF-WAY LINE
- - - - - EXISTING BUILDING SETBACK LINE
- - - - - EXISTING FENCE LINE
- - - - - EXISTING GRANITE CURBING
- - - - - PROPOSED 1 1/2' CONTOUR INTERVAL
- - - - - PROPOSED GRADE BREAKLINE
- - - - - PROPOSED 6" VINYL STOCKADE FENCE
- - - - - PROPOSED SILTATION FENCE
- - - - - PROPOSED EDGE OF GRADING
- [Pattern] EXISTING PAVEMENT
- [Pattern] EXISTING CONCRETE
- [Pattern] EXISTING LANDSCAPE AREA
- [Pattern] EXISTING PERMEABLE PAVERS
- [Pattern] EXISTING BUILDING
- [Pattern] PROPOSED PAVEMENT
- [Pattern] PROPOSED BUILDING
- [Pattern] PROPOSED BUILDING DECK
- [Pattern] PROPOSED PERMEABLE PAVERS
- [Pattern] PROPOSED RECHARGE TRENCH
- [Symbol] EXISTING GRANITE BOUND
- [Symbol] EXISTING TREE
- [Symbol] EXISTING WATER SHUT OFF VALVE
- [Symbol] EXISTING WATER VALVE
- [Symbol] EXISTING CATCH BASIN
- [Symbol] EXISTING UTILITY POLE
- [Symbol] EXISTING GAS MAIN
- [Symbol] EXISTING SIGN
- [Symbol] EXISTING SPOT GRADE
- [Symbol] PROPOSED SIGN

LOCATION	USE	QUANTITY
1ST FLOOR (EXISTING)	OFFICE FOR PROFESSIONALS, BUSINESSES, LEGAL, FINANCIAL AND REAL ESTATE	1,949 SQUARE FEET
	WHOLESALE, STORAGE AND WAREHOUSE	755 SQUARE FEET
2ND FLOOR (EXISTING)	MIXED USE	2 DWELLING UNITS
1ST FLOOR (PROPOSED)	WHOLESALE, STORAGE AND WAREHOUSE	1,718 SQUARE FEET
2ND FLOOR (PROPOSED)	WHOLESALE, STORAGE AND WAREHOUSE	1,429 SQUARE FEET

NOTE: 370 SQUARE FEET OF WHOLESALE, STORAGE AND WAREHOUSE TO BE REMOVED FROM EXISTING BUILDING 1ST FLOOR.



**MERIDIAN**  
LAND SERVICES, INC.  
ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03051 TEL: 603-673-1441  
MERIDIANLANDSERVICES.COM FAX: 603-673-1584



NO.	DESCRIPTION	DATE	REV.	DR.	CHK.

**SITE PLAN**

HAYES HEATING + AIR CONDITIONING  
15 ELM STREET  
MAP 25 LOT 16  
MILFORD, NEW HAMPSHIRE

**SP-1**  
SHEET

FILE: 4143104.dwg  
PROJECT: 4143.04  
SHEET NO. 1 OF 3

OWNER: \_\_\_\_\_

APPROVED, TOWN OF MILFORD PLANNING BOARD

CHAIRMAN: \_\_\_\_\_

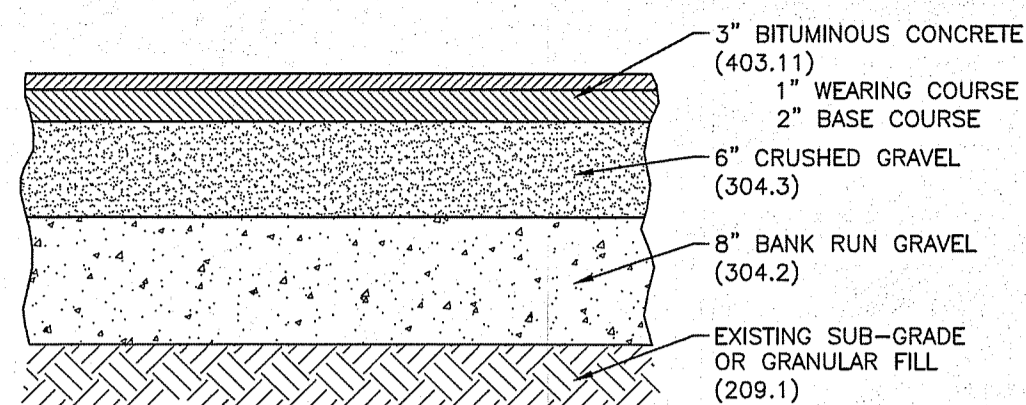
DATE: \_\_\_\_\_

APPROVAL NUMBER & DATE: \_\_\_\_\_

SCALE: 1" = 10'

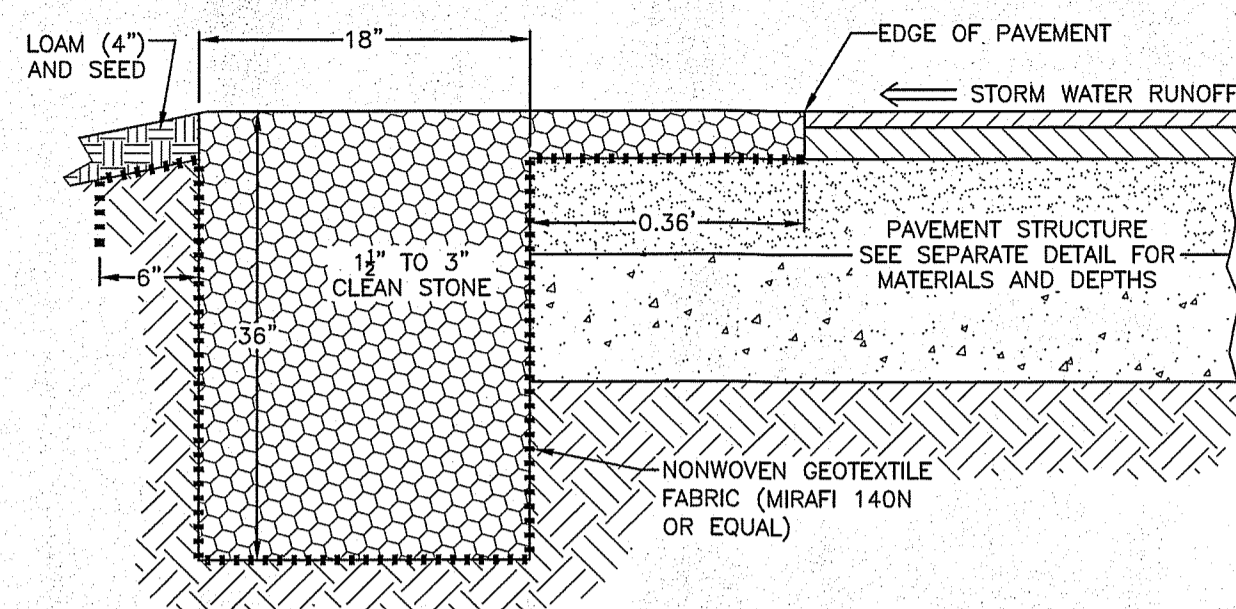
JULY 20, 2020





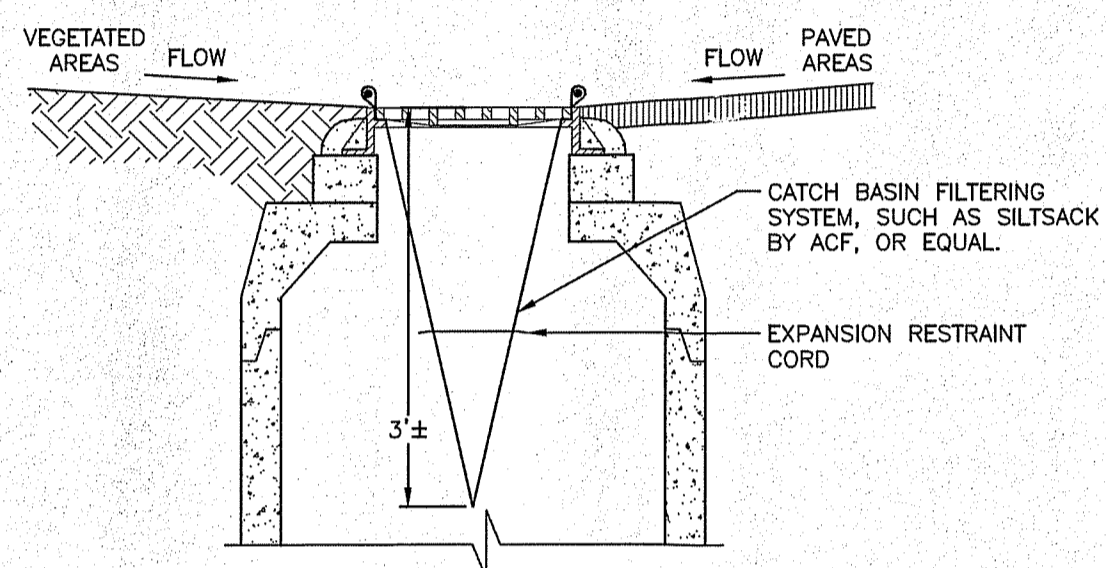
PAVEMENT - PARKING

SCALE: NONE D-1



STORMWATER RECHARGE TRENCH - SECTION

SCALE: NONE D-1

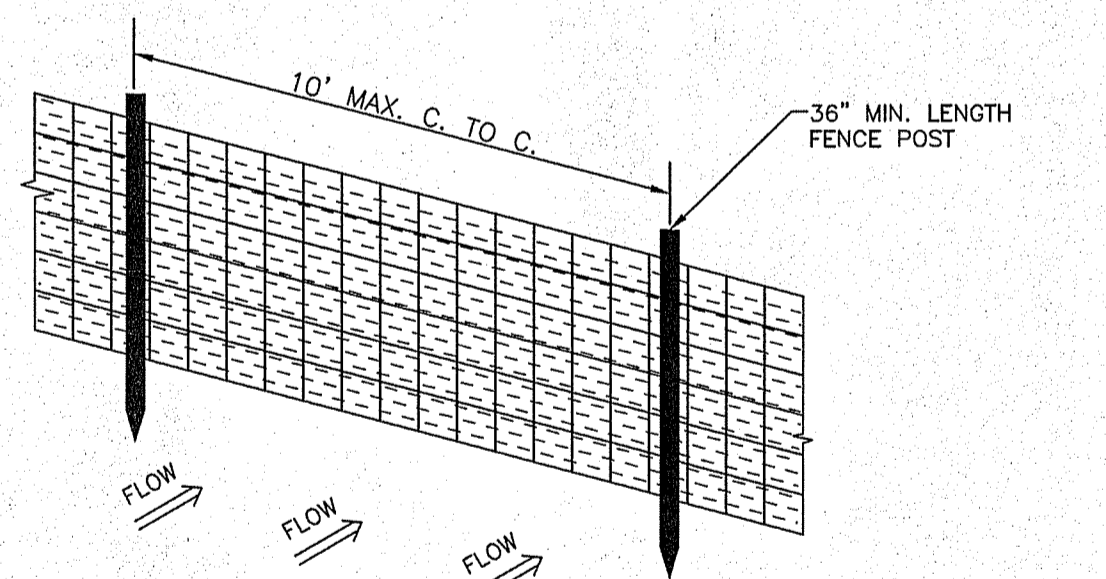


NOTES:

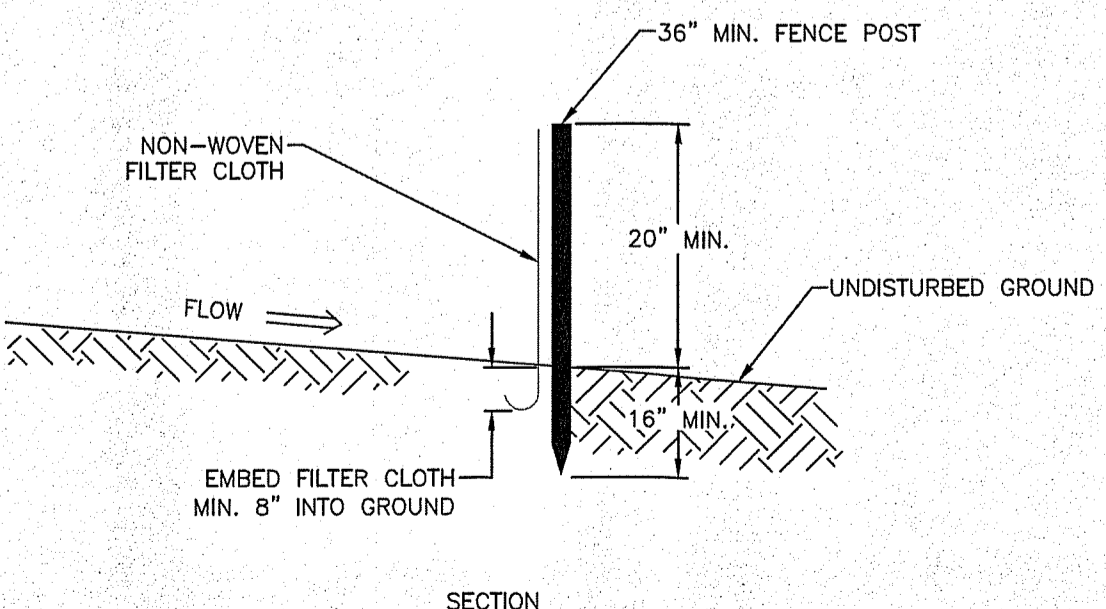
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
- TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY 6 INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- THE SACK SHOULD BE INSPECTED AFTER EVERY STORM OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
- THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
- REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASIN.

CATCH BASIN SEDIMENT FILTER

SCALE: NONE D-1



PERSPECTIVE VIEW



SECTION

SILTATION FENCE

SCALE: NONE D-1

EROSION CONTROL

SCALE: NONE D-1

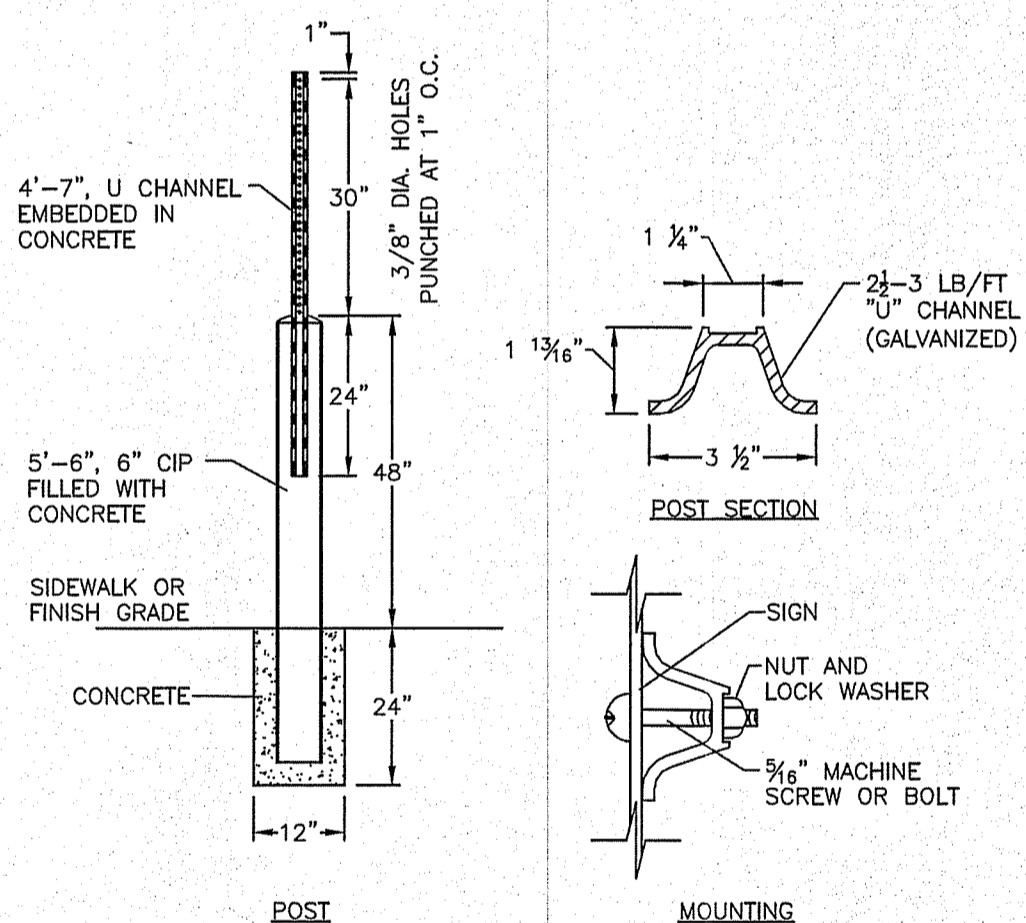


TRAFFIC SIGNS

SCALE: NONE D-1

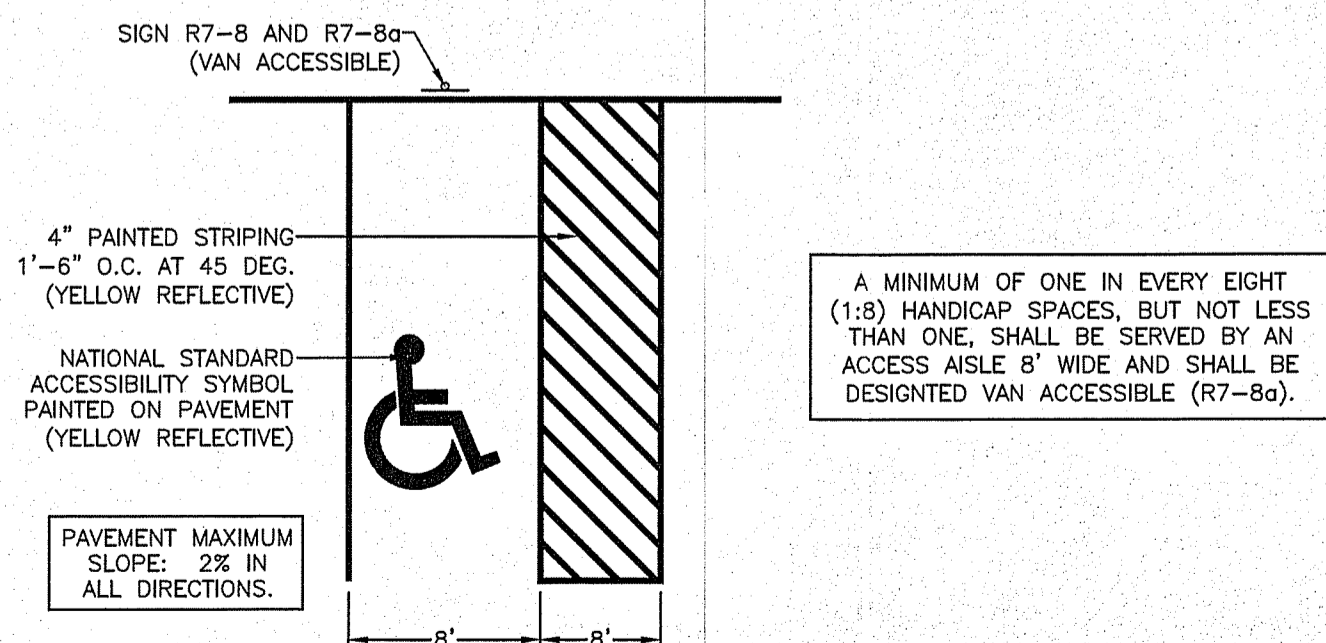
GENERAL NOTES:

- ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.



SIGN POST WITH BOLLARD

SCALE: NONE D-1



HANDICAP PARKING - VAN ACCESSIBLE

SCALE: NONE D-1

- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MILFORD. OTHERWISE, ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF NH DOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS, AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC., AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING SETBACK REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" (811) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
- ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
- IF APPLICABLE, ALL DRAINAGE STRUCTURES SHALL CONFORM TO NH DOT STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

CONSTRUCTION NOTES

SCALE: NONE D-1

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

- INSTALLATION OF SILT SOCKS AND SILTATION FENCE WHERE INDICATED SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
- SILT SOCKS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.5" OR GREATER RAINFALL.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- PER THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. THE TOTAL AREA OF ACTIVE DISTURBANCE, INCLUDING LOT DISTURBANCES, SHALL NOT EXCEED 5 ACRES.
- THE DURATION OF TIME THAT AN AREA IS DISTURBED SHALL BE MINIMIZED. ALL NON-ACTIVE DISTURBED AREAS (i.e. CLEARED FOR CONSTRUCTION BUT NOT PRESENTLY UNDERGOING CONSTRUCTION) SHALL BE STABILIZED WITHIN 28 DAYS OF FINISH GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- ALL DITCHES, SWALES AND DETENTION BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND SHALL BE STABILIZED PRIOR TO DIRECTING STORM WATER FLOW TO THEM.
- AN AREA MAY BE CONSIDERED STABILIZED WHEN ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.
 

THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED	AMOUNT	SLOPE SEED	AMOUNT
CREEPING RED FESCUE	0.87 LBS.	CREEPING RED FESCUE	1.01 LBS.
KENTUCKY BLUEGRASS	0.71 LBS.	RYE GRASS	0.75 LBS.
RYE GRASS	0.58 LBS.	RED TOP	0.18 LBS.
RED TOP	0.14 LBS.	ALSIKE CLOVER	0.18 LBS.
		BIRDSFOOT TREFOIL	0.18 LBS.
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-2205-K20) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
 

FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- THE SITE CONTRACTOR SHALL MAINTAIN A VIGOROUS DUST CONTROL PROGRAM THROUGHOUT THE CONSTRUCTION PROCESS. EXPOSED EARTH SHALL BE KEPT MOIST OR MULCHED AT ALL TIMES TO PREVENT DUST FORMATION. SPECIAL ATTENTION SHALL BE PAID TO HIGH TRAFFIC AREAS.

**MERIDIAN**  
 LAND SERVICES, INC.  
 ENGINEERING SURVEYING | PERMITTING  
 SOIL & WETLAND MAPPING | SEPTIC DESIGN  
 31 OLD NASHUA ROAD, AMHERST, NH 03021 | TEL: 603-673-1441  
 MERIDIANLANDSERVICES.COM | FAX: 603-673-1384

NO.	DESCRIPTION	DATE	REV.	BY	CHK

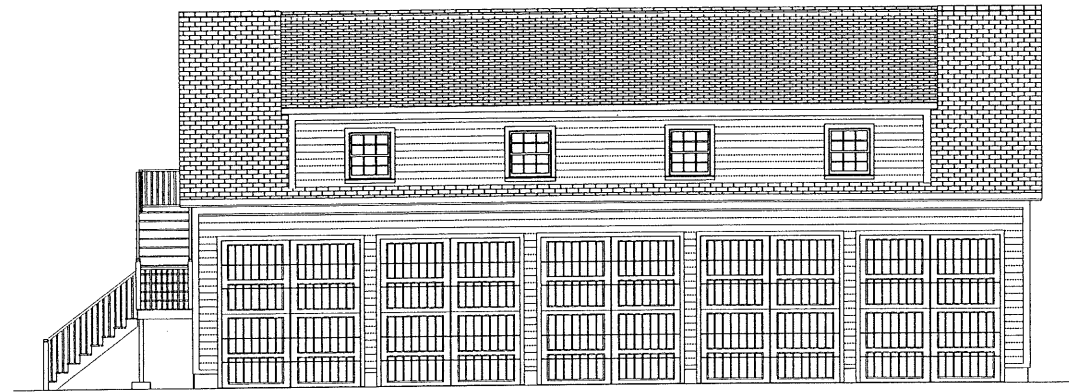
DETAILS

HAYES HEATING + AIR CONDITIONING  
 15 ELM STREET  
 MAP 25 LOT 16  
 MILFORD, NEW HAMPSHIRE

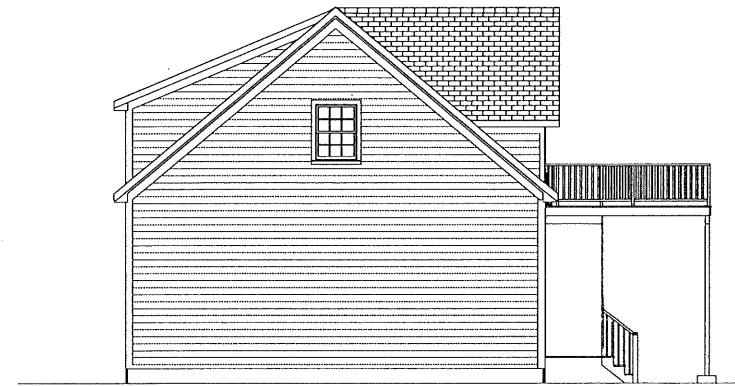
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 SHEET NO. 3 OF 3

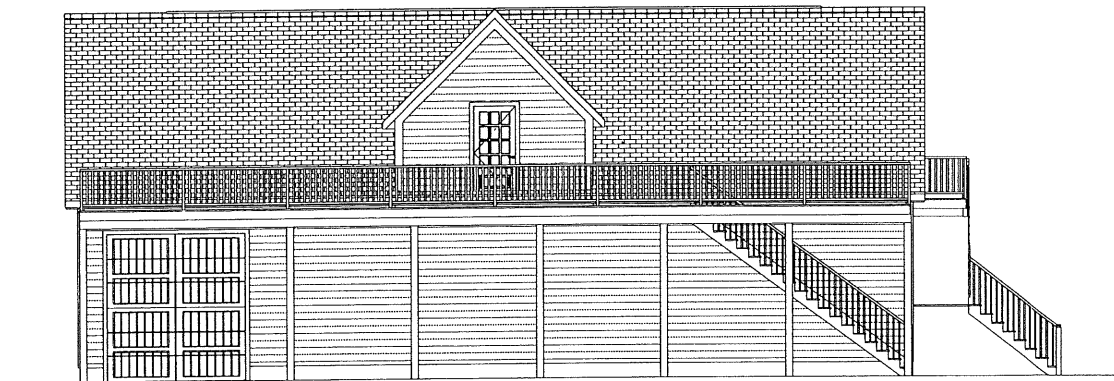




ELEVATION "A"  
SCALE: 1/8"=1'-0"



ELEVATION "B"  
SCALE: 1/8"=1'-0"



ELEVATION "C"  
SCALE: 1/8"=1'-0"



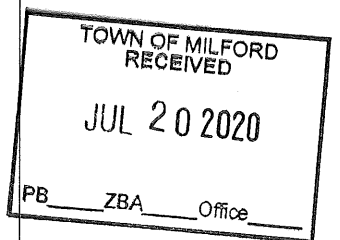
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SCALE: 1/8"=1'-0"

TO THE BEST OF MY KNOWLEDGE THESE PLANS HAVE BEEN DRAWN TO COMPLY WITH OWNERS AND/OR BUILDERS SPECIFICATIONS. ANY CHANGES MADE AFTER PLANS HAVE BEEN ISSUED WILL BE AT THE EXPENSE AND RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR ADHERING TO ALL LOCAL AND STATE BUILDING CODES. CONTRACTOR SHALL VERIFY ALL FRAMING AND STRUCTURAL MEMBERS WITH MANUFACTURER OR LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. HE/SHE SHOULD ALSO CONSULT WITH A LICENSED STRUCTURAL ENGINEER ABOUT ANY STRUCTURAL CONCERNS BEFORE STARTING CONSTRUCTION.

RESIDENTIAL DESIGN SOLUTIONS  
BY LISA MELVIN, LLC  
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PREPARED FOR:  
GARAGE  
15 ELM STREET - MILFORD, NH

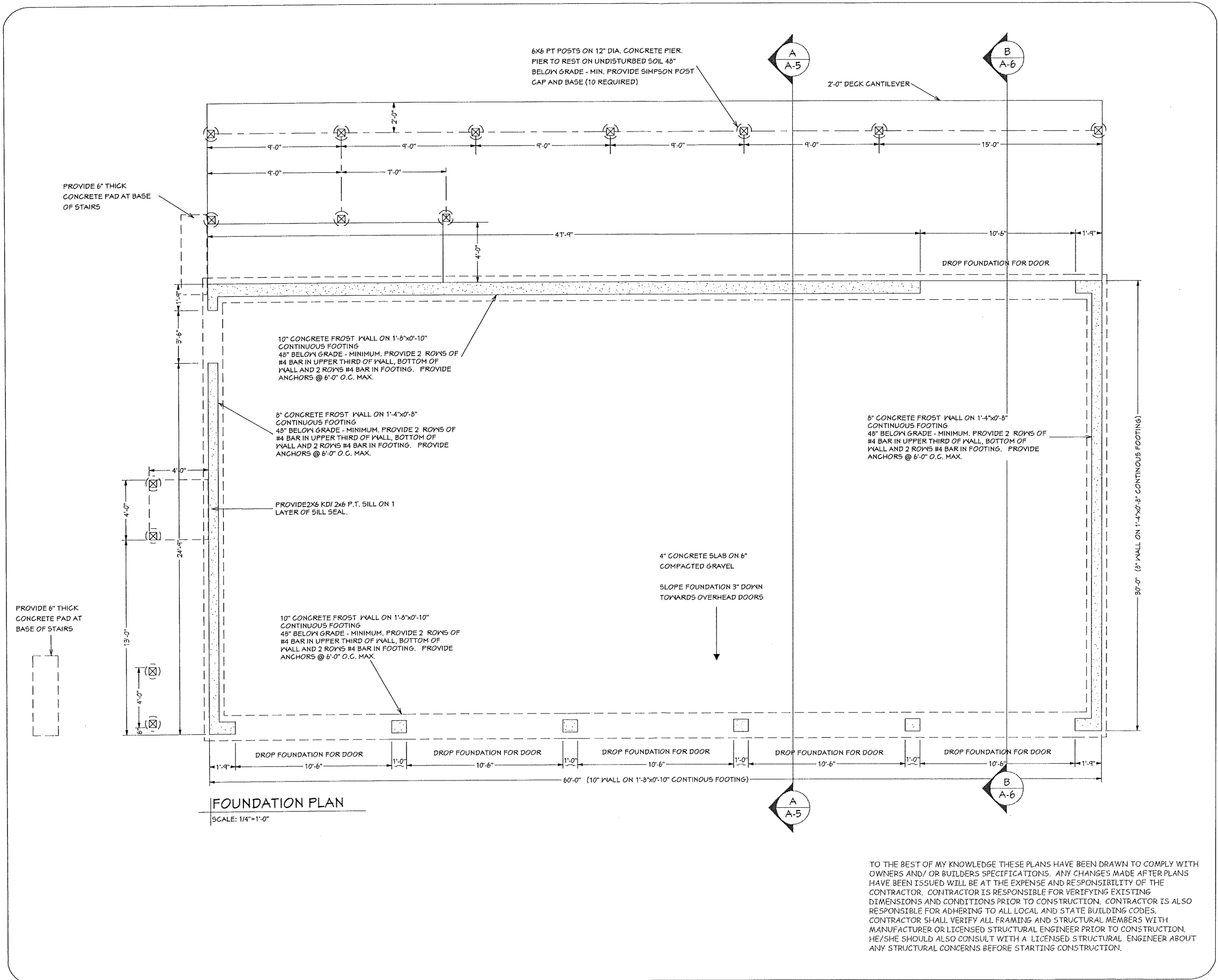
ELEVATIONS



REVISIONS

DATE: AUG 3, 2017  
SCALE: AS NOTED  
DESIGN BY: L. MELVIN  
JOB NO.: BAL-754

A-1  
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**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

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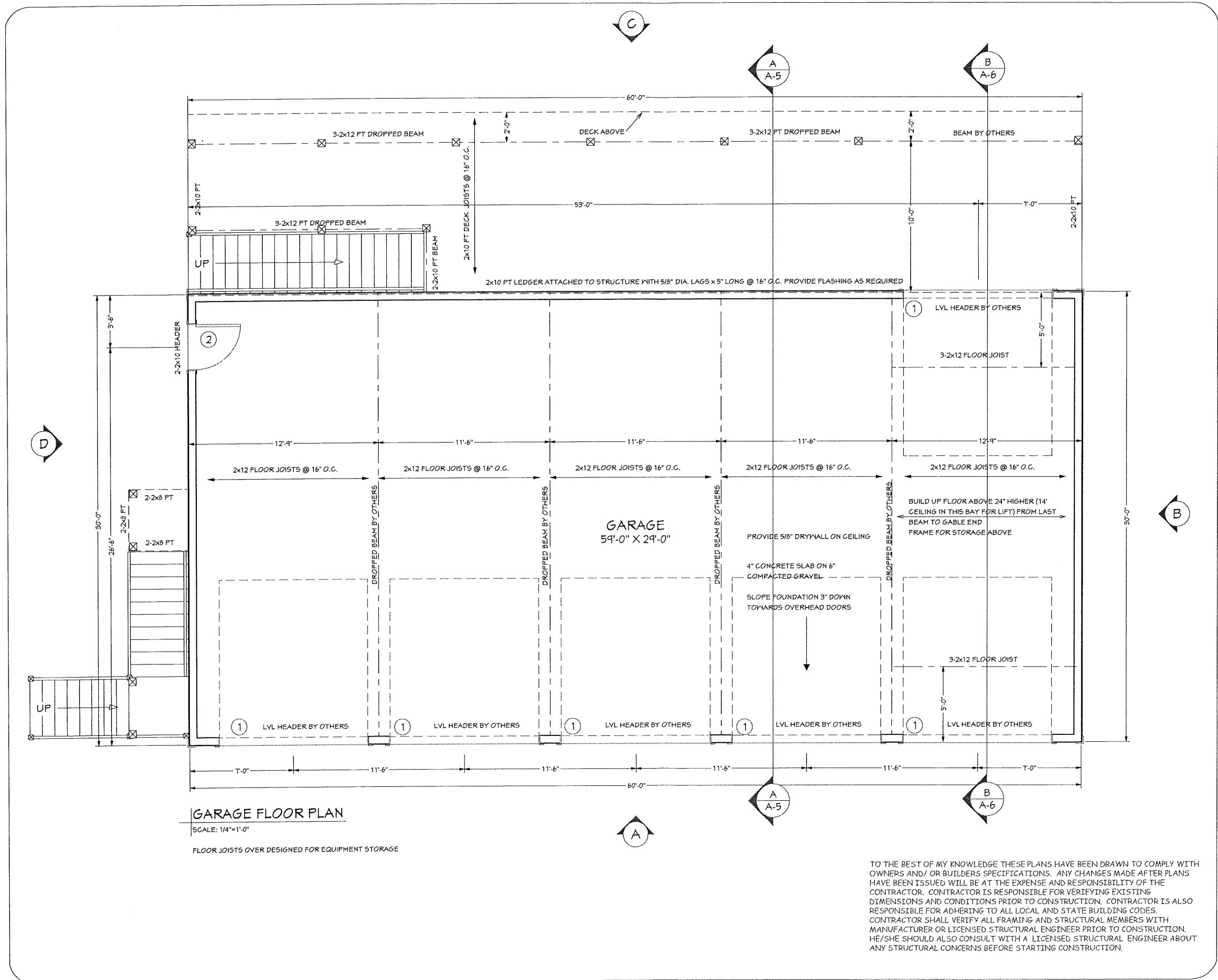
PREPARED FOR:  
GARAGE  
15 ELM STREET - MILFORD, NH  
FOUNDATION PLAN

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SCALE:	AS NOTED
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JOB NO.:	BAL-754

**A-2**  
RESIDENTIAL DESIGN SOLUTIONS BY L.M.





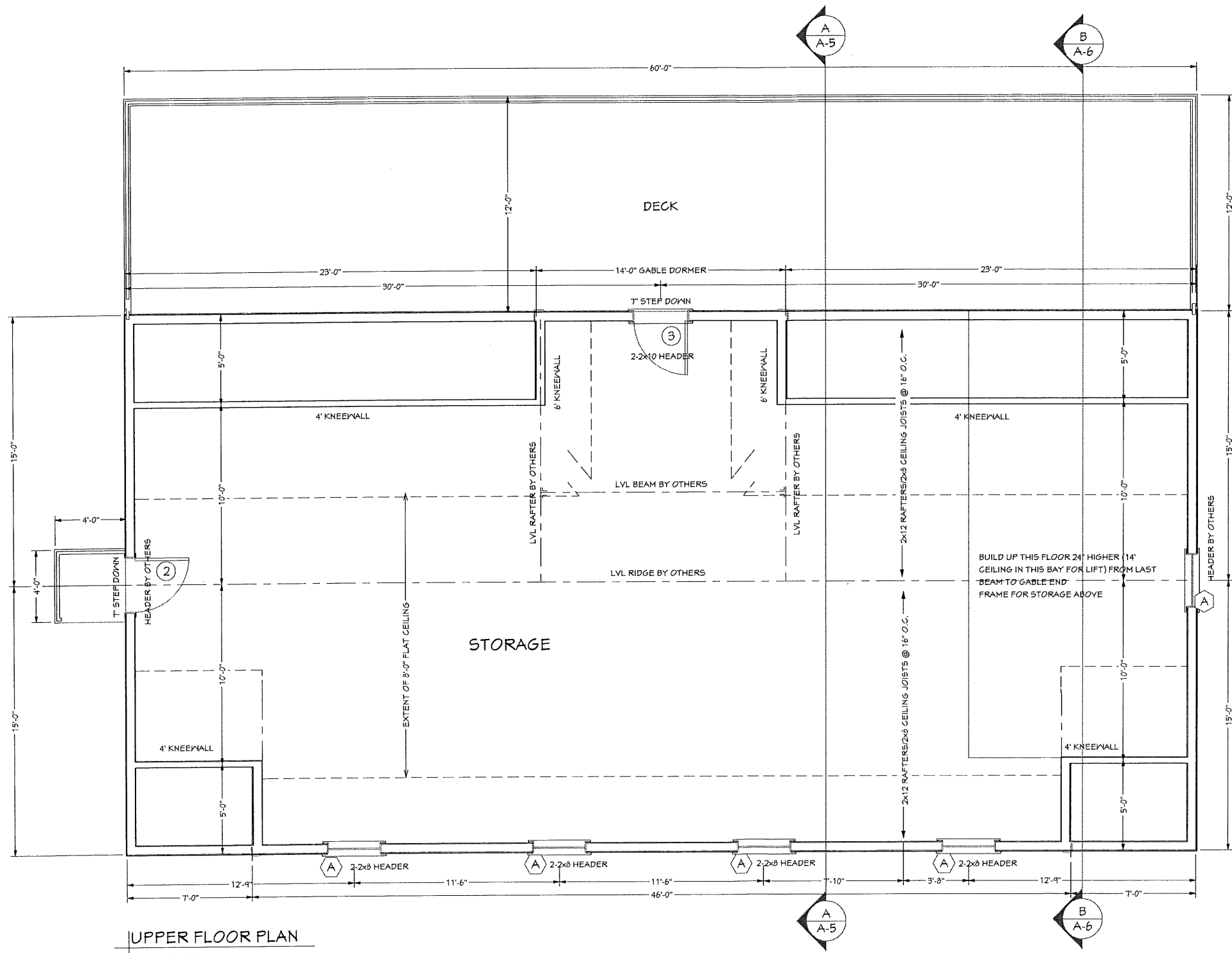
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PREPARED FOR:  
 GARAGE  
 15 ELM STREET - MILFORD, NH  
 GARAGE FLOOR PLAN

REVISIONS

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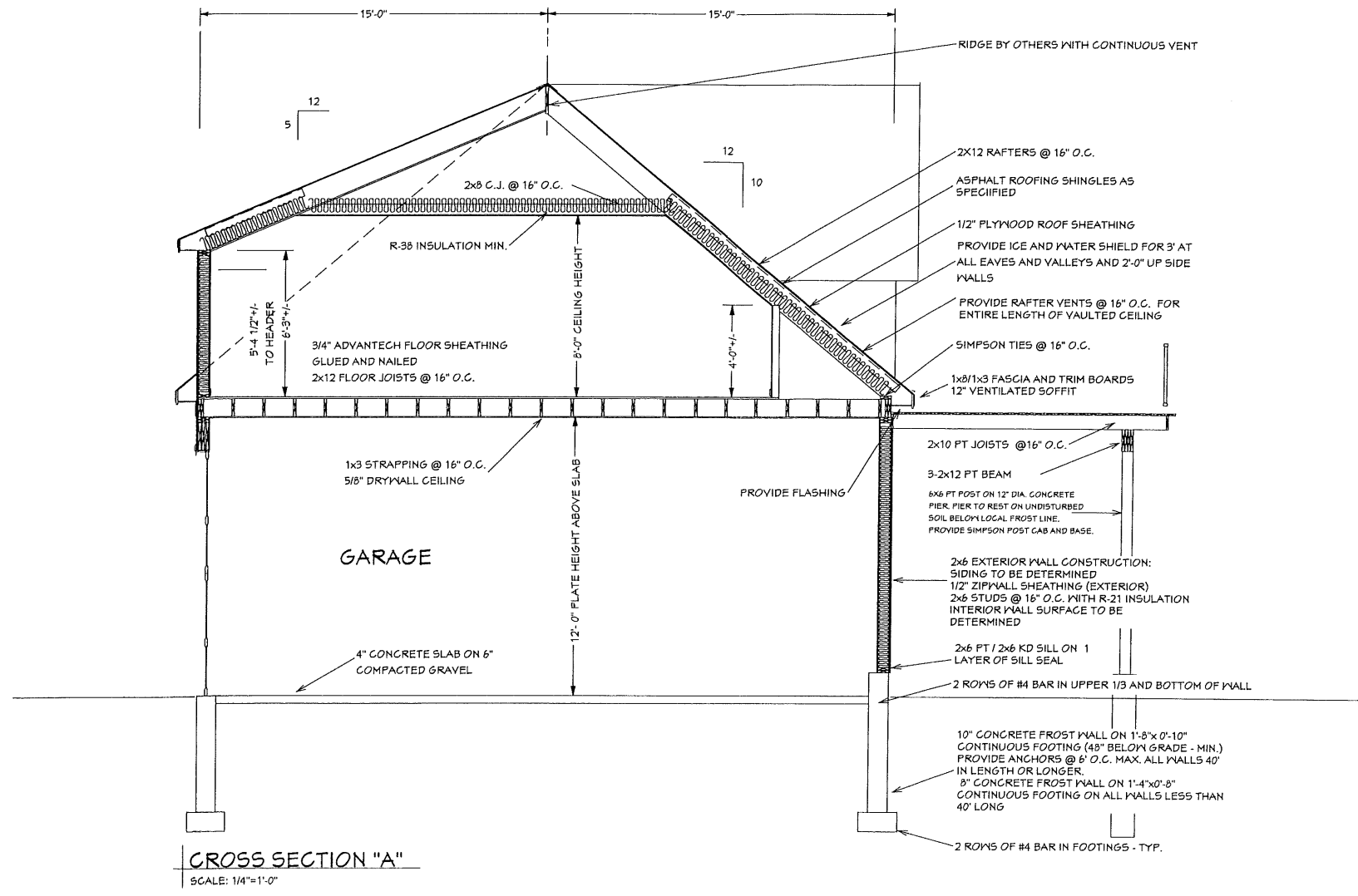
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 LMELVIN548@GMAIL.COM

PREPARED FOR:  
 GARAGE  
 15 ELM STREET - MILFORD, NH  
 UPPER FLOOR PLAN

REVISIONS

DATE:	AUG 3, 2017
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**A-4**  
 RESIDENTIAL DESIGN SOLUTIONS BY L.M.



CROSS SECTION "A"  
SCALE: 1/4"=1'-0"

NOTE: SILLS OF ALL WINDOWS TO BE 24" ABOVE FLOOR (MIN.) IF THEY ARE HIGHER THAN 6'-0" ABOVE GRADE

WINDOW SCHEDULE				
MARK	QTY	R.O.	DESIGNATION	DESCRIPTION
(A)	5	36"x40" +/-		DOUBLE HUNG

DOOR SCHEDULE			
MARK	QTY	SIZE	DESCRIPTION
(1)	6	10'0"x10'6"	OVERHEAD GARAGE DOOR
(2)	2	3'0"x6'8"	9-LITE
(3)	1	3'0"x6'8"	12-LITE

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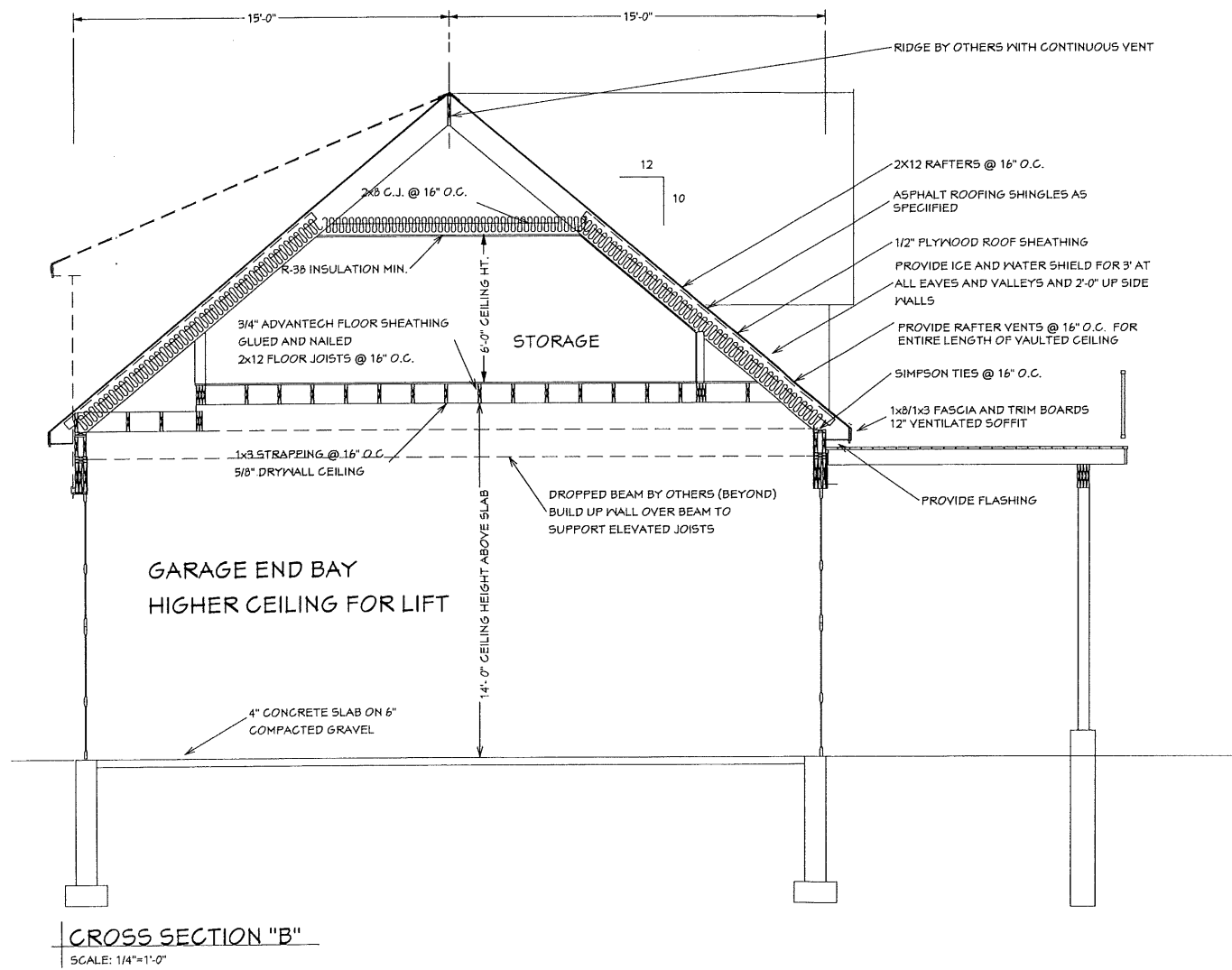
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GARAGE  
15 ELM STREET - MILFORD, NH  
MAIN FLOOR PLAN

REVISIONS

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- RIDGE BY OTHERS WITH CONTINUOUS VENT
- 2X12 RAFTERS @ 16" O.C.
- ASPHALT ROOFING SHINGLES AS SPECIFIED
- 1/2" PLYWOOD ROOF SHEATHING
- PROVIDE ICE AND WATER SHIELD FOR 3' AT ALL EAVES AND VALLEYS AND 2'-0" UP SIDE WALLS
- PROVIDE RAFTER VENTS @ 16" O.C. FOR ENTIRE LENGTH OF VAULTED CEILING
- SIMPSON TIES @ 16" O.C.
- 1x8/1x3 FASCIA AND TRIM BOARDS
- 12" VENTILATED SOFFIT
- PROVIDE FLASHING

CROSS SECTION "B"  
SCALE: 1/4"=1'-0"

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PREPARED FOR:  
GARAGE  
15 ELM STREET - MILFORD, NH  
UPPER FLOOR PLAN

REVISIONS

DATE:	AUG 3, 2017
SCALE:	AS NOTED
DESIGN BY:	L. MELVIN
JOB NO.:	BAL-754

A-6