

TOWN OF MILFORD

Office of Community Development

Planning • Zoning • Building Safety • Code Enforcement • Health
Economic Development • Active Projects



Administrative Review

Date: November 26, 2021

To: Jason Plourde, Chair, Zoning Board of Adjustment

From: Lincoln Daley, Community Development Director

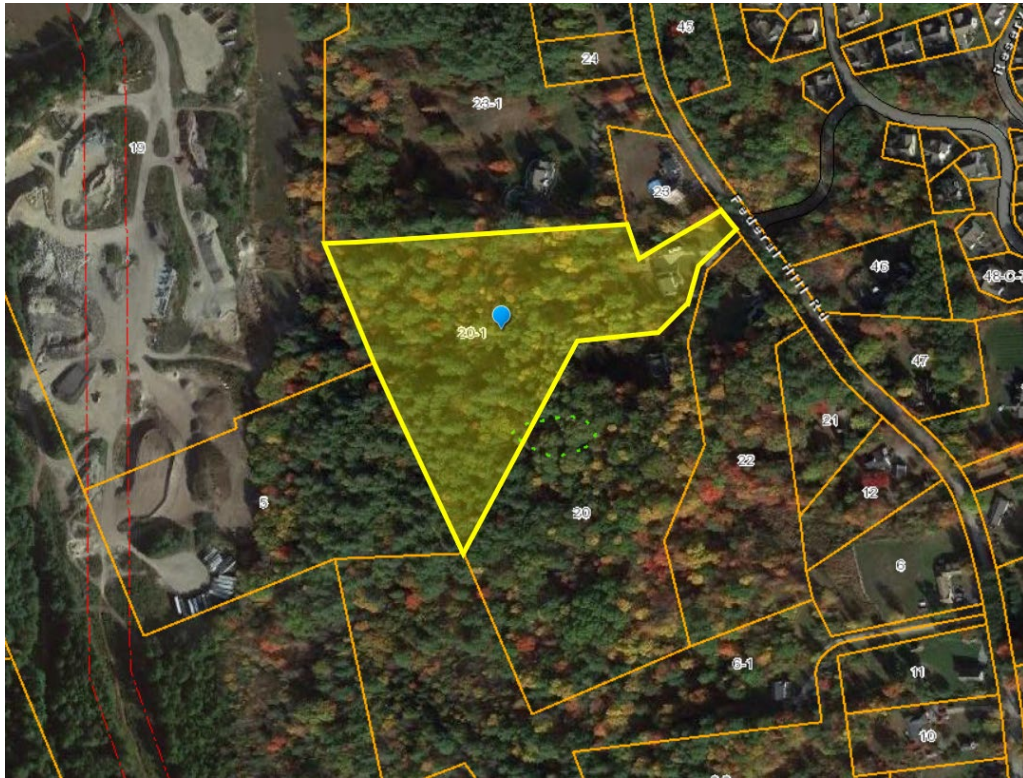
Subject: **Case #2021-26:** John and Alexandra Baer, 115 Federal Hill Road, Milford Tax Map 48, Lot 20-1
Special Exception Application, Accessory Dwelling Unit

The applicants are before the Board of Adjustment seeking a Special Exception from the Milford Zoning Ordinance, Article X, Sections, 10.2.1 and 10.2.6 to allow the construction of a 750 square foot, 3 room accessory dwelling unit in the basement of the existing single-family residence in the Residential 'R' district. In reviewing the files for this property, I offer the following comments:

1. Existing Conditions:

- a. The subject property is approximately 7.51 acres in area (327,136 sf) with approximately 25 linear feet of frontage on Federal Hill Road.
 - b. The property consists of a 2-story, 4 bedroom, single-family residence and is serviced by municipal water and private septic system.
 - c. The subject property is situated in an established single-family residential area and directly abuts residential uses to the north, south, and east. Abutting the property to the west is a materials processing and storage operation.
2. The proposal calls for construction of a new building addition containing a 750 square foot ground level one bedroom ADU. Access to the ADU will be through the proposed one bay garage and shared mudroom/laundry area. A separate exterior access has also been proposed for the ADU along the side of the residence.
3. An ADU is a permitted use in the Residential 'R' zoning district through the issuance of a Special Exception pursuant to Zoning Ordinance, Article 5.04.2.A.14 and Article X, Section 10.2.6.
4. Upon review the application pursuant to the Section 10.02.6.A, the submittal meets the minimum requirements of the Zoning Ordinance.
- a. The proposed maximum area for the ADU is 750 square feet. The primary residence will be owned and occupied by the property owner.
 - b. The proposed architectural plans are consistent with the existing residence and will not impact the character of the neighborhood. In addition, the proposed layout, access, and egress meet the minimum requirements of the ordinance.
 - c. The property appears to have sufficient parking to manage the single-family residence and the proposed addition of the accessory dwelling unit. No curb cuts are being added.
 - d. The applicant has demonstrated that adequate provisions have been provided for a water supply and sewerage disposal method for the ADU. The applicant has received written approval for alternative/replacement septic design from NHDES for a 6 bedroom household.

Aerial Photos of Subject Property:



Street Photos of Subject Property:

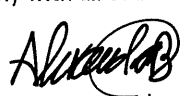


Subject Property Looking South

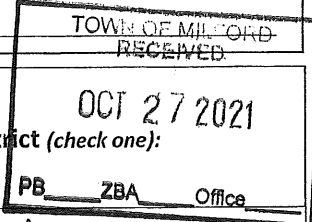




ZBA Application
MILFORD ZONING BOARD OF ADJUSTMENT
GENERAL PROPERTY INFORMATION FOR ALL APPLICATIONS

PROPERTY INFORMATION	
Street Address:	115 Federal Hill Rd
Tax Map / Parcel #:	48/20-1 Lot Size:
PROPERTY CURRENTLY USED AS	
Residential home	
<i>If the application involves multiple lots with different owners, attach additional copies of this page.</i>	
PROPERTY OWNER	
Name:	John and Alexandra Baer
Address:	115 Federal Hill Rd
City/State/Zip:	Milford, NH 03055
Phone: ()	603-320-6715
Email:	Alex.baer@comcast.net
<i>The applicant is the person who is making this proposal on behalf of themselves, the owner or a third party. This is usually the same as the property owner, but might be a tenant, someone who plans to purchase the property, an engineer or lawyer, etc. If the applicant is the same as the owner, just check "Same as owner" and leave the rest of this section blank.</i>	
APPLICANT/REPRESENTATIVE	
<input checked="" type="checkbox"/> SAME AS OWNER	
Name:	Builder - Stephen Badger 4B Construction
Address:	395 Mile Slip Rd
City/State/Zip:	Milford, NH 03055
Email:	swbadger@4bconst.com
Phone: ()	Cell: (978) 569-5704
The undersigned property owner(s) hereby authorize(s) the filing of this application and agree to comply with all code requirements applicable to this application.	
 <hr/>	
Property Owner's signature	Date:

Date Received: _____
Case Number: 2021-26
Date Complete: _____
Hearing Date: 12/2/21
Decision Date: 2021/10/22
Decision: _____



Zoning District (check one):

Residence A
 Residence B Residence R
 Commercial
 Limited Commercial
 Industrial
 Integrated Commercial-Industrial
 Integrated Commercial-Industrial-2

Overlay District (check any that apply):

West Elm Street Overlay
 Nashua/Elm Street Overlay
 Commerce & Community Overlay
 Open Space & Conservation
 Wetlands Conservation
 Groundwater Protection
 Floodplain Management

APPLICATION FEES

Application Fee:	\$75.00
Abutters Fee: ^{4.25} \$4 x 78	333.84
Amount received:	408.84
Date Received:	10/27/21
Check <input checked="" type="checkbox"/> Cash <input type="checkbox"/>	

THE FEES ASSOCIATED WITH THIS APPLICATION DO NOT APPLY TO ANY OTHER FEES REQUIRED FOR APPROVAL OF THIS PROJECT. PLANNING, IMPACT, BUILDING AND OTHER FEES MAY APPLY.



ZBA Application – Special Exception
MILFORD ZONING BOARD OF ADJUSTMENT

Date Received: _____
 Case Number: _____
 Application #: _____
 Date Complete: _____
 Hearing Date: 12/2/21
 Decision Date: _____
 Decision: _____

TOWN OF MILFORD
 RECEIVED
 OCT 27 2021
 PB _____ ZBA _____ Office _____

PROPERTY INFORMATION
 Street Address: 115 Federal Hill Rd
 Tax Map / Parcel #: 48/20-1

A Special Exception is a use which is permitted by the Zoning Ordinance, but requires approval from the Zoning Board of Adjustment. Most special exceptions have a list of additional criteria that must be met in order for the ZBA to approve the application.
***Note that in addition to the specific criteria that may be listed for a particular special exception, all special exceptions are subject to the general criteria in Section 10.02.1 of the Zoning Ordinance.**

- Application for (check all that apply):**
- Change/Expansion of Non-conforming Use/Structure (2.03.1.C)
 - Wetland Buffer Impact (6.02.6)
 - Accessory Dwelling Unit (10.2.6)
 - Office in Res-A & B (10.2.7)
 - Home Business (7.12.6)
 - Side/Rear Yard Setback Reduction (Zoning District Specific)
 - Other

What section of the Zoning Ordinance are you applying under?
 Article 10.2.6 Section _____
 Describe the **use** you are proposing under the above section of the Ordinance.
The ADU space would be used for an attached living space for owner parents to living in. Then sunroom above unit is for the clients direct use

General Criteria Section 10.02.1

Describe the project you are requesting a Special Exception for:
 Construction of addition including a ADU, for clients parts to live in the ADU and then sunroom above for the client

Explain how the proposal meets the general criteria as specified in Article X, Section 10.02.1 of the Zoning Ordinance:

- A. The proposed use is similar to those permitted in the district because:
 Meets all requirements for a ADU and is designed to look like it was always part of the house, will be used by the same occupants that are in the current house
- B. The specific site is an appropriate location for the proposed use because:
 Is attached to the existing dwelling, and design to match, and not to encroach on any setbacks.
- C. The use as developed will not adversely affect the adjacent area because:
 Will be attached to the existing house, and design to look like it was already part of the existing residence.
- D. There will be no nuisance or serious hazard to vehicles or pedestrians because:
 No change of traffic follow to the house, parking will proposed garage.
- E. Adequate appropriate facilities will be provided for the proper operation of the proposed use because:
 Existing septic system will be replaced with already approve new septic system design to cover the add use



ZBA Application – Special Exception
MILFORD ZONING BOARD OF ADJUSTMENT

HOME BUSINESS CRITERIA 7.12.6 (Continued)
6. Retail sales of goods incidental to Home Business are allowed. Please explain if there will be retail sales of goods incidental to Home Business.
7. There shall be not more than sixteen (16) clients or deliveries per day. If applicable, please provide the anticipated number of clients or deliveries per day.
8. There shall be no parking of or deliveries by vehicles with more than two (2) axles. Only one (1) commercial vehicle may be parked on the property in conjunction with the Home Business. Please summarize the anticipated size of the delivery vehicles and number of commercial vehicles serving the Home Business.
9. A Home Business shall not be conducted in a way that is perceptible in external effects (such as but not limited to noise, odors, traffic) from beyond the lot line between the hours of 9:00 p.m. and 7:30 a.m. Please explain the hours of operation.
10. The use shall not involve the storage or use of hazardous, flammable or explosive substances, other than types and amounts commonly found in a dwelling. The use shall not involve the use or storage of toxic substances. If applicable, please explain if there will be the storage of hazardous, flammable or explosive, or toxic substances associated with the Home Business and its location on the property.

ACCESSORY DWELLING UNITS 10.02.6
1. Is the property going to be Owner Occupied? Yes own will be in principal dwelling, owners parents will be occupying ADU
2. Has a Building Permit application been made? Copy of permit application attached? Yes, application has been made and copy is attached with application.
3. Is the ADU developed in a manner which does not alter the character/appearance of the principal use as a single-family residence? Proposed space, is attached to existing house, and design to look as if always there.
4. Is the ADU intended to be secondary and accessory to a principal single-family dwelling unit? Is designed to allow spare space to the principal single family dwelling with allowing ability to have separate own space.
5. Does the ADU impair the residential character of the premises or the reasonable use, enjoyment and value of neighborhood? Proposed addition is designed to match the existing home and look like it was always there.
6. Is there adequate off-street parking? How many spaces? One car garage is proposed, along with enough space in driveway for 2+ more cars.
7. Are any additional curb cuts being proposed? No
8. Are all necessary additional entrances or exits located to the side or rear of the building to the maximum extent possible? Please note on the plan. Yes one entrance is through garage, second exit, is through slider in back of house.

Section continued on next page.



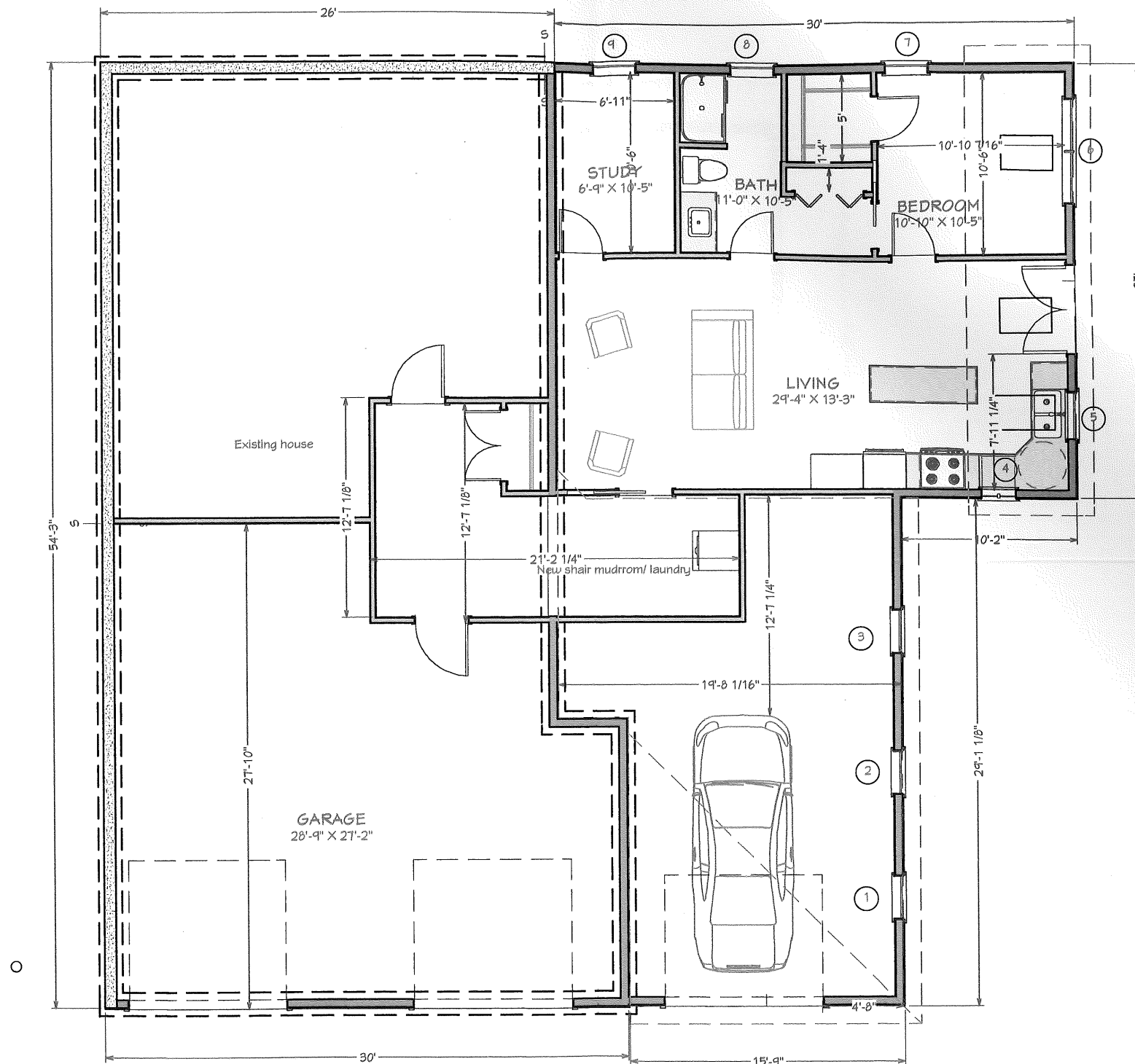
ZBA Application – Special Exception
MILFORD ZONING BOARD OF ADJUSTMENT

ACCESSORY DWELLING UNITS 10.02.6 (Continued)

9. Is there adequate sewer/septic and water for the additional inhabitants? Please include septic/sewer approval. Yes, new approved septic system is being install.
10. Is there only one (1) ADU on the property? yes
11. Is the ADU no more than 750 square feet gross floor area? How many square feet is the ADU? ADU space is 750.
12. Does the ADU have no more than two (2) bedrooms? Please show on plans. Only 1 bedroom is proposed
13. If inside the existing dwelling, is there at least one common wall with a door between the two spaces at least 32 inches wide? Please show on plans. yes, opening is 36" wide
14. If a connecting hall is proposed, is the hallway at least 36 inches wide? Please show on plans.
15. For Existing Unpermitted ADUs common mudroom, laundry space proposed then entence to ADU
16. Has a Code Compliance inspection been conducted by the Building Inspector? Please include inspection report. No, permit in with the town for review now
17. Is the ADU in compliance with Section 10.02.6:A of the Milford Zoning Ordinance? How so? yes, meets all requirments
18. If no, has a Variance from Section 10.02.6:A been granted by the ZBA?

OFFICE IN THE RESIDENCE A AND B DISTRICTS 10.02.7

1. Is the specific site of the proposed office use located in an existing building that is an appropriate location for the proposed use and ancillary to the Residential Use permitted by right? Please explain.
2. Will the use as proposed adversely affect adjacent Residential areas? Please explain.
3. Will there will be any nuisance, such as but not limited to: noise, odor, hours of operation, traffic, deliveries and lighting associated with this use? Please explain.
4. Will there be any outside storage? Please explain.
5. Has the applicant made a site plan application to the Planning Board (hearing subsequent to Zoning Board approval)? Yes ___ No ___ Date of hearing: _____



LIVING AREA
1365 SQ FT

Foundation

TOWN OF MILFORD
RECEIVED
OCT 27 2021
PB ZBA Office

NO.	DESCRIPTION	BY	DATE

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Floor plans - ground

PROJECT DESCRIPTION:
Baer - additon plans

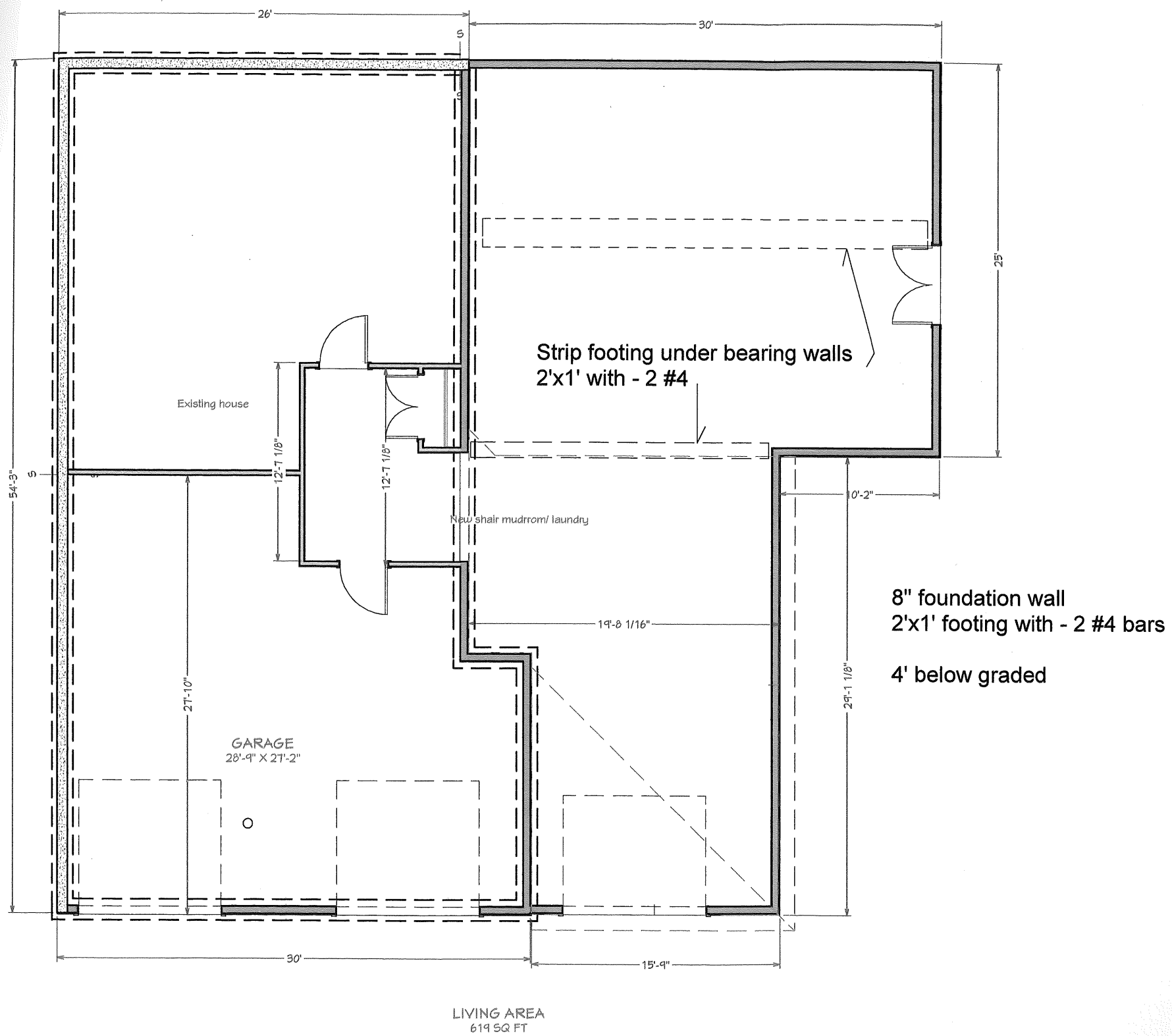
DRAWINGS PROVIDED BY:
4B Construction

DATE:
10/4/21

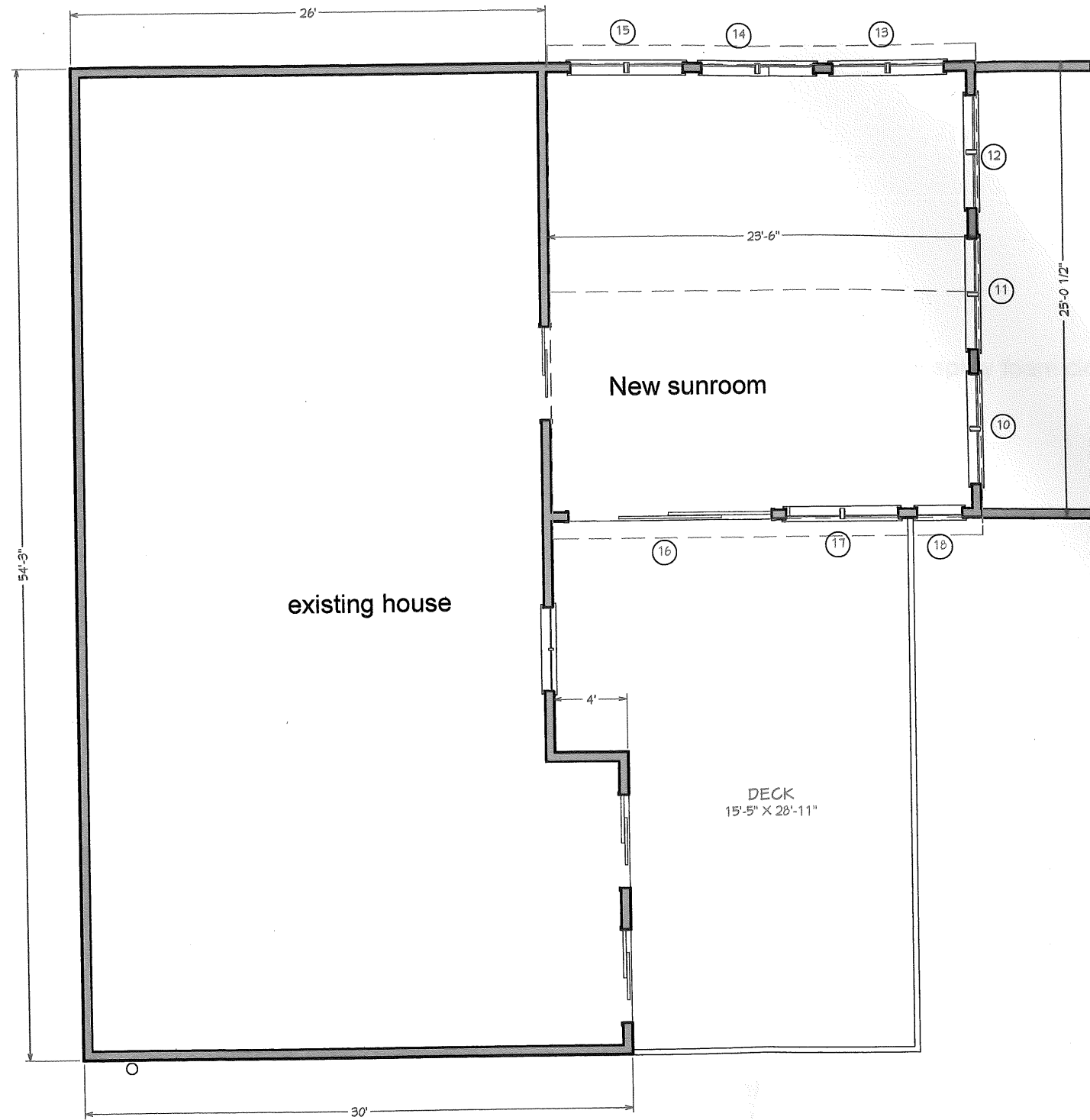
SCALE:
1/8" - 1'

SHEET:
A-1

SHEET:
A-1



DRAWINGS PROVIDED BY: 4B Construction		PROJECT DESCRIPTION: Baer - additon plans		SHEET TITLE: Floor plans - foundation	
DATE:	10/4/21	NO.	DESCRIPTION	BY	DATE
SCALE:	1/8" = 1'				
SHEET:	A-1				



existing house

New sunroom

DECK
15'-5" X 28'-11"

LIVING AREA
2065 SQ FT

1st Floor

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Floor plans - 1st floor

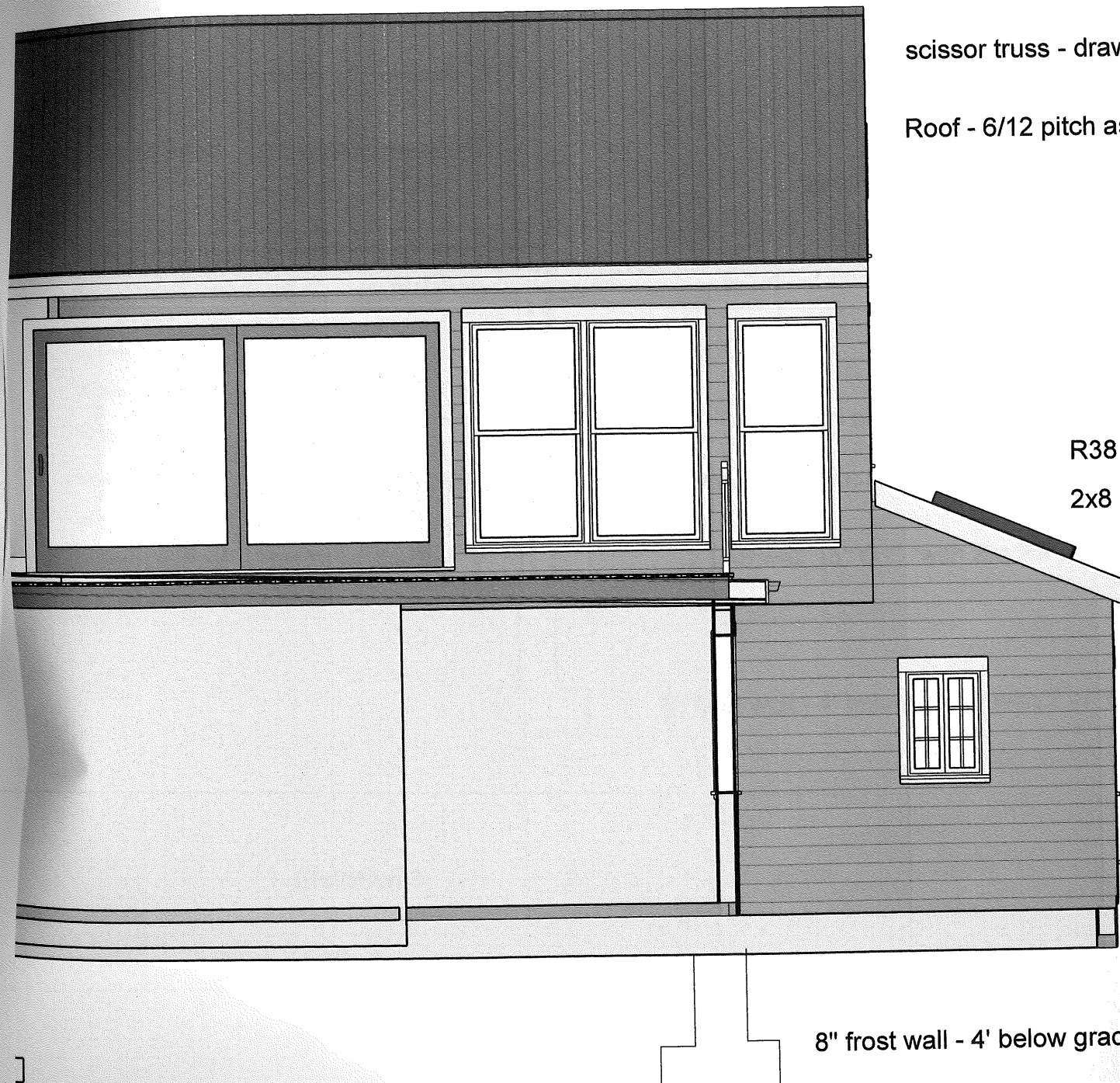
PROJECT DESCRIPTION:
Baer - additon plans

DRAWINGS PROVIDED BY:
4B Construction

DATE:
10/4/21

SCALE:
1/8" - 1'

SHEET:
A-2



scissor truss - drawing attached - R38+ spray foam closed celled
 Roof - 6/12 pitch asplate shingles

R38 spray foam - roof system
 2x8 rafter - shed roof - asplate shingles - 4/12 pitch

Roof deck - 2x4PT sleepers - composite decking
 Flat roof system - 7-1/4" LVL system - seperate drawing

LP smart siding - lap on house
 Insulation - ZipR9 sheeting + R21 Batts = R30 wall insulation
 2x6 wall 16" O.C. with Zip R9 sheeting

8" frost wall - 4' below grade with 2'x1' footing with 2 - #6 bars

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Floor plans -cross section

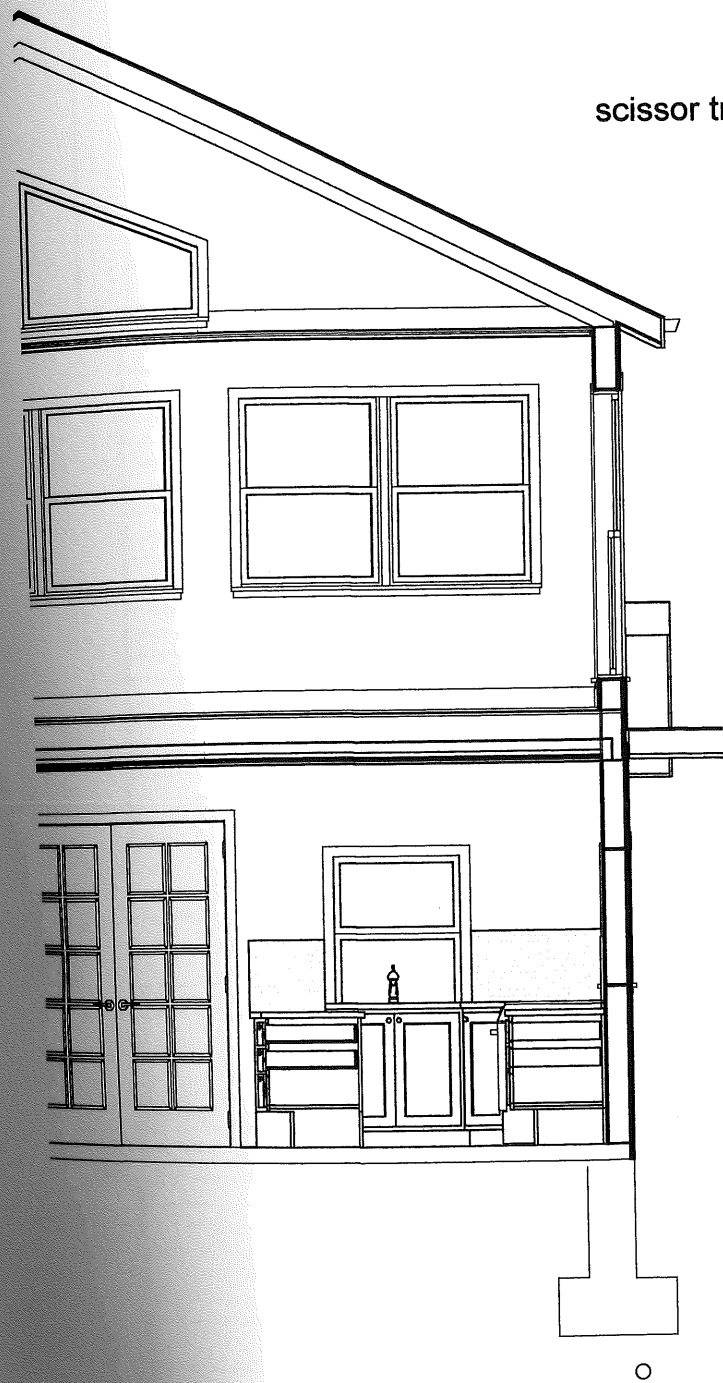
PROJECT DESCRIPTION:
Baer - additon plans

DRAWINGS PROVIDED BY:
4B Construction

DATE:
 10/4/21

SCALE:
 1/4" - 1'

SHEET:
A-5.1



scissor truss - drawing attached - R38+ spray foam closed celled

Roof - 6/12 pitch asplate shingles

2x10 floor joist - 16" O.C. with 3/4" adv

9-1/4" -3 beam running below end of sunroom

LP smart siding - lap on house

Insulation - ZipR9 sheeting + R21 Batts = R30 wall insulation

2x6 wall 16" O.C. with Zip R9 sheeting

8" frost wall - 4' below grade with 2'x1' footing with 2 - #6 bars

Elevation 3

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Floor plans -cross section

PROJECT DESCRIPTION:
Baer - additon plans

DRAWINGS PROVIDED BY:
4B Construction

DATE:
10/4/21

SCALE:
1/4" - 1'

SHEET:
A-5.2



NO. DESCRIPTION BY DATE

SHEET TITLE:
Floor plans - Elevation

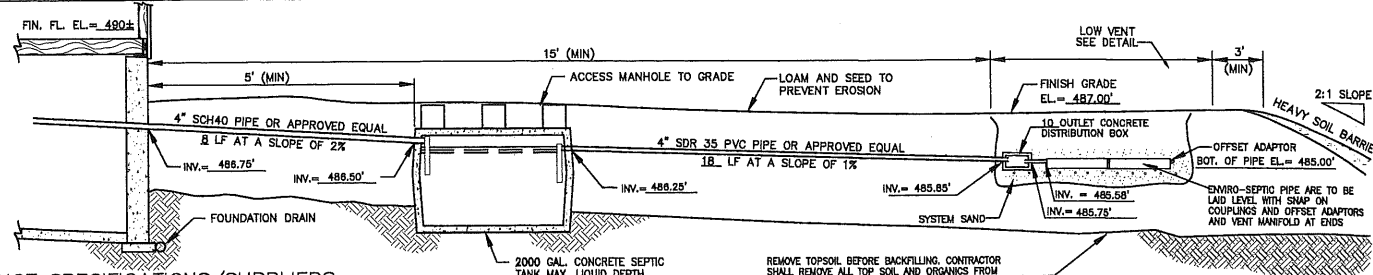
PROJECT DESCRIPTION:
Baer - additon plans

DRAWINGS PROVIDED BY:
4B Construction

DATE:
10/4/21

SCALE:
1/8" - 1'

SHEET:
A-6



PRODUCT SPECIFICATIONS/SUPPLIERS

- CONCRETE PRODUCTS ARE TO BE SUPPLIED BY WILLIAM LAMARRE CONCRETE PRODUCTS INC. GREENVILLE, NH OR APPROVED EQUAL.
- D-BOX FLOW EQUALIZERS ARE TO BE SUPPLIED BY POLYLOCK INC.
- EDA TO BE CONSTRUCTED USING ADVANCED ENVIRO-SEPTIC PIPE.

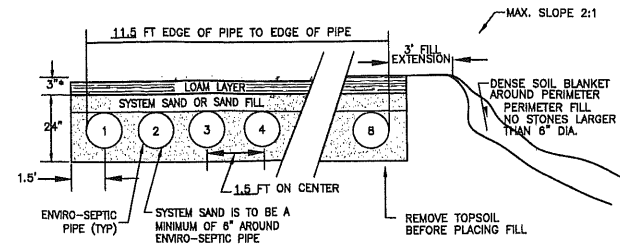
TYPICAL SECTION OF PROPOSED EFFLUENT DISPOSAL SYSTEM (EDS)

REMOVE TOPSOIL BEFORE BACKFILLING. CONTRACTOR SHALL REMOVE ALL TOP SOIL AND ORGANICS FROM UNDER THE PROPOSED EDA AND FILL EXTENSIONS.

SILOE SIZE	PERCENT RETAINED ON SILOE (BY WEIGHT)
3/4" (19mm)	0
#10 (2mm)	0-35
#35 (0.50mm)	40-90

NOTE: NOT MORE THAN 3% ALLOWED TO PASS THE #200 SILOE (VERIFIED BY WASHING SAMPLE PER REQUIREMENTS OF ASTM C-117)

NOT TO SCALE



NOTE:

- IF MATERIAL DEPTH EXCEEDS 12" A 3 FOOT HIGH VENT AND VENT MANIFOLD SHALL BE ADDED TO THE SYSTEM AND VENT IS TO BE LOCATED AT END OF THE EFFLUENT DISPOSAL SYSTEM.
- THE VENT LOCATION CAN BE MOVED TO A LOCATION THAT IS APPROVED BY THE OWNER.
- VENTING SHALL BE DONE IN CONFORMANCE WITH NHDES AND PRESBY ENVIRONMENTAL REQUIREMENTS.

TYPICAL CROSS SECTION

NOT TO SCALE

NOTES

- THIS IS NOT A PROPERTY LINE SURVEY. ALL PROPERTY LINES TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- INSTALLER SHALL NOT ALLOW ANY VEHICULAR TRAVEL TO OCCUR ACROSS THE PROPOSED EFFLUENT DISPOSAL SYSTEM (EDS) AREA AT ANY TIME EXCEPT DURING THE CONSTRUCTION OF THE EDS.
- NO OPEN WATER OR VERY POORLY DRAINED SOILS WITHIN 75' OF THIS PROPOSED EDS OR ITS COMPONENTS.
- NO POORLY DRAINED SOILS WITHIN 50' OF THIS PROPOSED EDS OR ITS COMPONENTS.
- ALL PIPE CONNECTIONS TO THE SEPTIC TANK, D-BOX, TO BE SEALED WITH A NON-SHRINK MORTAR OR OTHER APPROVED SEALANT. ROOF TAR IS NOT SUITABLE.
- THIS DESIGN DOES NOT PROVIDE FOR THE USE OF A GARBAGE GRINDER, WATER SOFTENER OR HIGH WATER USE FIXTURES. HOMES ON HIGH PRESSURE OFFSITE WATER SYSTEMS SHALL HAVE A WATER REGULATOR INSTALLED REDUCING THE FLOW TO 45-50 PSI MAXIMUM.
- REPLACEMENT SYSTEM TO BE LOCATED IN THE SAME AREA WHEN OR IF NECESSARY.
- CAUTION TO BE EXERCISED DURING FILL PLACEMENT/SITE PREPARATION TO AVOID COMPACTION OR SHEARING OF THE INFILTRATIVE SURFACE.
- MAINTAIN 8-12 INCHES OF FILL BETWEEN EQUIPMENT TRACKS AND PREPARED SURFACE.
- SAND AND FILL REQUIREMENTS SHALL MEET "SECTION 28" ON PAGE 18 OF THE ENVIRO-SEPTIC INSTALLATION MANUAL 2019 EDITION WHICH CAN BE DOWNLOADED AT WWW.PRESBYENVIRONMENTAL.COM
- ASTM STANDARD: C-33 (CONCRETE SAND) MEETS THE REQUIREMENTS OF SYSTEM SAND.
- FOUNDATION DRAINS ARE EXISTING.
- ALL INVERT ELEVATIONS AND GRADES ARE REFERENCED FROM T.B.M.
- DESIGNER SHALL BE NOTIFIED OF ANY CONDITIONS CONTRARY TO THOSE DEPICTED ON THIS PLAN.
- D-BOX SHALL HAVE FLOW EQUALIZER INSTALLED IN OUTLET PORTS.
- SEPTIC TANK SHALL BE FITTED WITH INLET AND OUTLET BAFFLES IN ACCORDANCE WITH ENV-WQ 1010.07
- PROPOSED SEPTIC TANK IS A 2000 GALLON TANK.
- DISTRIBUTION BOX TO BE A 10 OUTLET D-BOX.
- ADVANCED ENVIRO-SEPTIC TYPE SYSTEM HAS BEEN DESIGNED AS DIRECTED BY THE OWNER.
- FOR PRODUCT SPECIFICATIONS/SUPPLIERS SEE PRODUCT NOTE IN TYPICAL SECTION OF THIS PLAN.
- WATER SUPPLY IS EXISTING ON-SITE DRILLED WELL.
- DESIGNER HAS INVESTIGATED FOR WETLANDS BY CHRIS DANFORTH, CHS 077 AND FIELD LOCATED BY TROMAN INC.
- THIS DESIGN COMPLIES WITH AND MUST BE INSTALLED IN ACCORDANCE WITH THE 2019 EDITION OF THE "NH DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIROSEPTIC, ENVIROSEPTIC AND SIMPLE SEPTIC WASTEWATER TREATMENT SYSTEMS" MANUAL BY PRESBY ENVIRONMENTAL, INC.
- THIS EDA SHALL UTILIZE ADVANCED ENVIROSEPTIC PIPE (AES) MANUFACTURED BY PRESBY ENVIRONMENTAL.

SOIL DATA

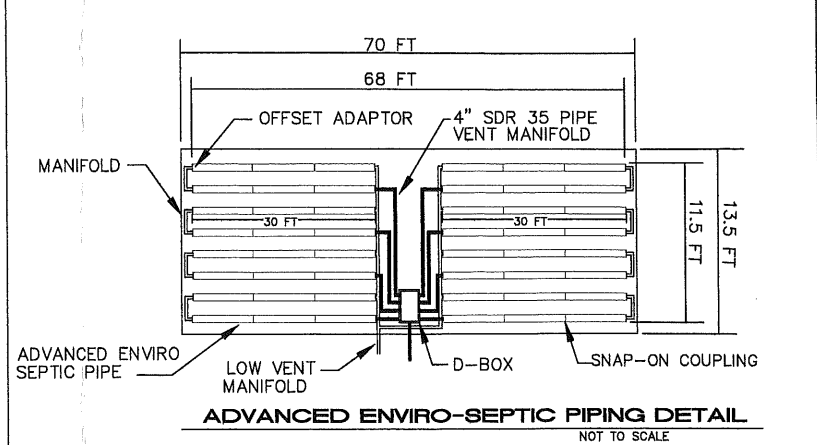
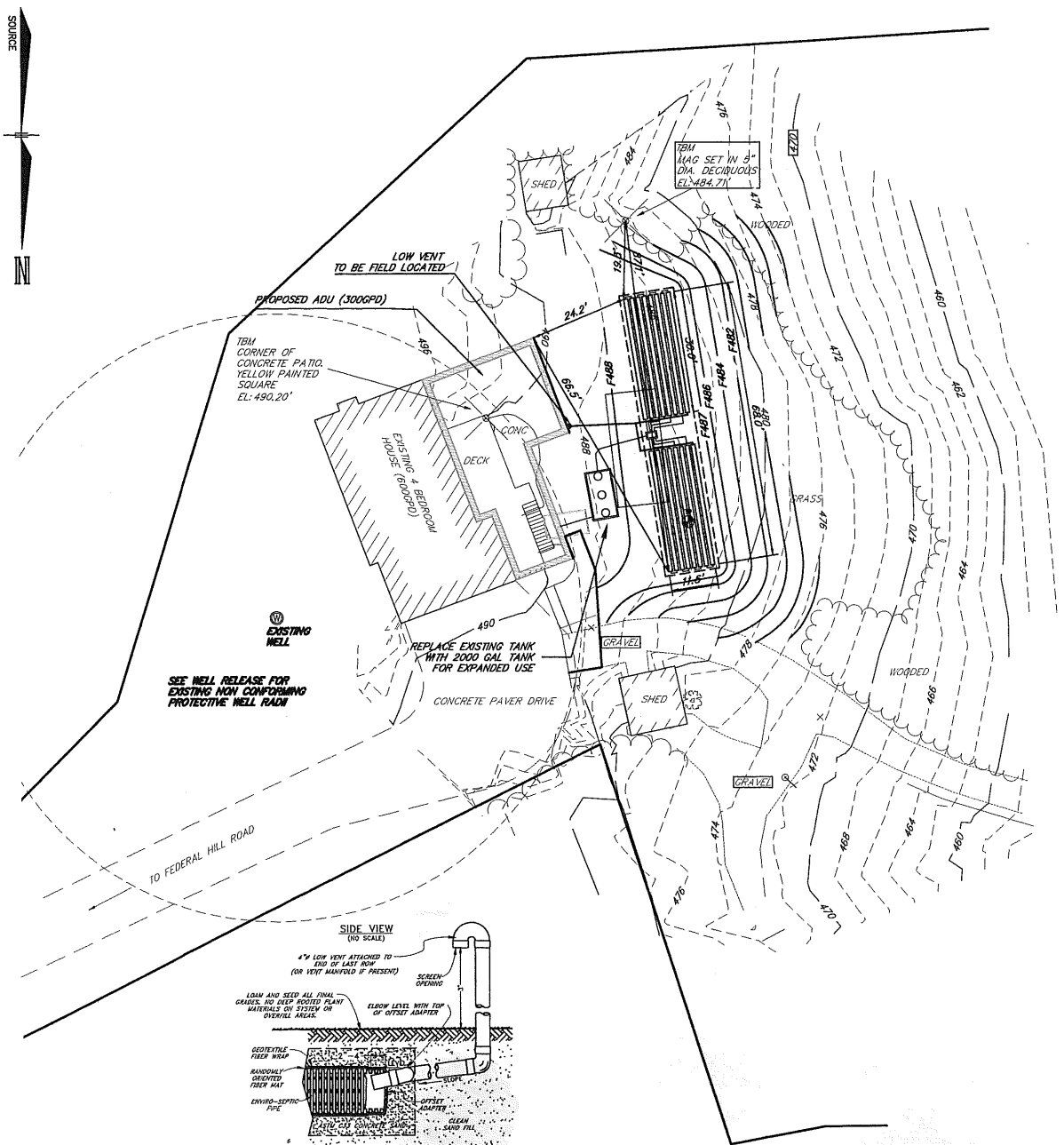
GRID CANTON FINE SANDY LOAM, 18-25% SLOPES
SOURCE: NHCS WEBSOILSURVEY FOR HILLSBOROUGH COUNTY, EASTERN PART

DESIGN DATA

NHDES: 4 BEDROOM + ACCESSORY DWELLING UNIT (2 BDRM) OR 800 GPD
ENVIRO-SEPTIC REQUIRES 420 LF AT 10 MIN PERC RATE FOR 6 BDRM DWELLING
PROPOSED IS 480 LF, BUTTERFLY 2X 30' X 11.5' EDGE OF PIPE TO EDGE OF PIPE.
BUTTERFLY CONFIGURATION - 8 LINES, 30' LONG, 1.5' CIR TO CIR.

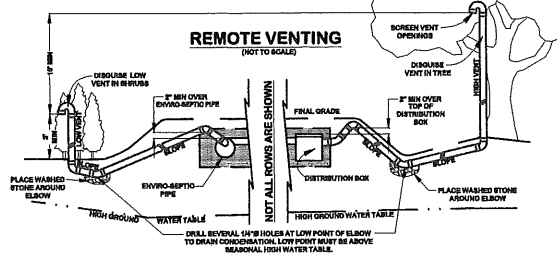
DESIGN INTENT

THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (EDS) SHALL BE CONSTRUCTED AT 485.0' ELEVATION, AND THERE IS APPROXIMATELY 2.0 FT. BELOW ORIGINAL GROUND ON THE HIGH CONTOUR OF THE DESIGNED EDS.
SUBDIVISION APPROVAL NO. N/A (2.5 ACRES), DATED: 7/25/2020
PREVIOUS CONSTRUCTION APPROVAL NO. CA200004968 DATED: 7/25/2020
COUNTY: HILLSBOROUGH BOOK: 6382 PAGE: 1365



ADVANCED ENVIRO-SEPTIC PIPING DETAIL

NOT TO SCALE



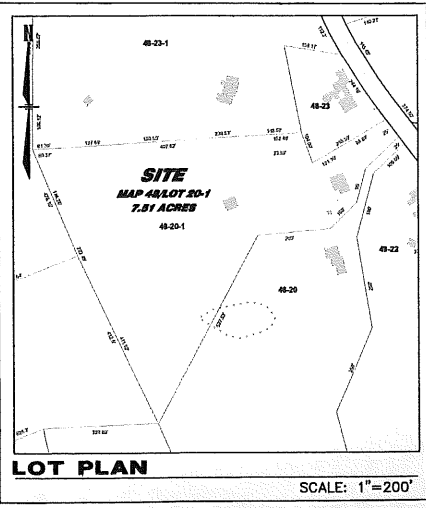
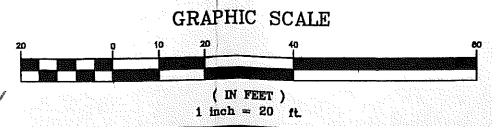
REMOTE VENTING

SCREEN VENT OPERATOR
DISCHARGE VENT IN TREE
8" MIN OVER TOP OF DISTRIBUTION BOX
8" MIN OVER TOP OF DISTRIBUTION BOX
PLACE WASHED STONE AROUND ELBOW
NOT ALL ROWS ARE SHOWN
DRILL SEVERAL 1/4" HOLES AT LOW POINT OF ELBOW TO DRAIN CONDENSATION. LOW POINT MUST BE ABOVE REGIONAL HIGH WATER TABLE.

TEST PIT DATA

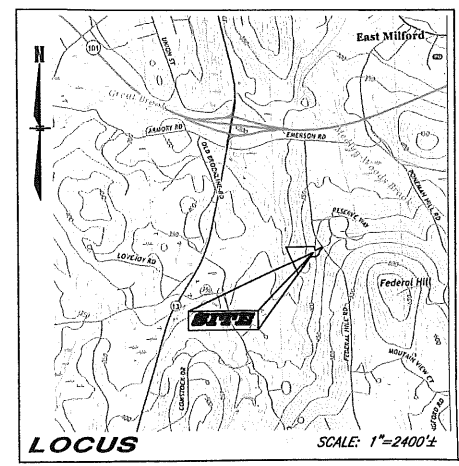
TEST PIT #1
DATE 3/17/2021
10YR 3/3, DARK BROWN, SANDY LOAM, WEAK GRANULAR FRIABLE, COBBLES <5%
22" 10YR 2/2 VERY DARK BROWN, SANDY LOAM, GRANULAR FRIABLE FINE ROOTS
30" 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR FRIABLE FINE ROOTS.
42" 2.5Y 5/4 LIGHT OLIVE BROWN, SANDY LOAM, SUB ANGULAR, BLOCKY FRIABLE

ESHW: 54" 10YR 5/8 REDOX CONC. ROOTS: 50"
SEEPS: NONE OBSERVED LEDGE: NOT OBSERVED @ 72"
PERC. TEST: 10 MIN/IN @ 22"



LOT PLAN

SCALE: 1"=200'



LOCUS

SCALE: 1"=2400'

**TAX MAP 48 LOT 20-1
EFFLUENT DISPOSAL SYSTEM DESIGN PLAN
JOHN & ALEXANDRA BAER**

115 FEDERAL HILL ROAD
MILFORD, NH 03055

PREPARED FOR
4B CONSTRUCTION
395 MILE SLIP ROAD
MILFORD, NH 03055

SCALE: 1"=20'

JULY 23, 2021

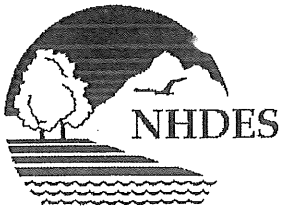


Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

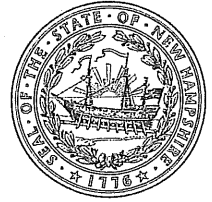
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tforan.com

76610.00 D FB 76610 SHEET 1 OF 1
CADFILE -SEPTIC-Enviro

DRAFT-FOR REVIEW ONLY



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

APPROVAL FOR CONSTRUCTION OF INDIVIDUAL SEWAGE DISPOSAL SYSTEM (ISDS)

AS AUTHORIZED BY THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES, WATER DIVISION PURSUANT TO RSA 485-A, WATER POLLUTION AND WASTE DISPOSAL AND ENV-WQ 1000, SUBDIVISION AND INDIVIDUAL SEWAGE DISPOSAL SYSTEM DESIGN RULES.

APPLICATION APPROVAL DATE: 8/26/2021

APPROVAL NUMBER: eCA2021082628

I. PROPERTY INFORMATION

Address: 115 FEDERAL HILL ROAD
MILFORD NH 03055
Subdivision Approval No.: 5 PLUS ACRES
Subdivision Name:
County: HILLSBOROUGH
Tax Map/Lot No.: 48/20-1

II. OWNER INFORMATION

Name: JOHN AND ALEXANDRA BAER
Address: 115 FEDERAL HILL ROAD
MILFORD NH 03055

III. APPLICANT INFORMATION

Name: CHRISTOPHER K DANFORTH
Address: 654 NEW BOSTON RD
FRANCESTOWN NH 03043

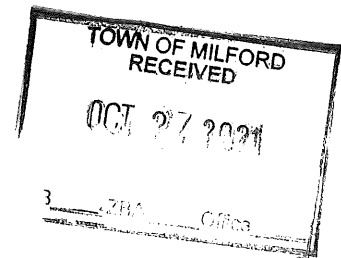
IV. DESIGNER INFORMATION

Name: CHRISTOPHER K DANFORTH
Address: 654 NEW BOSTON RD
FRANCESTOWN NH 03043
Permit No.: 00879

V. SPECIFIC TERMS AND CONDITIONS: Applicable to this Approval for Construction

- A. TYPE OF SYSTEM: ADVANCED ENVIRO-SEPTIC
- B. NO. OF BEDROOMS: 6
- C. APPROVED FLOW: 900 GPD
- D. OTHER CONDITIONS AND WAIVERS:

- 1. This approval is valid for 4 years from date of approval, per Env-Wq 1004.13.
- 2. Approval for a four bedroom house and a two bedroom apartment.
- 3. No waivers have been approved.



Eric J. Thomas
Subsurface Systems Bureau