



TOWN OF MILFORD, NH
OFFICE OF COMMUNITY DEVELOPMENT

STAFF MEMORANDUM

DATE: April 19, 2018

From: Lincoln Daley, Community Development Director

To: Planning Board

Subject: **Ronald and Loreen Racicot, 21 Old Wilton Road, Tax Map 14 Lot 10.** Public Hearing for a major site plan application to construct a 2,400 sf. warehouse building and associated site improvements within the Industrial District. *(Continued from March 27, 2018)*

BACKGROUND/PROPOSAL:

The applicant before the Planning Board to continue the formal application for a major site plan application to construct a 2,400 square foot warehouse building, driveway extension and associated parking lot, and drainage and landscape improvements. This will be the third public hearing for the project. Attached please find is the proposed site improvements and revised building elevations.

EXISTING USE/CONDITIONS:

Map 14 Lot 10 is a 1.376 acre partially developed lot consisting of a two-family dwelling located along southwestern portion of the property. The remainder of the property contains open grassed areas with varying vegetation along the eastern, northern, and western perimeter. The property contains more than 234 feet of frontage on Old Wilton Road and is accessed by way of an existing driveway servicing the multi-family residential use. The topology of the property is relatively flat sloping down slightly to the south. To the north, south, and west, lies the Boston and Maine Corporation (train tracks) and the Hendrix Wire and Cable Company, and commercial storage units. A single-family residence is located to the east.

LOT AREA:

Map 14 Lot 10 = ±1.376 acres (59,939 sq.ft.)

APPLICATION STATUS:

The application was accepted as complete on February 27, 2018. At that meeting, the Board also determined that the project presented no regional impact.

NOTICES:

Notices were sent to all property abutters on January 12, 2018.

WAIVERS:

No waivers requested.

ZONING DISTRICTS:

The subject properties lie within the Industrial District and West Elm Gateway Overlay District. The intent of the Industrial District is to provide areas for manufacturing, processing, assembly, wholesaling, research and development. The intent of the West Elm Gateway District is to encourage economic development by enhancing, preserving and protecting the natural, historic and cultural resources of the Town. The property also lies within the Groundwater Protection District I. A warehouse is a permitted use as of right.

TRAFFIC AND ACCESS MANAGEMENT:

Access/Egress from the warehouse would be from a shared driveway with the residential use off of Old Wilton

Road. The location of the driveway will provide for sufficient sight distance.

DRAINAGE / STORMWATER MANAGEMENT:

Stormwater and drainage associated with the industrial warehouse and paved areas will be managed through the construction and installation of a retention area. The revised stormwater and drainage analysis was recently submitted and is under review. Comments involving drainage and stormwater management will be provided prior to the meeting.

LANDSCAPE DESIGN:

The submitted application included a partial landscape design in accordance with the Development Regulations, Section 6.08 Landscaping Standards and the Zoning Ordinance, Section 6.07 West Elm Street Gateway District (and associated West Elm Street Gateway District Design Guidelines). The applicant submitted a revised landscape design that meets the intent of the Development Regulations and West Elm Street Overlay District. The landscape plan provides sufficient visual mitigation of the industrial building along Elm Street and the surrounding residences. However, the site plan will need to be revised to include details and notes related to the installation and maintenance of the plantings.

BUILDING ELEVATIONS:

The applicant submitted conceptual building/architectural elevations for discussion at the February 27, 2018 meeting. After a brief discussion, the Board requested that the applicant resubmit the building elevation to meet the intent of the Development Regulation and the Zoning Ordinance, Section 6.07 West Elm Street Gateway District (and associated West Elm Street Gateway District Design Guidelines). Since the last meeting, the applicant submitted the requested revised elevations for Board review and comment. See attached.

INTERDEPARTMENT REVIEWS:

Ambulance: No comments

Assessing: No comments.

Building Department: No comments

Code Enforcement/Health: No comments.

Conservation Commission: No further comments.

Environmental Coordinator: A revised stormwater and drainage analysis was recently submitted and is under review. Comments involving drainage and stormwater management will be provided prior to the meeting.

Fire Department: No comments

Heritage Commission: No further comments

Police Department: No comments

Public Works: No comments

Water/Sewer Utilities: No comments

Zoning Administrator: No comments

Community Development / Planning:

1. Sheet 2. Please provide building elevations. The applicant is strongly encouraged to review the Zoning Ordinance, Section 6.07 West Elm Street Overlay District for applicable design standards relating to building orientation, massing, access management, architectural features, etc. when

submitting the final building elevations.

Partially Addressed. The applicant submitted revised elevations of the proposed warehouse building. See attached building elevations. The Board will need to determine if the structure meets the intent of the West Elm Street Overlay District. The applicant submitted a revised landscape design that meets the intent of the Development Regulations and West Elm Street Overlay District. The landscape plan provides sufficient visual mitigation of the industrial building along Elm Street and the surrounding residences.

2. General Comment. The submitted application and plan included a partial landscape design in accordance with the Development Regulations, Section 6.08 Landscaping Standards and the Zoning Ordinance, Section 6.07 West Elm Street Gateway District (and associated West Elm Street Gateway District Design Guidelines).
 - a. Please revise the plans to include a landscape design in compliance with the Development Regulations and or submit waiver (with narrative) seeking relief from the said Section.
 - b. Consideration must be given to the abutting residential properties to the South and East when designing a landscape plan and providing the required visual buffer.
 - c. Screening along the building the property frontage on Elm Street will be required.

Partially Addressed. The applicant submitted a revised landscape design that meets the intent of the Development Regulations and West Elm Street Overlay District. The landscape plan provides sufficient visual mitigation of the industrial building along Elm Street and the surrounding residences. However, the site plan will need to be revised to include details and notes related to the installation and maintenance of the plantings.

3. General Comment. Given that the property lies within the West Elm Street Overlay District and in proximity to an abutting residential use, the plan should be revised to provide appropriate method of visually mitigating the areas for outside storage of materials, parking areas, and industrial building.
Addressed.

STAFF RECOMMENDATIONS:

The applicant should be prepared to address all of the comments raised by the Planning Board, Conservation Commission, Town Consultants, Staff, and public pertaining to the Site Plan Final Design and revise the plans/information accordingly. Staff recommends conditional approval of the site plan application with the following conditions:

1. Final review and approval of the drainage and stormwater management design by the Environmental Coordinator.
2. Review and approval of the Milford Stormwater Permit by the Environmental Coordinator.
3. Final resolution and approval of the building elevations by the Planning Board.

SITE DEVELOPMENT PLANS

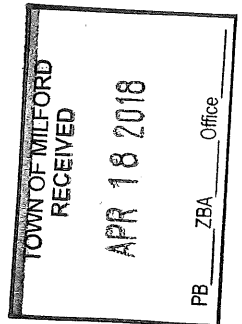
INDUSTRIAL DEVELOPMENT

TAX MAP 14, LOT 10-21 OLD WILTON ROAD

MILFORD, NEW HAMPSHIRE

DATE: OCTOBER 31, 2017

REVISED: FEBRUARY 9, 2018



TOWN OF MILFORD CONTACTS:

1. COMMUNITY DEVELOPMENT:
TOWN HALL
1 UNION SQUARE
MILFORD, NH 03055

ATT: LINCOLN DALEY
COMMUNITY DEV. DIRECTOR
(603) 249-0620

2. DEPARTMENT OF PUBLIC WORKS:
269 SOUTH STREET
MILFORD, NH 03055

ATT: RICK RIENDEAU
PUBLIC WORKS DIRECTOR
(603) 673-1662

3. FIRE DEPARTMENT:
39 SCHOOL STREET
MILFORD, NH 03055

ATT: JACK KELLY
FIRE CHIEF
(603) 249-0680

UTILITY CONTACTS:

1. WATER & SEWER:
PUBLIC WORKS DEPT.
584 NASHUA STREET
MILFORD, NH 03055
ATT: DAVE BOUCHER
WATER UTILITIES DIRECTOR
(603) 249-0660

2. GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03101

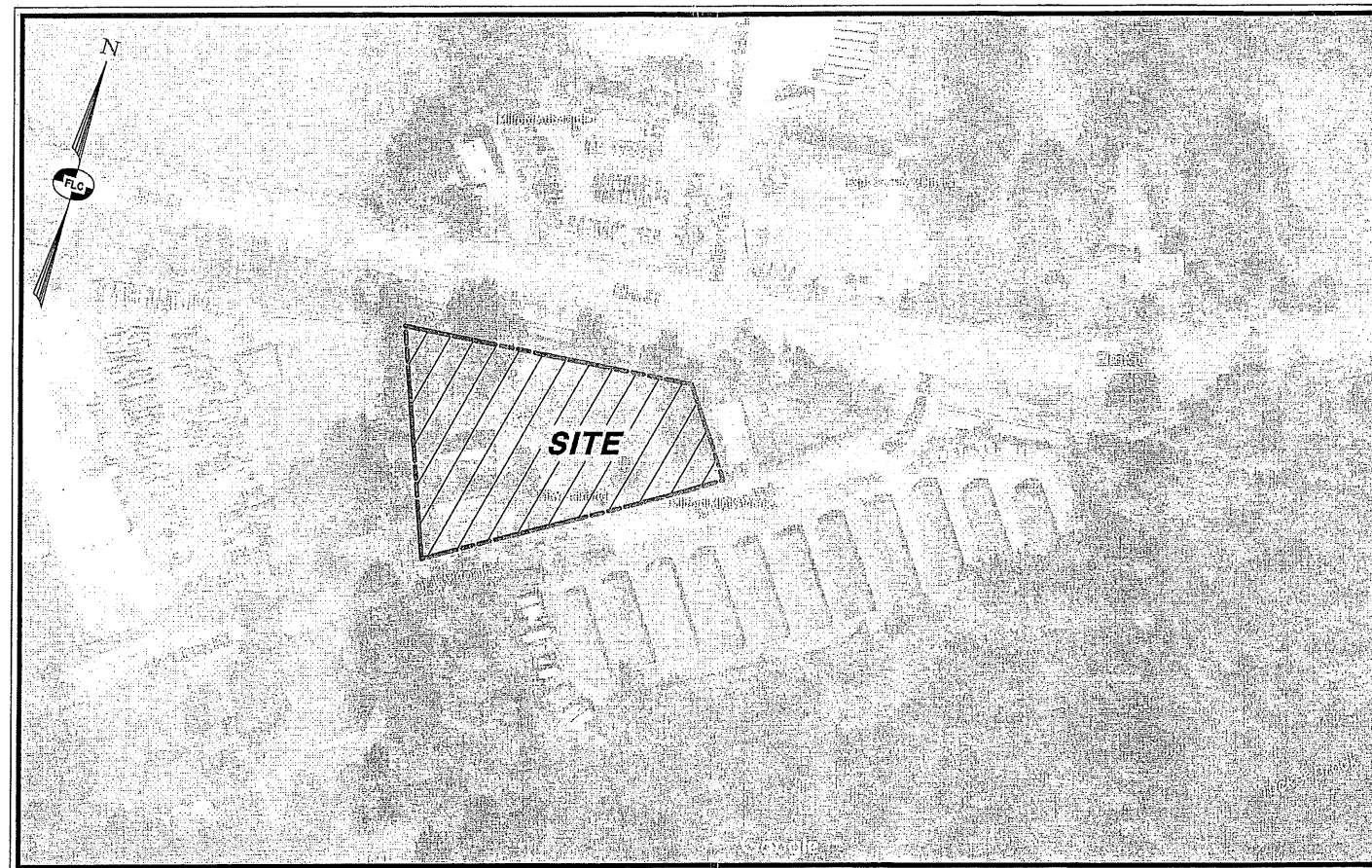
ATTN: RYAN LAGASSE
(603) 327-7151

3. TELEPHONE:
FAIRPOINT COMMUNICATIONS
237 DANIEL WEBSTER HWY.
MERRIMACK, NH 03054

ATTN: ROBERTO DIAZ
(603) 595-1150

4. POWER:
EVERSOURCE OF NH
P.O. BOX 330
MANCHESTER, NH 03105-0330

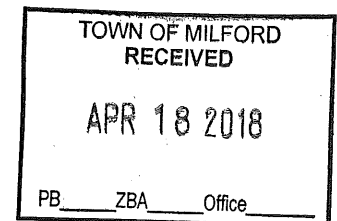
ATTN: ALAN LEBORGNE
(603) 634-2044



1"=100'±

SHEET INDEX

PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	SP-1	SITE LAYOUT PLAN
3	EX-1	EXISTING CONDITIONS PLAN
4	GR-1	GRADING AND UTILITIES PLAN
5	LS-1	SITE LANDSCAPING PLAN
6	LT-1	SITE LIGHTING PLAN
7	DT-1	CONSTRUCTION DETAILS
8	DT-2	EROSION CONTROL DETAILS



I, THE UNDERSIGNED, HAVE REVIEWED THIS PLAN
AND DO HEREBY AGREE THAT THIS PLAN REPRESENTS
LOT 14-10 AS KNOWN AND THAT ALL PROPOSED
IMPROVEMENTS SHOWN HEREON MEET MY APPROVAL.

Ronald L. Racicot
OWNER OF PARCEL 14-10

DATE

PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD,
LYNDEBOROUGH, NH 03082-6134.

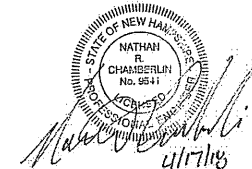
APPROVED

MILFORD, NH PLANNING BOARD

SUBDIVISION #: _____

DATE APPROVED: _____

SIGNED: _____



B	04/17/18	BUILDING SIZE, LANDSCAPING PLAN		NRC	CEB
A	02/9/18	ADDRESS 1/16/18 STAFF REVIEW MEMO	MCD	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK
FILE: 545CV01C.dwg	PROJ. NO. 545.01	SHEET: CV-1	PAGE NO. 1	OF 8	

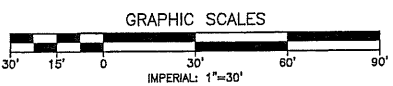
LEGEND:
EXISTING FEATURES

- 14-10 TAX MAP AND LOT NUMBER
- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- ADJUTING LOT LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL ROAD
- OH OVERHEAD UTILITIES
- S SEWER LINE
- DRAIN LINE
- CHAIN LINK FENCE
- STOCKADE FENCE
- 305 5' CONTOUR INTERVAL
- 303 1' CONTOUR INTERVAL
- TREE LINE
- GRANITE BOUND FOUND
- SEWER MANHOLE
- DRAIN MANHOLE
- MANHOLE
- CATCH BASIN
- SINGLE POST SIGN
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- UTILITY POLE AND CUY WIRE
- BUILDING

- PROPOSED FEATURES
- EDGE OF GRAVEL (PAVEMENT OPTIONAL)
- WALL MOUNTED LIGHT
- SIGN
- HANDICAP PARKING STALL
- TRAFFIC FLOW
- NUMBER OF PARKING SPACES
- SEWER SERVICE CLEAN OUT
- RISER POLE
- WATER SHUT-OFF
- LIMITS OF CLEARING
- GRAVEL AREA (PAVEMENT OPTIONAL)

14-9
HENDRIX WIRE & CABLE INC.
53 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 5718 PG 351 5/16/96
(31 OLD WILTON RD.)
(SEE REF.PLAN#1)

38-6
HENDRIX WIRE & CABLE INC.
53 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 5951 PG 1634 5/8/98
(RT.101 BY-PASS)



CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
IT'S SMART, IT'S FREE, IT'S THE LAW
DigSafe

REFERENCE PLANS:

1. "ALTA/ACSM URBAN - LAND TITLE SURVEY - CONDUCTRON CORPORATION - MILFORD, NEW HAMPSHIRE", SCALE 1"=60', DATED JANUARY 25, 1994 AND LAST REVISED MAY 9, 1996, MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN NO.28006.
2. "LAND IN - MILFORD, NEW HAMPSHIRE - TOWN OF MILFORD TO BOSTON & MAINE CORPORATION - AND - BOSTON & MAINE CORPORATION TO TOWN OF MILFORD", SCALE 1"=20', DATED MAY 2, 1995 AND LAST REVISED MAY 5, 1995 BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN NO.28914.
3. "LAND IN - MILFORD, N.H. - BOSTON AND MAINE CORPORATION TO ALFRED EDMOND LAVIGNE - VAL.17 MAP 14 ALL OF PCL.4 - S/15597", SCALE 1"=40', DATED DECEMBER 1864, BY J. BATCHELDER, ENGINEER OF DESIGN, RECORDED IN THE H.C.R.D. AS PLAN NO.2956

7-4
HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK 5708 PG 611 4/11/96
(507 ELM ST.)

7-5-2
GOEN-AUTO, INC.
89 GOEN ROAD
NEW IPSWICH, NH 03071-3821
BK 6490 PG 2486 9/19/01
(6 HOLLOW OAK LN.)

7-5-1
ADAMAC, LLC
116 CORTLAND ROAD
MILFORD, NH 03055-5021
BK 6108 PG 1852 5/28/99
(489 ELM ST.)

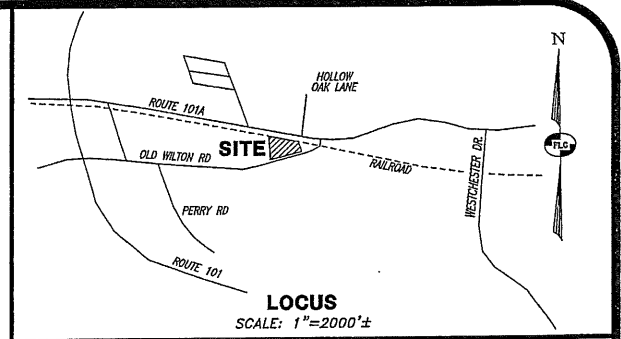
14-11
STEVE H. &
SHERRY A. FOSKETT
11 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 3158 PG 178 5/17/84
(11 OLD WILTON RD.)
(SEE REF.PLAN#2)

14-10
1.376 ACRES
59,939 SQ.FT.

7-16
LISA H. & THOMAS M. CONRAD, TRUSTEE
LISA H. CONRAD REV. TRUST
4 PILGRIM DRIVE
ORLEANS, MA 02653-4610
BK 8556 PG 2769 5/2/13
(16 OLD WILTON RD.)

APPROVED

MILFORD, NH PLANNING BOARD
SITE PLAN #:
DATE APPROVED:
SIGNED:



GENERAL NOTES:

1. THE OWNERS OF RECORD FOR TAX MAP PARCEL 14-10 ARE RONALD L. AND LOREEN M. RACICOT, 70 PUTNAM HILL ROAD, LYNDENBOROUGH, NH 03082-6134. DEED REFERENCE TO PARCEL IS VOL.8519 PG.1961 DATED JANUARY 24, 2013 IN THE H.C.R.D.
2. THE TOTAL AREA OF TAX MAP PARCEL 14-10 IS 59,939 SQ. FT. OR 1.376 ACRES. LOT FRONTAGE IS 347.73' ALONG OLD WILTON ROAD.
3. ZONING FOR THE ENTIRE PARCEL IS (I) INDUSTRIAL. MINIMUM LOT SIZE= NONE FOR LAND SERVICED BY MUNICIPAL SEWER AND WATER. MINIMUM LOT FRONTAGE= NONE. MINIMUM BUILDING SETBACKS= 30 FT FRONT, 15 FT. SIDE AND REAR.
4. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. VERTICAL DATUM IS ASSUMED. THE REFERENCE BENCHMARK IS THE TOP OF A GRANITE BOUND FOUND AT THE SOUTHWEST CORNER OF THE LOT ALONG OLD WILTON ROAD - ELEVATION=300.00'.
5. THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ONSITE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF DECEMBER 2015 TOGETHER WITH THE REFERENCE PLANS CITED HEREON.
6. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
7. THERE ARE NO JURISDICTIONAL WETLANDS ON-SITE PER FIELD INVESTIGATION.
8. BASED ON A FIELD INSPECTION THE ENTRANCE TO THE SITE SATISFIES THE MILFORD MINIMUM SAFE SITE DISTANCE REQUIREMENTS.
9. THE SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
10. THE PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FEMA F.I.R.M. PANEL 33011C0454D DATED SEPTEMBER 25, 2009.
11. THE SUBJECT PARCEL IS LOCATED IN THE LEVEL 1 GROUNDWATER PROTECTION ZONE AND THE WEST ELM STREET OVERLAY DISTRICT.
12. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN DEED RESTRICTIONS ON THE PROPERTY OTHER THAN THOSE SHOWN IF ANY.

TOWN OF MILFORD
RECEIVED
APR 18 2018
PB ZBA Office

B	04/17/18	BUILDING SIZE, LANDSCAPING PLAN		NRC	CEB
A	02/9/18	ADDRESS 1/16/18 STAFF REVIEW MEMO	MCD	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE LAYOUT PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNAM HILL ROAD, LYNDENBOROUGH, NH 03082-6134.

SCALE: 1" = 30' OCTOBER 31, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

PROPOSED NOTES:

- A. THE PURPOSE OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A PROPOSED WAREHOUSE BUILDING FOR SON'S CHIMNEY SERVICE AND STOVE SHOP WITH ASSOCIATED SITE IMPROVEMENTS ON TAX MAP PARCEL 14-10 AS SHOWN. THE PROPOSED BUILDING WILL PROVIDE WAREHOUSING SPACE FOR SON'S CHIMNEY SERVICE AND STOVE SHOP WHICH IS LOCATED AT 50 NASHUA STREET JUST OFF THE OVAL.
- B. PARKING REQUIREMENTS:
PROPOSED WAREHOUSE
1 SPACE / 1000 SF = (1)(2,9) = 3 SPACES REQUIRED
TOTAL PARKING PROVIDED = 3 SPACES INCLUDING 1 HANDICAP SPACE
- C. THERE IS NO PROPOSED PROJECT SIGNAGE AT THIS TIME. ANY PROPOSED SIGNS WILL REQUIRE A SIGN PERMIT FROM THE MILFORD BUILDING DEPARTMENT.
- D. "OPEN SPACE" AREA FOR TAX MAP PARCEL 14-10 IS 44,535 SQ.FT. OR 74.3% OF THE TOTAL PARCEL AREA. MINIMUM REQUIREMENT IS 30%.
- E. THE PROPOSED BUILDING IS SUBJECT TO POLICE IMPACT FEES WHICH ARE TO BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION.
- F. ALL EXTERIOR LIGHTING SHALL BE DOWNCAST PER THE MILFORD DEVELOPMENT REGULATIONS.
- G. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- H. WATER, SEWER, ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- I. SON'S CHIMNEY SERVICE AND STOVE SHOP HAS BEEN UTILIZING THE EXISTING BARN ON THE PROPERTY FOR STORAGE SO THIS PROPOSAL WILL NOT INTRODUCE ANY NEW TRAFFIC TO THE AREA OR SITE.

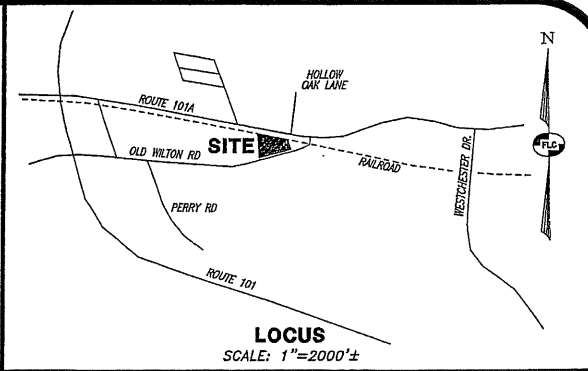
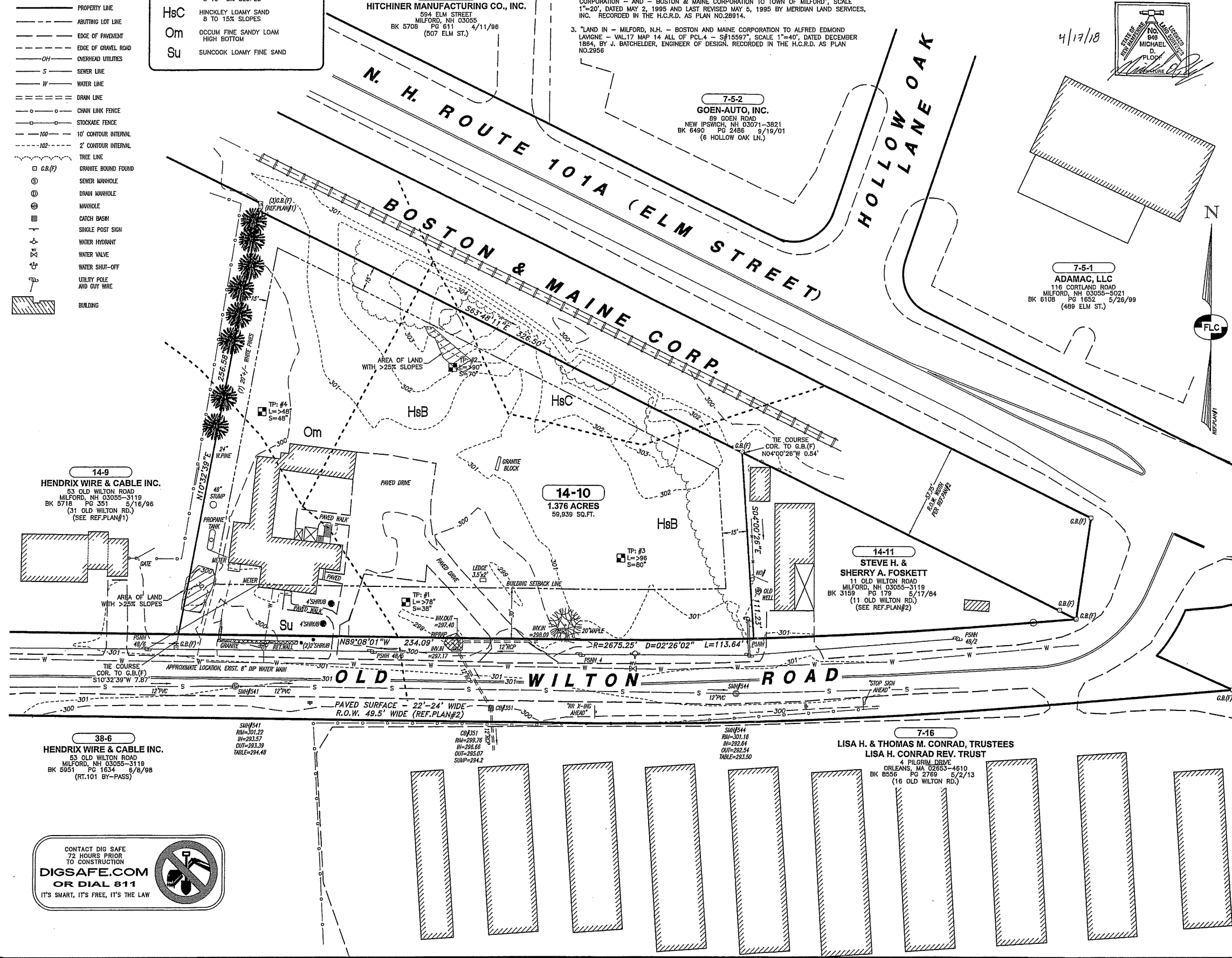
- LEGEND:**
EXISTING FEATURES
- 14-10 TAX MAP AND LOT NUMBER
 - RIGHT-OF-WAY SIDELINE
 - PROPERTY LINE
 - ABUTTING LOT LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL ROAD
 - OH OVERHEAD UTILITIES
 - S SEWER LINE
 - W WATER LINE
 - DRAIN LINE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - TRIE LINE
 - G.B.(f) GRANITE BOUND FOUND
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - MANHOLE
 - CATCH BASIN
 - SINGLE POST SIGN
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - UTILITY POLE AND GUY WIRE
 - BUILDING

NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

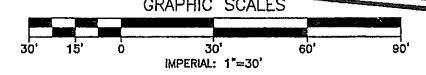
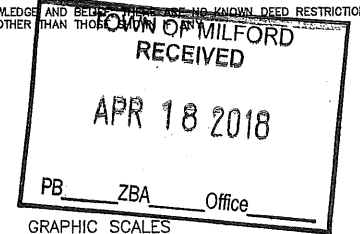
- HsB HINCKLEY LOAMY SAND 3 TO 8% SLOPES
- HsC HINCKLEY LOAMY SAND 8 TO 15% SLOPES
- Om OCCUM FINE SANDY LOAM HIGH BOTTOM
- Su SUNCOOK LOAMY FINE SAND

- REFERENCE PLANS:**
- "ALTA/ACSM URBAN - LAND TITLE SURVEY - CONDUCTION CORPORATION - MILFORD, NEW HAMPSHIRE, SCALE 1"=60', DATED JANUARY 25, 1984 AND LAST REVISED MAY 9, 1996, BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN NO.28006.
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 - "LAND IN - MILFORD, N.H. - BOSTON AND MAINE CORPORATION TO ALFRED EDMOND LAVIGNE - VAL.17 MAP 14 ALL OF PCL.4 - S#15597", SCALE 1"=40', DATED DECEMBER 1884, BY J. BATCHELDER, ENGINEER OF DESIGN, RECORDED IN THE H.C.R.D. AS PLAN NO.2956

CERTIFICATION:
"I HEREBY CERTIFY THAT THE EXISTING CONDITIONS SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF DECEMBER 2015."



- NOTES:**
- THE OWNERS OF RECORD FOR TAX MAP PARCEL 14-10 ARE RONALD L. AND LOREEN M. RACICOT, 70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134. DEED REFERENCE TO PARCEL IS VOL.8519 PG.1961 DATED JANUARY 24, 2013 IN THE H.C.R.D.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF TAX MAP PARCEL 14-10 AS SHOWN.
 - THE TOTAL AREA OF TAX MAP PARCEL 14-10 IS 59,839 SQ. FT. OR 1.376 ACRES. LOT FRONTAGE IS 347.73' ALONG OLD WILTON ROAD.
 - ZONING FOR THE ENTIRE PARCEL IS (I) INDUSTRIAL.
MINIMUM LOT SIZE= NONE FOR LAND SERVICED BY MUNICIPAL SEWER AND WATER.
MINIMUM LOT FRONTAGE= NONE
MINIMUM BUILDING SETBACKS= 30 FT FRONT, 15 FT. SIDE AND REAR.
THE SUBJECT PROPERTY IS ALSO LOCATED IN THE WEST ELM STREET OVERLAY DISTRICT.
 - HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. VERTICAL DATUM IS ASSUMED. THE REFERENCE BENCHMARK IS THE TOP OF A GRANITE BOUND FOUND AT THE SOUTHWEST CORNER OF THE LOT ALONG OLD WILTON ROAD - ELEVATION=300.00'
 - THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ONSITE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF DECEMBER 2015 TOGETHER WITH THE REFERENCE PLANS CITED HEREON.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 - THERE ARE NO JURISDICTIONAL WETLANDS ON-SITE PER FIELD INVESTIGATION.
 - BASED ON A FIELD INSPECTION THE ENTRANCE TO THE SITE SATISFIES THE MILFORD MINIMUM SAFE SITE DISTANCE REQUIREMENTS OF 300 FEET.
 - THE PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FEMA F.I.R.M. PANEL 33011C0454D DATED SEPTEMBER 25, 2009.
 - THE SUBJECT PARCEL IS LOCATED IN THE LEVEL 1 GROUNDWATER PROTECTION OVERLAY ZONE AND THE WEST ELM STREET OVERLAY DISTRICT.
 - TO THE BEST OF MY KNOWLEDGE AND BELIEF THERE ARE NO KNOWN DEED RESTRICTIONS ON THE PROPERTY OTHER THAN THOSE SHOWN ON THIS PLAN.



C	4/17/18	SHEET NUMBERS		MDP	CEB
B	2/9/18	REV'S PER STAFF REVIEW		MDP	CEB
A	1/22/17	ADDRESS 1/16/18 STAFF REVIEW MEMO		MDP	MDP
REV.	DATE	DESCRIPTION	C/O	DR	CK

EXISTING CONDITIONS PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134.

SCALE: 1" = 30' FEBRUARY 16, 2017

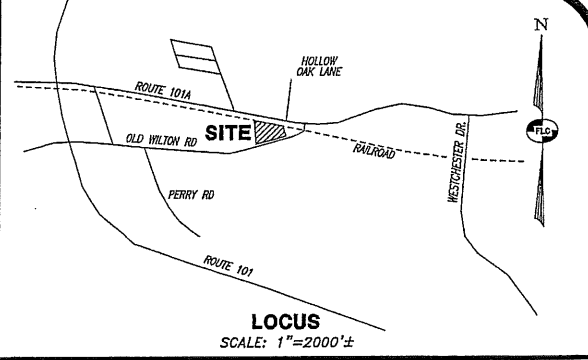
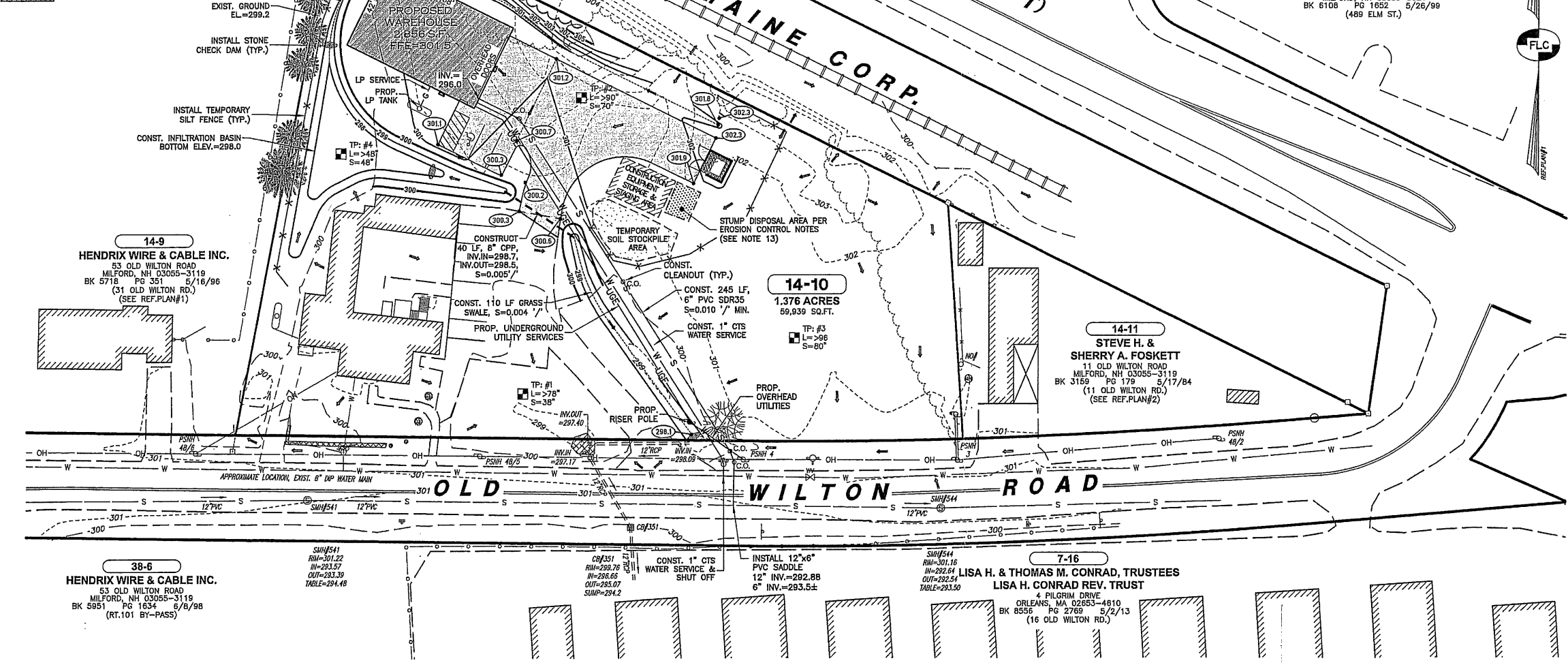
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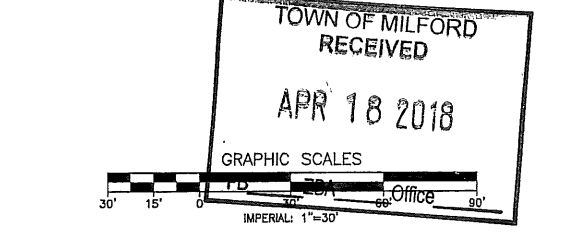
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

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- LEGEND:**
- | EXISTING FEATURES | PROPOSED FEATURES |
|------------------------------|---------------------------------------|
| 14-10 TAX MAP AND LOT NUMBER | 300 5 FT. CONTOUR |
| RIGHT-OF-WAY SIDELINE | 301 1 FT. CONTOUR |
| PROPERTY LINE | 300.2 SPOT ELEVATION |
| ABUTTING LOT LINE | OH EDGE OF GRAVEL (PAVEMENT OPTIONAL) |
| EDGE OF PAVEMENT | OH OVERHEAD UTILITIES |
| EDGE OF GRAVEL ROAD | U- UNDERGROUND UTILITIES |
| OH OVERHEAD UTILITIES | G GAS LINE |
| S SEWER LINE | W WATER LINE |
| DRAIN LINE | S SEWER LINE |
| CHAIN LINK FENCE | o.c.o. SEWER SERVICE CLEAN OUT |
| STOCKADE FENCE | riser pole |
| 305 5' CONTOUR INTERVAL | water shut-off |
| 303 1' CONTOUR INTERVAL | wall mounted light |
| TREE LINE | handicap parking stall |
| GRANITE BOUND FOUND | stone check dam |
| SEWER MANHOLE | limits of clearing |
| DRAIN MANHOLE | swale/gutter line |
| MANHOLE | drainage flow arrow |
| CATCH BASIN | temporary silt fence |
| SINGLE POST SIGN | gravel area (pavement optional) |
| WATER HYDRANT | |
| WATER VALVE | |
| WATER SHUT-OFF | |
| UTILITY POLE AND GUY WIRE | |
| BUILDING | |



- GENERAL CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF MILFORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF MILFORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINAGE AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (81).
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE MUNICIPAL DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF MILFORD FIRE DEPARTMENT REGULATIONS.
 - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
 - ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 - ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
 - ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
 - STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH TOWN OF MILFORD SPECIFICATIONS.
 - THE STUMP DISPOSAL, SOIL STOCKPILE AND CONSTRUCTION VEHICLE STORAGE AREAS SHOWN ARE TEMPORARY AND FOR CONSTRUCTION PURPOSES ONLY. THE AMOUNT OF STUMPS RESULTING FROM THE PROPOSED CONSTRUCTION WILL BE MINIMAL.



B	04/17/18	BUILDING SIZE, LANDSCAPING PLAN	MCD	NRC	CEB
A	02/9/18	ADDRESS 1/16/18 STAFF REVIEW MEMO	C/O	DR	CK
REV.	DATE	DESCRIPTION			

GRADING & UTILITY PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134.

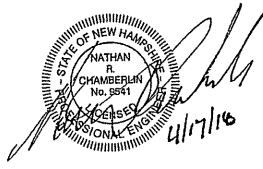
SCALE: 1" = 30' OCTOBER 31, 2017

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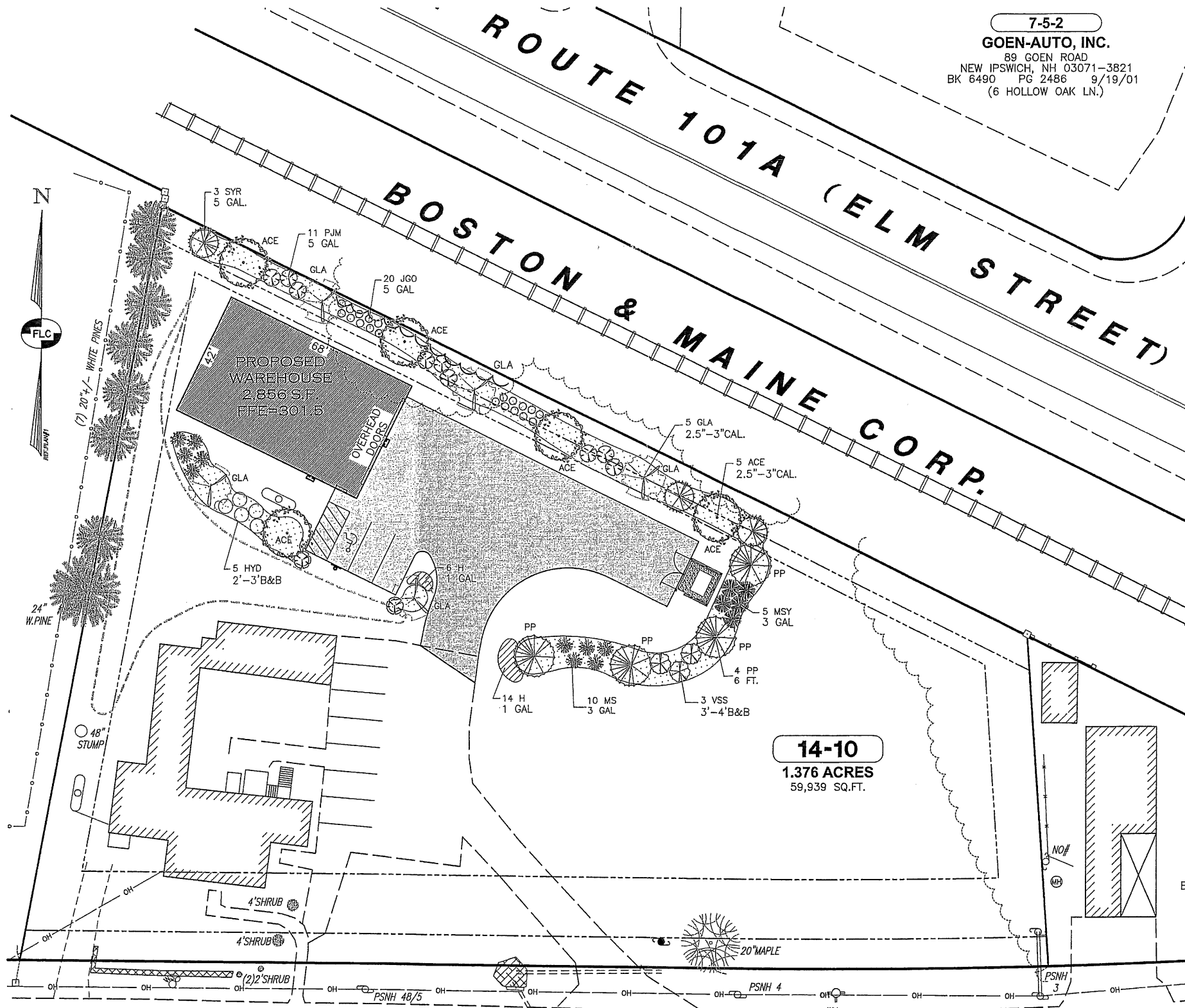
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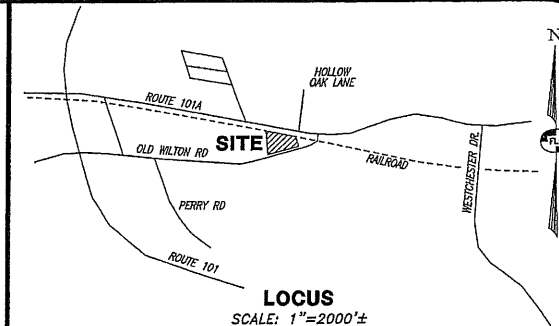
LEGEND:
EXISTING FEATURES

- 14-10** TAX MAP AND LOT NUMBER
- RIGHT-OF-WAY SIDELINE
 - PROPERTY LINE
 - ABUTTING LOT LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL ROAD
 - OH OVERHEAD UTILITIES
 - S SEWER LINE
 - DRAIN LINE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - 305 5' CONTOUR INTERVAL
 - 303 1' CONTOUR INTERVAL
 - TREE LINE
 - GRANITE BOUND FOUND
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - MANHOLE
 - CATCH BASIN
 - SINGLE POST SIGN
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - UTILITY POLE AND GUY WIRE
 - BUILDING

- PROPOSED FEATURES**
- EDGE OF GRAVEL (PAVEMENT OPTIONAL)
 - WALL MOUNTED LIGHT
 - SIGN
 - HANDICAP PARKING STALL
 - TRAFFIC FLOW
 - NUMBER OF PARKING SPACES
 - SEWER SERVICE CLEAN OUT
 - RISER POLE
 - WATER SHUT-OFF
 - LIMITS OF CLEARING
 - GRAVEL AREA (PAVEMENT OPTIONAL)



7-5-2
GOEN-AUTO, INC.
89 GOEN ROAD
NEW IPSWICH, NH 03071-3821
BK 6490 PG 2486 9/19/01
(6 HOLLOW OAK LN.)



PLANT SYMBOLS

SYMBOL	PLANTING LIST:	QUANTITY	SIZE
TREES	ACER RUBRUM (RED SUNSET MAPLE)	5	2.5"-3" CAL.
ACE	GLEDTISIA T.I. (SHADEMASTER HONEYLOCUST)	5	2.5"-3" CAL.
GLA	PICEA PUNGENS 'HOOPSII' (HOOPS SPRUCE)	4	6'-8'
PP	SHRUBS		
HYD	HYDRANGEA PANICULATA TARDIVA (HYDRANGEA)	5	2'-3" B&B
JGO	JUNIPERUS CHINENSIS (GREY OWL JUNIPER)	20	5' GAL.
VSS	VIBURNUM P.T. (SUMMER SNOWFLAKE VIBURNUM)	3	3'-4" B&B
SYR	SYRINGA PATULA (MISS KIM LILAC)	3	5' GAL.
PJM	RHODODENDRON (PJM SPECIES)	11	5' GAL.
ORNAMENTAL GRASSES			
MS	MISCANTHUS SINENSIS 'LITTLE ZEBRA' (DWARF ZEBRA GRASS)	10	3' GAL.
MSY	MISCANTHUS SINENSIS 'YAKUSHIMA' (DWARF MAIDEN GRASS)	5	3' GAL.
PERENNIALS			
H	HEMEROCALLIS (DAYLILY)	20	1' GAL.

MISCELLANEOUS:
GENERAL LAWN SEED (BLUE SEAL LAWN MIX 11-A) OR EQUAL
RESTORATION SEED MIX: ERNMIX-181: NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (OR EQUAL), ERNST SEEDS, 8884 Mercer Pike, Meadville PA 16335 (800) 873-3321
DETENTION SEED MIXTURE: ERNMIX-126: RETENTION FLOOR MIX (OR EQUAL), ERNST SEEDS, 8884 Mercer Pike, Meadville PA 16335 (800) 873-3321
PREMIUM BLEND PINE/HEMLOCK BARK MULCH

TOWN OF MILFORD
RECEIVED
APR 18 2018
PB ZBA Office

B	04/17/18	BUILDING SIZE, LANDSCAPING PLAN	NRC	CEB
A	02/9/18	ADDRESS 1/16/18 STAFF REVIEW MEMO	MCD	NRC
REV.	DATE	DESCRIPTION	C/O	DR

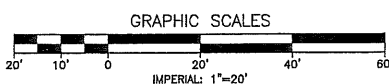
SITE LANDSCAPING PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-8134.

SCALE: 1" = 20' APRIL 17, 2018

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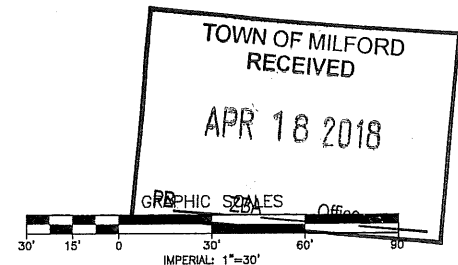
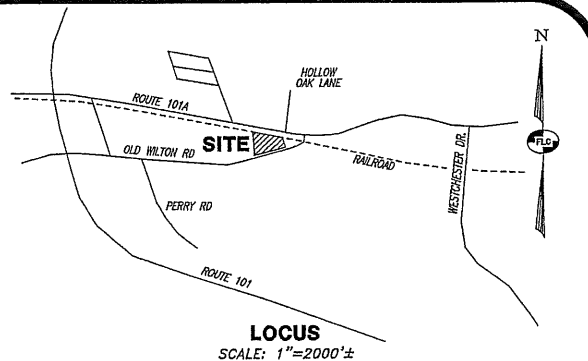
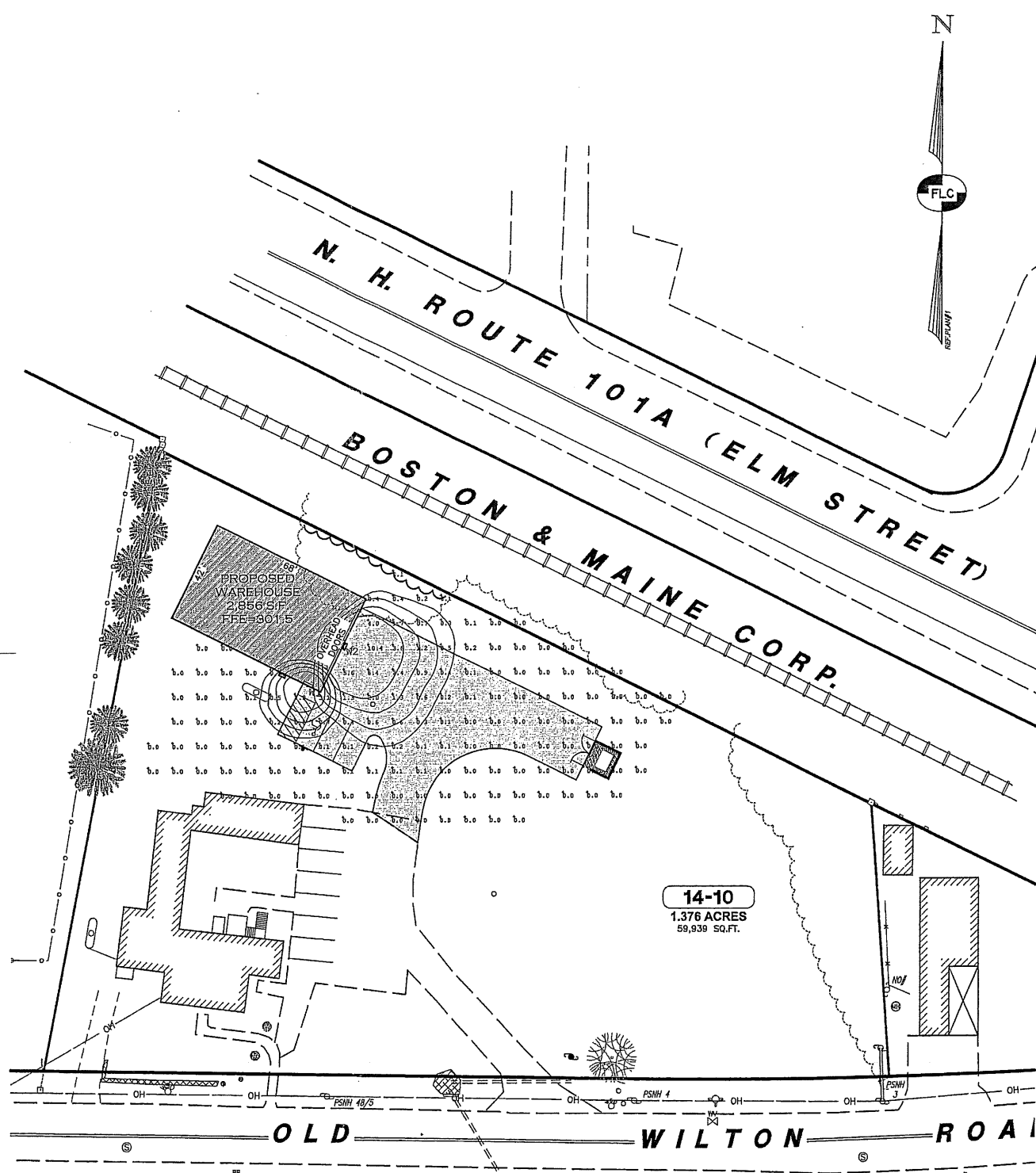
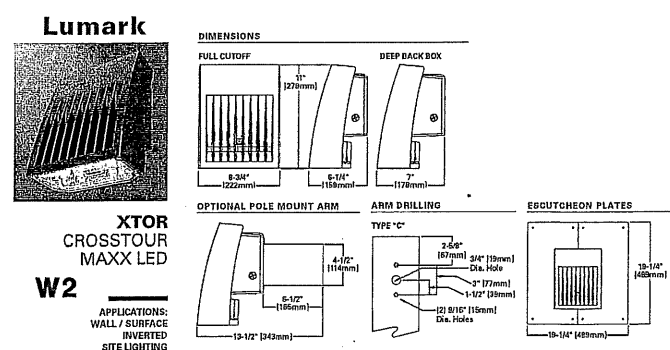
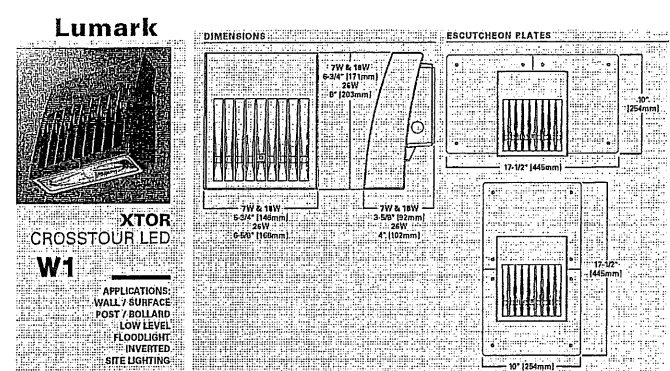


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STATE OF NEW HAMPSHIRE
NATHAN
CHAMBERLAIN
No. 545
4/17/18

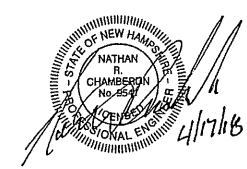
- LEGEND:**
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 - LIMITS OF CLEARING
 - GRAVEL AREA (PAVEMENT OPTIONAL)



StatArea 1
NEW DRIVE AND PARKING AREA
Illuminance (Fc)
Average = 0.96
Maximum = 10.4
Minimum = 0.0
Avg/Min Ratio = N.A.
Max/Min Ratio = N.A.

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
W1	1	W1	SINGLE	XTOR1B/ WALL MTD ABOVE MAN DOOR
W2	1	W2	SINGLE	XTOR6B/ WALL MTD ABOVE GARAGE DOOR



B	04/17/18	BUILDING SIZE, LANDSCAPING PLAN		NRC	CEB
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REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE LIGHTING PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134.

SCALE: 1" = 30' OCTOBER 31, 2017

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NOTES:
1. MINIMUM SIZE PIPED SEWER SERVICE SHALL BE 8 INCHES.
2. PIPE AND JOINT MATERIALS

A. PLASTIC SEWER PIPE

1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARD	GENERIC PIPE MATERIAL	SIZE
D3034	PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F799	PVC (SOLID WALL)	16" THROUGH 27" (T-1 & T-2)
F798	PVC (SOLID WALL)	28" THROUGH 48" (T-1 TO T-3)
F784	PVC (ROBBER WALL)	8" THROUGH 36"
D2680	ABS (COMPOSITE WALL)	8" THROUGH 15"
F799	PVC (POLY VINYL CHLORIDE)	16" THROUGH 27"
F798	PVC (POLY VINYL CHLORIDE)	28" THROUGH 48"

2. JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.

B. DUCTILE-IRON PIPE, FITTINGS AND JOINTS.

1. DUCTILE-IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536
DUCTILE IRON CASTINGS.
A21.51 DUCTILE IRON PIPE, CENTRICALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.

2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.

3. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.

4. JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.

5. "T" AND "Y" WHERE A "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURER'S INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH (OR OTHER SUCH MATERIAL) AROUND THE JOINT OR APPLYING MORTAR TO HOLD THE CONNECTION AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVEMENTS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED, AS SHOWN IN THE DETAIL, UP TO AND INCLUDING 15" DIAMETER.

6. BUILDING SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL, AS SPECIFIED IN NOTE 10, BEDDING AND RE-ILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH. A CLEANOUT SHALL BE INSTALLED OUTSIDE THE BUILDING (SEE DETAIL) AND A MINIMUM OF ONE (1) EVERY ONE HUNDRED (100) FEET THEREAFTER.

7. TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):

A. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.

B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.

C. DRY FLUORESCENT DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.

8. ILLEGAL CONNECTIONS NOTHING BUT SANITARY WASTE FLOW FROM THE BUILDING TOILETS, SINKS, KITCHEN, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.

9. BUILDING WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.

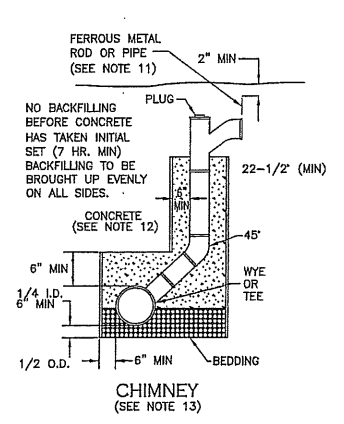
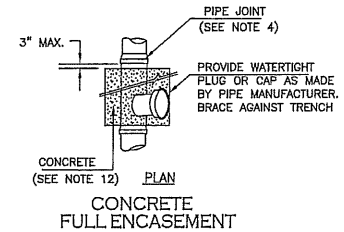
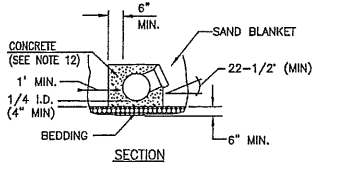
10. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C53-07.
100% PASSING 1 INCH SCREEN
90-100% PASSING 3/4 INCH SCREEN
20-55% PASSING 3/8 INCH SCREEN
0-10% PASSING #4 SIEVE
0-5% PASSING #8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2 TO 12 INCH) SHALL BE USED.

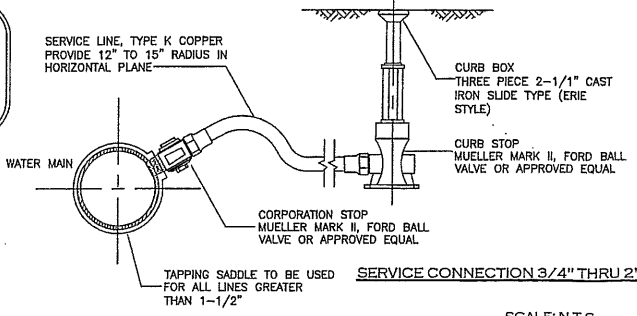
11. LOCATION OF THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y", AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.

12. CONCRETE CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE VT. AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS: CEMENT: 5.0 BAGS/CY. WATER: 2.76 GALS/BAG CEMENT AGGREGATE: 1 INCH MAX.

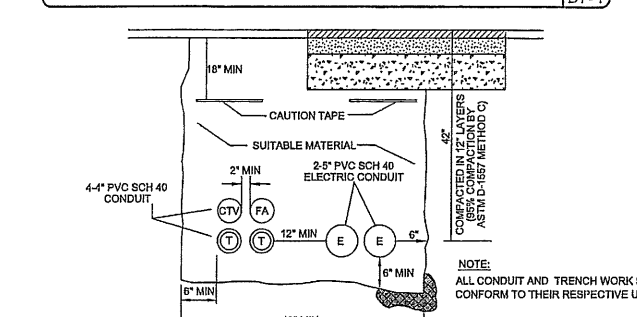
13. CHIMNEYS: IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE BLDG. CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



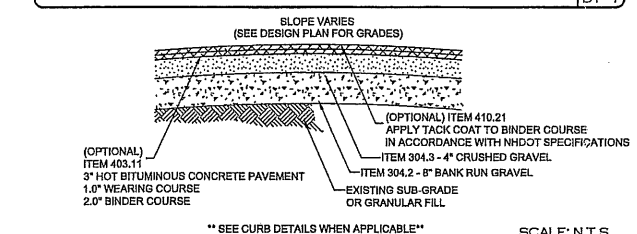
NOTE: SEWER SERVICE INSTALLATION SHALL BE PER TOWN OF MILFORD'S SEWER AND DRAIN STANDARD SPECIFICATIONS



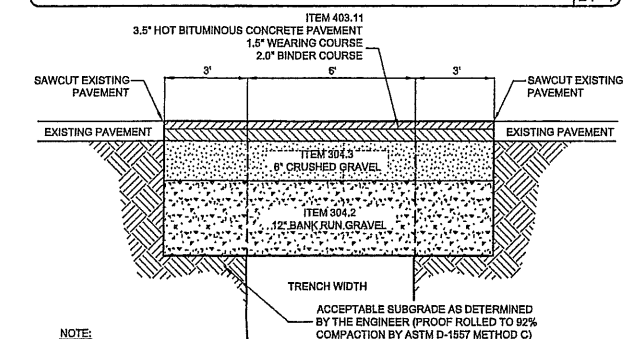
WATER SERVICE CONNECTION DETAILS 2 DT-1



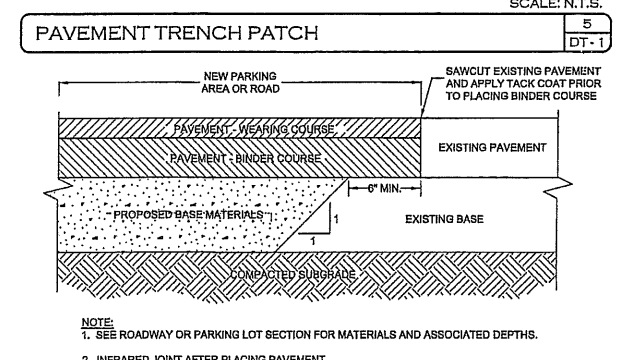
TYPICAL UTILITY TRENCH 3 DT-1



STANDARD DUTY PARKING LOT SECTION 4 DT-1

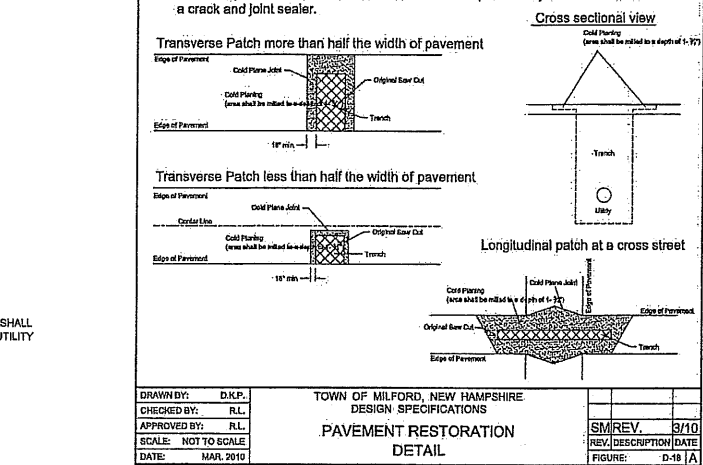


PAVEMENT TRENCH PATCH 5 DT-1

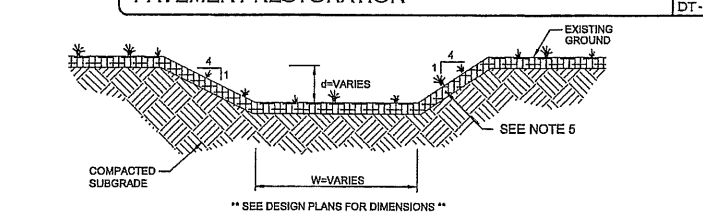


PAVEMENT MATCH 6 DT-1

- Procedures for repairs of trench cuts on City roads
- Pavement shall be sawcut along the ditch line. Any undrained areas that inadvertently develop shall have the projecting pavement saw cut and removed.
 - Trench backfill shall be compacted in exceptional lifts according to Street Opening Permit or approved plans.
 - A 4 inch depth - 3/4" type B hot bituminous patch shall be laid in two (2") inch depth lifts.
 - The patch shall be allowed to settle for a minimum of 60 days (or time determined by Director of DPW).
 - After suitable exposure to traffic compaction as determined by the Director of Public Works, the pavement shall be milled to a depth of 1 3/4" providing a minimum 18 inch overlap onto existing undisturbed pavement.
 - Care must be taken to identify and offset the location of the joint before cold planing.
 - The milled area shall be paved with 7/8" type E hot bituminous pavement meeting NH DOT-401 pavement specifications. The new to old pavement joints shall be sealed with a crack and joint sealer.



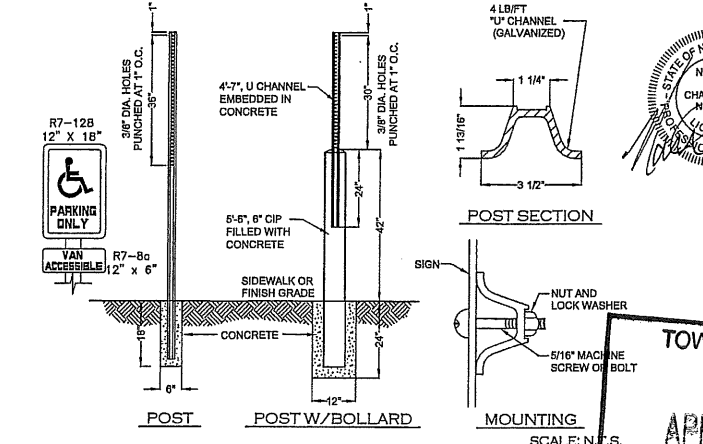
PAVEMENT RESTORATION 7 DT-1



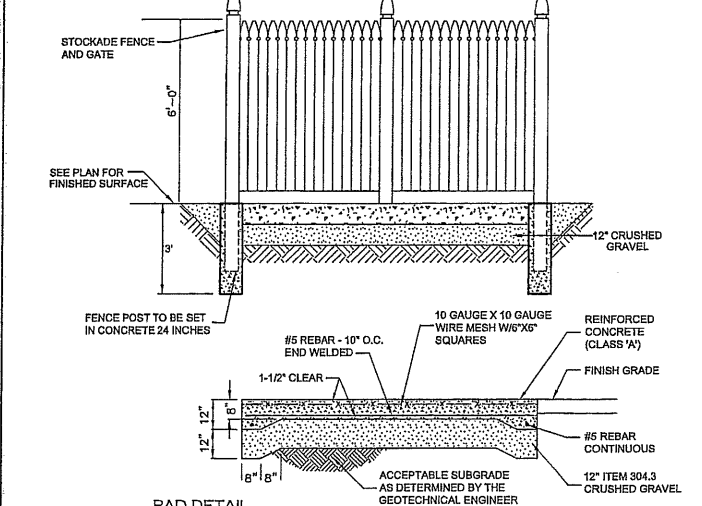
INFILTRATION BASIN SECTION 8 DT-1

- INFILTRATION BASIN CONSTRUCTION NOTES
- REMOVE ALL ORGANIC MATERIAL FROM AREA BELOW PROPOSED INFILTRATION BASINS AND TO EXPOSE UNDERLYING SOILS.
 - CARE SHALL BE TAKEN TO PROTECT THE UNDERLYING SOILS FROM CONSTRUCTION TRAFFIC AND THE DISCHARGE OF SEDIMENT LADEN RUNOFF.
 - ONCE EXCAVATED AND PRIOR TO FILLING, THE UNDERLYING SOILS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH LEVELING DRAG.
 - FILL BELOW THE BASIN AND/OR LEACHING TRENCHES SHALL CONFORM TO THE SPECIFICATIONS FOR NHDOT ITEM 200.1, "GRANULAR BACKFILL".
 - THE BASIN FLOOR OF THE INFILTRATION BASINS SHALL BE PREPARED USING ONE OF THE FOLLOWING METHODS:
- 6" LAYER OF COURSE SAND OR 3/8" PEA GRAVEL;
- GRASS TURF WITH A HIGH INFILTRATION RATE (HIGH SAND CONTENT) THAT CAN BE IRRIGATED FOR OVER 72 HOURS;
- COARSE ORGANIC MATERIAL SUCH AS AN EROSION CONTROL MIX OR COMPOSTED MULCH THAT IS TILLED INTO THE SOIL, SOAKED, AND ALLOWED TO DRY.
 - DO NOT PLACE INFILTRATION BASINS/TRENCHES INTO SERVICE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

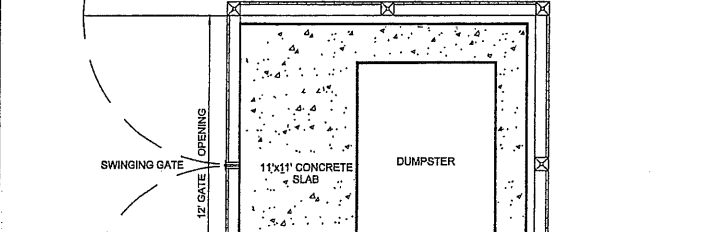
INFILTRATION BASIN SECTION 8 DT-1



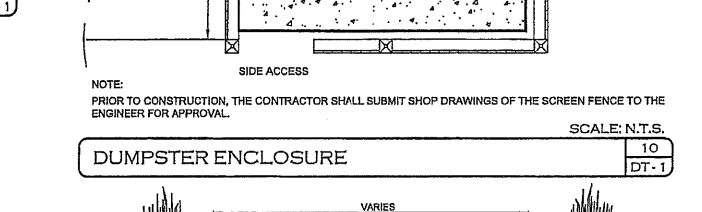
SIGN POST - STANDARD & W/BOLLARD 9 DT-1



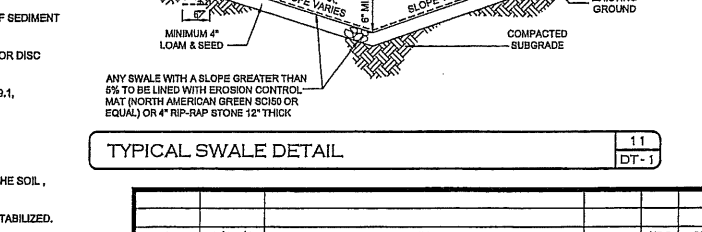
DUMPSTER ENCLOSURE 10 DT-1



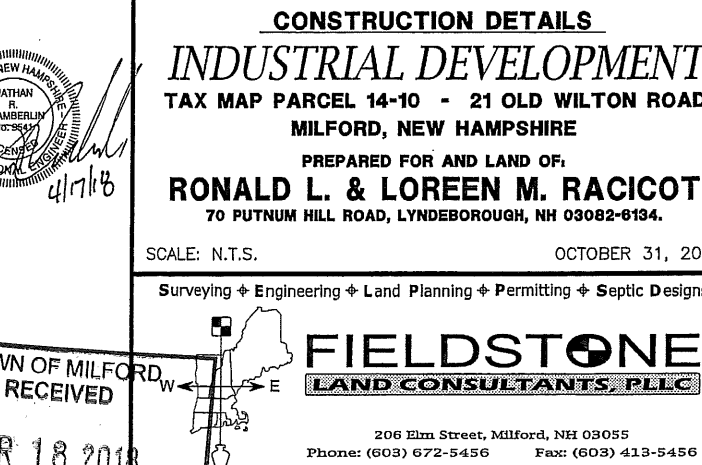
TYPICAL SWALE DETAIL 11 DT-1



TRENCH CROSS-SECTION 12 DT-1



SERVICE CONNECTION BUILDING 13 DT-1



SEWER SERVICE CONNECTION DETAILS 14 DT-1

FILE: 545011B.dwg PROJ. NO. 545.01 SHEET: DT-1 PAGE NO. 7 OF 8

CONSTRUCTION DETAILS

INDUSTRIAL DEVELOPMENT

TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134.

SCALE: N.T.S. OCTOBER 31, 2017

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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TOWN OF MILFORD RECEIVED
APR 18 2018

1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
4. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMPs SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF DETENTION BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
5. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

PERMANENT SEED (LAWN AREAS)	LBS / 1,000 SQ. FT.	PERMANENT SLOPE SEED MIX	LBS / 1,000 SQ. FT.
CREeping RED FESCUE	0.92 LBS	CREeping RED FESCUE	0.80 LBS
PERENNIAL RYEGRASS	1.15 LBS	PERENNIAL RYEGRASS	0.69 LBS
KENTUCKY BLUEGRASS	0.55 LBS	REDTOP	0.12 LBS
REDTOP	0.12 LBS	ALBIE CLOVER	0.12 LBS
		BIRDSFOOT TREFOIL	
APPLICATION RATE TOTALS 2.8 LBS PER 1,000 SF		**APPLICATION RATE TOTALS 1.85 LBS PER 1,000 SF**	

15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1 INCH	8/15 TO 9/15
OATS	2.5 LBS	1 INCH	4/15 TO 10/15
ANNUAL RYEGRASS	1.0 LBS	0.25 INCH	8/15 TO 9/15

- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE AND COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	450 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
CRUSHED STONE	SPREAD TO GREATER THAN 1/4" DIA. THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED

16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
17. CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.

18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.

20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.

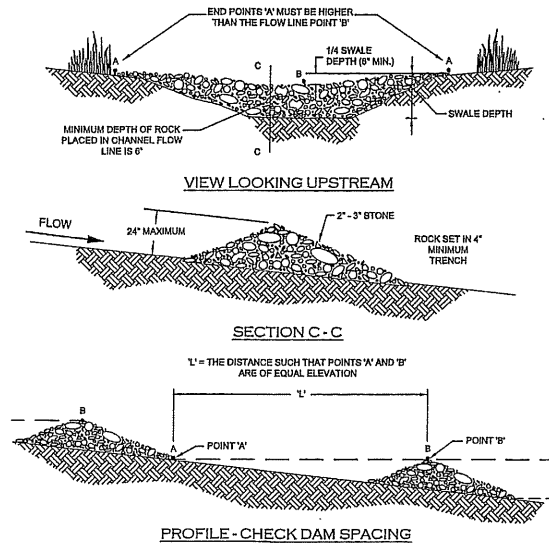
21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.

22. LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

23. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

EROSION CONTROL NOTES

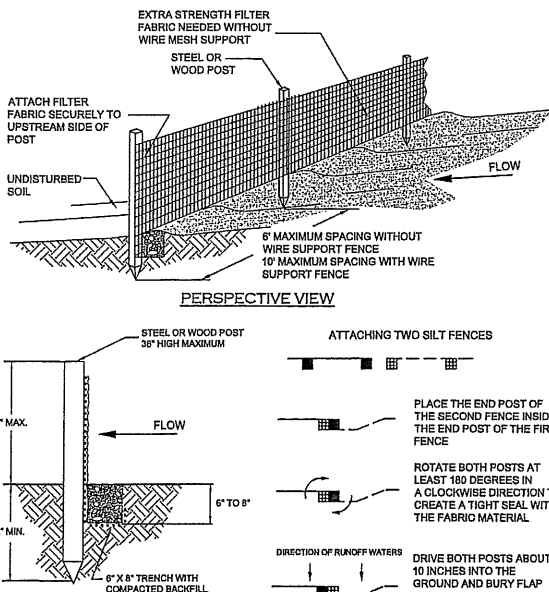
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DT-3



- NOTES:
1. STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
 3. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
 4. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADE FACE IS RECOMMENDED FOR BETTER FILTERING.
 5. WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
 6. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM

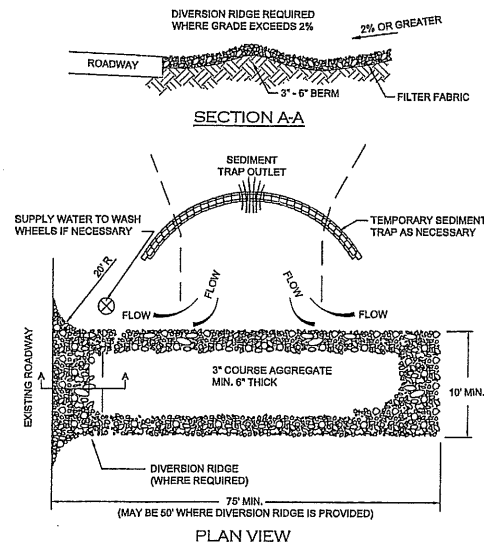
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DT-3



- SECTION VIEW
- NOTES:
1. SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGEWAYS.
 2. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
 3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 6 INCHES OF 3/4-INCH STONE.
 4. SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
 5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
 6. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 7. SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE

3
DT-3



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
 3. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
 4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
 5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
 6. THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
 7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
 8. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
 9. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
 10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GRAVEL CONSTRUCTION EXIT

4
DT-3

1. INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION EXIT(S).
3. CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE BURIED ON SITE AT THE LOCATIONS SHOWN. STUMPS SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4\"/>
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. BEGIN BUILDING CONSTRUCTION.
7. CONSTRUCT GRAVEL PARKING AREA (PAVEMENT OPTIONAL) AND BUILDING PAD. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
8. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25\"/>
9. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
10. FINISH GRADING TO PREPARE FOR PAVING (IF ANY) AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
11. FINISH PAVING (IF ANY). PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PARKING AREA (SEE EROSION CONTROL NOTES).
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
14. ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

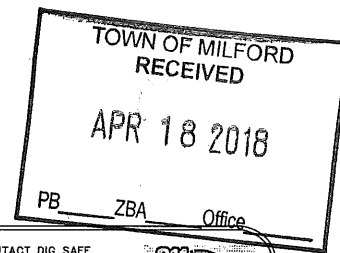
CONSTRUCTION SEQUENCE

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DT-3

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION NOTES

6
DT-3



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	04/17/18	SHEET NUMBERS		NRC	CEB

EROSION CONTROL DETAILS
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
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