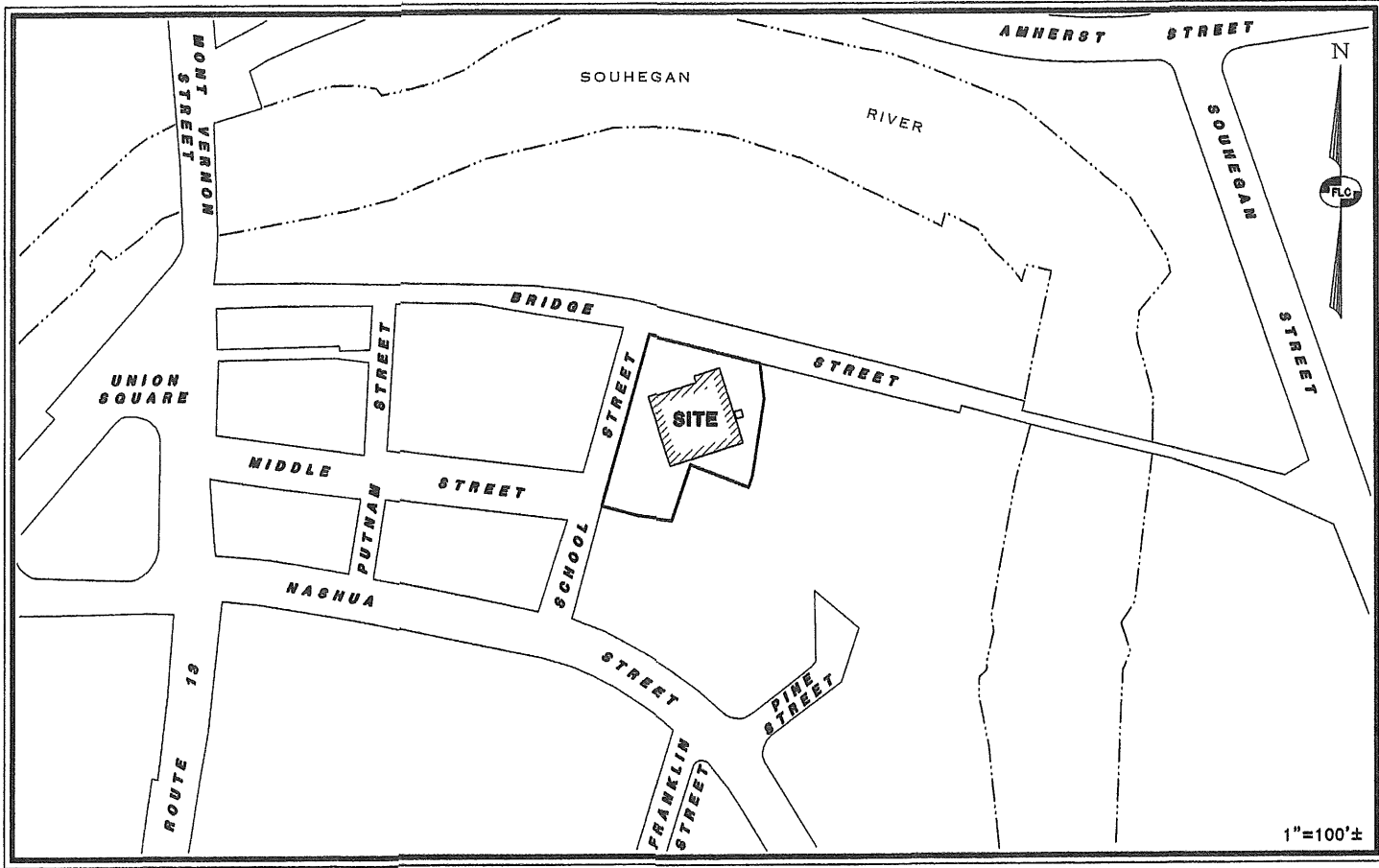


SITE DEVELOPMENT PLANS

MILFORD FIRE STATION

TAX MAP 26, LOT 168 - 39 SCHOOL STREET
MILFORD, NEW HAMPSHIRE
APRIL 24, 2018

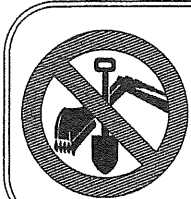


SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	SP-1	SITE LAYOUT PLAN
3	EX-1	EXISTING CONDITIONS PLAN
4	GR-1	GRADING AND DRAINAGE PLAN
5	UT-1	UTILITY PLAN
6	LT-1	SITE LIGHTING PLAN
7	SWM-1	STORMWATER MANAGEMENT PLAN
8	DT-1	CONSTRUCTION DETAILS
9	DT-2	CONSTRUCTION DETAILS
10	DT-3	EROSION CONTROL DETAILS

TOWN OF MILFORD
RECEIVED
APR 27 2018
PB ZBA Office

PREPARED FOR:
PORT ONE ARCHITECTS
959 ISLINGTON STREET
PORTSMOUTH, NH 03801

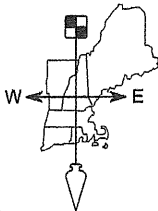
LAND OF:
TOWN OF MILFORD
1 UNION SQUARE
MILFORD, NH 03055



1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
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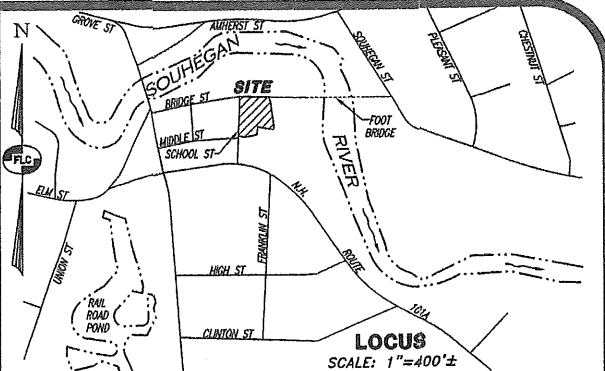
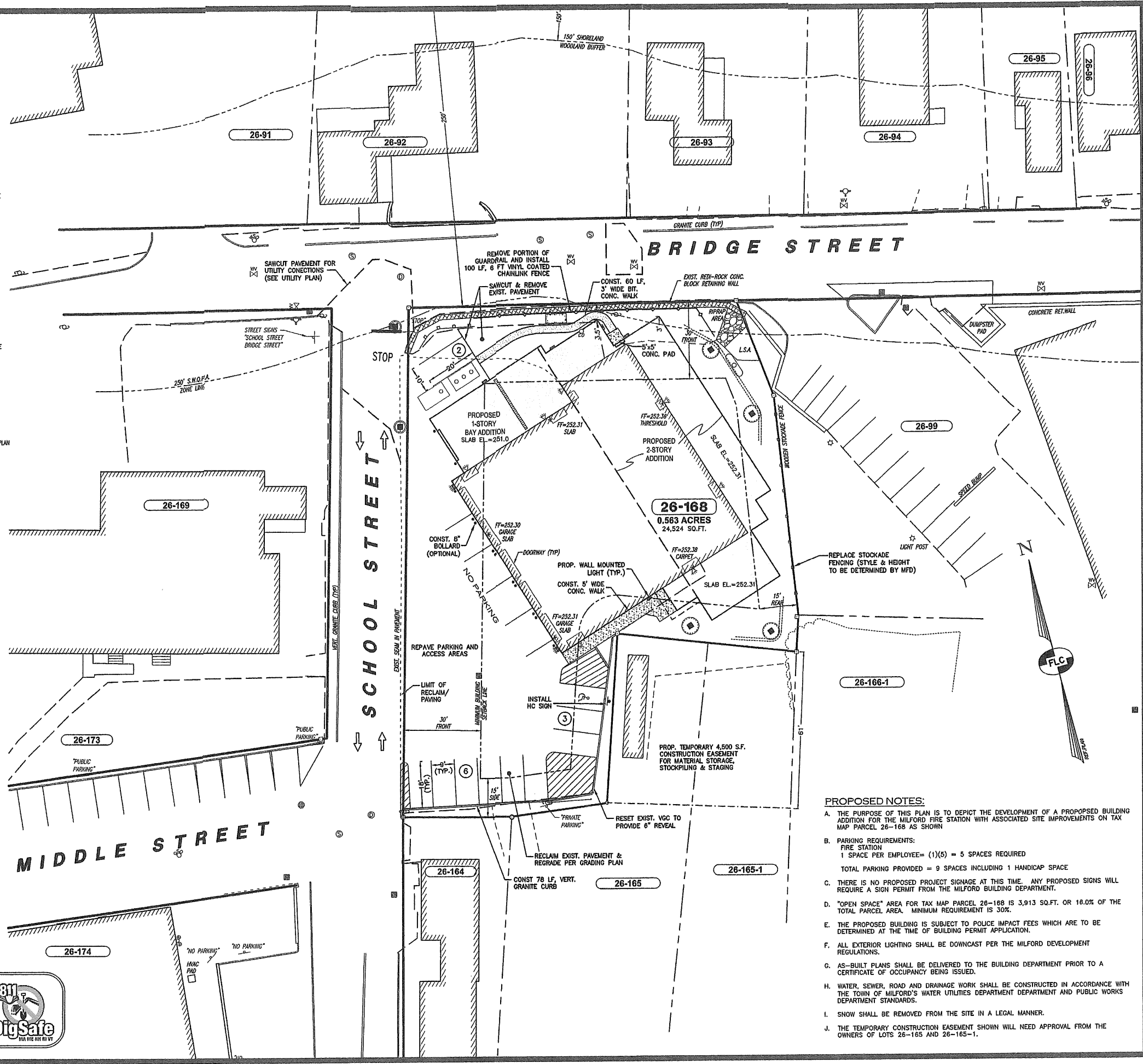
EXISTING FEATURES

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- BOUNDARY LINE
- ABUTTING LOT LINE
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- EDGE OF PAVED SURFACE
- EDGE OF GRAVEL SURFACE
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- GAS LINE
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- 26-168 TAX MAP & LOT NUMBER
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- WATER SHUT-OFF
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- GAS VALVE
- CABLE PEDESTAL
- ELECTRIC PEDESTAL
- TELEPHONE PEDESTAL
- TELEPHONE MAN-HOLE
- LIGHT POST
- SINGLE SIGN POST
- HANDICAPPED PARKING
- EXISTING BUILDING

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- EDGE OF PAVEMENT
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- WALL MOUNTED LIGHT
- SEWER MANHOLE
- LEACHING CATCH BASIN
- TRAFFIC FLOW (NOT PAINTED ARROWS)
- HANDICAP PARKING STALL
- CONCRETE AREA
- PAVED AREA
- BIT. CONC. WALK
- EASEMENT

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72 HOURS PRIOR
TO CONSTRUCTION
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CALL 811 - KNOW WHAT'S BELOW

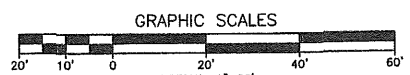


NOTES:

- THE OWNER OF RECORD FOR TAX MAP LOT 26-168 IS THE TOWN OF MILFORD, 1 UNION SQUARE, MILFORD, NH 03055. DEED REFERENCES FOR THE PARCEL ARE BK.2373 PG.350, BK. 381 PG.192, BK.310 PG.467 AND BK.329 PG.376, ALL IN THE H.C.R.D.
- THE TOTAL AREA OF TAX MAP LOT 26-168 IS 24,524 SQ. FT. OR 0.563 ACRES PER THE REFERENCE PLAN CITED HEREON. LOT FRONTAGE IS 198.19' ALONG SCHOOL STREET AND 128.00' ALONG BRIDGE STREET.
- THE PROPERTY IS LOCATED WITHIN THE COMMERCIAL DISTRICT (C).
- LOT REQUIREMENTS INCLUDE:
MIN LOT SIZE: 20,000 S.F. FOR AREAS SERVICED BY MUNICIPAL SEWER AND WATER.
ROAD FRONTAGE: 150 FT. ON A CLASS V OR BETTER ROAD
BUILDING SETBACKS: FRONT- 30', SIDE AND REAR- 15'
OPEN SPACE: >30% OF TOTAL LOT AREA.
THE WETLAND CONSERVATION DISTRICT OVERLAY REQUIRES A 25' BUFFER SETBACK.
- HORIZONTAL ORIENTATION IS BASED ON THE REFERENCE PLAN. VERTICAL DATUM IS NAVD83. THE REFERENCE BENCHMARK IS A STANDARD USGS SURVEY DISK STAMPED "G 1 1934", STATE REF. NO. 303-0070, LOCATED VERTICALLY IN THE NORTH FACE OF THE FOUNDATION OF THE MILFORD TOWN HALL, 5.5' ABOVE THE SIDEWALK, 10.5' EAST OF THE NW CORNER OF THE TOWN HALL - ELEVATION=261.85'.
- THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ON SITE FIELD SURVEY BY THIS OFFICE DURING THE MONTHS OF OCTOBER 2017 AND APRIL 2018 TOGETHER WITH THE REFERENCE PLAN CITED HEREON.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
- NO JURISDICTIONAL WETLANDS WERE FOUND ON THE PROPERTY.
- THE LOT LIES OUTSIDE THE LIMITS OF THE FLOOD HAZARD AREA PER FEMA F.I.R.M. PANEL 3301100459D DATED SEPTEMBER 25, 2009 FOR MILFORD, COMMUNITY NO. 330096.
- THE SUBJECT PARCEL LIES WITHIN THE LEVEL 1 GROUNDWATER PROTECTION DISTRICT.
- USDA SOIL TYPE FOR THE ENTIRE PARCEL IS HeB - HINCKLEY LOAMY SAND, WITH SLOPES BETWEEN 3% AND 8%.
- BASED ON INSPECTION OF THE REFERENCE PLAN, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS OR DEED RESTRICTIONS ON THE PROPERTY OTHER THAN THOSE SHOWN, IF ANY.

REFERENCE PLAN:

"SUBDIVISION PLAN - LAND OF - TOWN OF MILFORD - ON - BRIDGE ST., PINE ST. AND SCHOOL ST. - MILFORD, NEW HAMPSHIRE" SCALE 1"=30', DATED AUGUST 25, 1989, BY RIESLAND ASSOCIATES, INC. RECORD IN THE H.C.R.D. AS PLAN #23965.



REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE LAYOUT PLAN
MILFORD FIRE STATION
TAX MAP 26 LOT 168 - 39 SCHOOL STREET
MILFORD, NEW HAMPSHIRE
PREPARED FOR:
PORT ONE ARCHITECTS
959 ISLINGTON STREET, PORTSMOUTH, NH 03801
LAND OF:
TOWN OF MILFORD
1 UNION SQUARE, MILFORD, NH 03055

SCALE: 1" = 20' APRIL 4, 2018

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PROPOSED NOTES:

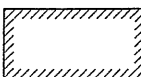
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF A PROPOSED BUILDING ADDITION FOR THE MILFORD FIRE STATION WITH ASSOCIATED SITE IMPROVEMENTS ON TAX MAP PARCEL 26-168 AS SHOWN.
- PARKING REQUIREMENTS:
FIRE STATION
1 SPACE PER EMPLOYEE= (1)(5) = 5 SPACES REQUIRED
TOTAL PARKING PROVIDED = 9 SPACES INCLUDING 1 HANDICAP SPACE
- THERE IS NO PROPOSED PROJECT SIGNAGE AT THIS TIME. ANY PROPOSED SIGNS WILL REQUIRE A SIGN PERMIT FROM THE MILFORD BUILDING DEPARTMENT.
- "OPEN SPACE" AREA FOR TAX MAP PARCEL 26-168 IS 3,913 SQ.FT. OR 18.0% OF THE TOTAL PARCEL AREA. MINIMUM REQUIREMENT IS 30%.
- THE PROPOSED BUILDING IS SUBJECT TO POLICE IMPACT FEES WHICH ARE TO BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION.
- ALL EXTERIOR LIGHTING SHALL BE DOWNCAST PER THE MILFORD DEVELOPMENT REGULATIONS.
- AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- WATER, SEWER, ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- SNOW SHALL BE REMOVED FROM THE SITE IN A LEGAL MANNER.
- THE TEMPORARY CONSTRUCTION EASEMENT SHOWN WILL NEED APPROVAL FROM THE OWNERS OF LOTS 26-165 AND 26-165-1.

LEGEND:

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- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED SURFACE
- EDGE OF GRAVEL SURFACE
- GRANITE CURB LINE
- EDGE OF TREE LINE
- 250' 5' CONTOUR INTERVAL
- 251' 1' CONTOUR INTERVAL
- STOCKADE FENCE
- GUARDRAIL
- TIE COURSE LINE
- FORMER TRACT LINE
- CULVERT
- OH OVERHEAD UTILITY LINE
- U/G UNDERGROUND UTILITY LINE
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- WATER LINE
- SEWER LINE

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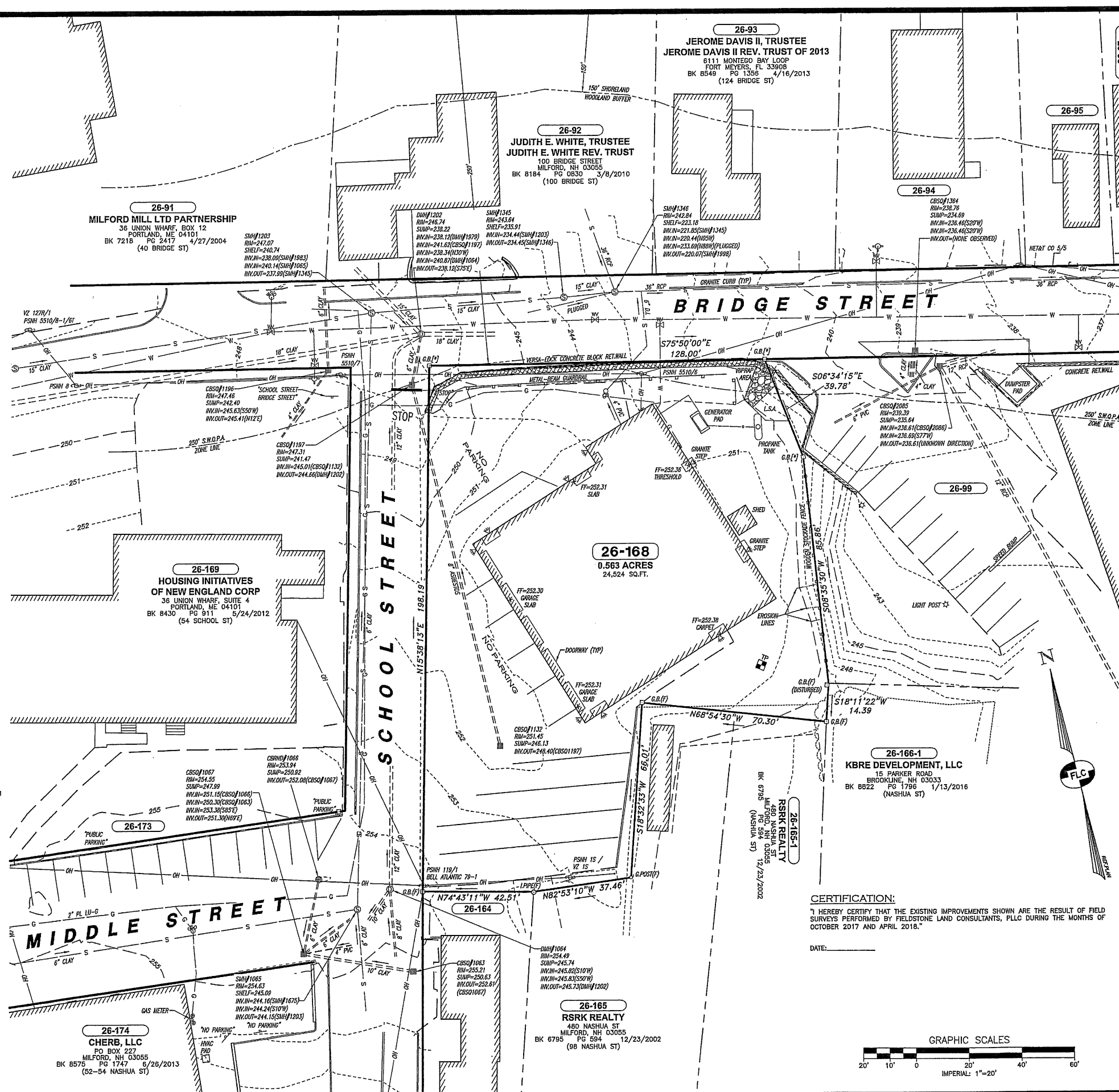


ADDITIONAL ABUTTERS

MAP 26 LOT 173
TOWN OF MILFORD
1 UNION SQUARE
MILFORD, NH 03055
BK.893 PG.215 1/1/1900
(MIDDLE STREET)

MAP 26 LOT 164
PAUL C. & LORI A. WORRALL
1 BOARDER STREET
MILFORD, NH 03055
BK.7943 PG.2520 1/28/2008
(64 NASHUA STREET)

MAP 26 LOT 99
SPILLWAY HOUSING ASSOCIATION
S K MANAGEMENT CO. INC.
PO BOX 250
NEW IPSWICH, NH 03071
BK.5142 PG.1329 10/17/1989
(161 BRIDGE STREET)

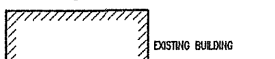




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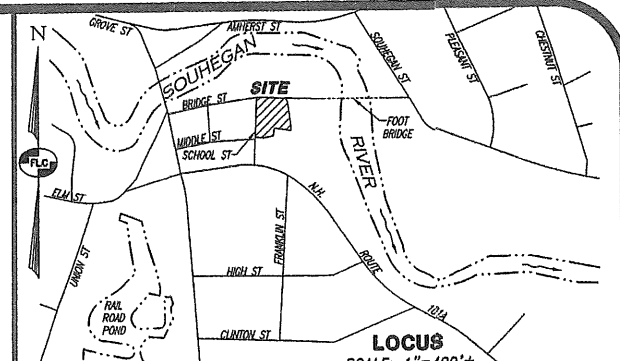
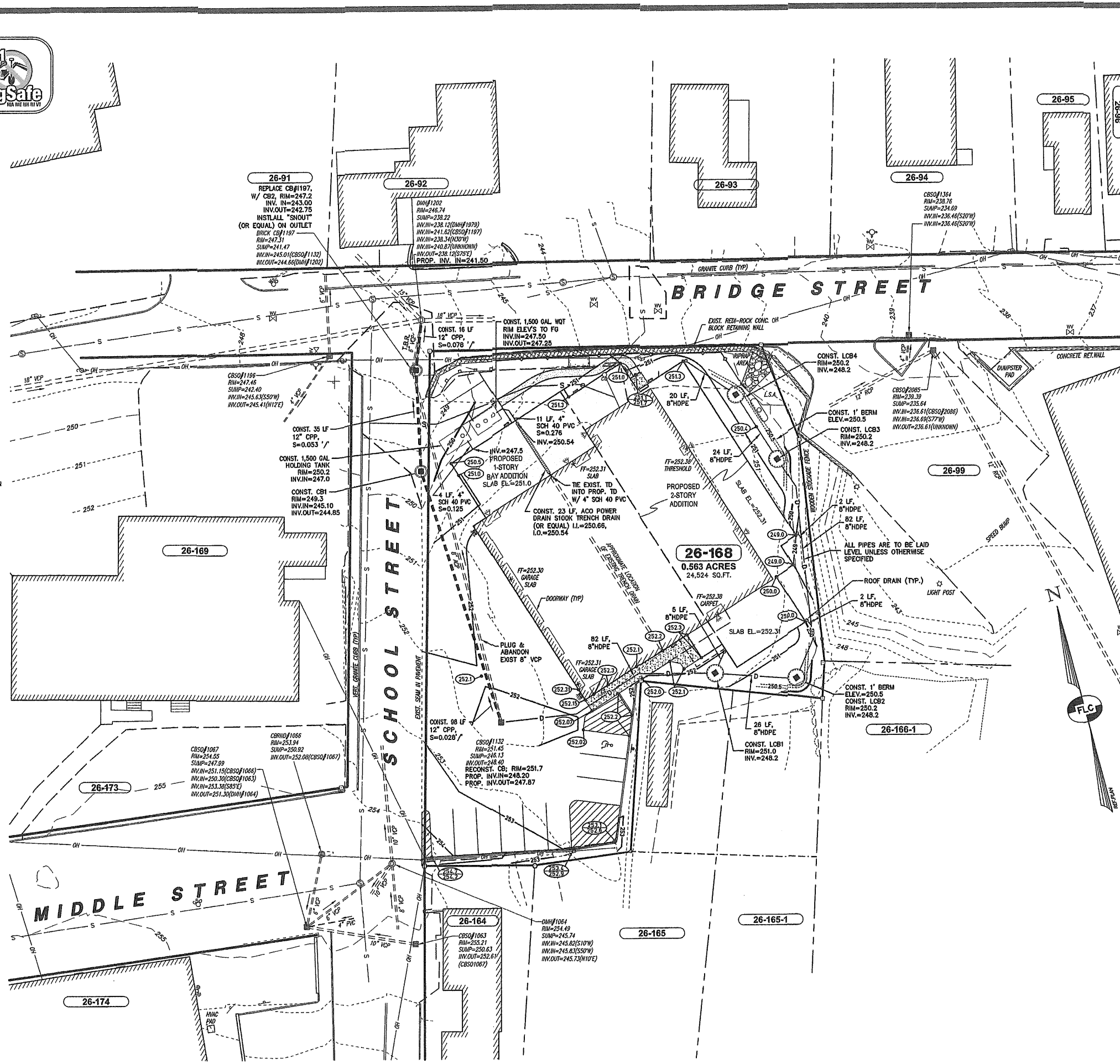
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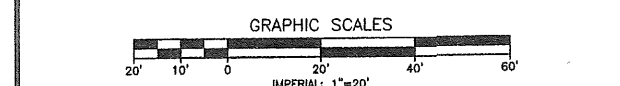


PROPOSED FEATURES

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- SPOT ELEVATION
- EDGE OF PAVEMENT
- FENCE
- UNDERGROUND UTILITIES
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- CONCRETE AREA
- PAVED AREA
- BIT. CONC. WALK



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PROGRESS PRINT							
					C/O	DR	CK

GRADING & DRAINAGE PLAN
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TAX MAP 26 LOT 168 - 39 SCHOOL STREET
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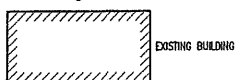


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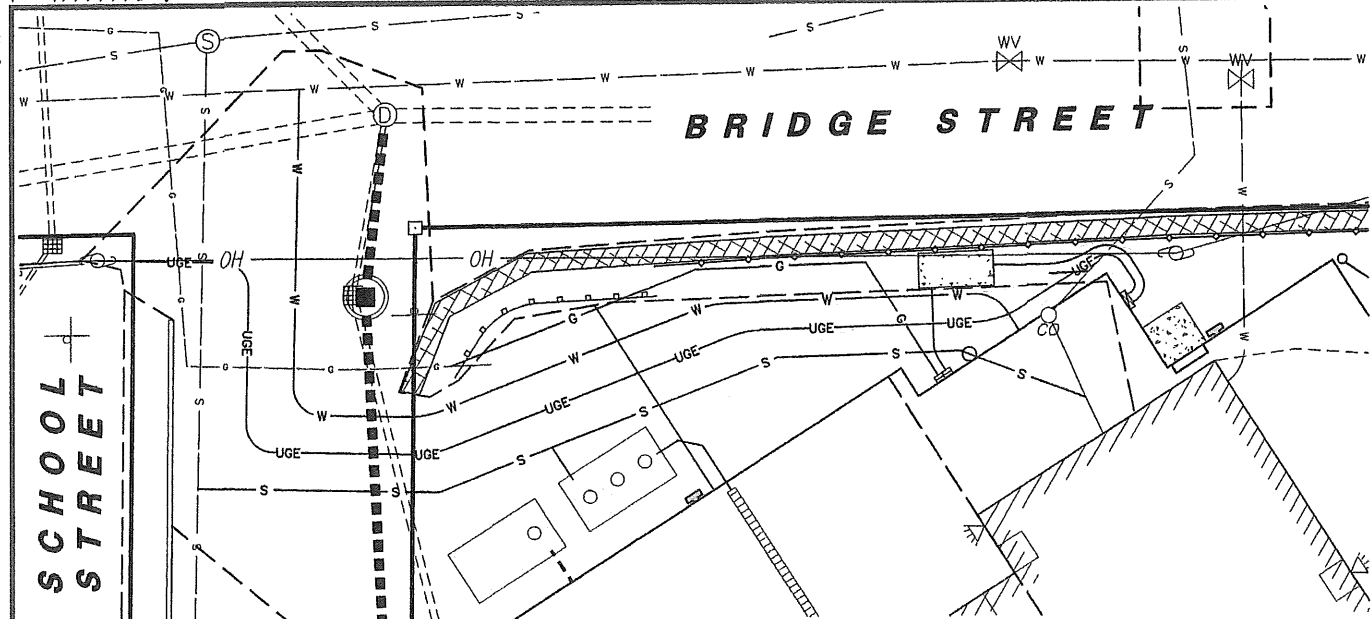
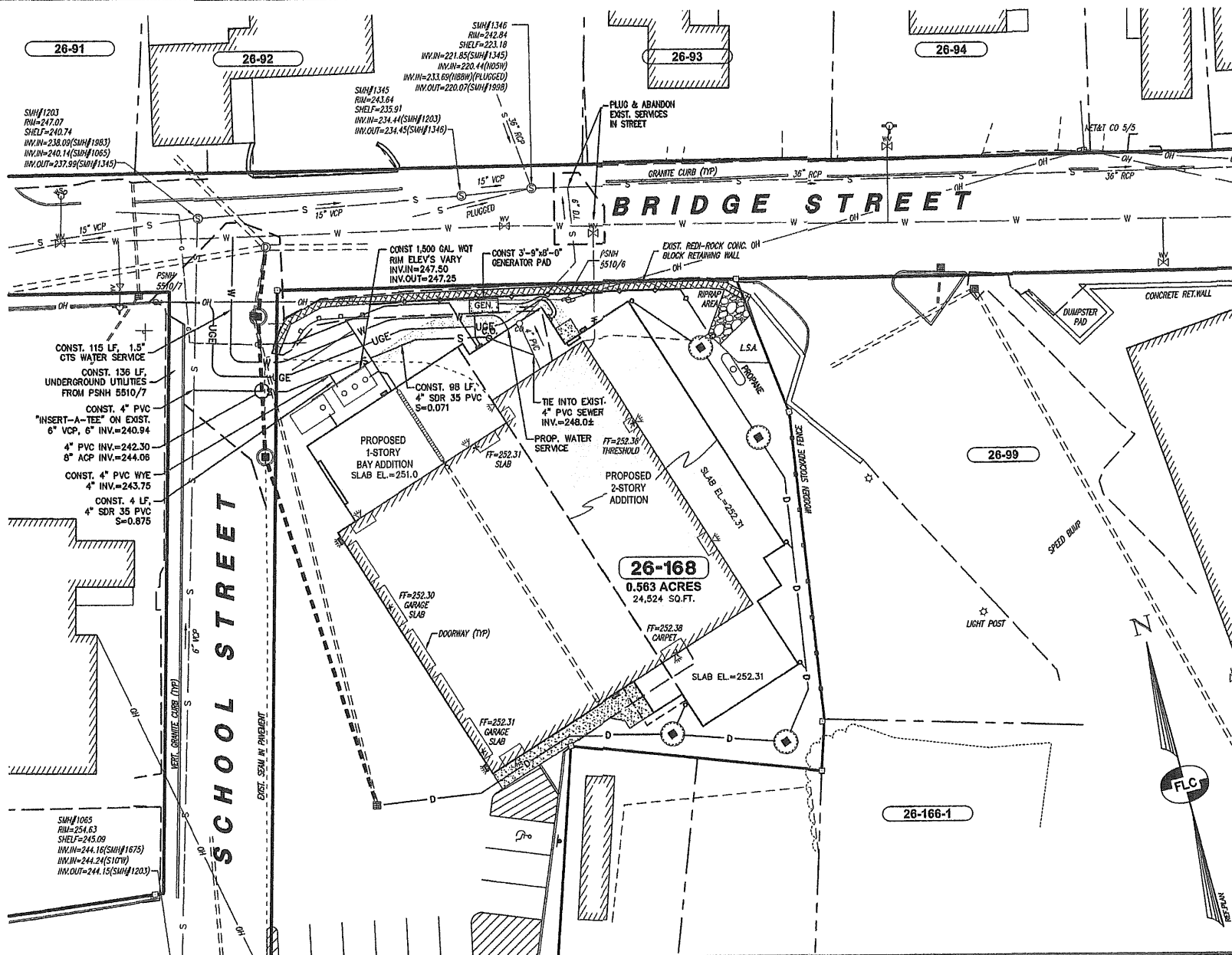
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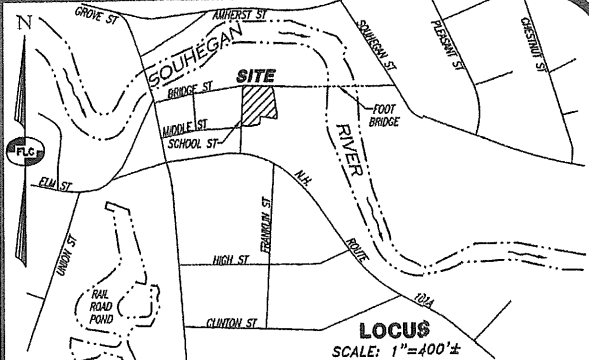
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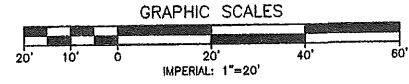
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DETAIL OF NORTH SIDE OF BUILDING SCALE: 1" = 10'



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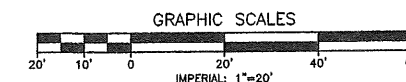
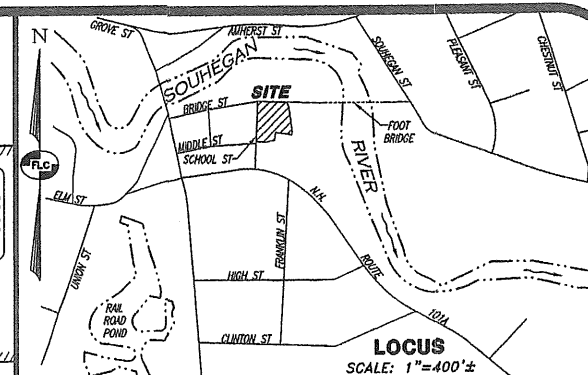
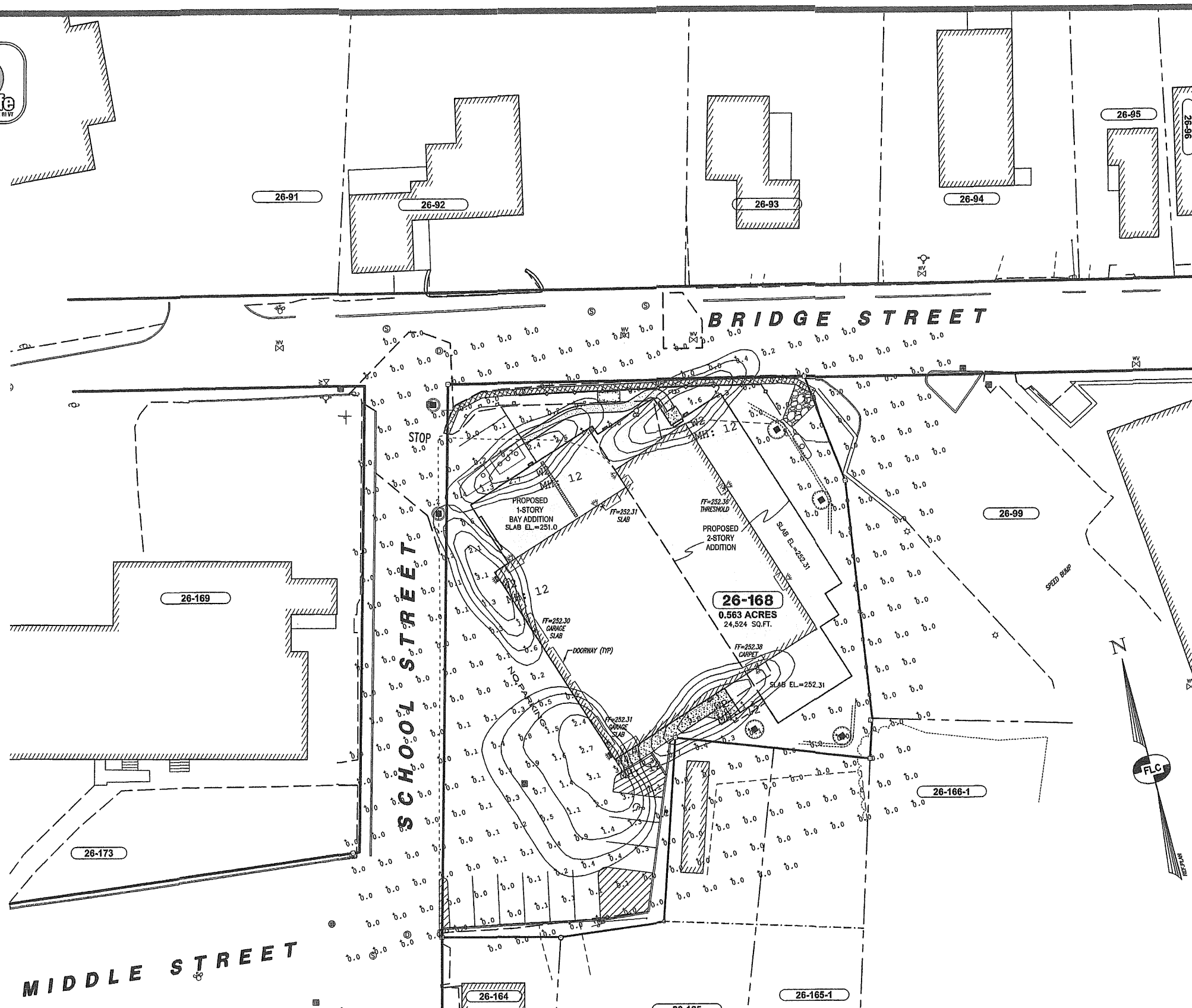


LEGEND:
EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED SURFACE
- EDGE OF GRAVEL SURFACE
- GRANITE CURB LINE
- EDGE OF TREE LINE
- 250' — 5' CONTOUR INTERVAL
- 251' — 1' CONTOUR INTERVAL
- STOCKADE FENCE
- GUARDRAIL
- TIE COURSE LINE
- FORMER TRACT LINE
- CULVERT
- OH — OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- G — GAS LINE
- W — WATER LINE
- S — SEWER LINE

- 26-168** TAX MAP & LOT NUMBER
- G.B.(F) GRANITE BOUND FOUND
 - I.P.P.E.(F) IRON PIPE FOUND
 - G.B.(M) GRANITE BOUND PER REF PLAN
 - △ R.R.S.P.K.(F) IRON PIPE FOUND
 - UTILITY POLE & GUY
 - CATCH BASIN (SQUARE)
 - CATCH BASIN (ROUND)
 - DRAIN MAN-HOLE
 - SEWER MAN-HOLE
 - SEWER CLEAN-OUT
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - WELL
 - GAS VALVE
 - CABLE PEDESTAL
 - ELECTRIC PEDESTAL
 - TELEPHONE PEDESTAL
 - TELEPHONE MAN-HOLE
 - LIGHT POST
 - SINGLE SIGN POST
 - HANDICAPPED PARKING

- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - FENCE
 - WALL MOUNTED LIGHT
 - SEWER MANHOLE
 - LEACHING CATCH BASIN
 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - HANDICAP PARKING STALL
 - CONCRETE AREA
 - PAVED AREA



PROGRESS PRINT					
REV.	DATE	DESCRIPTION	C/O	DR	

SITE LIGHTING PLAN
MILFORD FIRE STATION
TAX MAP 26 LOT 168 - 39 SCHOOL STREET
MILFORD, NEW HAMPSHIRE

PREPARED FOR:
PORT ONE ARCHITECTS
959 ISLINGTON STREET, PORTSMOUTH, NH 03801

LAND OF:
TOWN OF MILFORD
1 UNION SQUARE, MILFORD, NH 03055

SCALE: 1" = 20' APRIL 4, 2018

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

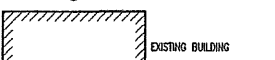
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



LEGEND:
EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED SURFACE
- EDGE OF GRAVEL SURFACE
- GRANITE CURB LINE
- EDGE OF TREE LINE
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL
- STOCKADE FENCE
- GUARDRAIL
- THE COURSE LINE
- FORMER TRACT LINE
- CULVERT
- OVERHEAD UTILITY LINE
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- 26-168 TAX MAP & LOT NUMBER
- GRANITE BOUND FOUND
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 - IRON PIPE FOUND
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 - CATCH BASIN (SQUARE)
 - CATCH BASIN (ROUND)
 - GRAN MAN-HOLE
 - SEWER MAN-HOLE
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 - GAS VALVE
 - CABLE PEDESTAL
 - ELECTRIC PEDESTAL
 - TELEPHONE PEDESTAL
 - TELEPHONE MAN-HOLE
 - LIGHT POST
 - SINGLE SIGN POST
 - HANDICAPPED PARKING



PROPOSED FEATURES

- 5 FT. CONTOUR
- 1 FT. CONTOUR
- SPOT ELEVATION
- EDGE OF PAVEMENT
- FENCE
- UNDERGROUND UTILITIES
- GAS LINE
- WATER LINE
- SEWER LINE
- WALL MOUNTED LIGHT
- SEWER MANHOLE
- LEACHING CATCH BASIN
- HANDICAP PARKING STALL
- CONCRETE AREA
- PAVED AREA

SITE MAINTENANCE AND INSPECTION PROGRAM:

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

1. THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMP'S DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE BUT ARE NOT LIMITED TO:

- CLEANING OF CATCH BASINS TWICE A YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
- CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE A YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
- IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED ON WEEKLY INSPECTIONS.
- REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND / OR HAY BALE BARRIERS.
- REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE / DETENTION BASINS.
- RECONSTRUCTING THE STABILIZED CONSTRUCTION ENTRANCE IF NOT WORKING PROPERLY.
- TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORM WATER MANAGEMENT AREA.
- SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVED SURFACES. (E.G. MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING). AFFECTED ROADWAYS, INCLUDING THE SPT BROOK ROAD AND TARA BOULEVARD INTERSECTION SHOULD BE SWEEPED AS NECESSARY TO ENSURE THERE IS NO ACCUMULATION OF SEDIMENT.

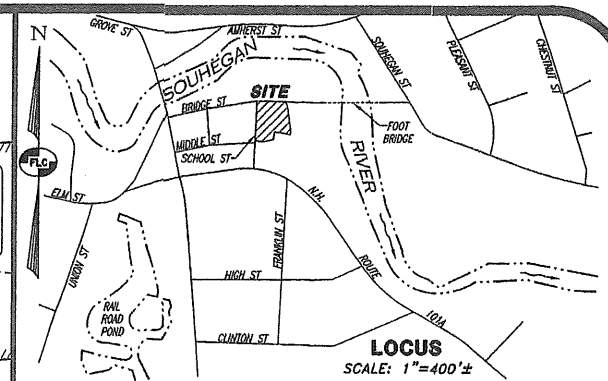
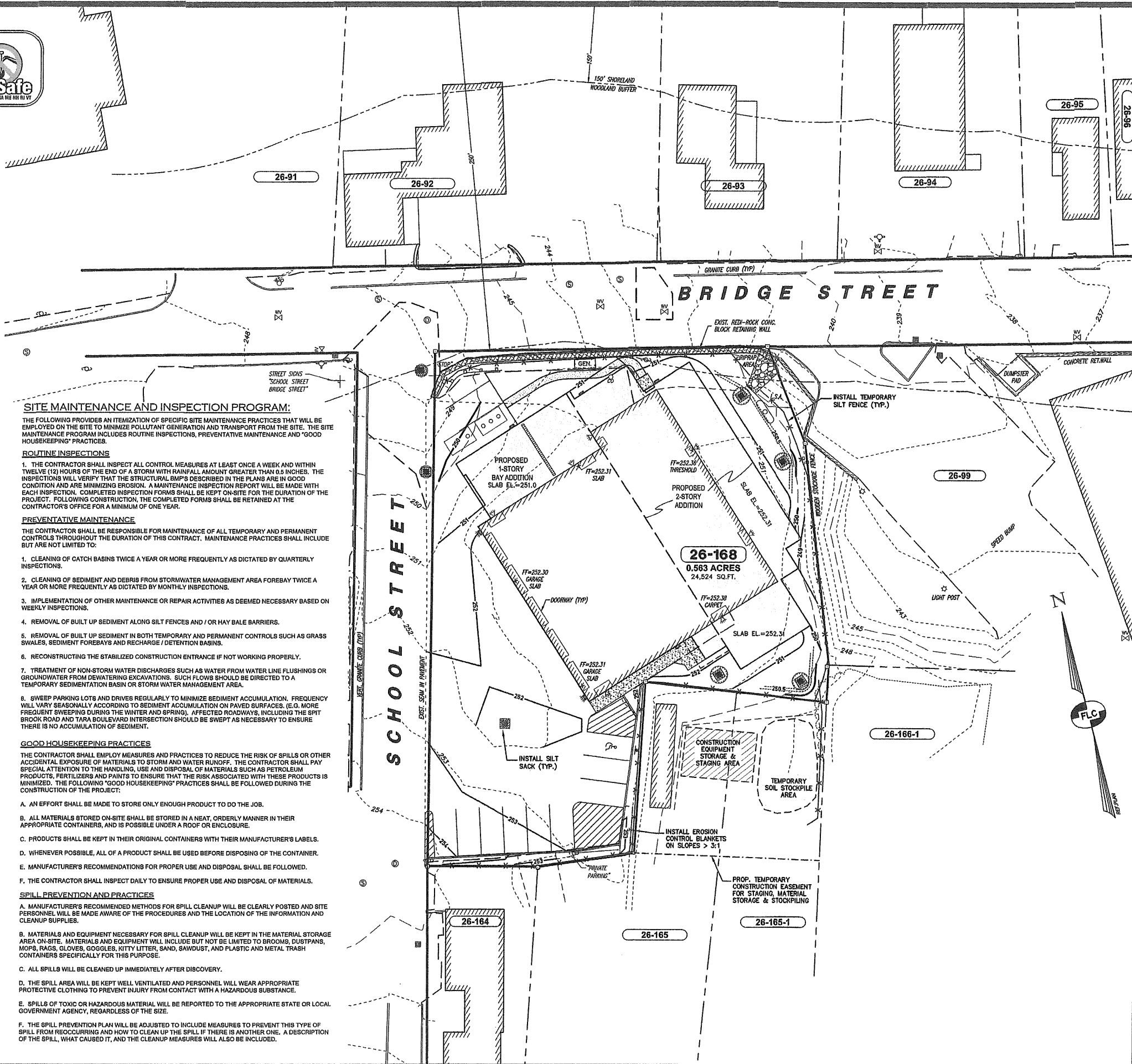
GOOD HOUSEKEEPING PRACTICES

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THE PROJECT:

- AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT TO DO THE JOB.
- ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS, AND IS POSSIBLE UNDER A ROOF OR ENCLOSURE.
- PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURER'S LABELS.
- WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

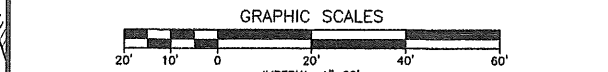
SPILL PREVENTION AND PRACTICES

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. MATERIALS AND EQUIPMENT WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.



CONSTRUCTION SEQUENCE:

- INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- INSTALL STABILIZED CONSTRUCTION EXIT(S), IF NECESSARY.
- CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE BURIED ON SITE. STUMPS SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
- REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- ROUGH GRADE SITE - CONSTRUCT DRAINAGE LEACHING CATCH BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- BEGIN BUILDING CONSTRUCTION.
- CONSTRUCT PAVED PARKING AREAS AND BUILDING PADS. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE THE EROSION CONTROL NOTES.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING TO PREPARE FOR PAVING AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- FINISH PAVING. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PARKING AREA (SEE EROSION CONTROL NOTES).
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.



REV.	DATE	DESCRIPTION	C/O	DR	CK

STORMWATER MANAGEMENT PLAN
MILFORD FIRE STATION
TAX MAP 26 LOT 168 - 39 SCHOOL STREET
MILFORD, NEW HAMPSHIRE

PREPARED FOR:
PORT ONE ARCHITECTS
959 ISLINGTON STREET, PORTSMOUTH, NH 03801

LAND OF:
TOWN OF MILFORD
1 UNION SQUARE, MILFORD, NH 03055

SCALE: 1" = 20' APRIL 4, 2018

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

NOTES:
1. MINIMUM SIZE PIPER SEWER SERVICE SHALL BE 6 INCHES.
2. PIPE AND JOINT MATERIALS

A. PLASTIC SEWER PIPE

1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
- | ASTM | GENERIC PIPE | APPROVED |
|-------|----------------------|-----------------------------|
| D2034 | PVC (SOLID WALL) | 6" THROUGH 16" (SDR 35) |
| F797 | PVC (SOLID WALL) | 16" THROUGH 27" (T-1 & T-2) |
| F798 | PVC (SOLID WALL) | 4" THROUGH 16" (T-1 TO T-2) |
| F794 | PVC (ROBBER WALL) | 6" THROUGH 36" |
| D2680 | ABS (COMPOSITE WALL) | 6" THROUGH 16" |
2. JOINTS SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
3. JOINTS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
4. JOINTS SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
5. JOINTS SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.

B. DUCTILE-IRON PIPE, FITTINGS AND JOINTS

1. DUCTILE-IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
2. JOINTS SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
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4. JOINTS SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.

5. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
6. JOINTS SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
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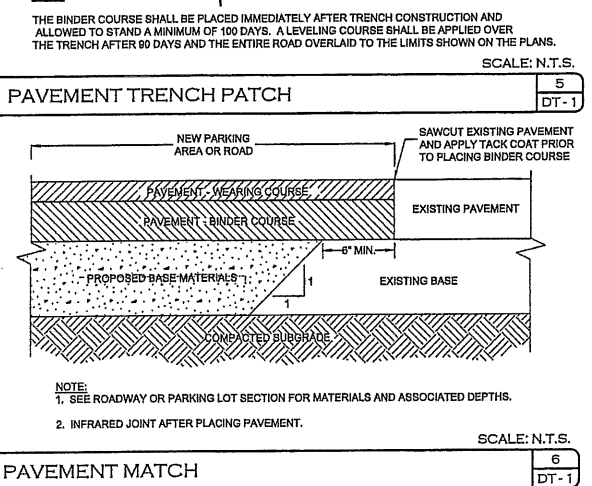
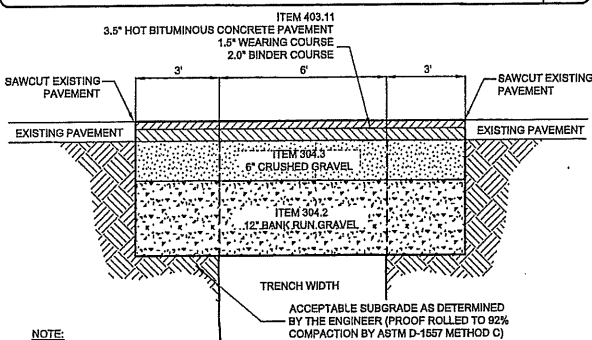
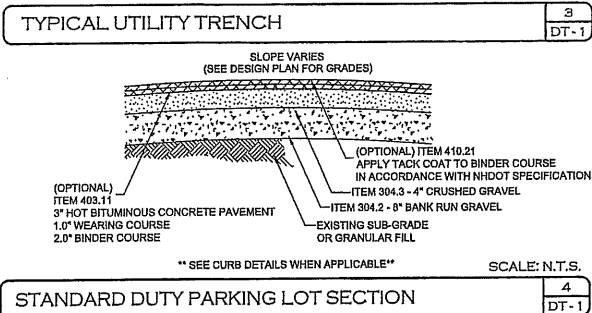
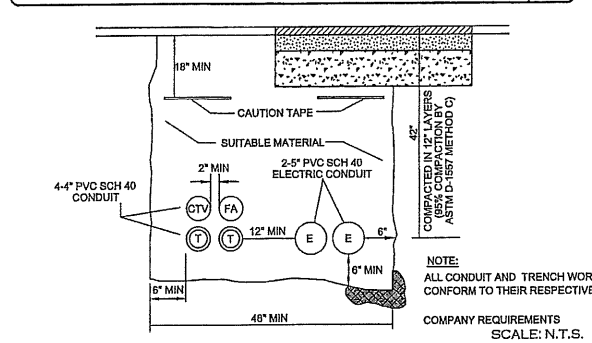
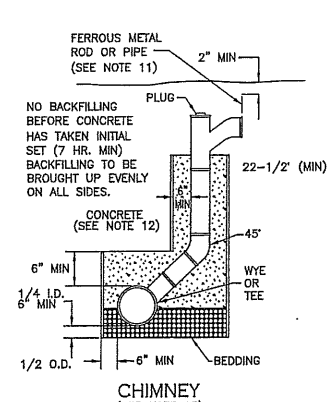
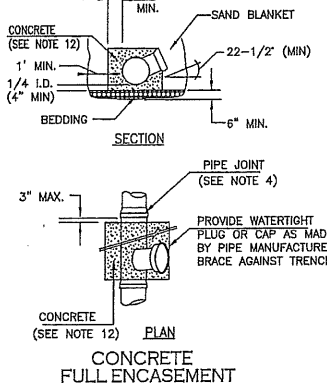
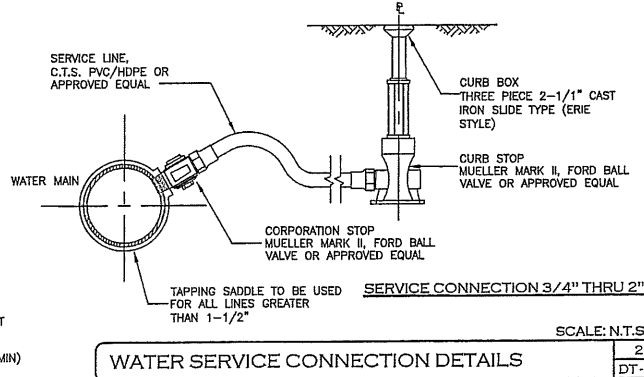
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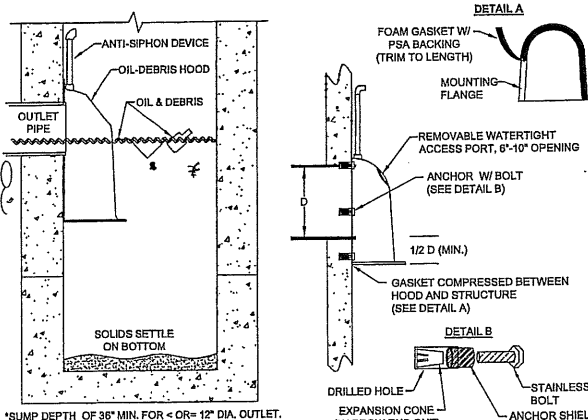
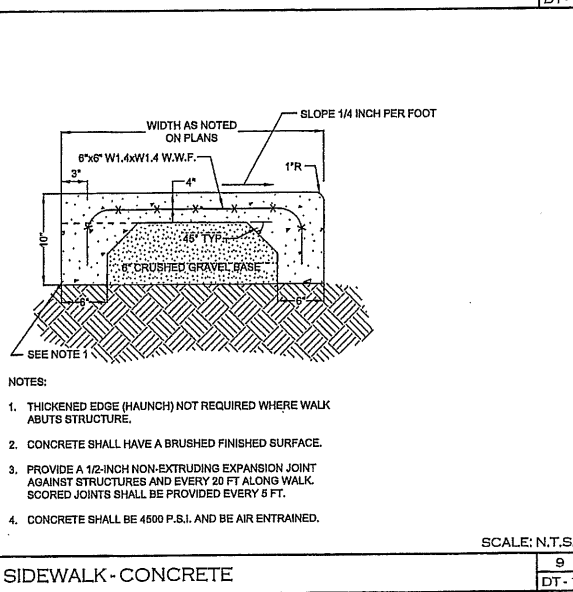
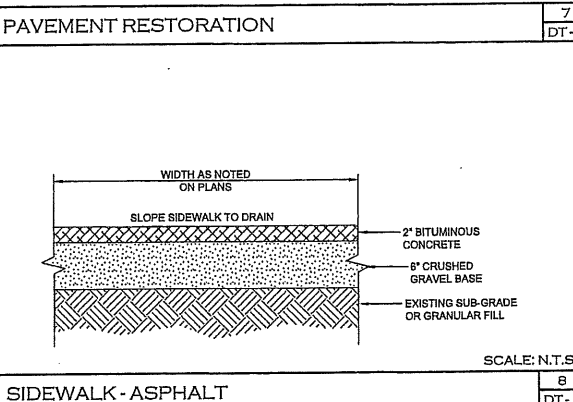
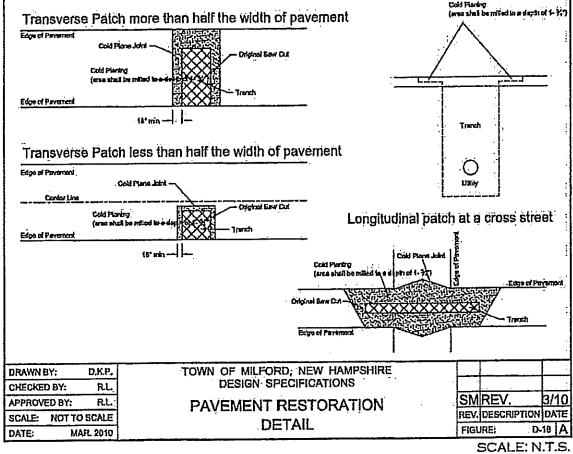
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- Procedures for repairs of trench cuts on City roads
1. Pavement shall be sawcut along the ditch line. Any undermined areas that inadvertently develop shall have the projecting pavement saw cut and removed.
 2. Trench backfill shall be compacted in 6 inch lifts according to Street Opening Permit or approved plans.
 3. A 4 inch depth - 3/4" type B hot bituminous patch shall be laid in two (2) inch depth lifts.
 4. The patch shall be allowed to settle for a minimum of 60 days (or time determined by Director of DPW).
 5. After suitable exposure to traffic compaction as determined by the Director of Public Works, the pavement shall be milled to a depth of 1 3/4" providing a minimum 18 inch overlap onto existing undisturbed pavement.
 6. Care must be taken to identify and offset the location of the joint before cold planing.
 7. The milled area shall be paved with 1/2" type E hot bituminous pavement meeting NH DOT 401 pavement specifications. The new to old pavement joints shall be sealed with a crack and joint sealer.



- STRUCTURE OUTLET HOLE SIZE
- | HOOD SIZE | OUTLET PIPE SIZE |
|--------------------|------------------|
| 11.9" O.D. OR LESS | 12" F or R |
| 12.0"-17.9" O.D. | 18" F or R |
| 18.0"-23.9" O.D. | 24" F or R |
| 24.0"-29.9" O.D. | 30" F or R |
| 30.0"-47.9" O.D. | 48" F |
| 48.0"-85.9" O.D. | 96" F |
- INSTALLATION NOTE:
POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES <12" I.D. IS 6".

- HOODS TO BE INSTALLED ON THE FOLLOWING CATCH BASINS: CB 1989
1. ALL HOODS SHALL BE EQUIPPED WITH A WATER TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
 2. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
 3. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" I.D.
 4. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
 5. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND THE PIPE SHALL BE TRIMMED FLUSH TO WALL.
 6. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
 7. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., LYME, CT OR EQUAL.

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REV.	DATE	DESCRIPTION	C/O	DR	CK

CONSTRUCTION DETAILS

MILFORD FIRE STATION

TAX MAP 26 LOT 168

39 SCHOOL STREET

MILFORD, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:

TOWN OF MILFORD

1 UNION SQUARE, MILFORD, NH 03055

SCALE: AS SHOWN

APRIL 4, 2018

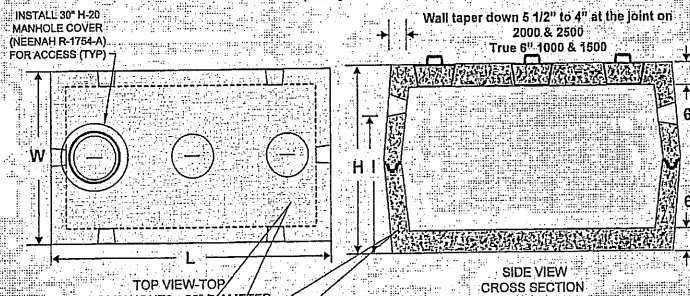
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FILE: 1716DT00.dwg PROJ. NO. 1716.00 SHEET: DT-1 PAGE NO. 8 OF 10

William N. Lamarre Concrete Products, Inc. H2O COMMERCIAL PRECAST SEPTIC TANKS



Detail of Reinforcement

1/2" grade 60 rebar (tied in a 8" x 8" grid, top and bottom, 1/2" grade 60 rebar loops around sides every 8" inches)

4" x 4" #4 wire fabric, top sides and bottom or equivalent

Critical Tank Dimensions

Liquid Capacity	Inlet/Outlet I/O	Height(H)	Length x Width L x W	Excavation Size
1000	60" / 57"	76"	9' x 5'4"	11' x 7'
1500	60" / 57"	76"	11' x 6'2"	13' x 8'
2000	59" / 56"	71 1/2"	12'2" x 6'8"	14' x 9'
2500	73" / 70"	85 1/2"	12'2" x 6'8"	14' x 9'

- Also available as a 2 compartment tank.
- Concrete strength f'c 5000PSI@28 days. Density 150 PCF.
- Cement, Portland Type II or III, ASTM C150-81
- Admixtures, air & plasticizers per ASTM C233-82
- Reinforcement per ASTM C1227-latest revision
- Design Loading AASHTO HS20-40
- Constructions joints sealed with butyl rubber
- Design conforms to 310 CMR 15.00, Mass Title V regs. for septic tanks

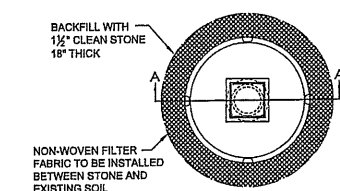
P.O. Box #333, 87 Adams Hill Rd, Greenville, NH 03048
603-878-1340 MA 800-937-3435 NH 800-878-0514 Fax: 603-878-3349

8/23/2013

SCALE: N.T.S.

1,500 GALLON HOLDING TANK (OR EQUAL)

1
DT-2



NOTES:

- CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI MINIMUM.
- TOP SLAB SHALL BE STEEL REINFORCED TO MEET H-20 LOADING.
- INLET FRAME SHALL BE ADJUSTED TO GRADE WITH ONE SOLID 5" CONCRETE RING SEALED IN PLACE WITH NON SHRINK GROUT.
- INLET GRATE AND FRAME IS TO BE NEENAH MODEL R-3405.

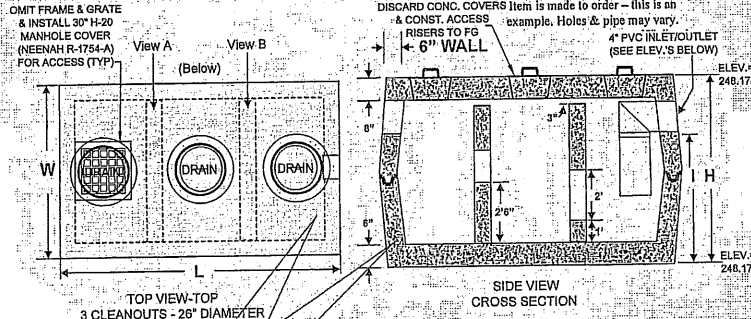
CATCH BASIN	DESIGN ELEVATIONS				
	A	B	C	D	E
LCB1	243.8	245.5	248.2	248.2	251.0
LCB2	243.0	245.0	248.2	248.2	250.2
LCB3	243.0	245.0	248.2	248.2	250.2
LCB4	243.0	245.0	248.2	248.2	250.2

SHEA CONCRETE PRODUCTS (OR EQUAL)

LAWN AREA LEACHING CATCH BASIN (6 FT. DIA.)

2
DT-2

William N. Lamarre Concrete Products, Inc. H2O COMMERCIAL 1500 WQT

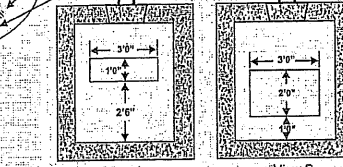


Detail of Reinforcement

1/2" grade 60 rebar (tied in a 8" x 8" grid, top and bottom, 1/2" grade 60 rebar loops around sides every 8" inches)

4" x 4" #4 wire fabric, top sides and bottom or equivalent

ELEVATIONS
RIM EL=250.54
INV.IN=247.50
INV.OUT=247.25



Critical Tank Dimensions

Liquid Capacity	Inlet/Outlet I/O	Height(H)	Length x Width L x W	Excavation Size
1500	SEE ABOVE	73"	11' x 6'2"	13' x 8'

- Concrete strength f'c 5000PSI@28 days. Density 150 PCF.
- Cement, Portland Type II or III, ASTM C150-81
- Admixtures, air & plasticizers per ASTM C233-82
- Reinforcement per ASTM C1227-latest revision
- Design Loading AASHTO HS20-40
- Constructions joints sealed with butyl rubber
- Design conforms to 310 CMR 15.00, Mass Title V regs. for septic tanks

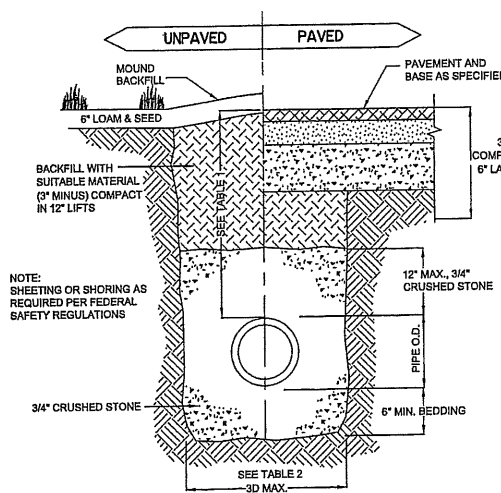
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8/23/2013

SCALE: N.T.S.

1,500 GALLON WATER QUALITY TANK (OR EQUAL)

4
DT-2



NOTE: SHEETING OR SHORING AS REQUIRED PER FEDERAL SAFETY REGULATIONS

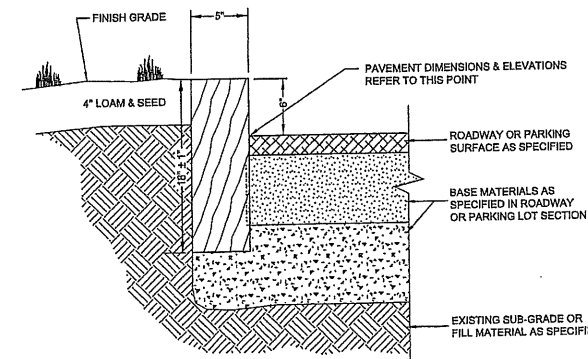
TABLE 1 (RECOMMENDED COVER)		
LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
GRAVEL ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

TABLE 2 (MINIMUM TRENCH WIDTH)	
INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	I.D. + 24"
OVER 24"	2 x I.D.

SCALE: N.T.S.

DRAINAGE TRENCH (TYPICAL)

4
DT-2



CURB - VERTICAL GRANITE

5
DT-2

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REV.	DATE	DESCRIPTION	C/O	DR	CK
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CONSTRUCTION DETAILS
MILFORD FIRE STATION
TAX MAP 26 LOT 168
39 SCHOOL STREET
MILFORD, NEW HAMPSHIRE
PREPARED FOR AND LAND OF
TOWN OF MILFORD
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SCALE: AS SHOWN

APRIL 4, 2018

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