



STAFF MEMO

Date: August 23, 2018
To: Milford Planning Board
From: Lincoln Daley, Community Development Director
Subject: **Jessica Hudson, Map 43, Lot 24, 25, 25-1, Tonella Road.** Conceptual Review of a potential amendment to the 5/22/18 approved major site plan to construct sixteen (16) townhouse style, multi-family units, Tonella Road extension, and grading and stormwater management improvements within the Residential B District.

BACKGROUND:

The applicant is before the Planning Board seeking guidance and input regarding potential amendments to the May 22, 2018 approved site plan to construct 16 townhouse, multifamily units on the Tonella Road extension. The owner is considering repositioning the 4 unit townhouse building further within the newly created Lot 25-1 in an effort to improve the design and layout of the development.

Of primary importance will be the impact to the stormwater/drainage design, proximity of the townhouses and impact to wetland resources areas, modification of the roadway design and continued maintenance, and traffic circulation. The applicant's engineer will be present to summarize the proposed changes and seek clarification on the appropriate next step (e.g. submittal of site plan amendment). Attached please find the May 15, 2018 approved site plan and modified design/layout.

The Planning Board shall discuss the application in conceptual form and only in general terms with the Applicant. No formal decisions can be made. A conceptual review shall not bind either the applicant or the Planning Board.

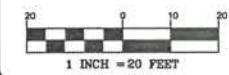


N:\PROJECTS\122-Tonella Road_Coppy Dwg\Current\stone structure concept-3.dwg



The Dubai Group, Inc.
 84 Range Road
 Windham, NH 03087
 603-458-6462

Engineers
 Planners
 Surveyors
 TheDubayGroup.com



REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: JMM
 CHECKED BY: DGM
 DATE: JULY 25, 2018
 SCALE: 1"=20'
 FILE: stone structure concept-3
 DEED REF: -

PROJECT:
TONELLA HILL TOWNHOMES
 TONELLA ROAD
 MILFORD, NH 03055

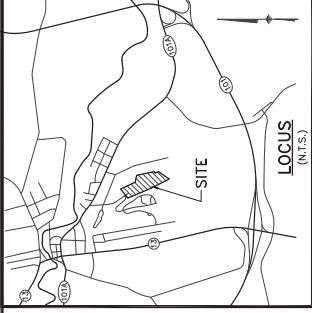
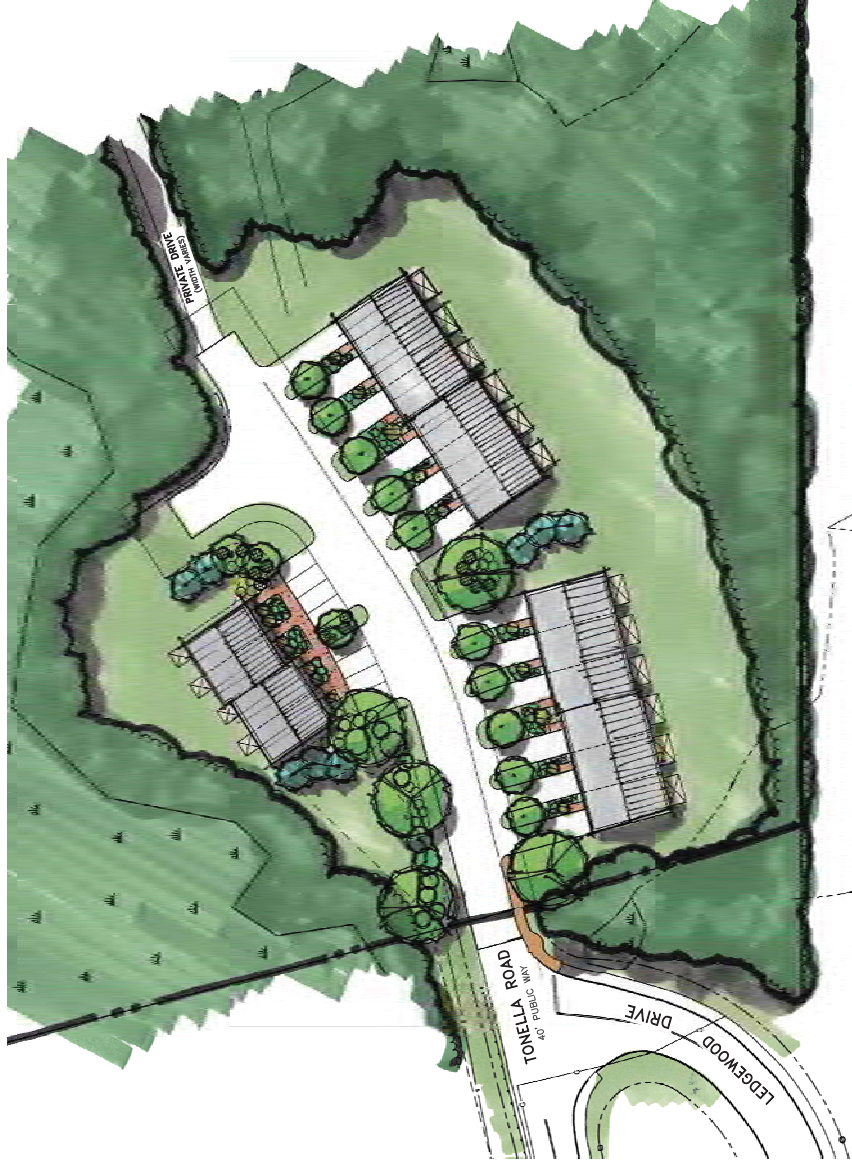
FOR

JESSICA HUDSON
 614 NASHUA ST. SUITE 127
 MILFORD, NH 03055

SHEET TITLE:
UPDATED SITE LAYOUT

Tonella Hill Townhomes

TONELLA ROAD
MILFORD, NEW HAMPSHIRE



SHEET INDEX:

- 1 Title Sheet
- 2 Existing Conditions Plan
- 3 Preparation Plan
- 4 Site Overview Plan
- 5 Site Plan
- 6 Grading, Drainage, & Utility Plan
- 7 Landscape Plan
- 8 Landscape Details
- 9 Erosion Control Plan
- 10-13 Construction Details
- 14 Pre-Development Watershed Plan
- 15 Post Development Watershed Plan

The Dubay Group, Inc.
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REV	DATE	BY	REVISIONS
1	4/4/18	JAM	REVISED PER TOWN COMMENTS
2	4/12/18	JAM	REVISED PER TOWN COMMENTS
3	4/23/18	JAM	REVISED PER TOWN COMMENTS
4	5/15/18	JAM	REVISED PER TOWN COMMENTS

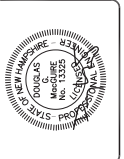
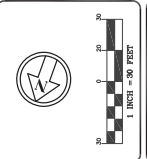
DESIGN BY: JAM
CHECKED BY: JAN, 29, 2018
DATE: JAN, 29, 2018
FILE: 122 SITE COVER
DEED REF: -

PROJECT:
TONELLA HILL TOWNHOMES
TONELLA ROAD
MILFORD, NH 03055

FOR: _____
JESSICA HUDSON
614 NESHUBA ST. SUITE 127
MILFORD, NH 03055

SHEET TITLE:
TITLE SHEET

PROJECT #122, SHEET 1 of 15



REV#	DATE	REVISIONS	BY
1	4/4/19	PLANS PER TOWN COMMENTS	JM
3	4/23/19	COMMENTS	JM
4	5/15/19	REVISED PER TOWN COMMENTS	DM

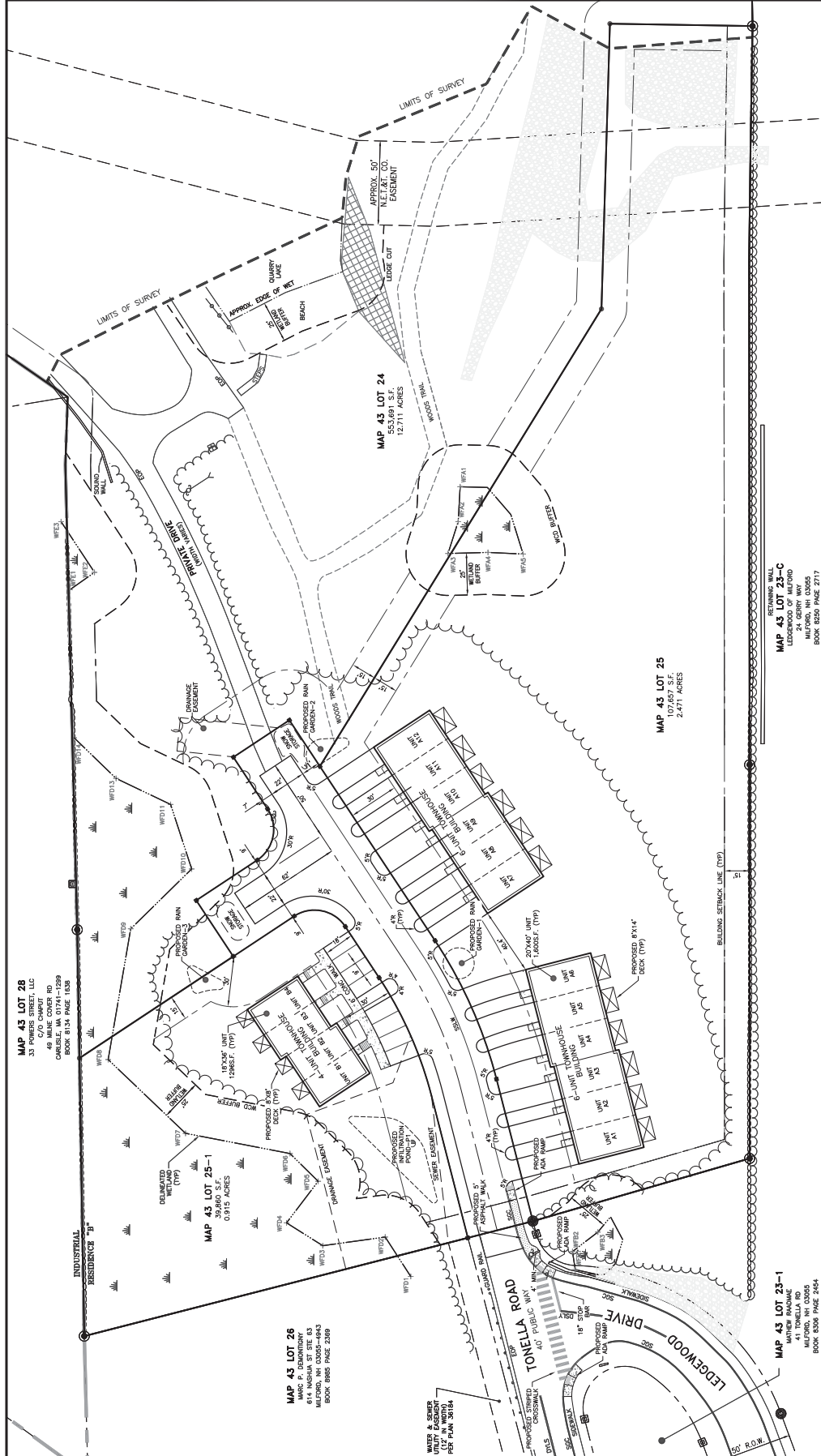
DRAWN BY: DM
CHECKED BY: JAN. 29, 2018
DATE: J.S.
FILE: SITEPLAN
DEED REF: -

PROJECT:
TONELLA HILL TOWNHOMES
TONELLA ROAD
WILFORD, NH 03055

FOR:
JESSICA HUDSON
617 NESHUBA ST. SUITE 127
WILFORD, NH 03055

SHEET TITLE:
SITE LAYOUT PLAN

PROJECT #12. SHEET 5 of 15



MAP 43 LOT 28
33 POWERS STREET, LLC
670 CHERRY RD
CARLSLE, NH 07141-1299
BOOK 8124 PAGE 1838

MAP 43 LOT 26
MARK P. DEBORTON
117 IN WINDY
POB 1044 2914
MILFORD, NH 03055-4943
BOOK 8985 PAGE 2389

MAP 43 LOT 25-1
0.919 ACRES

MAP 43 LOT 25
2.471 ACRES

MAP 43 LOT 23-1
41 TONELLA RD
MILFORD, NH 03055
BOOK 8306 PAGE 2404

MAP 43 LOT 23-C
24 GERRY WAY
MILFORD, NH 03055
BOOK 8250 PAGE 2717

- GENERAL NOTES:**
- THE INTENT OF THIS PLAN IS TO CONSTRUCT 16 TOWNHOUSE STYLE MULTI-FAMILY UNITS, AND TO RELOCATE AN EXISTING WALKWAY.
 - THE SUBJECT PARCELS 43-24 AND 43-25 ARE ZONED AS RESIDENTIAL "B".
 - THE PROJECT WILL BE SERVED BY TOWN WATER AND TOWN SEWER.
 - ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF MILFORD REGULATIONS.
 - SEWER AND DRIVEWAY PERMITS SHALL BE OBTAINED FOR THIS PROJECT.
- OWNERS OF RECORD:**
SUZANNE DEBORTON, TRUSTEE
614 NESHUBA ST. SUITE 127
MILFORD, NH 03055
GEORGE DEBORTON & SUZANNE DEBORTON, TRUSTEES
614 NESHUBA ST. SUITE 127
MILFORD, NH 03055
- 17.** AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- 18.** THE PROJECT IS LOCATED WITHIN THE LEVEL 1 GROUNDWATER PROTECTION DISTRICT.
- 19.** UNITS SHALL BE SERVICED BY PRIVATE TRASH PICK-UP.
- 20.** PROJECT IS SUBJECT TO MUNICIPAL IMPACT FEES.
- 21.** WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- 22.** ALL UNITS ARE REQUIRED TO HAVE SPRINKLERS FOR THE INTERNATIONAL FIRE MARSHAL'S OFFICE USE.
- 23.** PROPERTY TAXES IS BEING PAID FOR THE SPRINKLER AND MAINTENANCE OF THE ON-SITE CONVEYANCE SHAKES, RAIN-GARDENS, AND RETENTION POND. OWNER SHALL REFER TO THE "OPERATION AND MAINTENANCE PROCEDURES FOR RAIN-GARDENS, CONVEYANCE SHAKES, RAIN-GARDENS, AND RETENTION POND" GROUP FOR SPECIFIC MAINTENANCE SCHEDULE, RESPONSIBILITIES, AND INSPECTION FORMS.
- 24.** ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- 25.** THE TIME OF REMOVAL OF DEBRIS SHOULD BE IN THE SPRING AND FALL SEASONS.
- 26.** THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
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Engineers
Planners
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1 INCH = 50 FEET

REV#	DATE	BY	REVISIONS
1	4/4/19	JAM	ISSUE FOR TOWN
2	4/12/19	JAM	PER CON COMMENTS
3	4/23/19	JAM	PER TOWN COMMENTS
4	5/15/19	JAM	PER TOWN COMMENTS

DESIGN BY: JAM
CHECKED BY: JAM
DATE: JAN. 29, 2018
FILE: TONELLA
DEED REF: 1-00

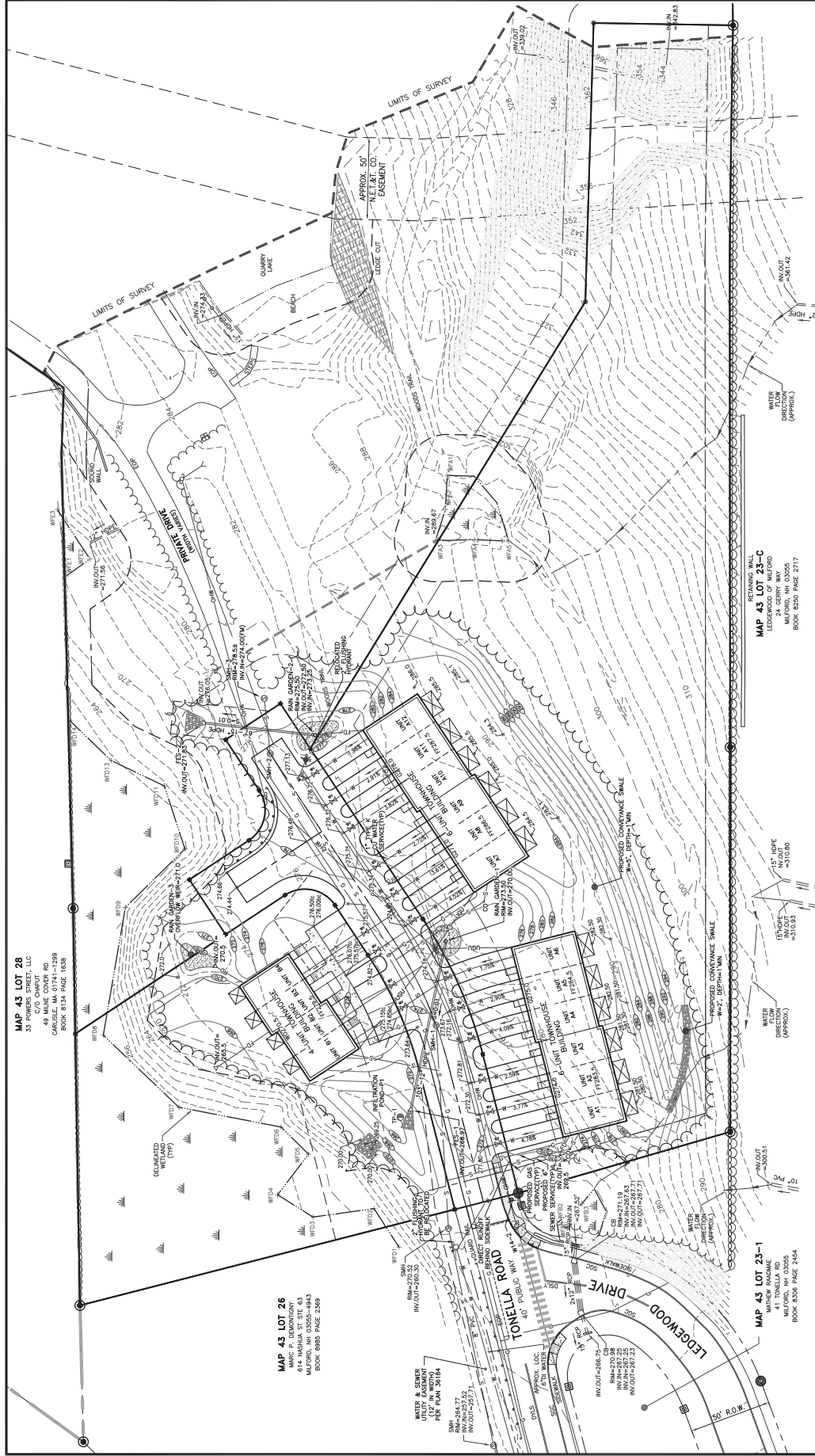
PROJECT: **TONELLA HILL TOWNHOMES**
TONELLA ROAD
WILFORD, NH 03095

FOR: _____

JESSICA HUDSON
614 NESHUBA ST. SUITE 127
WILFORD, NH 03095

SHEET TITLE: **GRADING, DRAINAGE, & UTILITY PLANS**

PROJECT #122 SHEET 6 of 15



CONTRACTOR SHALL REFER TO THE SUBDIVISION PLANS TITLED "TONELLA HILL TOWNHOMES" FOR TONELLA ROAD ROADWAY EXTENSION AND PROPOSED SEWER MAIN, WATER MAIN, AND GAS MAIN UTILITY EXTENSION CONSTRUCTION DETAILS.



MAP 43 LOT 28
33 POWERS STREET, LLC
49 MAINE COVER RD
CARLSLE, NH 0741-1299
BOOK 8154 PAGE 1638

MAP 43 LOT 26
614 NESHUBA ST. STE 63
WILFORD, NH 03095-4843
BOOK 8985 PAGE 2389

MAP 43 LOT 23-1
41 TONELLA RD
WILFORD, NH 03095
BOOK 8308 PAGE 2644

- NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF WILFORD, AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF WILFORD, AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF WILFORD.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND DEPTH OF ALL EXISTING UTILITIES AND STRUCTURES. THE ENGINEER AND THE TOWN OF WILFORD SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES BY THE CONTRACTOR AT LEAST 72 HOURS BEFORE DIGGING.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF WILFORD, AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF WILFORD.
 5. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 6. ALL WORK SHALL BE COMPLETED AND PAID FOR PRIOR TO THE END OF THE PROJECT.
 7. SANDWICH SWALE SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SANDWICH SWALES SHALL BE PAVED AND SHALL CONFORM TO ASTM F 679 (SIC 35 MINIMUM).
 8. DRAINAGE SHALL BE INSTALLED PER THE ELEVATIONS SPECIFIED ON THIS PLAN. TYPICAL COVER FOR ELECTRIC UTILITY SHALL BE 18" MINIMUM. TYPICAL COVER FOR GAS UTILITY SHALL BE 24" MINIMUM. TYPICAL COVER FOR WATER UTILITY SHALL BE 24" MINIMUM. TYPICAL COVER FOR SEWER UTILITY SHALL BE 24" MINIMUM. TYPICAL COVER FOR GAS UTILITY SHALL BE 24" MINIMUM. TYPICAL COVER FOR WATER UTILITY SHALL BE 24" MINIMUM. TYPICAL COVER FOR SEWER UTILITY SHALL BE 24" MINIMUM.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF WILFORD, AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF WILFORD.
 10. VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
 11. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR THE WATER SERVICE PIPE SIZE AND TYPE.
 12. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 13. SMOOTH TRANSITIONS SHALL BE PROVIDED AT ALL CONNECTIONS. CURBING, SLOPES AND ALLOWMENTS SHALL BE PROVIDED AT ALL CONNECTIONS.
 14. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 15. DRAINAGE SHALL BE INSTALLED PER THE ELEVATIONS SPECIFIED ON THIS PLAN. TYPICAL COVER FOR ELECTRIC UTILITY SHALL BE 18" MINIMUM. TYPICAL COVER FOR GAS UTILITY SHALL BE 24" MINIMUM. TYPICAL COVER FOR WATER UTILITY SHALL BE 24" MINIMUM. TYPICAL COVER FOR SEWER UTILITY SHALL BE 24" MINIMUM.
 16. VEGETATION NORTH OF INFILTRATION POND-P1 SHALL NOT BE DISTURBED (AS SHOWN BY THE TREELINE).