



TOWN OF MILFORD, NH  
OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055 TEL: (603)249-0620 WEB: WWW.MILFORD.NH.GOV

**Date:** August 10, 2022  
**To:** Planning Board  
**From:** Lincoln Daley, Community Development Director  
**Subject:** SP2022-05 30 Wilton Road LLC for the property located at Tax Map 6, Lot 14, 30 Wilton Road. Public Hearing for a Conditional Use Permit/Major Site Plan Application to construct 3 story, 40 foot tall, 13,950 square foot (41,850 square foot gross floor area) self-storage facility and associated, parking, site and drainage improvements in the Integrated Commercial Industrial zoning District and West Elm Overlay. (*Continued from 7/21/22*)

**BACKGROUND/PROPOSAL:**

The applicant is before the Planning Board for a conditional use permit and major site plan application to construct a 3 story, 40 foot tall, 13,950 square foot (41,850 square foot gross floor area) self-storage facility and associated, parking, site and drainage improvements in the Integrated Commercial Industrial zoning District and West Elm Overlay. Attached please find is the site plan, traffic analysis, parking memorandum, and proposed revised elevations.

This will be the third meeting for the application. The anticipated focus of this meeting will be on the layout and design of the proposed building and the roadway alignment/driveway access and pedestrian improvements.

**EXISTING USE/CONDITIONS:**

The proposed parcel, Tax Map 6, Lot 14 consists of approximately 6.354 acres (276,773 sq.ft.) with more than 950 linear feet of frontage on Wilton Road. The property is located adjacent to the Pine Valley Mill property to the north, the Pan Am Railway and Souhegan River to the south and east, the General Dollar store to the west, and residential homes to the north and northwest. The property is primarily comprised of the existing multi-building self-storage operation with an open undeveloped field to west and minimal tree coverage around the perimeter.

A small wetland resource area has been delineated along the southern property line, but will not be impacted by the project. The topography for the proposed subdivided lot is primarily flat with a slight upward slope from west to east. The subject area is primarily comprised of open field space.

**LOT AREA:**

Proposed Tax Map 6, Lot 14 = ±6.354 acres (276,773 sq.ft.)

**APPLICATION STATUS:**

The application was accepted on July 5, 2022.

**NOTICES:**

Notices were sent to all property abutters on June 2, 2019.

**WAIVERS:**

No waivers have been requested.

**ZONING DISTRICTS:**

The proposed parcel lies within the Integrated Commercial – Industrial “ICI” zoning district. The intent of the Integrated Commercial-Industrial District is to provide an area for sales and service activities, both wholesale

and retail, as well as industrial activities. This District is intended to be the area in which vehicular oriented business can occur. Pursuant to Section 7.13, Self-Service Storage Facilities are permitted in the Integrated Commercial-Industrial District by the granting of a conditional use permit by the Planning Board.

The property also falls within the West Elm Street Gateway Overlay District. The intent of this District is to encourage economic development in the West Elm Street Gateway District by enhancing, preserving and protecting the natural, historic and cultural resources of the Town. The purpose of this Ordinance is to implement the Town of Milford's vision for the future as set forth in the Community Character Chapter of the Master Plan 2007 Update: Goal No. 2: Foster the traditional character of Milford's neighborhoods by encouraging a human scale of development that is similar in setbacks, size and height, and that is comfortable and safe for pedestrians and non-motorized vehicles while allowing for an efficient and safe roadway network.

The property falls within the groundwater protection 2 district and the flood plain management district (proximity to the Souhegan River).

**TRAFFIC AND ACCESS MANAGEMENT:**

Access and egress from the retail facility will be from a connection to the existing storage facility to the east and an internal roadway connection to the Dollar General site to the west. The previously proposed 24' wide driveway curb cut on Wilton Road had been modified to only allow access for the owner of the property to the south. The changes/modification were implemented per the discussions with Staff and the Board.

The applicant submitted a traffic analysis memorandum dated 5/23/22 (see attached report). The report concluded that the proposed indoor storage facility use is expected to generate a total of 9 trips in the AM peak hour and 14 trips in the PM peak hour (61 trips in + 61 trip out = 122 total daily trips). This will result in a net increase for the entire site (existing storage buildings and proposed indoor facility) of 5 total trips in the AM peak hour and 5 total trips in the PM peak hour. ITE recommends that traffic impact studies be performed whenever an increase in trips in any peak hour is greater than 100 trips per hour since this is the point where a change in roadway capacity may be found and mitigation may or not be needed.

**PARKING:**

The project proposes to provide 11 parking spaces (included 1 handicap space) for the indoor storage facility.

**DRAINAGE/STORMWATER MANAGEMENT:**

The stormwater and drainage design is currently being reviewed by the Town's engineering consultant.

**UTILITIES:**

The proposed retail establishment will access the Milford waste water system while water will be provided by the Town of Wilton. Power to the site will be underground.

**INTERDEPARTMENTAL REVIEWS:**

**Ambulance:** No comments

**Assessing:** No comments.

**Building Department:** No comments.

**Code Enforcement/ Health:** No comments.

**Conservation Commission:** No Comments.

**Environmental Programs/Stormwater:** The final stormwater and drainage design is currently under review by the Town Engineering Consultant, KV Partners.

**Fire Department:** The building will be required to have a sprinkler system installed. Plans must be provided for review and approval. *Comment Addressed – See 8/9/22 Response Letter*

**Heritage Commission:** No comments.

**Police Department:** No comments.

**Public Works:**

1. Project will require a Town Street Opening Permit and Driveway Permit.
2. Ensure that all plantings do not impact sight distance for access/egress along Wilton Road.
3. The plan should incorporate pedestrian activity along Wilton Road.

*Comment Addressed – See 8/9/22 Response Letter*

**Water/Sewer Utilities:**

1. No comments.

**Community Development / Planning:**

1. Sheet 1 and 4. Please confirm if the proposed internal roadway connecting the existing storage facility with the proposed building conflicts with ability to construct said road over the underground penstock. Will additional access/maintenance easement(s) be required? If yes, please revise the plans accordingly and submit draft easement.

In addition, please explain the reason for not aligning the proposed driveway entrance with North River Road within the existing access easement area?

*Comments Addressed – See 8/9/22 Response Letter*

2. General Comment - Per the 8/27/16 Planning Board approval for the initial self-storage facility site plan for Map 6, Lot 14, Condition 1.c. states that the

“applicant shall work with the Community Development to finalize the design and location of the future bus stop shelter. Should an easement to accommodate future bus turnouts and shelters may be required, the applicant shall submit an access and maintenance easement to Community Development for review and approval.”

*Comment Addressed – See 8/9/22 Response Letter. As a conditional of final approval, the applicant should provide a draft easement to allow the creation of a dedicated bus stop and shelter.*

3. General Comment - Pedestrian Connectivity. Pursuant to Section 7.03 Sidewalks of the Development Regulations, the Planning Board may require sidewalks for pedestrian traffic to provide a connection between the main entrances of business, housing or industrial establishments, parking areas and along public roadways. Further, the Planning Board may also require sidewalks from the road to the main building entrance or along the road frontage if there is a reasonable expectation pedestrian patrons, residents, neighbors, employees would be traveling to or from the site. Sidewalks and pedestrian connectivity is further emphasized in the West Elm Street Overlay District.

*Comment Addressed – See 8/9/22 Response Letter*

4. Sheets 1, 4-7. Please revise the plans accordingly to include the location of the underground penstock.

*Comment Addressed – See 8/9/22 Response Letter*

5. Sheet 4. Please explain the reason for locating the proposed propane pad and tank as shown on the plan in close proximity to the building. In addition, it is recommended that protective bollards be installed around concrete pad. *Comment Addressed – See 8/9/22 Response Letter*

6. Sheet 8. Please revise the plan set to include the engineering and construction details for the lights. Include the manufacturing photographs of each proposed light. *Comment Addressed – See 8/9/22 Response Letter*

7. General Comment - Please explain if LID practices were considered as part of the drainage/stormwater and landscape design. More specifically it would appear that opportunities exist to utilize portions of the landscaped areas for treatment and infiltration of stormwater. In addition, were there considerations to design a functional raingarden in lieu of or in addition to the proposed detention basin? *Comments Addressed – See 8/9/22 Response Letter*

8. General Comment - Proposed Signage. Please include the proposed design, construction, and engineering details associate with the monument sign, directional signage, and wall signage. ***Comment Partially Addressed – See 8/9/22 Response Letter. The Applicant will be required to file a separate sign permit for the proposed wall sign.***
9. Sheet LA 101 - Snow Storage. The plan shows a snow storage location east of the main access drive. Please clarify and describe the anticipated process for snow removal. A note should be added to the plan detailing said removal process. It is recommended that the snow removal company be a certified Green Snow Professional. ***Comment Addressed – See 8/9/22 Response Letter***
10. Sheet LA 101. The proposed landscape design does not currently include any plantings along the building. Pursuant to Section 6.08.6 of the Development Regulations, landscaping shall be provided along all building frontage. A minimum of one (1) shrub for every five (5') feet of building frontage shall be provided. In instances where it is not possible to locate all required shrubs along the building frontage due to doorways, walkways or other impervious surfaces, the required shrubs shall be utilized within the parking lot or landscape buffers. Please revise the plan accordingly or submit a waiver request. ***Comment Addressed – See 8/9/22 Response Letter***
11. Sheet LA 101. Pursuant to Development Regulations, Section 6.08.8.A of the Development Regulations, please confirm that all plant stock meets the ANSI Z60.1 standard. ***Comment Addressed – See 8/9/22 Response Letter***
12. Sheet LA 101. Please add a note to the plan stating the following, “Any landscape element that dies, or is otherwise removed, shall be promptly replaced with the same, if not similar to, height or texture element as originally intended. In addition, landscaped areas shall be kept free of all debris, rubbish, weeds and overgrown turf grass.” ***Comment Addressed – See 8/9/22 Response Letter***
13. Sheet LA 101. Pursuant to the Development Regulations, Section 6.08.5.B.1 A landscaped buffer shall be at least ten (10') feet in width and six (6') feet in height to effectively screen from adjacent properties and may consist of evergreens, berms, mounds, fencing or combinations thereof in conjunction with complimenting shrubs and perennials. The buffer along the westerly property line is less than the required 10' (9' wide green buffer plus 1' cape cod berm) and contains no screening. ***Comment Addressed – See 8/9/22 Response Letter***
14. General Comment – Zoning Ordinance, Section 6.07.6.E.2 Building Massing, Form, Height. Pursuant to Section 6.07.06.E.2, to enhance the character of new development and the corridor, the building scale should be reduced introducing small- scaled architectural features, creating an irregular footprint and variations in roof forms and height of roof elements.  
  
Please explain how the side elevations of the building meet these design standards and what alternatives were considered. The applicant submitted revised building elevations for Board consideration.  
***See 8/9/22 Response Letter. The Board will need to determine if the building design complies the referenced section of the Ordinance. If no, then the Board should provide additional guidance and recommendations.***
15. General Comment – Zoning Ordinance, Section 6.07.6.E.3 Architectural Features and Materials. Pursuant to Section 6.07.06.E.3, long expanses of repetitive architectural elements and flat unarticulated wall surfaces shall be avoided. Please explain how the side elevations of the building meet this requirement and what alternatives were considered. Please modify the plan in compliance with this section or request a waiver from said section. *The applicant submitted revised building elevations for Board consideration.*  
***See 8/9/22 Response Letter. The Board will need to determine if the building design complies the referenced section of the Ordinance. If no, then the Board should provide additional guidance and recommendations.***
16. General Comment – Zoning Ordinance, Section 6.07.6.E.8 Windows. Consideration should be given to adding windows or other architectural features to the side elevations to break up the walls. *The applicant submitted revised building elevations for Board consideration which include additional windows along the sides of the building.*  
***See 8/9/22 Response Letter. The Board will need to determine if the building design complies the referenced section of the Ordinance. If no, then the Board should provide additional guidance and recommendations.***

17. General Comment – Section 6.07.6.E.11 Screening. Pursuant to Section 6.07.06.E.11, states that all rooftop air conditioning, heating and large mechanical equipment, building accessories, and refuse shall have noise reduction screening and be screened from public view and have noise reduction screening. Please identify on the plans where the anticipated roof mounted units will be located. Further, please provide building design and construction details for sound and visual screening mitigation for all roof mounted mechanical units. ***Comment Addressed – See 8/9/22 Response Letter***
18. General Comments – Building Design and Elevations
- a. Roof Form and Materials – Section 6.07.E.7 of the Zoning Ordinance and the Development Regulations, Section 6.04.3 state that rooflines shall be characteristically sloped and articulated with architectural features such as dormers, chimneys, gables, cupolas, etc. Further, flat roofs are strongly discouraged unless the Planning Board finds that a proposal can provide appropriate visual appeal. In addition, rooflines shall not run in continuous planes and shall be broken into appropriately scaled masses. Please explain how the front and side roof lines of building meet these requirements. Further, please discuss what alternative building designs were considered for the location, corridor, and in context with Milford’s architectural heritage.
- The applicant submitted revised building elevations for Board consideration.*
- See 8/9/22 Response Letter. The Board will need to determine if the building design complies the referenced section of the Ordinance. If no, then the Board should provide additional guidance and recommendations.***
19. General Comment – Zoning Ordinance, Section 6.07.06.F.1 Access Management. Please provide an internal turning radius template analysis showing the turning movements for WB 50 design vehicle.
- Comment Addressed – See 8/9/22 Response Letter***

**STAFF RECOMMENDATIONS:**

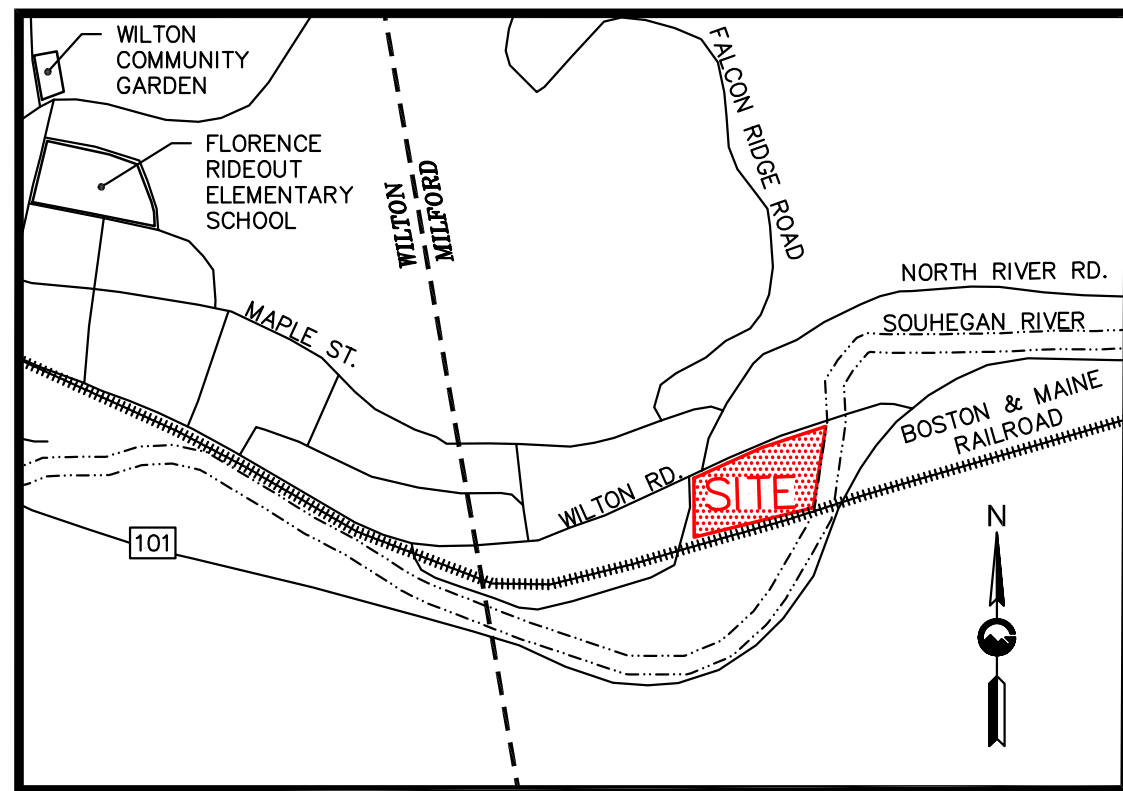
The applicant should be prepared to address the comments raised by the Planning Board, Conservation Commission, Heritage Commission, Town Consultants, Staff, and public pertaining to the Site Plan. The majority of questions and comments have been addressed by the applicant. However, the Planning Board will need to determine if the building layout and design meets the purpose and intent of the overlay district and stated requirements. If the Board move forward with an approval, Staff recommend the following conditions:

1. Prior the signing the site plan, the applicant shall submit an easement for review and approval by the Community Development Office to allow the construction of the future bus stop and shelter as depicted on the site plan.
2. Final review and approval of the stormwater drainage design by the town’s engineering consultant.

**Aerial Photographs of Map 6, Lot 14-1.**







**LOCUS PLAN**  
1" = 1000'

**WILDLIFE PROTECTION NOTES:**

- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL [NHGameView@wildlife.nh.gov](mailto:NHGameView@wildlife.nh.gov). EMAIL SUBJECT LINE: **NHB21-3500\_STORAGE\_SENSE-MILFORD WEST\_WILDLIFE SPECIES OBSERVATION**.
- PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NH&G IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NH&G AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NH&G, IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED OR ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
- THE NH&G, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

**TAX MAP 6  
LOT 48**  
KAREN E. LEGAULT  
24 MAPLE ST.  
MILFORD, NH 03055

- THE EXISTING PROJECT SITE HAS BEEN PARTIALLY DEVELOPED TO THE EAST, WITH THE EXISTING SELF-STORAGE FACILITY. THE REMAINDER OF THE LOT CONSISTS OF A MEADOW/LONG GRASS FIELD. THE UNDEVELOPED PORTION IS FLAT AND THE MAJORITY OF THE FIELD EVENTUALLY DRAINS TO THE ADJACENT OPEN-TO-AIR PENSTOCK TO THE SOUTH.
- THIS LOT IS SERVED BY MUNICIPAL WATER AND SEWER FROM TOWN OF MILFORD.
- OPEN SPACE CALCULATIONS:**  
TOTAL AREA: 276,773 SF  
EXISTING OPEN SPACE: 167,118 SF (60.4%)  
PROPOSED OPEN SPACE: 139,501 SF (50.4%)
- IMPACT FEE CALCULATION:**  
WATER ENTRANCE FEE: \$7.86/GPD X 113 GPD = \$882.50  
SEWER ENTRANCE FEE: \$12.11/GPD X 113 GPD = \$1,368.43  
POLICE IMPACT FEE: \$0.14/SF X 41,850 SF = \$5,859  
NASHUA ST IMPROVEMENT = \$45.00  
TOTAL = \$8,254.93
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC. DURING NOVEMBER 2021.
- BOUNDARY INFORMATION SHOWN IS COMPILED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE TOWN OF MILFORD, NEW HAMPSHIRE, HILLSBOROUGH COUNTY, PANEL NUMBER 3301100453D, EFFECTIVE DATE 09/25/2009 INDICATES THAT THE SUBJECT PARCEL IS LOCATED IN ZONE X, "AREAS OF 0.2% ANNUAL CHANCE OF FLOOD" AND ZONE AE "AREAS OF 1% ANNUAL CHANCE OF FLOOD".

**TAX MAP 6  
LOT 48-2**  
STEFAN C. MURRAH  
10 MAPLE ST.  
MILFORD, NH 03055

TABLE OF ZONING REQUIREMENTS			
DESCRIPTION	REQUIRED PER ICJ DISTRICT	EXISTING LOT 14	PROPOSED LOT 14
MIN. LOT SIZE	20,000 SF	276,773 SF	276,773 SF
MIN. LOT FRONTAGE	150 FT	954 FT	954 FT
MIN. BUILDING SETBACKS			
FRONT	30 FT	68 FT	36 FT
SIDE	15 FT	161 FT	34 FT
REAR	15 FT	60 FT	68 FT
OPEN SPACE	30%	60.4%	50.4%
MAX. BUILDING HEIGHT	40 FT	<35 FT	40 FT

13. ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF MILFORD'S INFRASTRUCTURE DESIGN, CONSTRUCTION AND ADMINISTRATION STANDARDS, LATEST EDITION.
14. THE CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT (AVAILABLE FROM PUBLIC WORKS DEPARTMENT) TO REPAIR, WIDEN, RECONSTRUCT OR CONSTRUCT A DRIVEWAY.
15. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. GRANITE ENGINEERING, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
16. **PARKING CALCULATIONS:**  
\*DESIRED:  
STORAGE: 41,850 SF @ 1 SPACE/10,500 SF = 4 SPACES  
TOTAL DESIRED PARKING: = 4 SPACES  
\*THERE IS NO PARKING REQUIREMENT FOR SELF STORAGE IN THE TOWN OF MILFORD'S ZONING REGULATIONS.

17. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
18. SHOULD THE VOLUME OF ACCUMULATED SNOW EXCEED THE CAPACITY OF THE ONSITE STORAGE AS SHOWN ON THIS PLAN, THE EXCESS SNOW SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS.
19. WATER, SEWER, ROAD (INCLUDING THE PARKING LOT) AND DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WILTON WATER DEPARTMENT AND TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
20. THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND, THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORMWATER PREVENTION PLAN (SWPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.

21. THE PROJECT REQUIRES THE FOLLOWING STATE, FEDERAL, AND LOCAL PERMITS:
- | PERMIT                                | STATUS                            | PERMIT NUMBER |
|---------------------------------------|-----------------------------------|---------------|
| STORMWATER MANAGEMENT PERMIT          | PENDING                           |               |
| LOCAL SITE PLAN                       | PENDING                           |               |
| CONDITIONAL USE PERMIT - SELF STORAGE | PENDING                           |               |
| NHDES AOT                             | PENDING                           |               |
| NPDES SWPPP                           | SUBMITTED AT TIME OF CONSTRUCTION |               |

22. NO WAIVER REQUESTS ARE A PART OF THIS PROJECT.
23. JURISDICTIONAL WETLANDS WERE MAPPED AND LOCATED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF JUNE 2016 AND VERIFIED IN NOVEMBER 2021.
24. LOCATION OF BUILDINGS WITHIN 50' ROADS WITHIN 200' AND KNOWN INFILTRATION DRAINAGE SYSTEMS WITHIN 200' ARE SHOWN FOR REFERENCE.
25. THERE IS NO TRASH REFUSE PROPOSED ON SITE. EMPLOYEE TRASH WILL BE REMOVED THROUGH PRIVATE SERVICE. CUSTOMERS ARE REQUIRED TO REMOVE THEIR TRASH.
26. PLOWED SNOW FROM THE FACILITIES, DRIVEWAY, PARKING LOTS, AND SIDEWALK SHALL BE STORED IN THE DESIGNATED AREAS AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. SHOULD THE DESIGNATED SNOW-STORAGE AREAS BE FILLED, EXCESS SNOW SHALL BE TAKEN OFFSITE AND PROPERLY DISPOSED OF. SNOW STORAGE ONSITE SHALL NOT OBSTRUCT

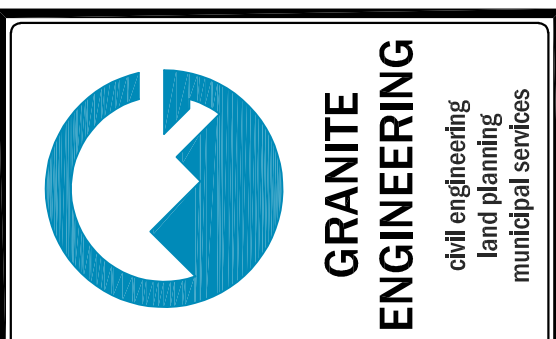
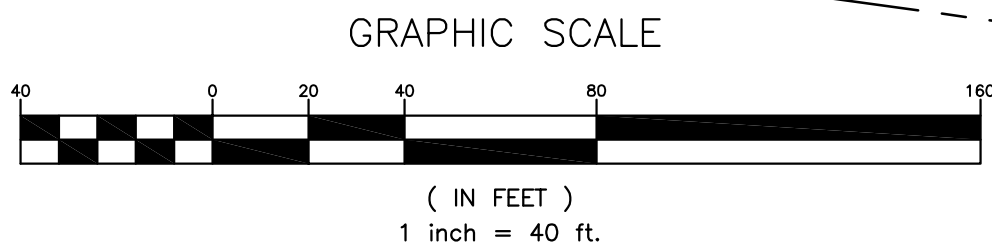
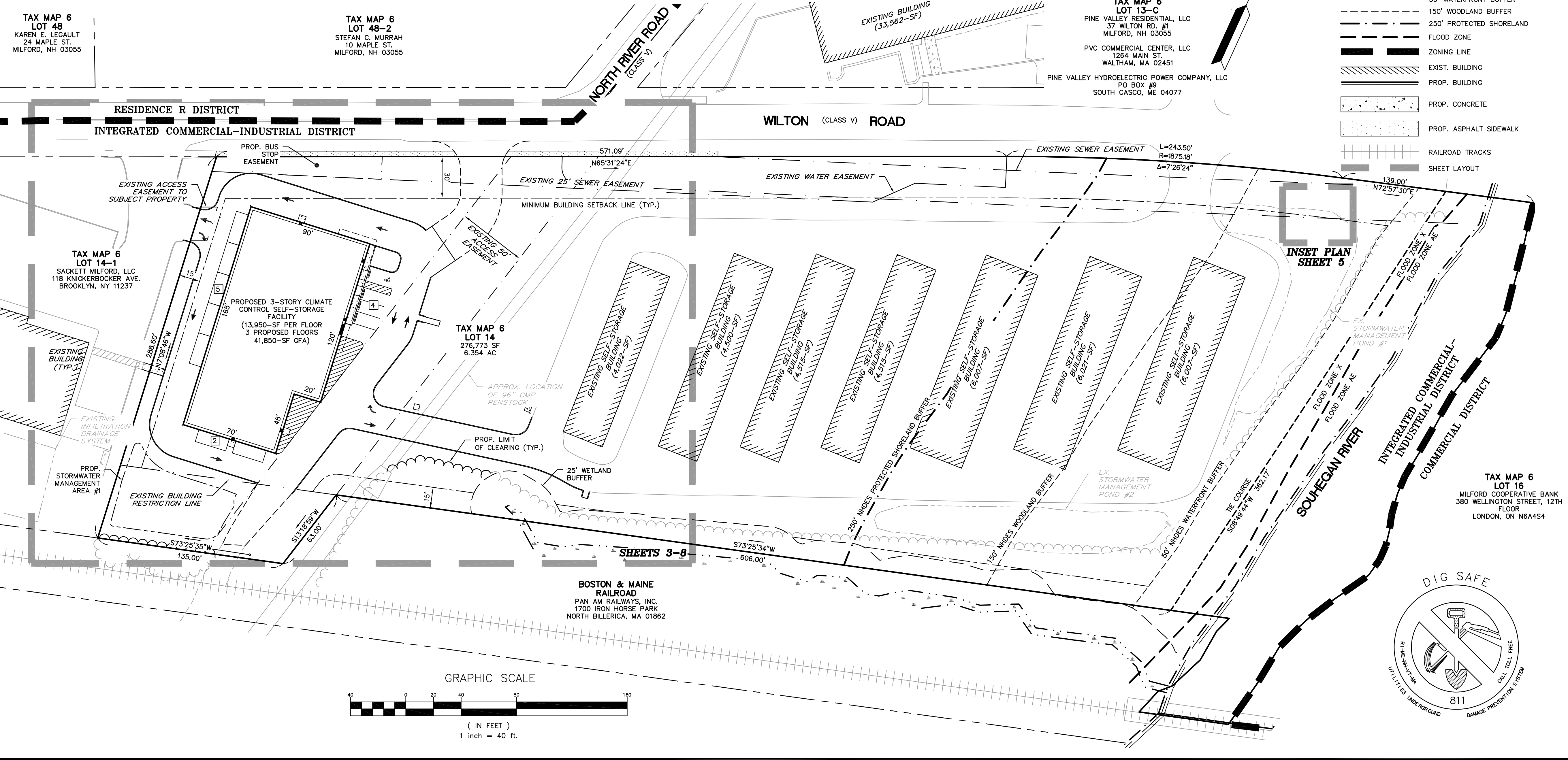
27. THIS PROJECT REQUIRES A TOWN STREET OPENING PERMIT. SAID PERMIT SHALL BE OBTAINED BY SITE CONTROL POINT ASSOCIATES, INC. & RECORDED AS PLAN #40218 IN THE H.C.R.D.
28. THIS BUILDING REQUIRES A SPRINKLER SYSTEM. SPRINKLER SYSTEM PLANS MUST BE PROVIDED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.

**PLANS OF REFERENCE:**

- "SUBDIVISION PLAN-LISCIOTTI DEVELOPMENT CORP.-30 WILTON ROAD-MAP 6, LOT 14-TOWN OF MILFORD, HILLSBOROUGH COUNTY-STATE OF NEW HAMPSHIRE", SCALE: 1"=50', DATED: APRIL 23, 2019, PREPARED BY: CONTROL POINT ASSOCIATES, INC. & RECORDED AS PLAN #40218 IN THE H.C.R.D.
- "SITE PLAN-PREPARED FOR-MILFORD-ELM STREET-TRUST-MILFORD, N.H.", SCALE: 1"=40', DATED: APRIL 23, 1987, LAST REVISED 9/29/87 BY THOMAS R. MORAN, INC.
- "ALTA/ACSM LAND TITLE SURVEY-BOUNDARY AND EASEMENT PLAN-PINE VALLEY MILL-COMMERCIAL CENTER/RESIDENCES AT THE MILL-TAX MAP PARCEL 6-13 - 37 WILTON ROAD-MILFORD, NEW HAMPSHIRE-PREPARED FOR-DAKOTA PARTNERS, INC.-LAND OF-PINE VALLEY RESIDENTIAL LLC", SCALE: 1"=40', DATED: JANUARY 30, 2013 AND LAST REVISED 5/30/13 BY FIELDSTONE LAND CONSULTANTS, PLLC.
- "EXISTING CONDITIONS PLAN-LAND OF-282 ROUTE 101, LLC & -37 WILTON ROAD MILFORD, LLC-TAX MAP-LOT 6-14 - 30 WILTON ROAD-MILFORD, NEW HAMPSHIRE", SCALE: 1"=40', DATED: FEBRUARY 6, 2011, LAST REVISED 5/27/11, SHEET 4 OF 15 BY MERIDIAN LAND SERVICES, INC.
- "PLAN OF TAX PARCELS 7-27, 7-33 & 7-34 -HILLSBOROUGH MILLS-MILFORD, N.H.", SCALE: 1"=80', DATED: JULY 17, 1979 BY THOMAS F. MORAN, INC.
- "ACCESS & UTILITY EASEMENT PLAN-TAX MAP LOT 6-14 - 30 WILTON ROAD-MILFORD, NEW HAMPSHIRE", SCALE: 1"=50', DATED: JANUARY 18, 2017 & REVISED THROUGH JUNE 26, 2018, PREPARED BY: FIELDSTONE LAND CONSULTANTS, PLLC & RECORDED AS PLAN #39994 IN THE H.C.R.D.
- "ACCESS EASEMENT PLAN-LISCIOTTI DEVELOPMENT CORP.- 30 WILTON ROAD-MAP 6, LOT 14-TOWN OF MILFORD, HILLSBOROUGH COUNTY-STATE OF NEW HAMPSHIRE", SCALE: 1"=20', DATED: AUGUST 13, 2019, PREPARED BY: CONTROL POINT ASSOCIATES, INC. & RECORDED AS PLAN #40252 IN THE H.C.R.D.

**LEGEND**

- [Symbol] DENOTES PARKING AMOUNT
- [Symbol] ABUTTER LINE
- [Symbol] PROPERTY LINE
- [Symbol] EX. EDGE OF PAVEMENT
- [Symbol] PROP. EDGE OF PAVEMENT
- [Symbol] EX. STORMWATER MANAGEMENT AREA
- [Symbol] PROP. STORMWATER MANAGEMENT AREA
- [Symbol] EXISTING WETLAND
- [Symbol] EX. GRAVEL
- [Symbol] EDGE OF RIVER
- [Symbol] WETLAND BUFFER
- [Symbol] 50' WATERFRONT BUFFER
- [Symbol] 150' WOODLAND BUFFER
- [Symbol] 250' PROTECTED SHORELAND
- [Symbol] FLOOD ZONE
- [Symbol] ZONING LINE
- [Symbol] EXIST. BUILDING
- [Symbol] PROP. BUILDING
- [Symbol] PROP. CONCRETE
- [Symbol] PROP. ASPHALT SIDEWALK
- [Symbol] RAILROAD TRACKS
- [Symbol] SHEET LAYOUT

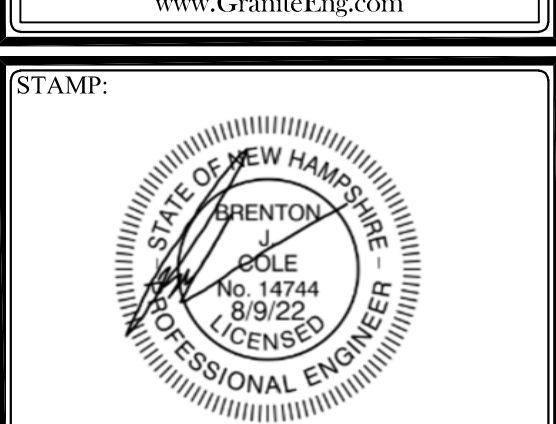


NO.	DATE	REVISIONS
0	05/23/2022	PROJECT SUBMITTAL
1	08/09/2022	REVISED PER TOWN COMMENTS

OWNER & APPLICANT:  
30 WILTON ROAD LLC  
55 HIGH STREET  
PITTSFIELD, NH 03263  
BOOK 9471 PAGE 2225

**GRANITE ENGINEERING**  
civil engineering • land planning • municipal services

150 Dow Street, Tower 2, Suite 421  
Manchester, New Hampshire 03101  
603.518.8030  
www.GraniteEng.com



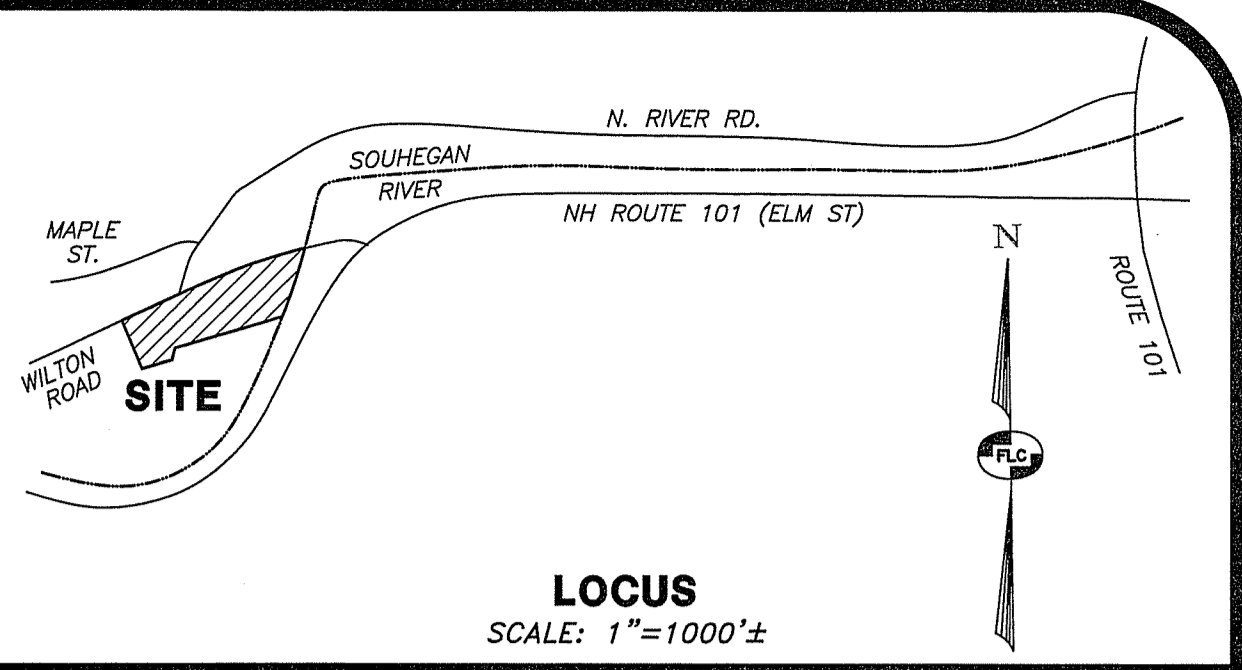
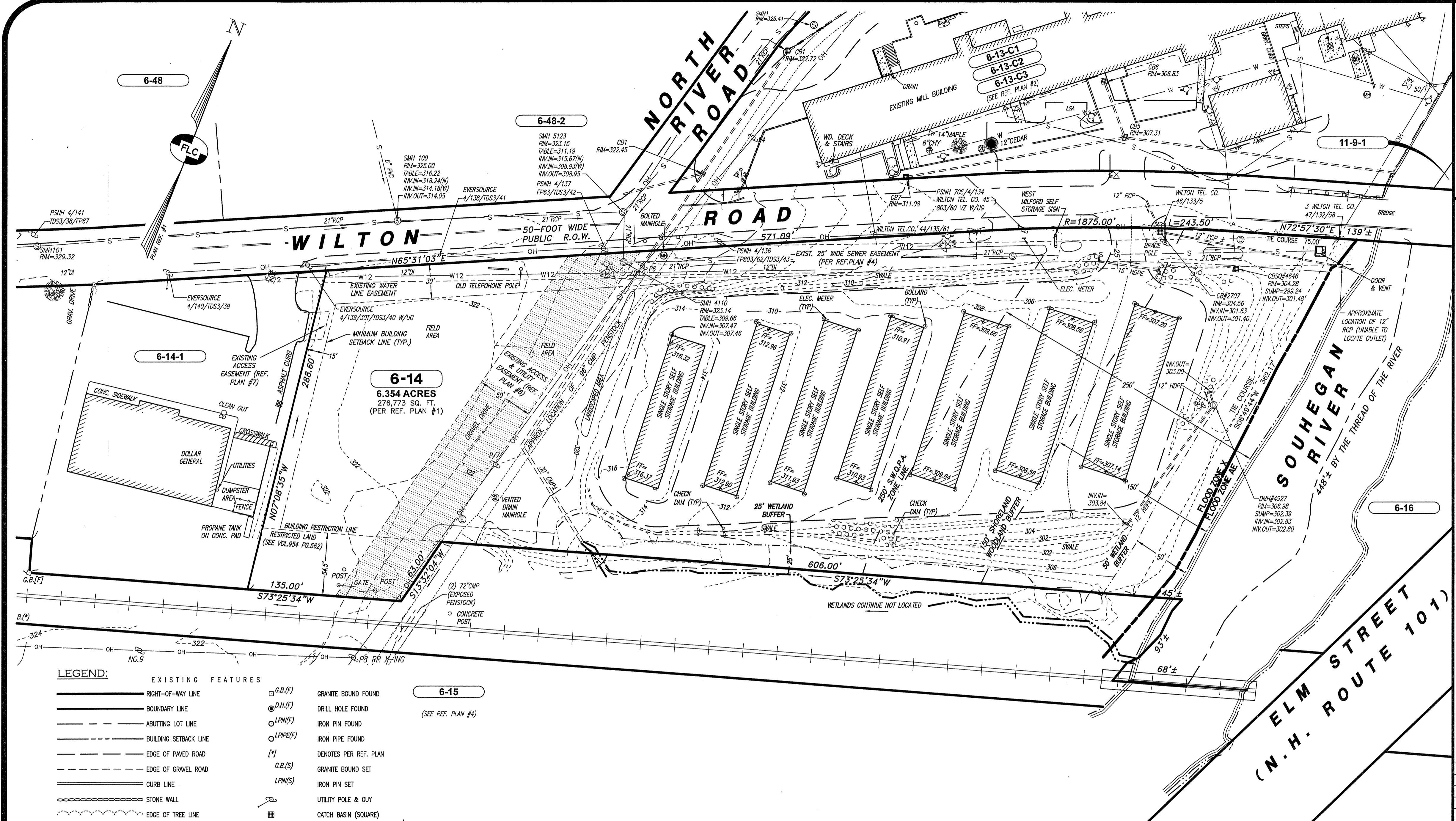
LOCATION:  
TAX MAP 6 LOT 14  
30 WILTON ROAD  
MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

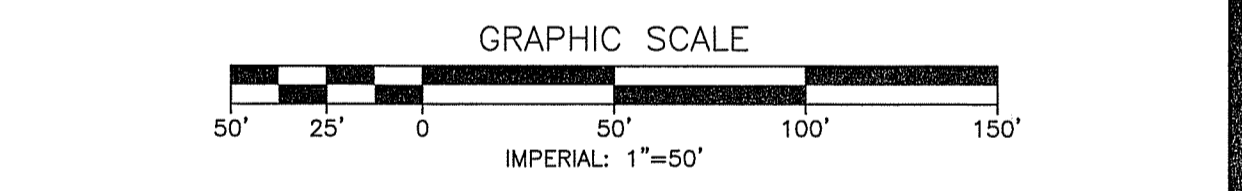
TITLE:  
**OVERVIEW PLAN**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022 SCALE: 1"=40'  
SHEET: 1 OF 19





- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP PARCEL 6-14 IS 30 WILTON ROAD LLC - 55 HIGH STREET - PITTSFIELD, NH 03263. DEED REFERENCE TO PARCEL IS BOOK 9471 PAGE 2225 DATED MAY 18, 2021 IN THE H.C.R.D.
  - THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR TAX MAP PARCEL 6-14 AS SHOWN.
  - THE TOTAL AREA OF TAX MAP PARCEL 6-14 IS 6.354 ACRES OR 276,773 SQ.FT. PER REFERENCE PLAN #1.
  - LOT NUMBERS REFER TO THE TOWN OF MILFORD ASSESSORS MAPS 6.
  - ZONING FOR THE PARCEL IS INTEGRATED COMMERCIAL-INDUSTRIAL "ICI".
- | INTEGRATED COMMERCIAL-INDUSTRIAL | REQUIRED  | EXISTING   |
|----------------------------------|-----------|------------|
| MIN LOT AREA                     | 20,000 SF | 276,773 SF |
| MIN LOT FRONTAGE                 | 150 FT    | 953.59 FT  |
| MIN FRONT SETBACK                | 30 FT     | 30 FT      |
| MIN SIDE SETBACK                 | 15 FT     | 15 FT      |
| MIN REAR SETBACK                 | 15 FT     | 15 FT      |
| MAX. BUILDING HEIGHT             | 40 FT     | <40 FT     |
- PERIMETER INFORMATION SHOWN WAS COMPILED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON.
  - HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. VERTICAL DATUM IS PER REFERENCE PLAN #4.
  - THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF A FIELD SURVEY BY THIS OFFICE TOGETHER WITH THE REFERENCE PLANS CITED HEREON.
  - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
  - JURISDICTIONAL WETLANDS WERE MAPPED AND LOCATED BY THIS OFFICE DURING THE MONTH OF JUNE 2016 & VERIFIED IN NOVEMBER, 2021.
  - "OPEN SPACE" AREA IS 4.07 ACRES OR 64.0% OF THE TOTAL PARCEL AREA. MINIMUM REQUIREMENT IS 30%.
  - THE EASTERLY MOST PORTION OF THE PARCEL LIES WITHIN THE 100-YEAR FLOOD HAZARD AREA PER FEMA F.I.R.M. PANEL 330110C453D DATED SEPTEMBER 25, 2009.
  - THE SUBJECT PARCEL IS IN THE GROUNDWATER LEVEL II PROTECTION OVERLAY ZONE.
  - THE PARCEL IS SUBJECT TO AN EASEMENT AGREEMENT BETWEEN 282 ROUTE 101, TOWN OF WILTON WATER COMMISSION AND PVM COMMERCIAL CENTER, LLC. THE PARCEL IS SUBJECT TO RECIPROCAL EASEMENT AND AGREEMENT WITH LAND AND LAND USE RESTRICTIONS, SEE H.C.R.D. BK.9198 PG.2134. OTHER THAN THOSE SHOWN AND NOTED HEREON, THERE ARE NO OTHER KNOWN EASEMENT, DEED RESTRICTIONS OR COVENANTS ON THE PROPERTY.
  - THE PARCEL IS SERVICED BY WILTON DISTRICT MUNICIPAL WATER AND MILFORD SEWER.
  - THE ENTIRE PARCEL CONSISTS OF HINCKLEY LOAMY SAND, 2 TO 8% SLOPES PER NRCS WEB SOIL DATA.



**LEGEND: EXISTING FEATURES**

	RIGHT-OF-WAY LINE		GRANITE BOUND FOUND
	BOUNDARY LINE		DRILL HOLE FOUND
	ABUTTING LOT LINE		IRON PIN FOUND
	BUILDING SETBACK LINE		IRON PIPE FOUND
	EDGE OF PAVED ROAD		DENOTES PER REF. PLAN
	EDGE OF GRAVEL ROAD		GRANITE BOUND SET
	CURB LINE		IRON PIN SET
	STONE WALL		UTILITY POLE & GUY
	EDGE OF TREE LINE		CATCH BASIN (SQUARE)
	EDGE OF WETLANDS		CATCH BASIN (ROUND)
	WETLANDS BUFFER LINE		DRAIN MAN-HOLE
	EXISTING EASEMENT LINE		SEWER MAN-HOLE
	PROPOSED EASEMENT LINE		SEWER CLEAN-OUT
	10' CONTOUR INTERVAL		WATER HYDRANT
	2' CONTOUR INTERVAL		WATER VALVE
	CHAIN-LINK FENCE		WATER SHUT-OFF
	STOCKADE FENCE		GAS VALVE
	WIRE FENCE		CABLE PEDESTAL
	GUARDRAIL		ELECTRIC PEDESTAL
	TIE COURSE LINE		TELEPHONE PEDESTAL
	EDGE OF WATER		TELEPHONE MAN-HOLE
	CULVERT		IRRIGATION CONTROL BOX
	OVERHEAD UTILITY LINE		SINGLE SIGN POST
	UNDERGROUND UTILITY LINE		HANDICAPPED PARKING
	GAS LINE		EXISTING BUILDING
	WATER LINE		
	SEWER LINE		
	TAX MAP & LOT NUMBER		

**ABUTTERS:**

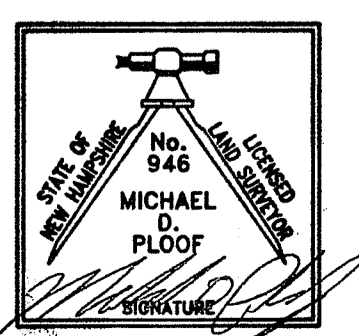
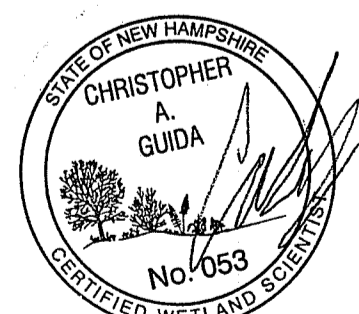
TAX MAP 6 LOTS 14 & 15 37 WILTON ROAD MILFORD, LLC & 282 ROUTE 101, LLC 100 ELM STREET NASHUA, NH 03060 BK.8076 PG.2233 4/15/09	TAX MAP 6 LOT 48-2 STEPHAN C. MURRAH & 282 ROUTE 101, LLC MILFORD, NH 03055-5003 BK.7310 PG.1943 9/1/04	TAX MAP 11 LOT 9-1 P & P REALTY TRUST P.O. BOX 95 WILTON, NH BK. 5119 PG. 854 7/10/89	TAX MAP 6 LOTS 13-C2 & 13-C3 PVM COMMERCIAL CENTER, LLC 184 MAIN STREET WALTHAM, MA 02451 BK.8561 PG.377 5/17/13
TAX MAP 6 LOT 13-C1 PINE VALLEY RESIDENTIAL, LLC 1400 PROVIDENCE HIGHWAY SUITE 1000 NORWOOD, MA 02062 BK.8561 PG.389 5/16/13	TAX MAP 6 LOT 16 MILFORD COOPERATIVE BANK C/O TD BANK 380 WELLINGTON STREET, 12TH FLOOR LONDON, ON N6A 454 BK.5131 PG.1932 8/31/89	PAN-AM RAILWAYS, INC. 1700 IRON HORSE PARK NORTH BILLERICA, MA 01862	CO-APPLICANT: MAC MILFORD REALTY, LLC 5 CHARDRELL CROSSING MILFORD, NH 03055
TAX MAP 11 LOT 13 AMY M. ASPINWALL 74 WILTON ROAD MILFORD, NH 03055 BK.8990 PG.1988 7/14/03	TAX MAP 6 LOT 48 KAREN E. LeGAULT 24 MAPLE STREET MILFORD, NH 03055 BK.8990 PG.1988 7/14/03		

**CERTIFICATION:**  
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JUNE 2016 & VERIFIED IN NOVEMBER, 2021.

DATE: 5/20/22

**CERTIFICATION:**  
"I HEREBY CERTIFY THAT THE EXISTING IMPROVEMENTS SHOWN ARE THE RESULT OF A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF OCTOBER, 2021 TOGETHER WITH COMPILED DATA FROM THE REFERENCE PLANS CITED HEREON."

DATE: 5/20/22



- REFERENCE PLANS:**
- "SUBDIVISION PLAN - LISCIOTTI DEVELOPMENT CORP. - 30 WILTON ROAD - MAP 6, LOT 14 - TOWN OF MILFORD, HILLSBOROUGH COUNTY - STATE OF NEW HAMPSHIRE", SCALE: 1"=50', DATED: APRIL 23, 2019, PREPARED BY: CONTROL POINT ASSOCIATES, INC. & RECORDED AS PLAN #40218 IN THE H.C.R.D.
  - "SITE PLAN - PREPARED FOR - MILFORD - ELM STREET - TRUST - MILFORD, N.H.", SCALE: 1"=40', DATED: APRIL 23, 1987, LAST REVISED 9/29/87 BY THOMAS F. MORAN, INC.
  - "ALTA/ACSM LAND TITLE SURVEY - BOUNDARY AND EASEMENT PLAN - PINE VALLEY MILL - COMMERCIAL CENTER / RESIDENCES AT THE MILL - TAX MAP PARCEL 6-13 - 37 WILTON ROAD - MILFORD, NEW HAMPSHIRE - PREPARED FOR - DAKOTA PARTNERS, INC. - LAND OF - PINE VALLEY RESIDENTIAL, LLC", SCALE: 1"=40', DATED: JANUARY 30, 2013 AND LAST REVISED 5/30/13 BY THIS OFFICE.
  - "EXISTING CONDITIONS PLAN - LAND OF - 282 ROUTE 101, LLC & - 37 WILTON ROAD MILFORD, LLC - TAX MAP-LOT 6-14 - 30 WILTON ROAD - MILFORD, NEW HAMPSHIRE", SCALE: 1"=40', DATED: FEBRUARY 6, 2011, LAST REVISED 5/27/11, SHEET 4 OF 15 BY MERIDIAN LAND SERVICES, INC.
  - "PLAN OF TAX PARCELS 7-27, 7-33 & 7-34 - HILLSBOROUGH MILLS - MILFORD, N.H.", SCALE: 1"=80', DATED: JULY 17, 1979 BY THOMAS F. MORAN, INC.
  - "ACCESS & UTILITY EASEMENT PLAN - TAX MAP LOT 6-14 - 30 WILTON ROAD - MILFORD, NEW HAMPSHIRE", SCALE: 1"=50', DATED: JANUARY 18, 2017 & REVISED THROUGH: JUNE 26, 2018, PREPARED BY: FIELDSTONE LAND CONSULTANTS, PLLC & RECORDED AS PLAN #39994 IN THE H.C.R.D.
  - "ACCESS EASEMENT PLAN - LISCIOTTI DEVELOPMENT CORP. - 30 WILTON ROAD - MAP 6, LOT 14 - TOWN OF MILFORD, HILLSBOROUGH COUNTY - STATE OF NEW HAMPSHIRE", SCALE: 1"=20', DATED: AUGUST 13, 2019, PREPARED BY: CONTROL POINT ASSOCIATES, INC. & RECORDED AS PLAN #40252 IN THE H.C.R.D.

REV.	DATE	DESCRIPTION	UPDATE OWNER	TDA	MDP	MDP
A	05/20/22					
REV.	DATE	DESCRIPTION	C/O	DR	CK	

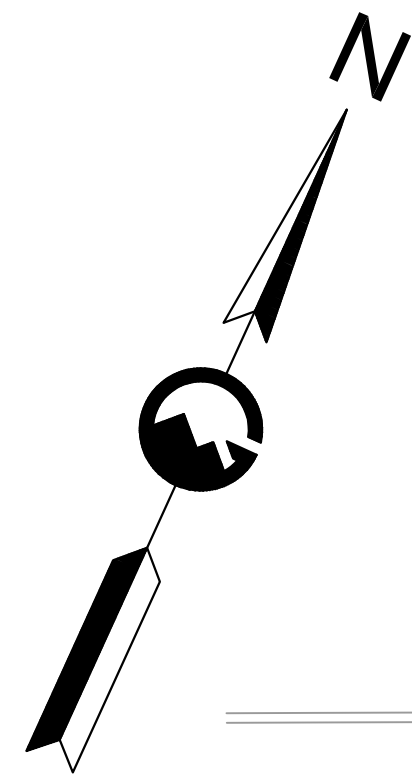
**EXISTING CONDITIONS PLAN**  
**TAX MAP LOT 6-14 - 30 WILTON ROAD**  
**MILFORD, NEW HAMPSHIRE**  
PREPARED FOR:  
**GRANITE ENGINEERING, LLC**  
150 DOW STREET, TOWER 2, SUITE 421 MANCHESTER, NH 03101  
LAND OF:  
**30 WILTON ROAD MILFORD, LLC**  
55 HIGH STREET - PITTSFIELD, NH 03263

SCALE: 1" = 50' NOVEMBER 23, 2021

Surveying + Engineering + Land Planning + Permitting + Septic Designs



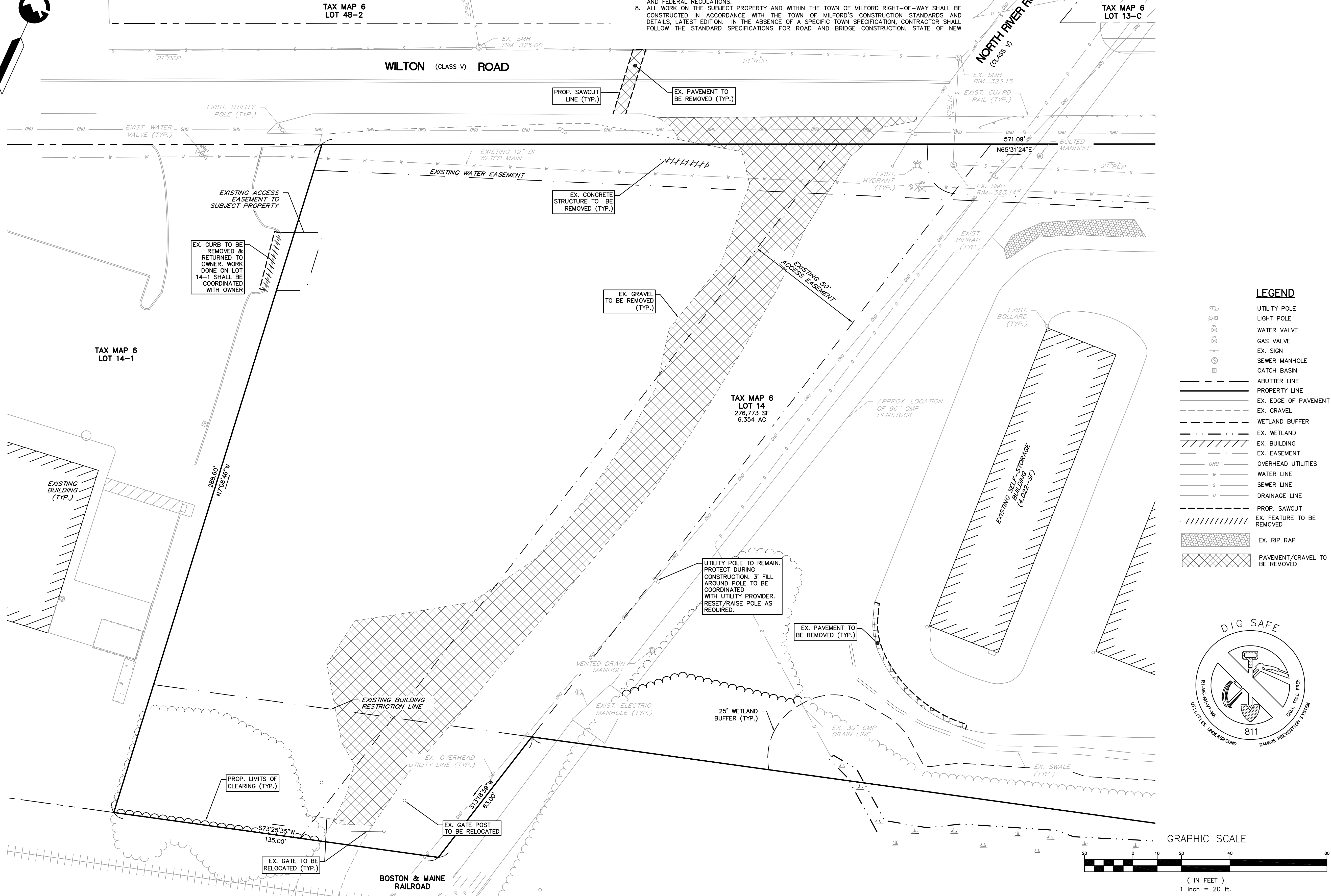
206 Elm Street, Milford NH 03055  
Phone: (603) 672-5456 Fax: (603) 413-5456  
www.FieldstoneLandConsultants.com



**NOTES:**

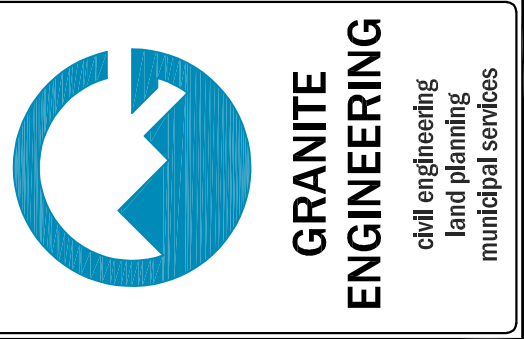
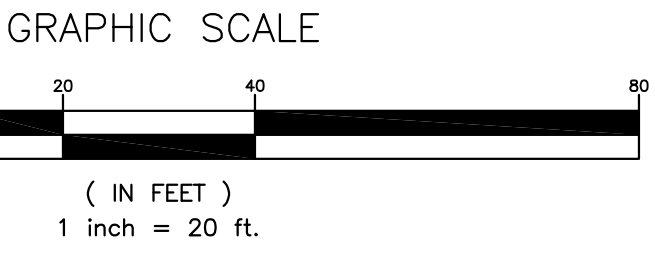
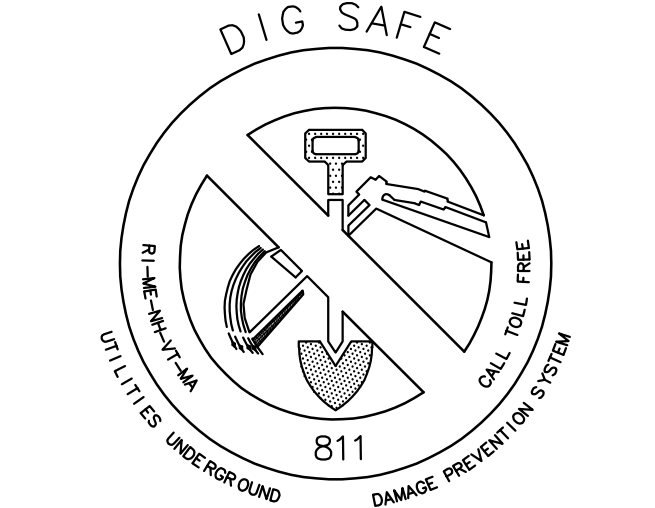
1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED, OR REPLACED.
2. THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
3. ANY MONUMENTS DISTURBED DURING CONSTRUCTION, WHICH AREN'T CALLED OUT FOR REMOVAL, SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTOR'S EXPENSE.
4. THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. GRANITE ENGINEERING, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811.
5. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS, AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
6. STRIP, STOCKPILE, AND REUSE ONSITE GRAVEL AND FILL AREAS WHERE APPROPRIATE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DESIGN ENGINEER.
7. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
8. ALL WORK ON THE SUBJECT PROPERTY AND WITHIN THE TOWN OF MILFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION. IN THE ABSENCE OF A SPECIFIC TOWN SPECIFICATION, CONTRACTOR SHALL FOLLOW THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW

9. HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016.
9. SITE CONTRACTOR SHALL ESTABLISH TEMPORARY PERIMETER CONTROLS PRIOR TO THE START OF SITE EXCAVATION.
10. CONTRACTOR SHALL WORK WITH LOCAL UTILITY PROVIDERS DURING SHUT DOWN AND REMOVAL EFFORTS.
11. PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, DEVELOPER OR DESIGNEE SHALL OBTAIN ALL REQUIRED APPROVALS FROM THE TOWN OF MILFORD INCLUDING WITHOUT LIMITATIONS ANY SUCH APPROVALS AS MAY BE REQUIRED THROUGH THE PLANNING & DEVELOPMENT DEPARTMENT, DEPARTMENT OF PUBLIC WORKS, POLICE DEPARTMENTS, AND FIRE DEPARTMENT.
12. EXISTING ASPHALT REMOVED FROM THE SITE AS PART OF THIS SITE PLAN SHALL BE GROUND AND REUSED AS FILL OR TRUCKED OFFSITE AND DISPOSED OF BY AN APPROVED METHOD.



**LEGEND**

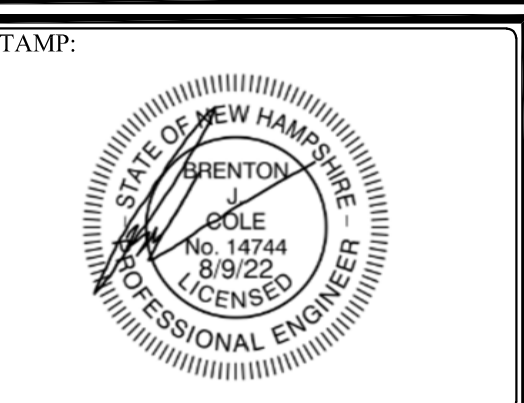
- UTILITY POLE
- LIGHT POLE
- WATER VALVE
- GAS VALVE
- EX. SIGN
- SEWER MANHOLE
- CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- EX. EDGE OF PAVEMENT
- EX. GRAVEL
- WETLAND BUFFER
- EX. WETLAND
- EX. BUILDING
- EX. EASEMENT
- OVERHEAD UTILITIES
- WATER LINE
- SEWER LINE
- DRAINAGE LINE
- PROP. SAWCUT
- EX. FEATURE TO BE REMOVED
- EX. RIP RAP
- PAVEMENT/GRAVEL TO BE REMOVED



NO.	DATE	REVISIONS
0	05/23/2022	PROJECT SUBMITTAL
1	08/09/2022	REVISED PER TOWN COMMENTS

OWNER & APPLICANT:  
 30 WILTON ROAD LLC  
 55 HIGH STREET  
 PITTSFIELD, NH 05263  
 BOOK 9471 PAGE 2225

**GRANITE ENGINEERING**  
 civil engineering • land planning • municipal services  
 150 Dow Street, Tower 2, Suite 421  
 Manchester, New Hampshire 03101  
 603.518.8030  
 www.GraniteEng.com



LOCATION:  
 TAX MAP 6 LOT 14  
 30 WILTON ROAD  
 MILFORD, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

TITLE:  
**REMOVALS PLAN**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022  
 SHEET: 3 OF 19  
 SCALE: HORIZ. 1"=20'

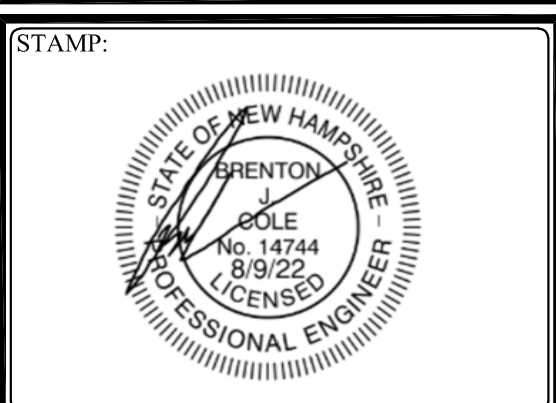
NO.	DATE	REVISIONS
0	05/23/2022	PROJECT SUBMITTAL
1	08/09/2022	REVISED PER TOWN COMMENTS

OWNER & APPLICANT:  
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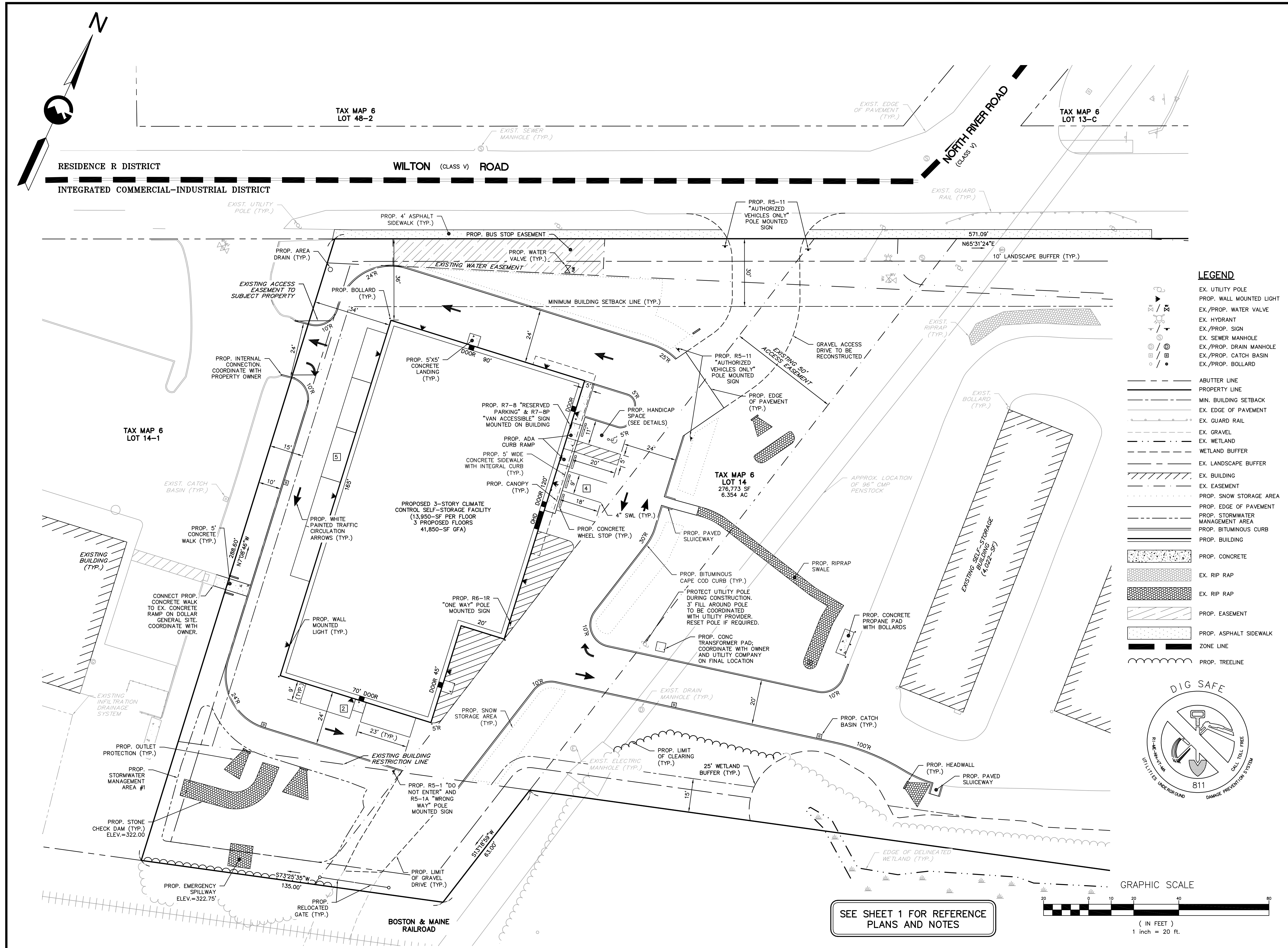


LOCATION:  
TAX MAP 6 LOT 14  
30 WILTON ROAD  
MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

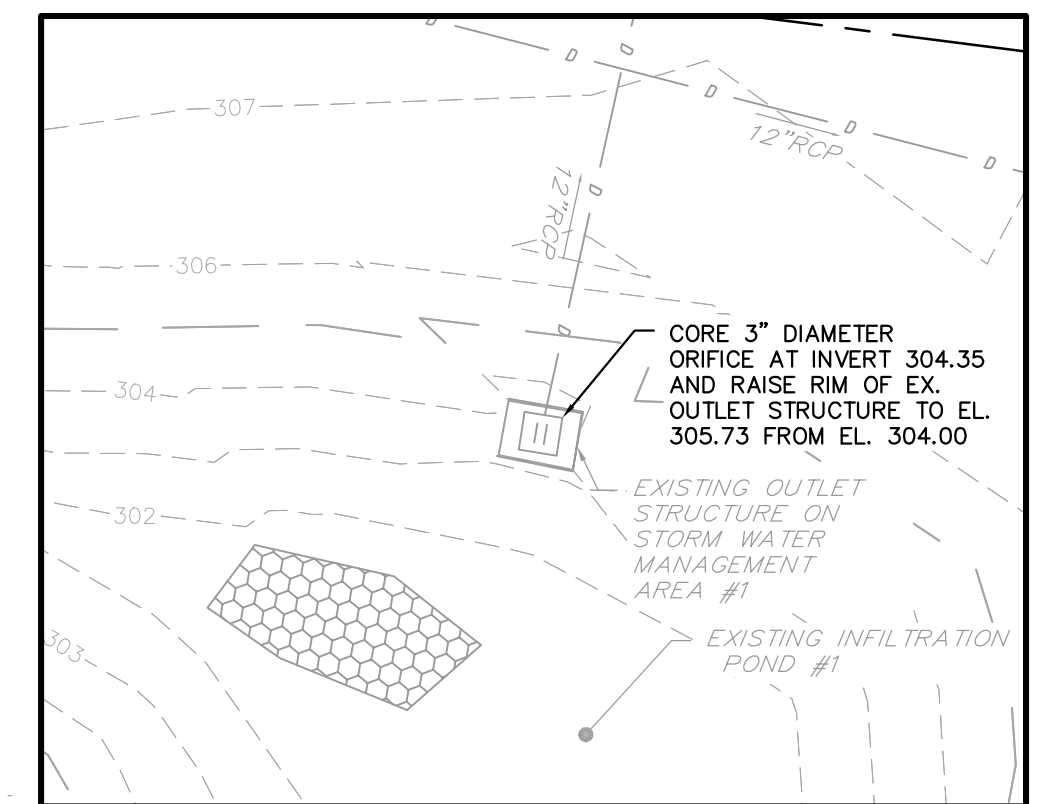
TITLE:  
**SITE PLAN**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022  
SHEET: 4 OF 19  
SCALE: HORIZ. 1"=20'



**CONSTRUCTION NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING AND DRAINAGE SYSTEMS FOR THIS PROJECT.
2. ALL WORK ON THE SUBJECT PROPERTY AND WITHIN THE TOWN OF MILFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION. IN THE ABSENCE OF A SPECIFIC TOWN SPECIFICATION, CONTRACTOR SHALL FOLLOW THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2020.
3. ALL MANHOLES SHALL BE 4' DIAMETER CONCRETE STRUCTURES, UNLESS NOTED OTHERWISE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED.
7. SEE THE EROSION CONTROL PLAN FOR THE LOCATION OF THE TEMPORARY EROSION CONTROL DEVICES.
8. SEE DETAILS FOR DRAINAGE SPECIFICATIONS.
9. MATERIAL STOCKPILES SHALL BE ON LEVEL SITES WITH SILT FENCE INSTALLED AROUND THE PILE. STOCKPILES MUST BE SEEDED AND MULCHED IF STORED MORE THAN 14 DAYS.
10. THIS PROJECT DISTURBS MORE THAN 1-ACRE OF LAND, THEREFORE, IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA).



**INSET PLAN**  
SCALE: 1"=10'

**LEGEND**

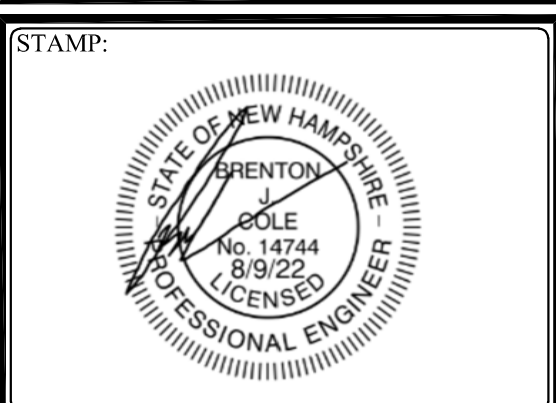
- EX. UTILITY POLE
- PROP. WALL MOUNTED LIGHT
- EX./PROP. WATER VALVE
- EX. HYDRANT
- EX./PROP. SIGN
- EX./PROP. DRAIN MANHOLE
- EX./PROP. CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- EX. EDGE OF PAVEMENT
- EX. BUILDING
- PROP. EDGE OF PAVEMENT
- PROP. BITUMINOUS CURB
- PROP. BUILDING
- PROP. SAWCUT
- DRAINAGE LINE
- PROP. DRAINAGE
- EX. RIP RAP
- PROP. RIP RAP
- PROP. CONCRETE
- PROP. ASPHALT SIDEWALK
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- PROP. GRADING
- GRADE BREAK
- TEST PIT LOCATION

NO.	DATE	REVISIONS
0	05/23/2022	PROJECT SUBMITTAL
1	08/09/2022	REVISED PER TOWN COMMENTS

OWNER & APPLICANT:  
 30 WILTON ROAD LLC  
 55 HIGH STREET  
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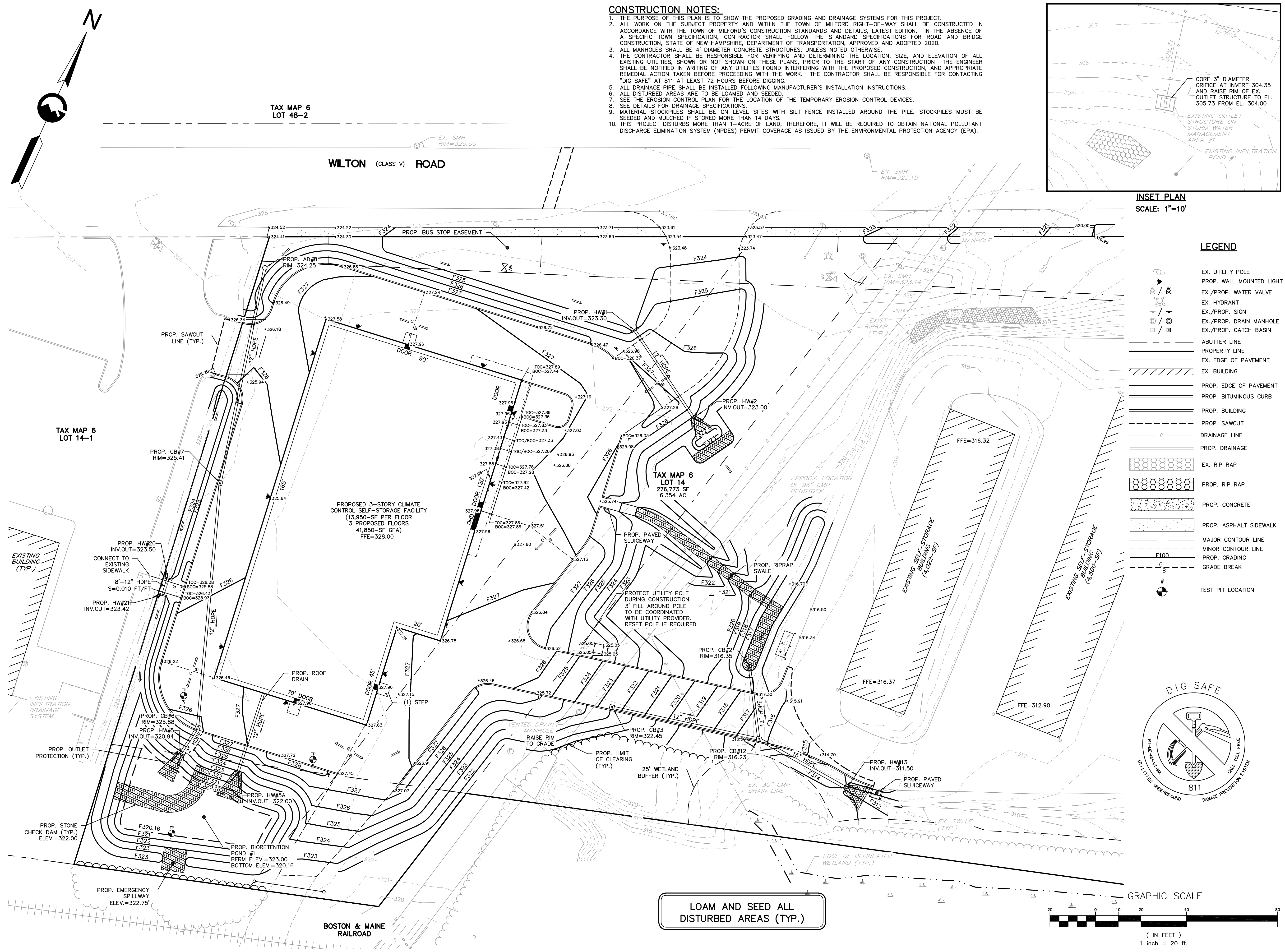


LOCATION:  
 TAX MAP 6 LOT 14  
 30 WILTON ROAD  
 MILFORD, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

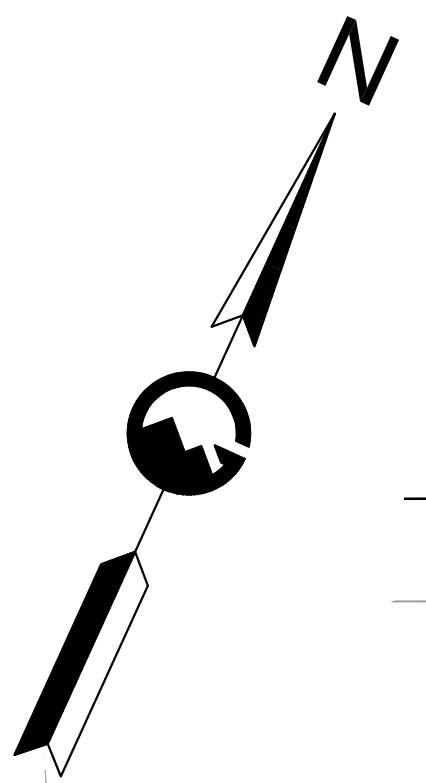
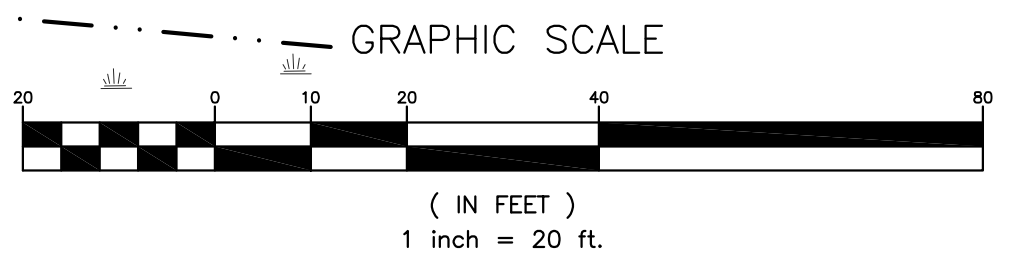
PROJECT:  
**STORAGE SENSE - MILFORD WEST**

TITLE:  
**GRADING AND DRAINAGE PLAN**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022  
 SHEET: 5 OF 19  
 SCALE: HORIZ. 1"=20'



LOAM AND SEED ALL DISTURBED AREAS (TYP.)



TAX MAP 6  
LOT 48-2

WILTON (CLASS V) ROAD

TAX MAP 6  
LOT 14-1

TAX MAP 6  
LOT 14  
276,773 SF  
6.354 AC

PROPOSED 3-STORY CLIMATE CONTROL SELF-STORAGE FACILITY  
 (13,950-SF PER FLOOR  
 3 PROPOSED FLOORS  
 41,850-SF GFA)  
 FFE=328.00

EXISTING SELF-STORAGE BUILDING  
 (4,922-SF)

EXISTING SELF-STORAGE BUILDING  
 (4,500-SF)



BOSTON & MAINE RAILROAD

**WATER CONSTRUCTION NOTES:**

1. ALL DISTRIBUTION MATERIALS, INCLUDING MAINS, FITTINGS AND VALVES, TO MEET APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND NEW HAMPSHIRE DES-DRINKING WATER GROUNDWATER BUREAU STANDARDS, AS APPLICABLE.
2. ALL INSTALLATION AND TESTING OF MATERIALS TO CONFORM TO AWWA STANDARDS FOR POTABLE WATER SYSTEMS.
3. EXISTING WATER MAIN ALONG WILTON ROAD IS OWNED AND SUPPLIED BY THE TOWN OF WILTON WATER COMMISSION. ALL WORK INVOLVING THE PUBLIC WATER SUPPLY SHALL BE COMPLETED IN CONFORMANCE WITH THE STANDARDS OF THE WILTON WATER COMMISSION.
4. BUILDING SHOULD BE EQUIPPED WITH FIRE SPRINKLER AND FULL FIRE ALARM SYSTEM.

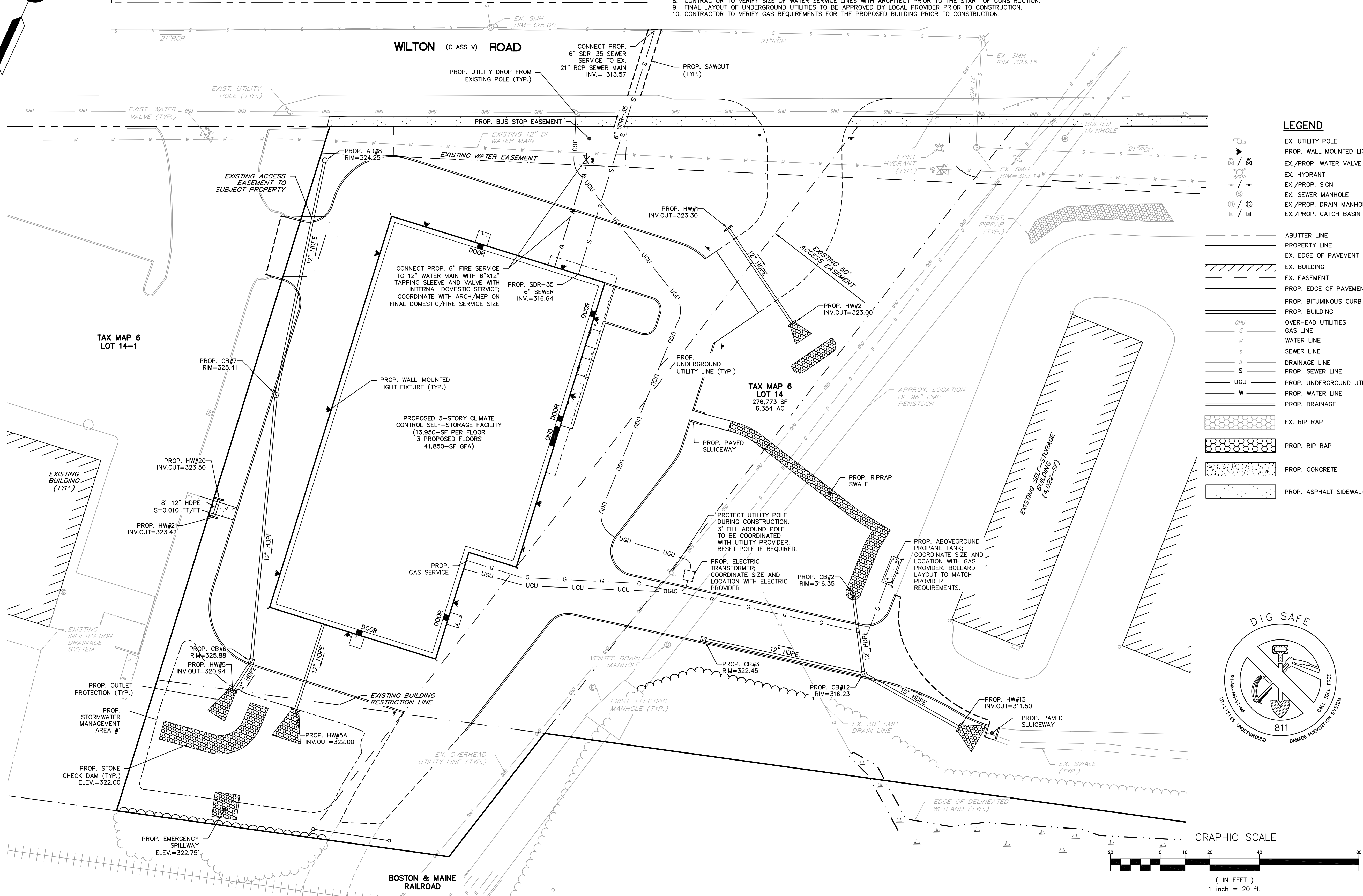
**CONSTRUCTION NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED UTILITIES FOR THIS PROJECT.
2. ALL WORK SHALL CONFORM TO THE TOWN OF MILFORD STANDARD SPECIFICATIONS FOR ROAD, DRAIN & SEWER CONSTRUCTION. IN THE ABSENCE OF A SPECIFIC TOWN SPECIFICATION, CONTRACTOR SHALL FOLLOW THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
4. ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF THE WATER LINES SHALL CONFORM TO ALL THE LOCAL PRECINCT'S STANDARDS, SPECIFICATIONS, RULES, AND REGULATIONS.
5. ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF THE ELECTRIC AND TELEPHONE LINES SHALL CONFORM WITH THE STANDARDS OF THE LOCAL PROVIDER.
6. CONTRACTOR SHALL COORDINATE WITH LOCAL PROVIDER RELATIVE TO FINAL LAYOUT OF UNDERGROUND UTILITIES.
7. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. CONTRACTOR TO VERIFY SIZE OF WATER SERVICE LINES WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
9. FINAL LAYOUT OF UNDERGROUND UTILITIES TO BE APPROVED BY LOCAL PROVIDER PRIOR TO CONSTRUCTION.
10. CONTRACTOR TO VERIFY GAS REQUIREMENTS FOR THE PROPOSED BUILDING PRIOR TO CONSTRUCTION.

TAX MAP 6  
LOT 48-2

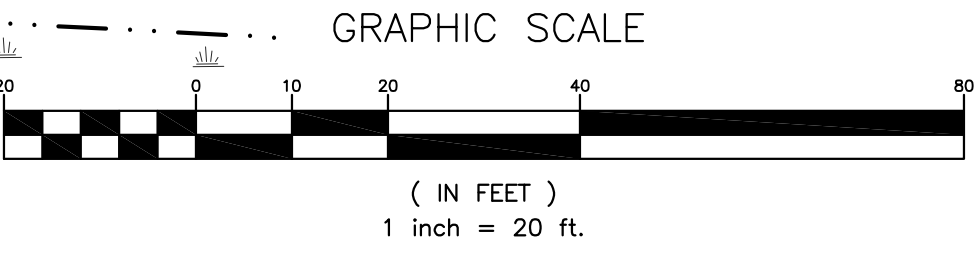
TAX MAP 6  
LOT 14-1

TAX MAP 6  
LOT 14  
276,773 SF  
6.354 AC



**LEGEND**

- EX. UTILITY POLE
- PROP. WALL MOUNTED LIGHT
- EX./PROP. WATER VALVE
- EX. HYDRANT
- EX./PROP. SIGN
- EX. SEWER MANHOLE
- EX./PROP. DRAIN MANHOLE
- EX./PROP. CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- EX. EDGE OF PAVEMENT
- EX. BUILDING
- EX. EASEMENT
- PROP. EDGE OF PAVEMENT
- PROP. BITUMINOUS CURB
- PROP. BUILDING
- OVERHEAD UTILITIES
- GAS LINE
- WATER LINE
- SEWER LINE
- DRAINAGE LINE
- PROP. SEWER LINE
- PROP. UNDERGROUND UTILITIES
- PROP. WATER LINE
- PROP. DRAINAGE
- EX. RIP RAP
- PROP. RIP RAP
- PROP. CONCRETE
- PROP. ASPHALT SIDEWALK

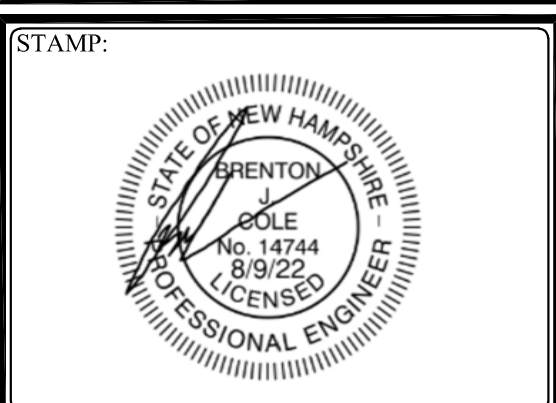


NO.	DATE	REVISIONS
0	05/23/2022	PROJECT SUBMITTAL
1	08/09/2022	REVISED PER TOWN COMMENTS

OWNER & APPLICANT:  
30 WILTON ROAD LLC  
55 HIGH STREET  
PITTSFIELD, NH 0283  
BOOK 9471 PAGE 2225

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LOCATION:  
TAX MAP 6 LOT 14  
30 WILTON ROAD  
MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

TITLE:  
**UTILITY PLAN**



TAX MAP 6  
LOT 48-2

### SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS
24B	AGAWAM	0-8%	WELL
313B	DEERFIELD	0-8%	MODERATELY WELL
313D	DEERFIELD	15-25%	MODERATELY WELL
313E	DEERFIELD	+25%	MODERATELY WELL
299ghdd	UDORTHERTS, SAND	0-8%	POORLY

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOILS SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT THAT ACCOMPANIES THIS MAP AND MAP KEY.

### EROSION CONTROL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES.
2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" AS PUBLISHED AND AMENDED BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.
3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
9. THE TOWN OF MILFORD SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.
10. THE RESPONSIBLE PARTY SHALL INSTALL, INSPECT, REPORT, OPERATE, AND MAINTAIN ALL STORMWATER MANAGEMENT AND EROSION CONTROL MEASURES REQUIRED BY THESE PLANS.
11. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT.
12. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
13. IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
14. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
15. GRADED AREAS SHALL BE VEGETATED TO ENSURE EROSION CONTROL BY SEEDING, MULCHING, AND FERTILIZING. DISTURBED AREAS SHALL BE PLANTED WITH SUITABLE PLANT MATERIAL.
16. GRADING SHALL NOT EXCEED A RATIO OF 3 HORIZONTAL TO 1 VERTICAL WITHOUT SPECIAL EROSION CONTROL MEASURES. NETTING OR SIMILAR MATERIAL SHALL BE PROVIDED ON SLOPES WITH A RATIO GREATER THAN 3:1 WHILE GROUND COVER IS BEING ESTABLISHED.
17. THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED.

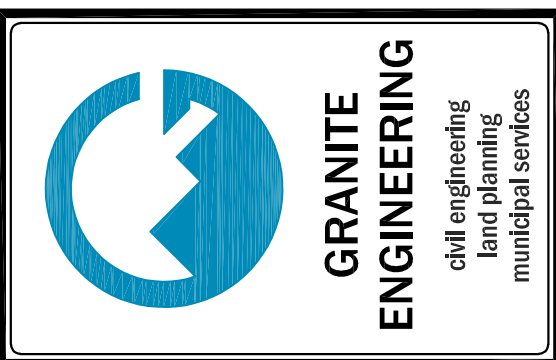
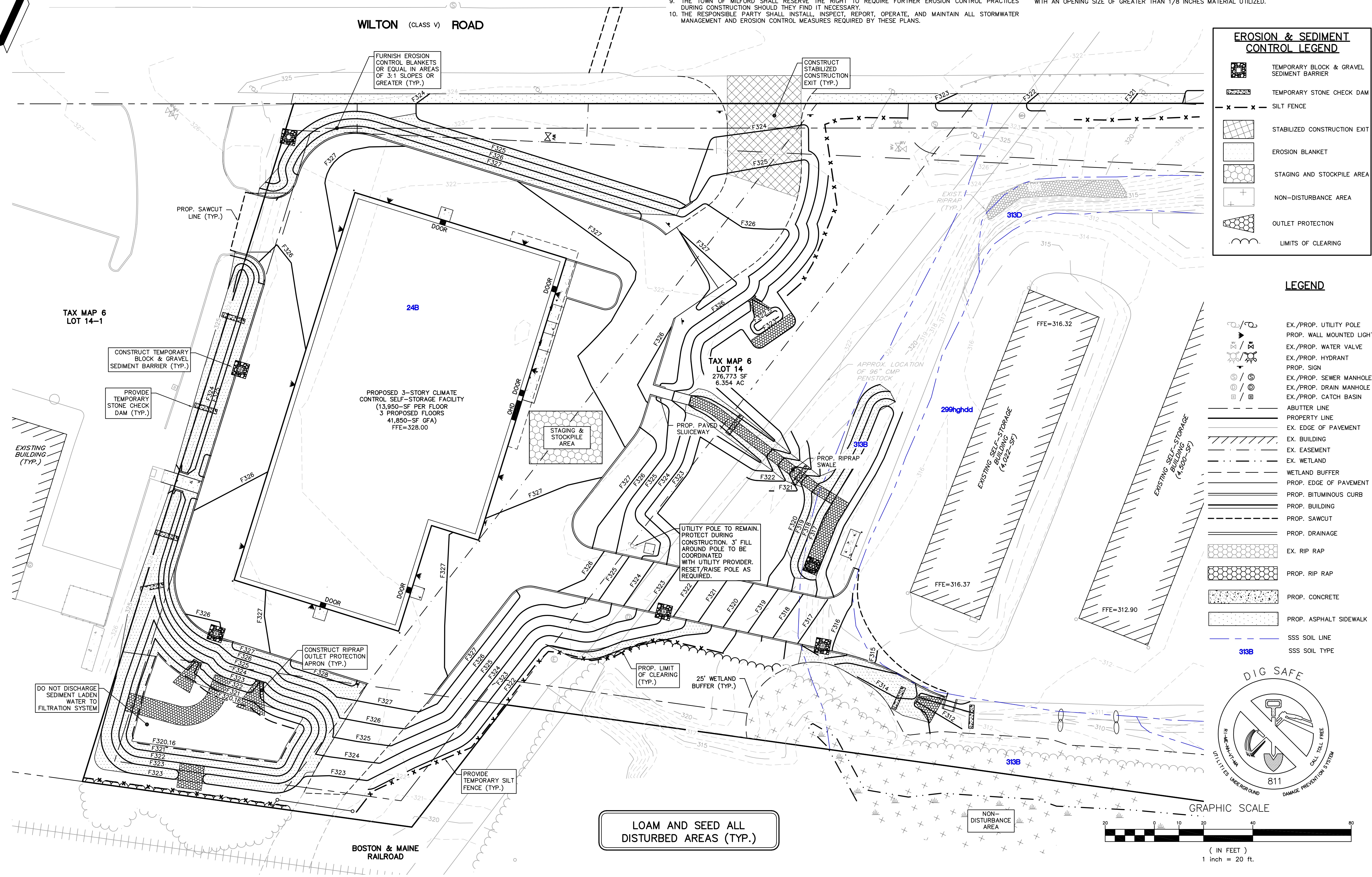
WILTON (CLASS V) ROAD

### EROSION & SEDIMENT CONTROL LEGEND

- TEMPORARY BLOCK & GRAVEL SEDIMENT BARRIER
- TEMPORARY STONE CHECK DAM
- SILT FENCE
- STABILIZED CONSTRUCTION EXIT
- EROSION BLANKET
- STAGING AND STOCKPILE AREA
- NON-DISTURBANCE AREA
- OUTLET PROTECTION
- LIMITS OF CLEARING

### LEGEND

- EX./PROP. UTILITY POLE
- PROP. WALL MOUNTED LIGHT
- EX./PROP. WATER VALVE
- EX./PROP. HYDRANT
- PROP. SIGN
- EX./PROP. SEWER MANHOLE
- EX./PROP. DRAIN MANHOLE
- EX./PROP. CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- EX. EDGE OF PAVEMENT
- EX. BUILDING
- EX. EASEMENT
- EX. WETLAND
- WETLAND BUFFER
- PROP. EDGE OF PAVEMENT
- PROP. BITUMINOUS CURB
- PROP. BUILDING
- PROP. SAWCUT
- PROP. DRAINAGE
- EX. RIP RAP
- PROP. RIP RAP
- PROP. CONCRETE
- PROP. ASPHALT SIDEWALK
- SSS SOIL LINE
- SSS SOIL TYPE



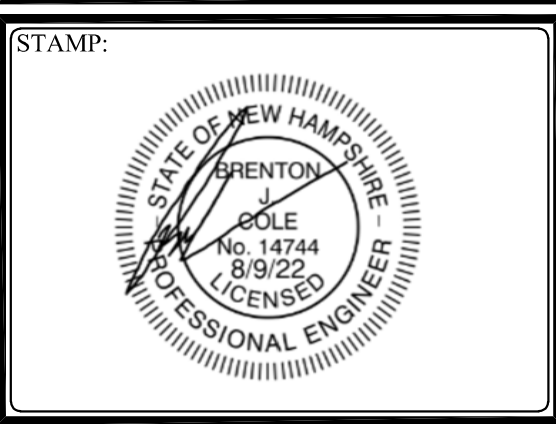
NO.	DATE	BY	COMMENTS
0	05/23/2022		PROJECT SUBMITTAL
1	08/09/2022		REVISED PER TOWN COMMENTS

OWNER & APPLICANT:  
 30 WILTON ROAD LLC  
 55 HIGH STREET  
 PITTSFIELD, NH 05263  
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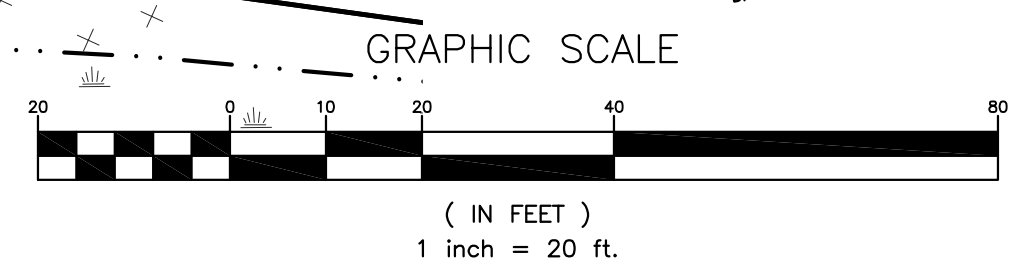


LOCATION: TAX MAP 6 LOT 14  
 30 WILTON ROAD  
 MILFORD, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

PROJECT: **STORAGE SENSE - MILFORD WEST**

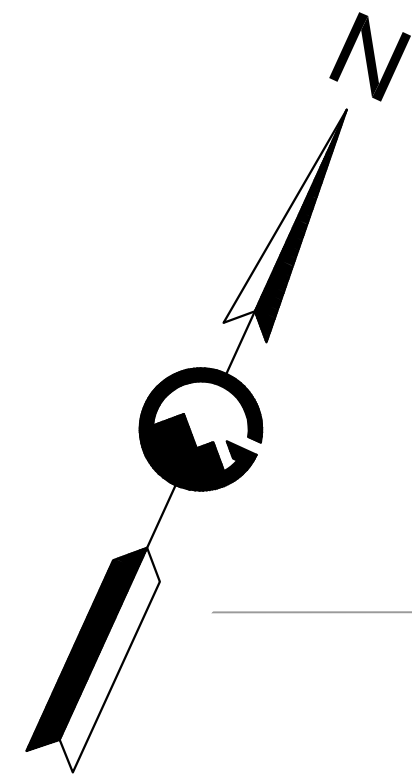
TITLE: **EROSION CONTROL PLAN**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022 SCALE: HORIZ. 1"=20'  
 SHEET: 7 OF 19



LOAM AND SEED ALL DISTURBED AREAS (TYP.)





**GENERAL NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE PROPOSED LIGHTING FOR THE PROJECT.
2. ALL FIXTURES SHALL BE AS SPECIFIED BY CHARRON, LLC.
3. ALL PROPOSED FIXTURES ARE FULL CUTOFF FIXTURES.
4. ALL LIGHTING INSTALLATIONS SHALL INCLUDE TIMERS, DIMMERS, SENSORS, AND/OR OTHER ENERGY-SAVING TECHNOLOGIES TO REDUCE THE OVERALL ENERGY CONSUMPTION. NON-ESSENTIAL LIGHTING SHALL BE TURNED OFF OR REDUCED AFTER NORMAL BUSINESS HOURS, LEAVING ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES.

**PARKING SPACES**  
 Illuminance (Fc)  
 Average = 1.50  
 Maximum = 2.6  
 Minimum = 0.8  
 Avg/Min Ratio = 1.88  
 Max/Min Ratio = 3.25

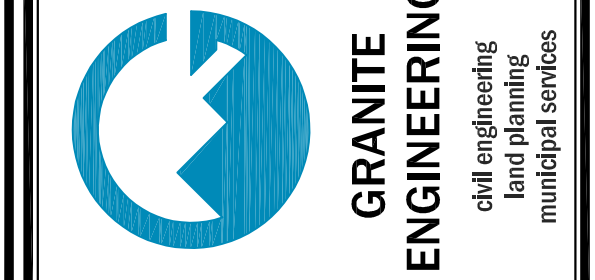
**ROADWAY AROUND BUILDING**  
 Illuminance (Fc)  
 Average = 0.70  
 Maximum = 3.1  
 Minimum = 0.0  
 Avg/Min Ratio = N.A.  
 Max/Min Ratio = N.A.

Symbol	Qty	Label	Arrangement	Description
←	10	W1	Single	AXGSTA-MSP-L30 / WALL MTD 15" AFS

TAX MAP 6  
LOT 48-2



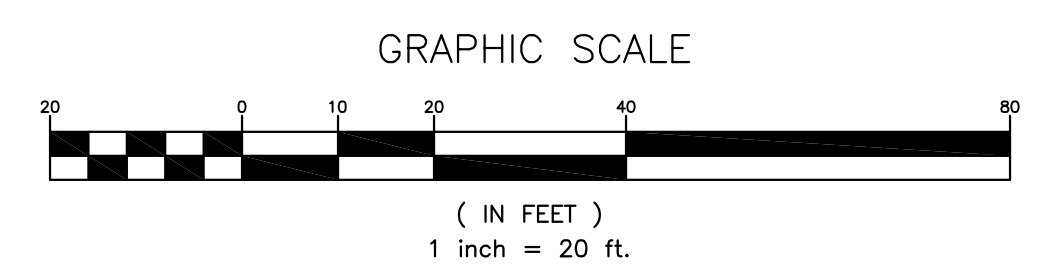
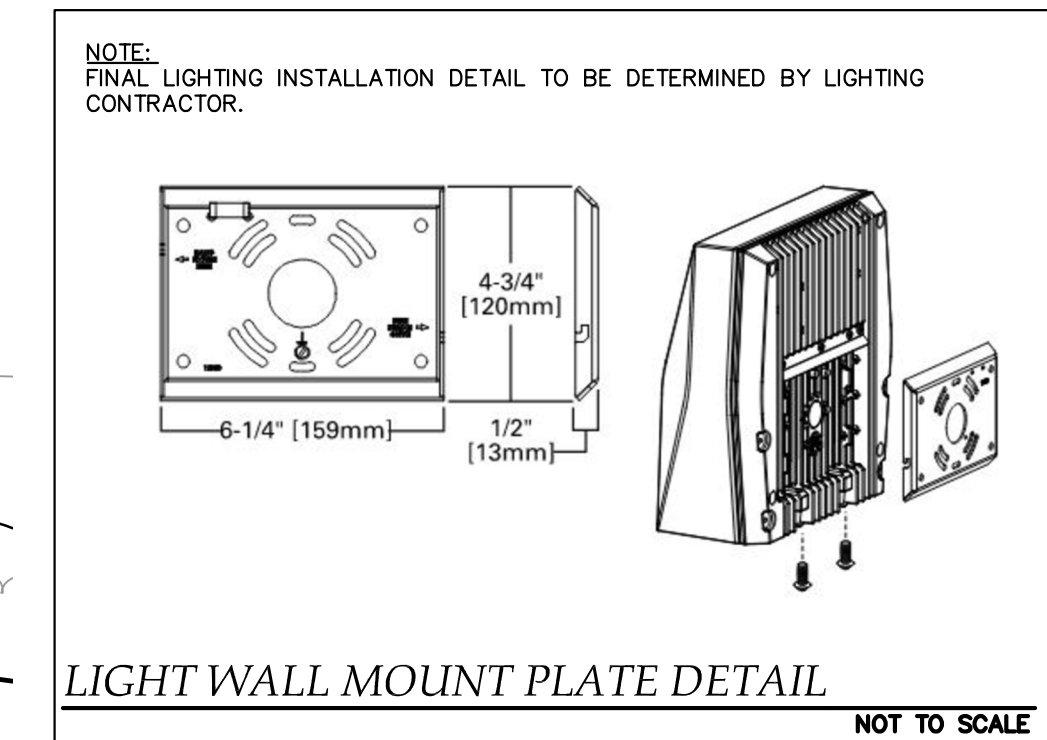
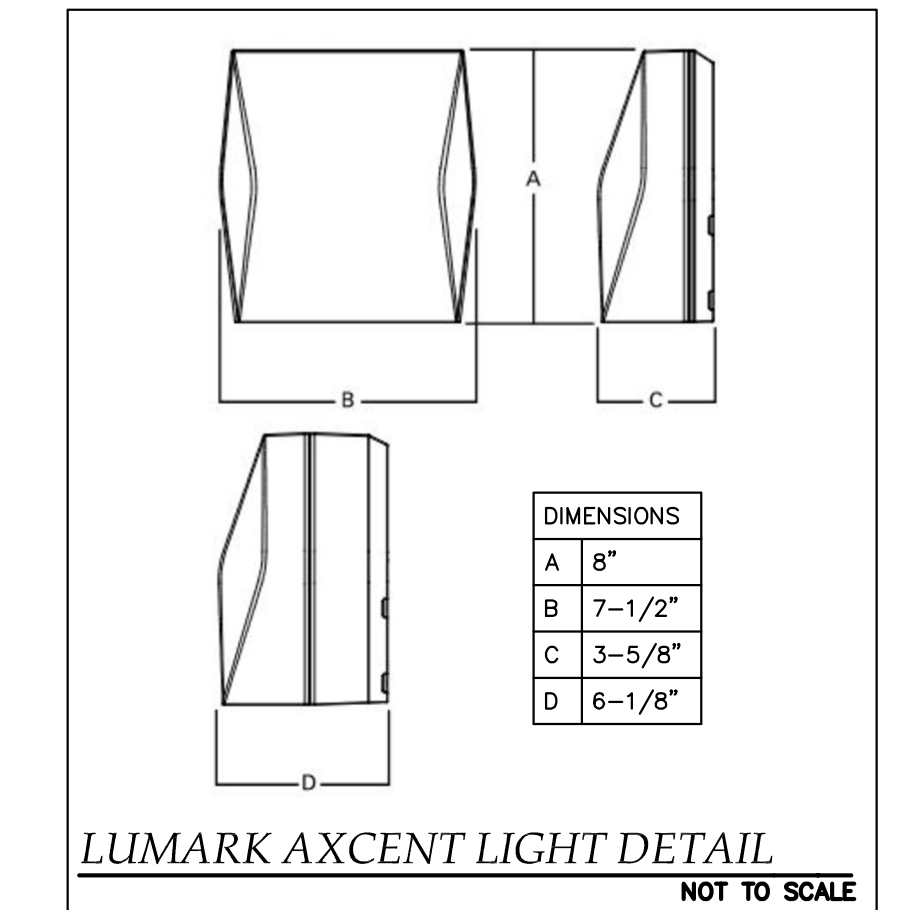
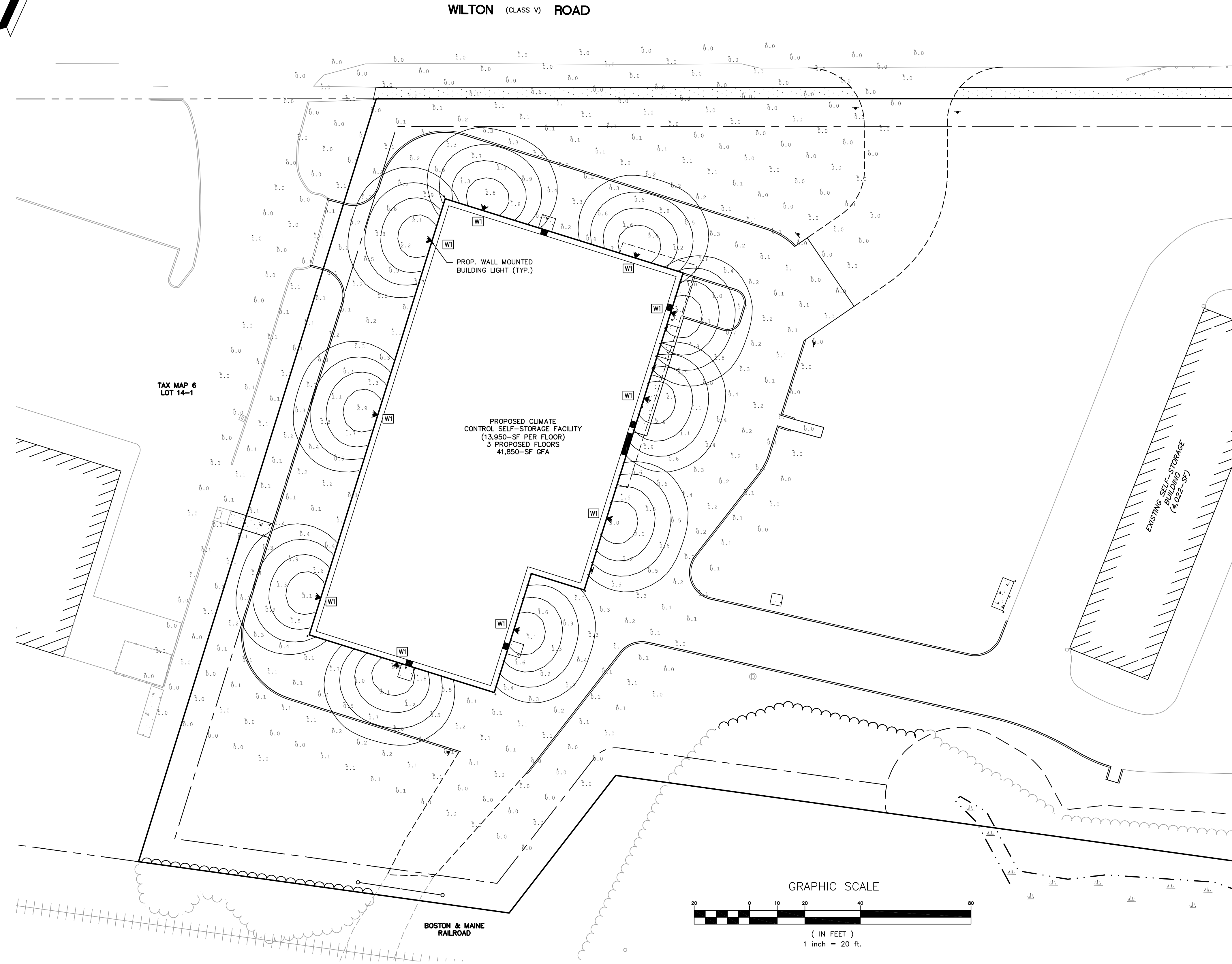
THIS PLAN WAS PREPARED IN ASSOCIATION WITH:



No.	DATE	BY	TD	TD	REVISIONS	
					COMMENTS	PROJECT SUBMITTAL
0	05/23/2022					
1	08/09/2022					

**LEGEND**

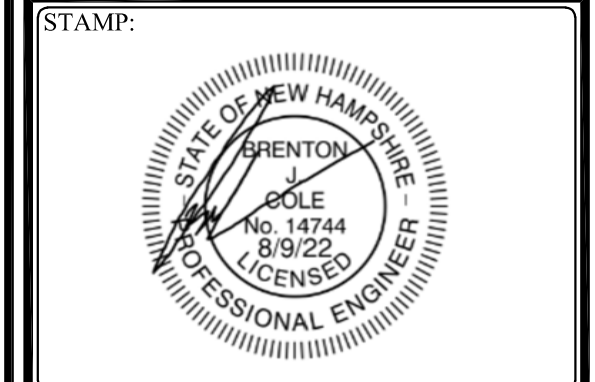
- PROP. BUILDING LIGHT
- EX. PROPERTY LINE
- EXIST. EDGE OF PAVEMENT
- PROP. EDGE OF PAVEMENT
- PROP. TREELINE
- EX. TREELINE
- PROP. BUILDING
- EX. BUILDING



OWNER & APPLICANT:  
 30 WILTON ROAD LLC  
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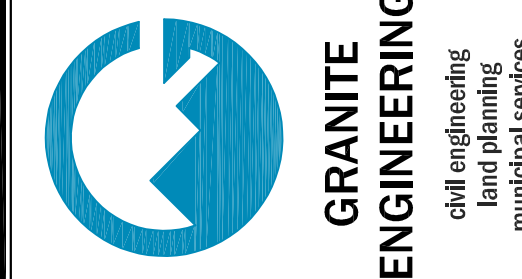


LOCATION:  
 TAX MAP 6 LOT 14  
 30 WILTON ROAD  
 MILFORD, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

TITLE:  
**LIGHTING PLAN**

PROJECT No. DATE: SCALE:  
 21-0630-1 MAY 23, 2022 HORIZ. 1"=20'  
 SHEET: 8 OF 19



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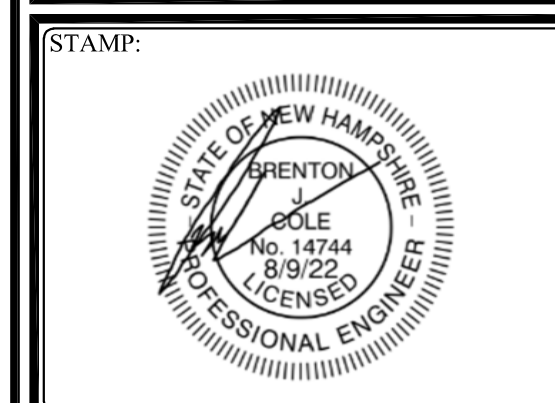
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1	08/09/2022	REVISED PER TOWN COMMENTS	TID

OWNER & APPLICANT:  
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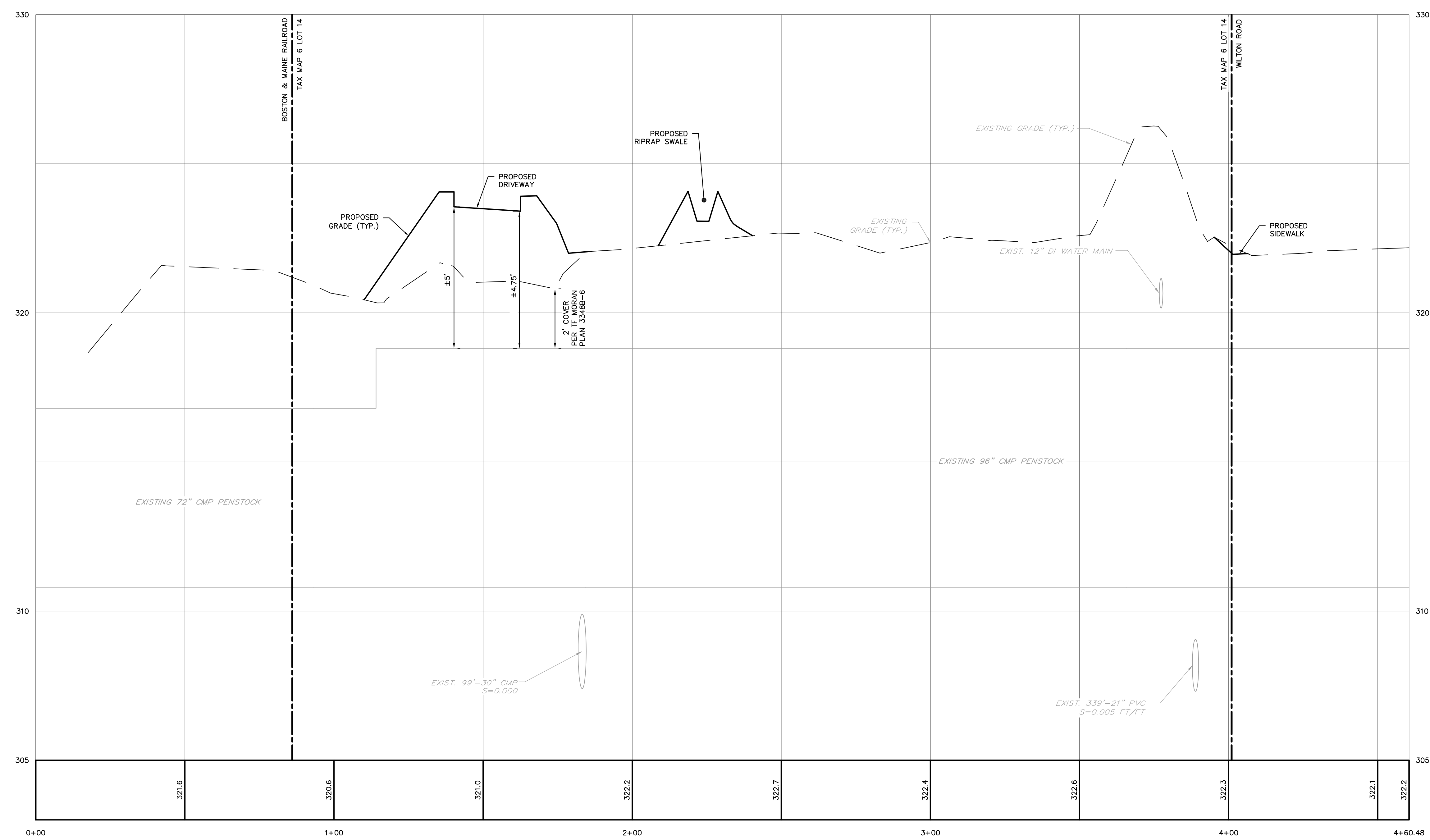


LOCATION:  
 TAX MAP 6 LOT 14  
 30 WILTON ROAD  
 MILFORD, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

TITLE:  
**UTILITY PROFILES**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022 SCALE: AS SHOWN  
 SHEET: 9 OF 19



EXISTING PENSTOCK PROFILE

1"=20' HORIZ, 1"=2' VERT.



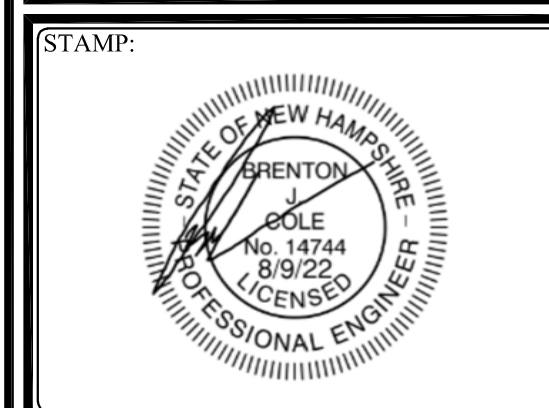
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OWNER & APPLICANT:  
30 WILTON ROAD LLC  
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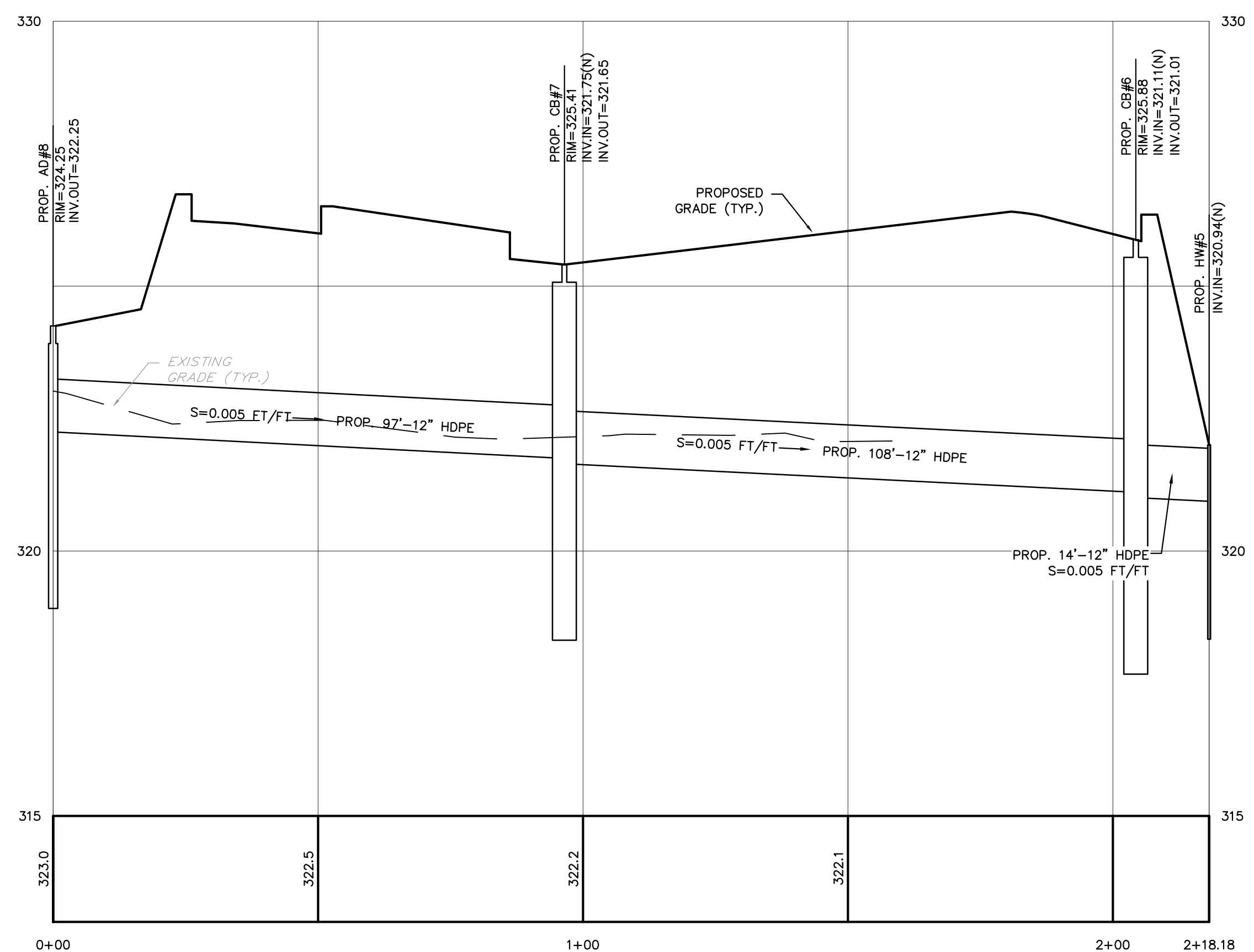
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TAX MAP 6 LOT 14  
30 WILTON ROAD  
MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE -  
MILFORD WEST**

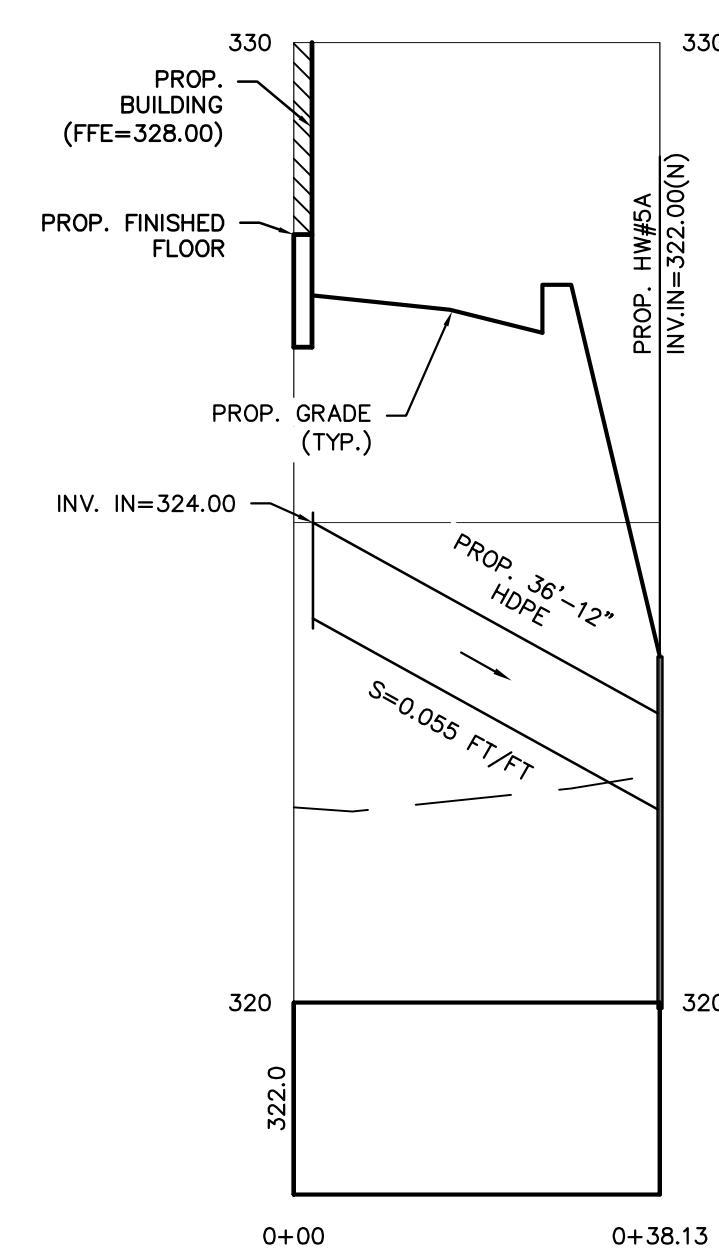
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PROJECT No. | DATE: | SCALE:  
21-0630-1 | MAY 23, 2022 | AS SHOWN

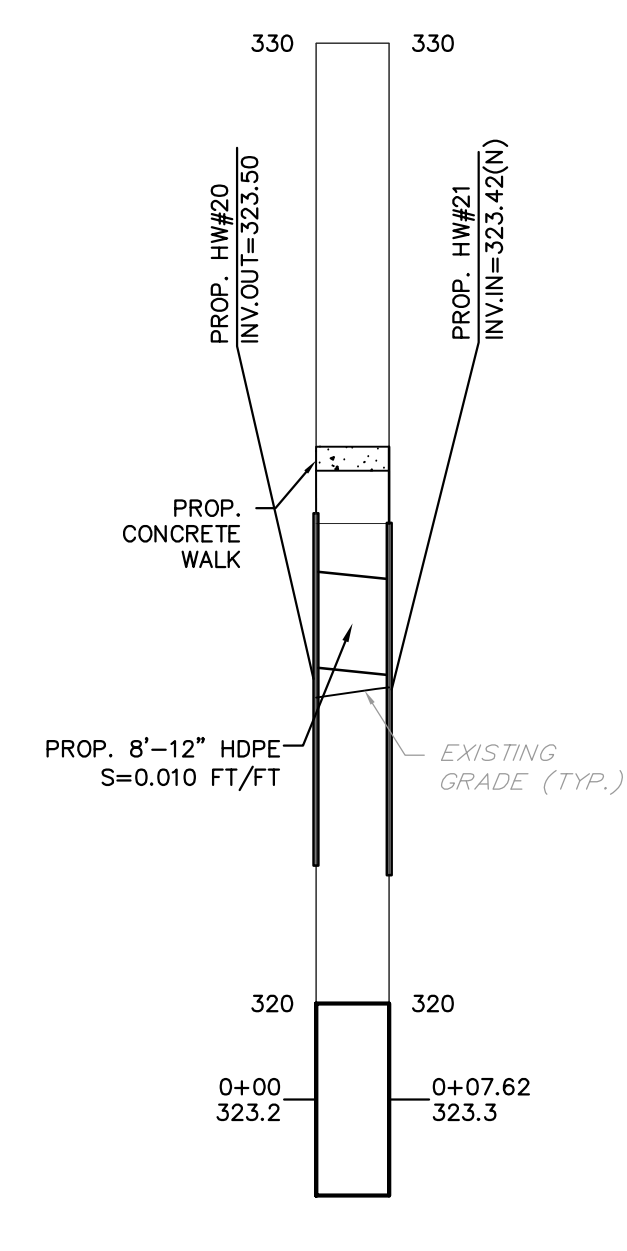
SHEET: 10 OF 19



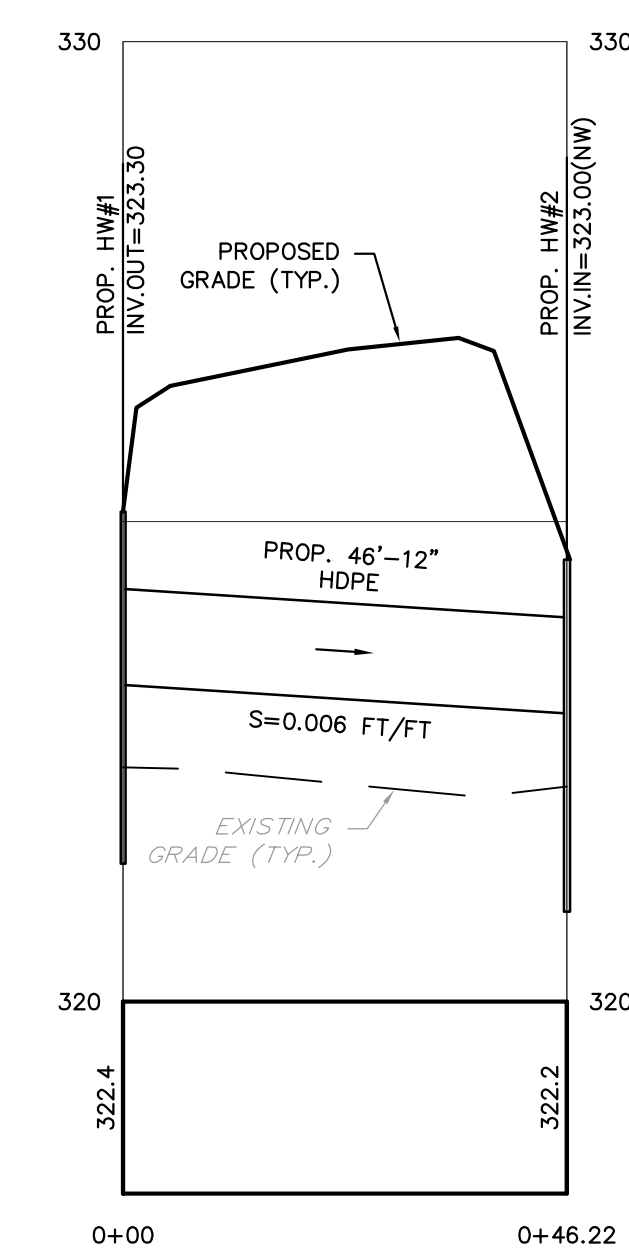
DRAINAGE PROFILE (PROP. AD#8 TO PROP. HW#5)  
1"=20' HORIZ., 1"=2' VERT.



DRAINAGE PROFILE (PROP. ROOF DRAIN TO PROP. HW#5A)  
1"=20' HORIZ., 1"=2' VERT.



DRAINAGE PROFILE (PROP. HW#20 TO PROP. HW#21)  
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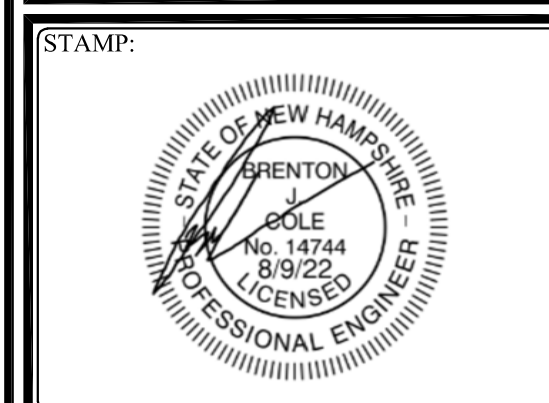
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No.	DATE	COMMENTS	BY	
			PROJECT SUBMITTAL	TOWN COMMENTS
0	05/23/2022			
1	08/09/2022			

OWNER & APPLICANT:  
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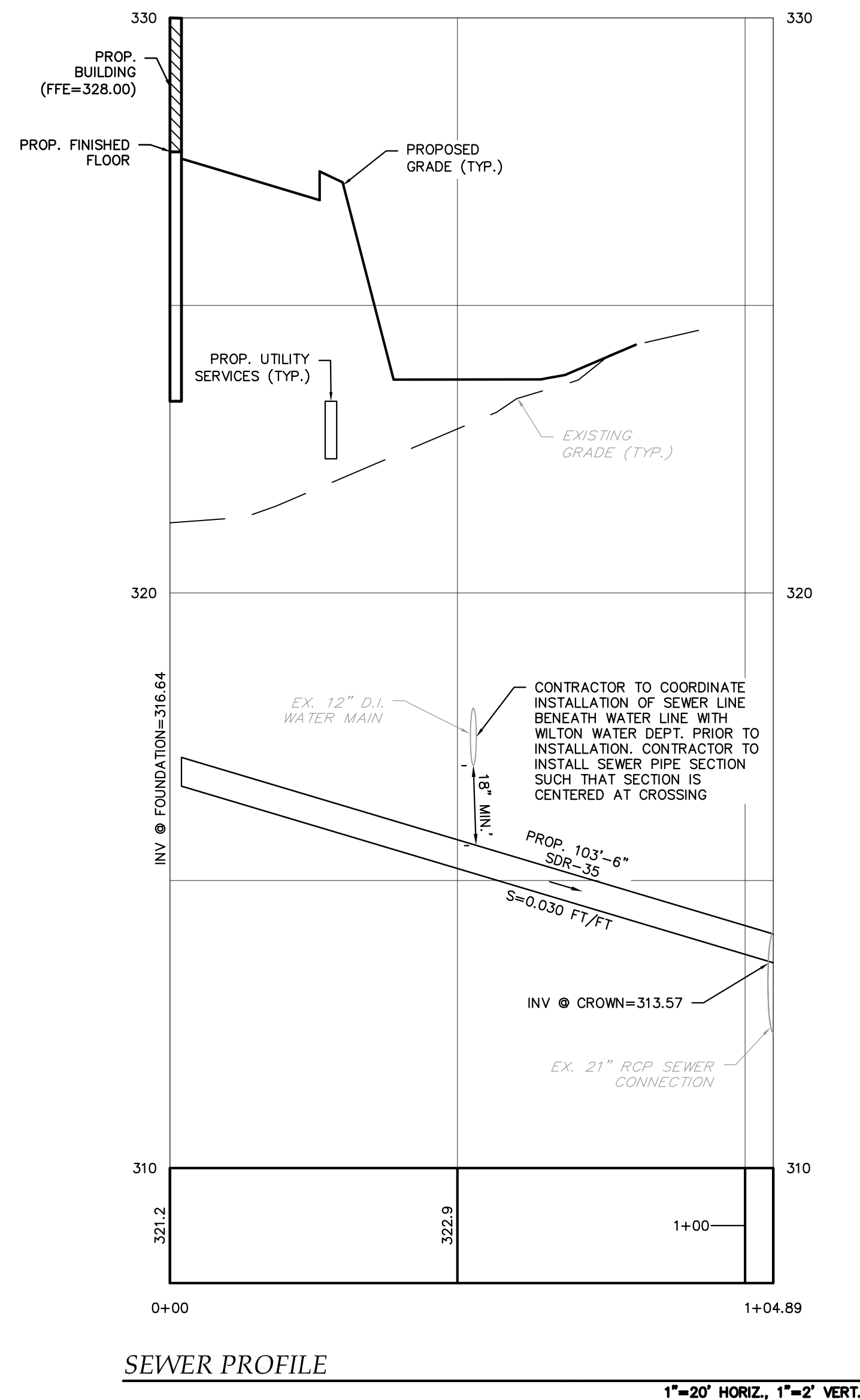
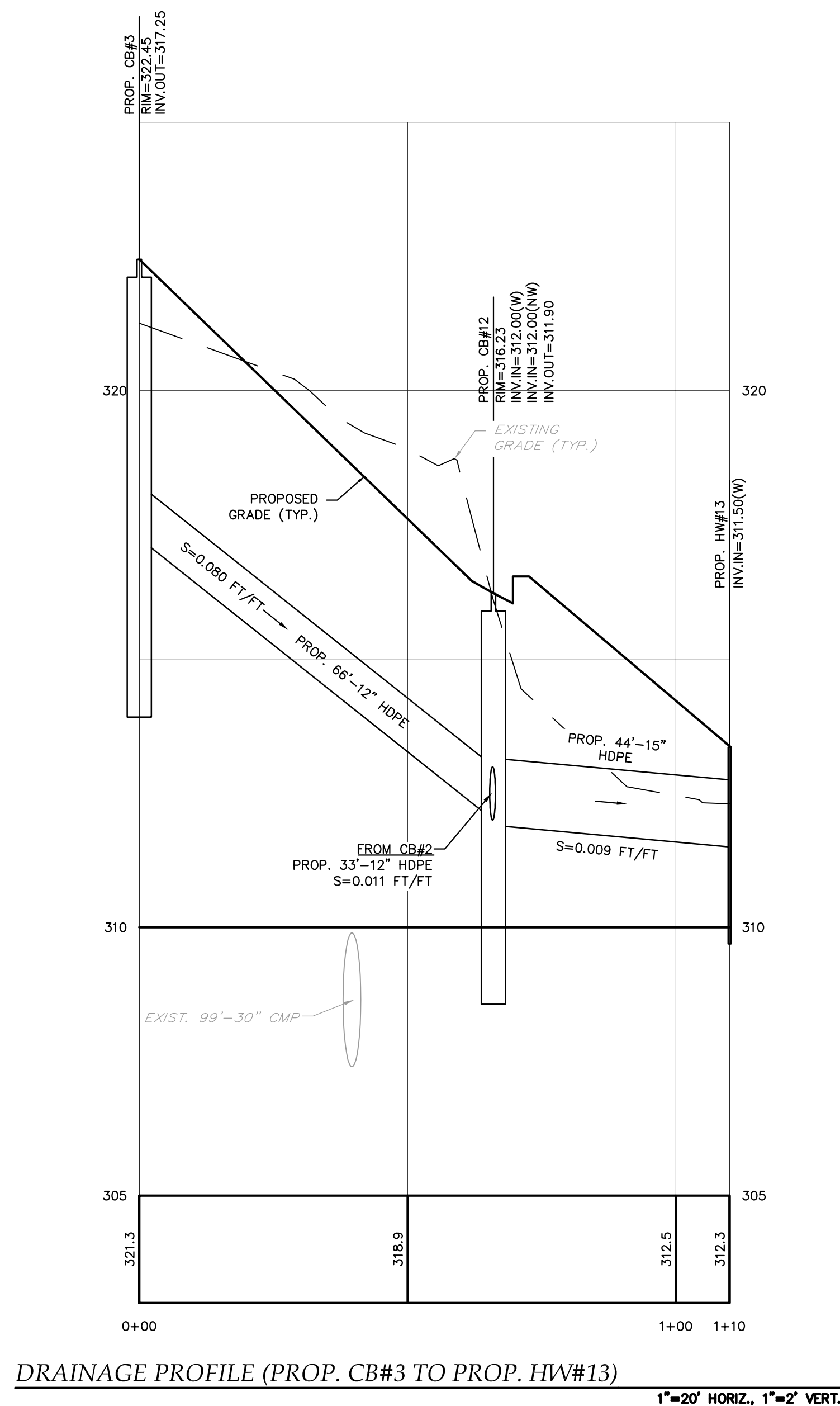
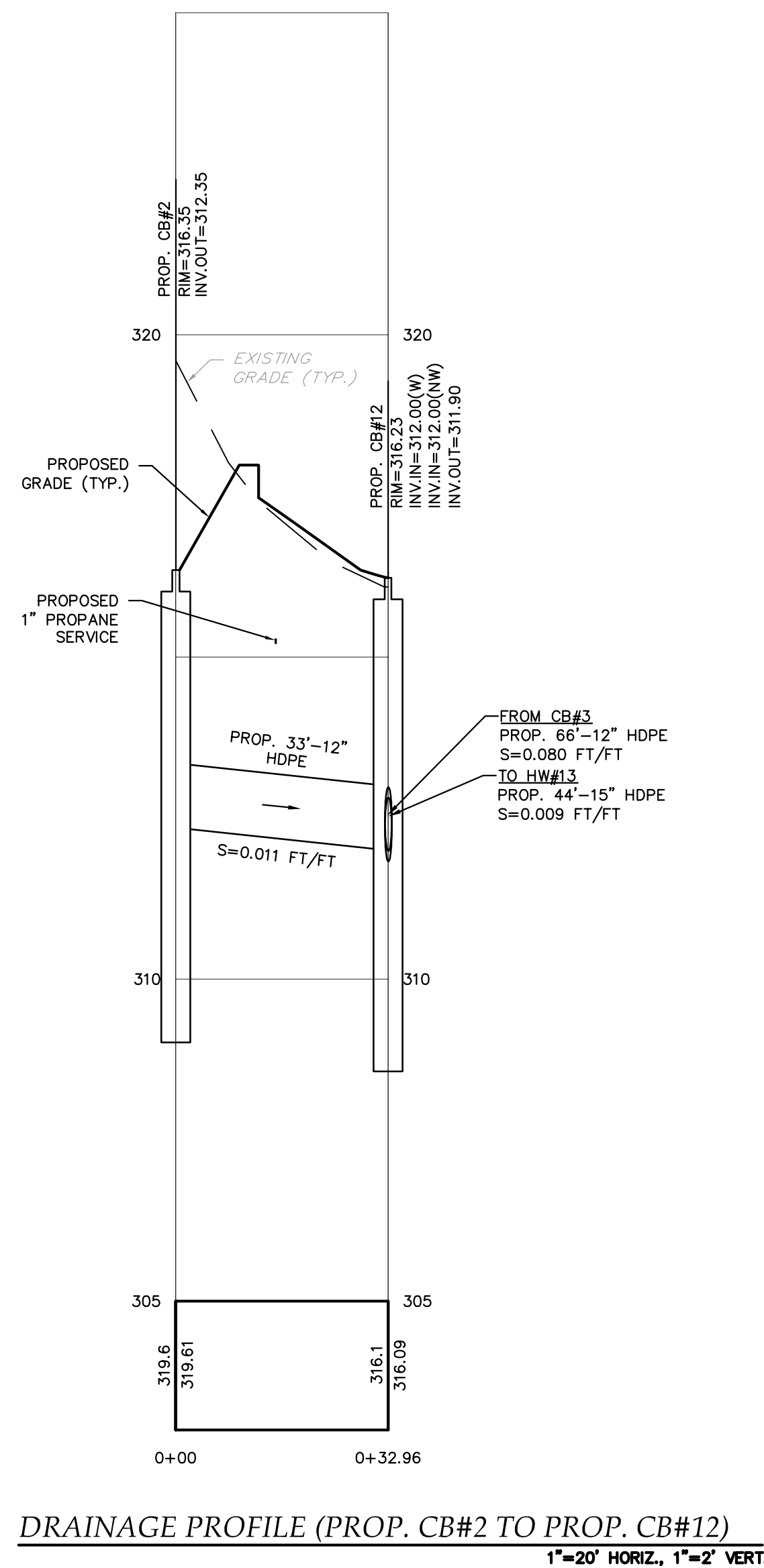


LOCATION:  
TAX MAP 6 LOT 14  
30 WILTON ROAD  
MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

TITLE:  
**UTILITY PROFILES**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022 SCALE: AS SHOWN  
SHEET: 11 OF 19

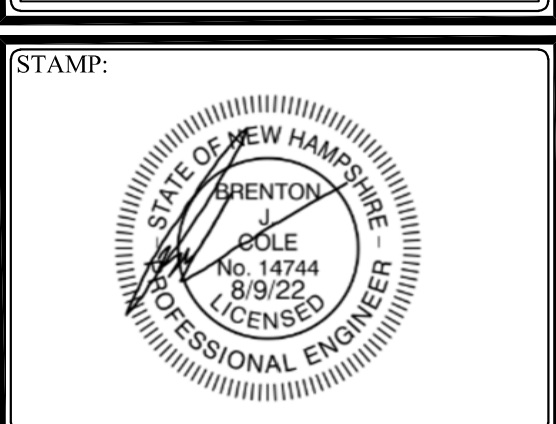


NO.	DATE	REVISIONS
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OWNER & APPLICANT:  
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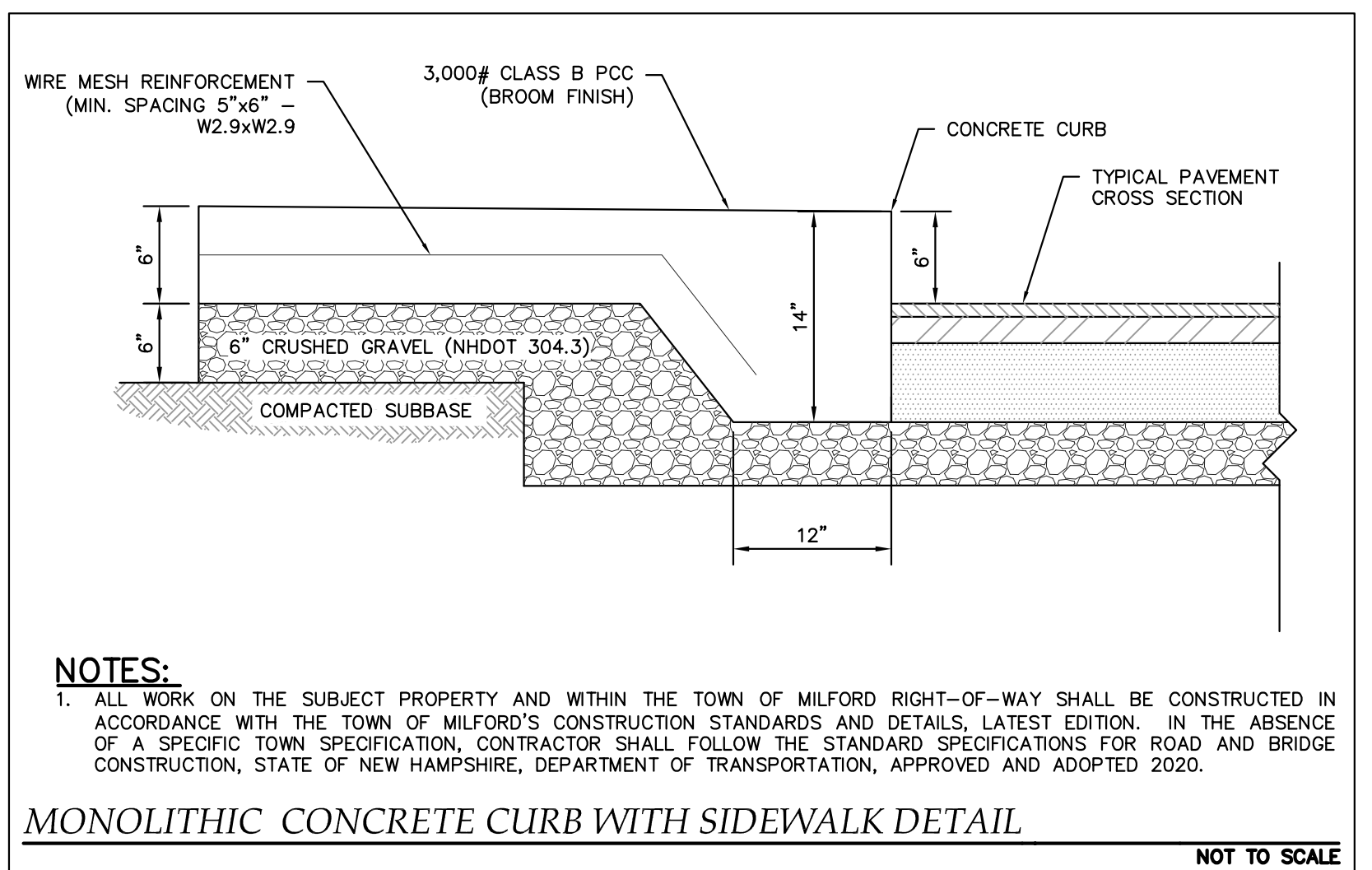
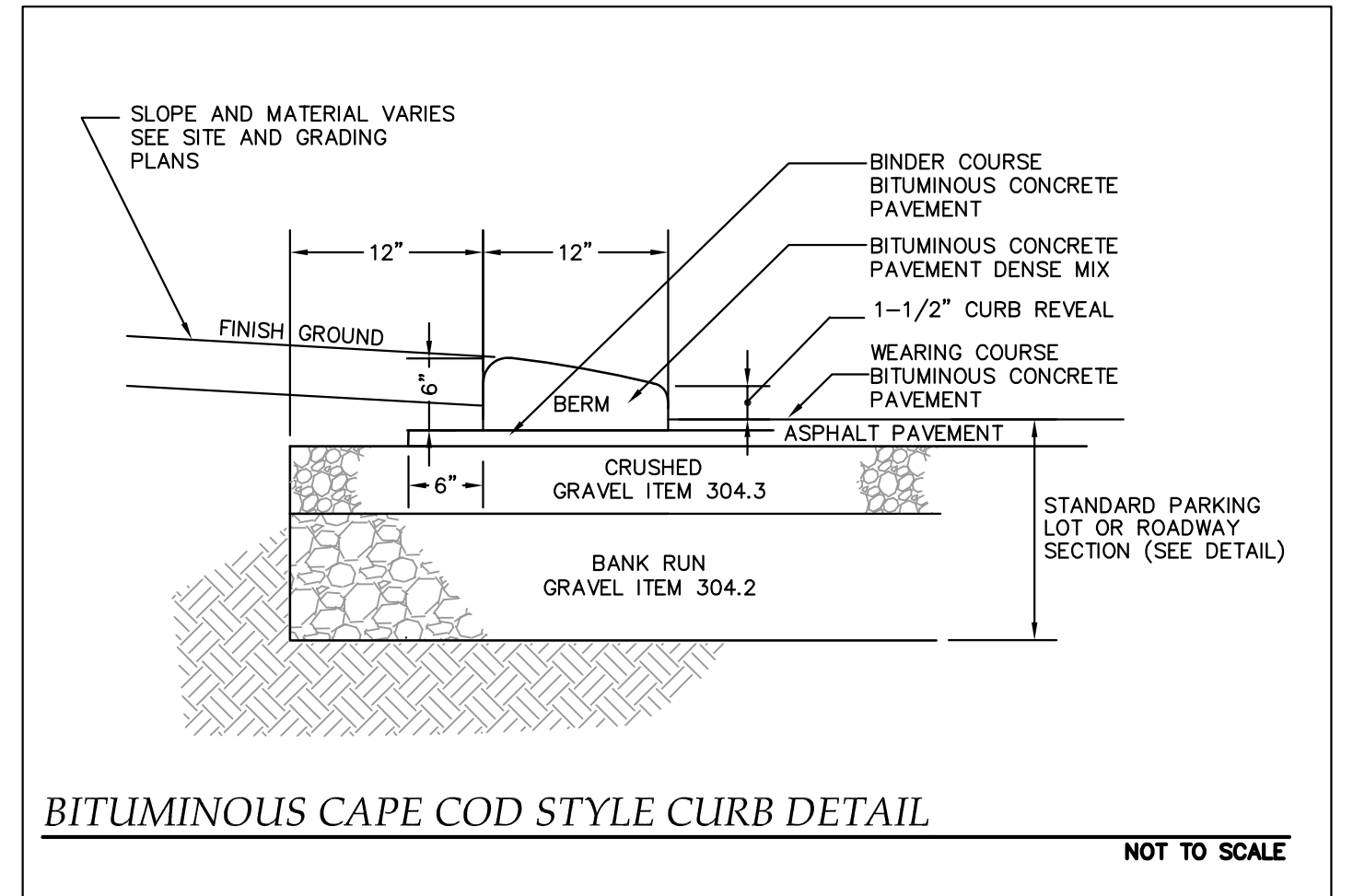
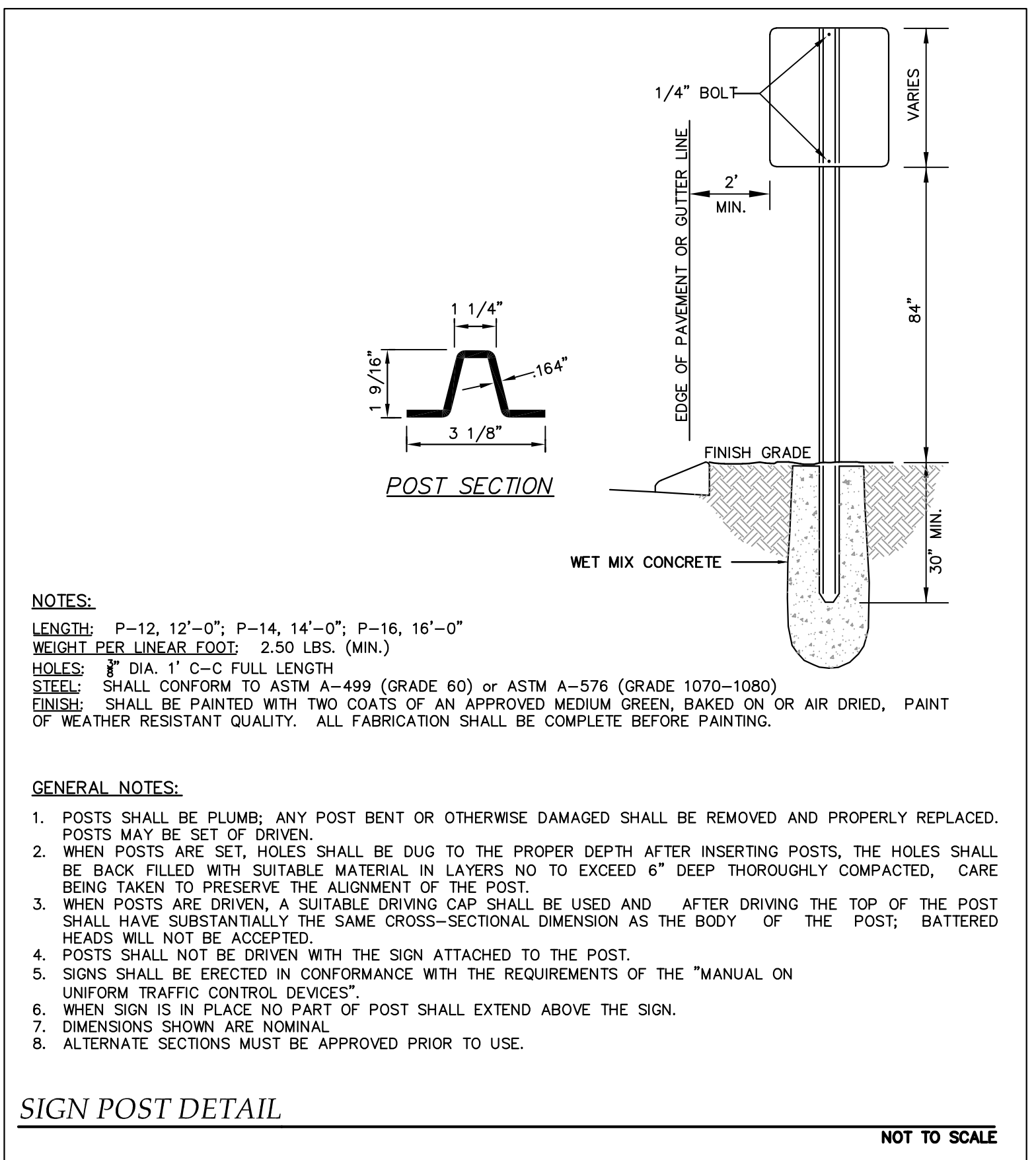
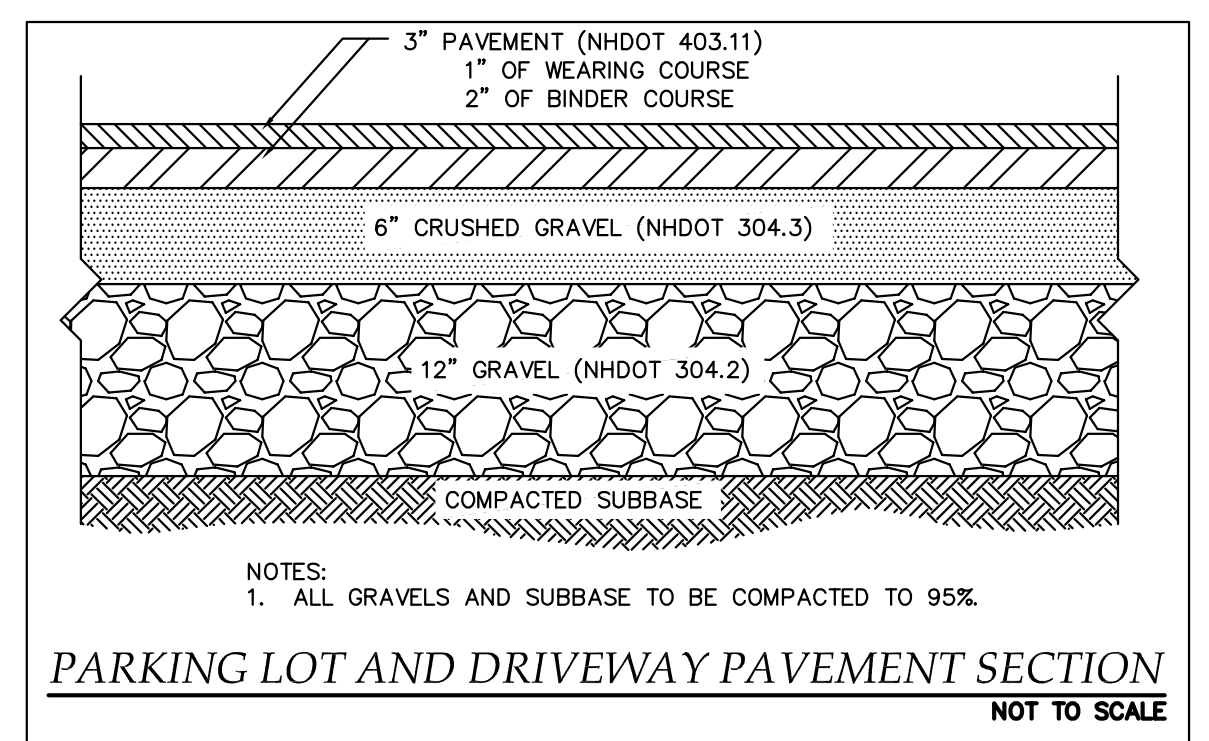
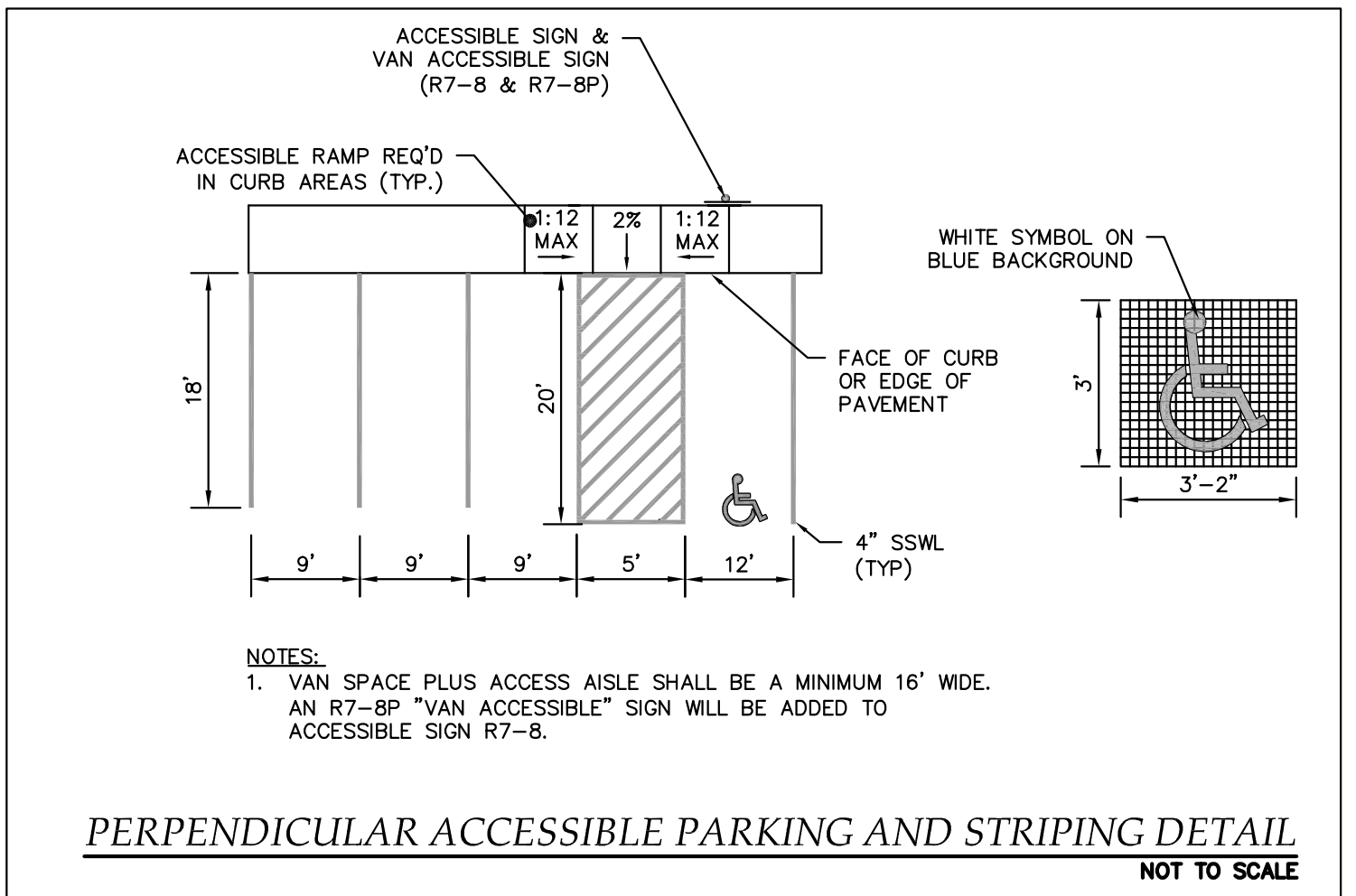
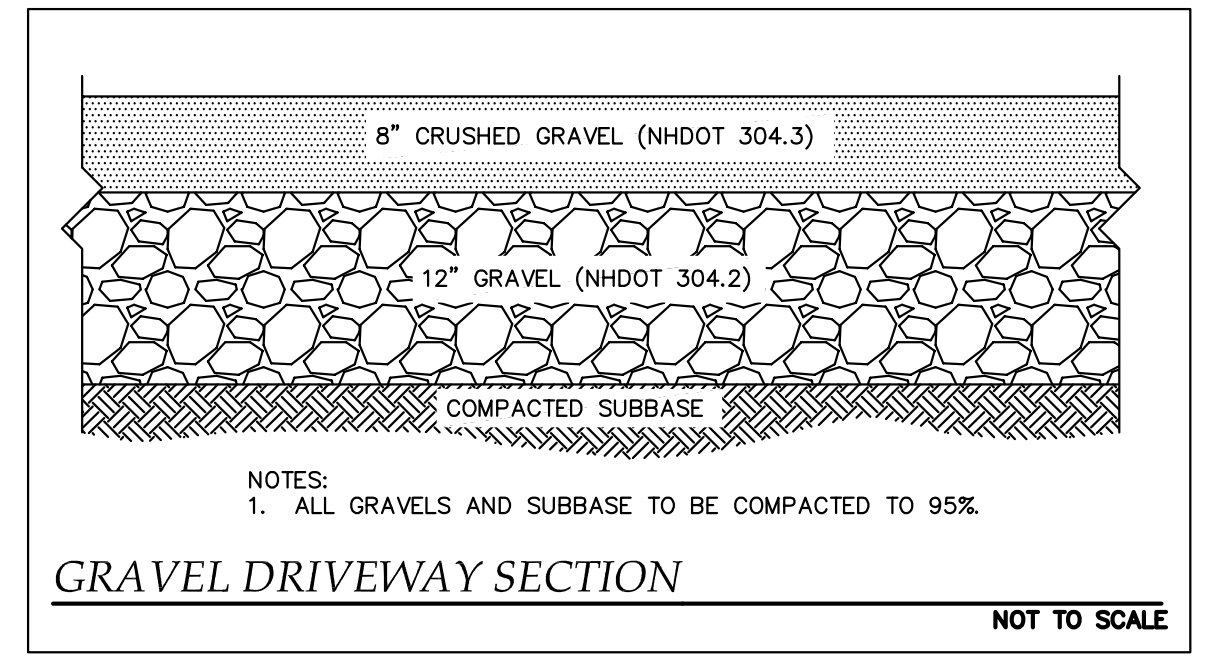
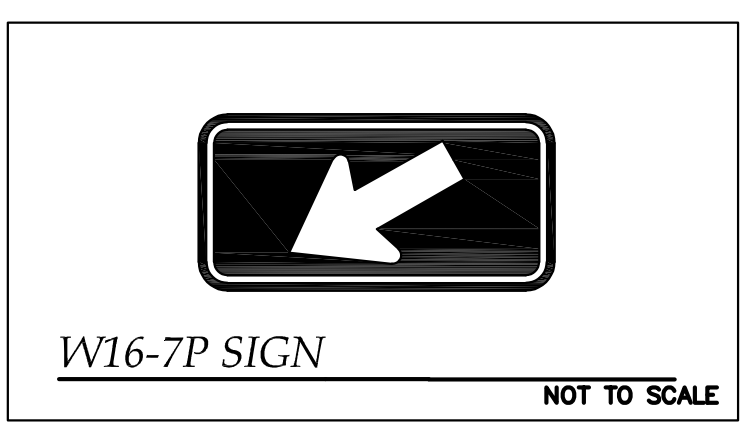
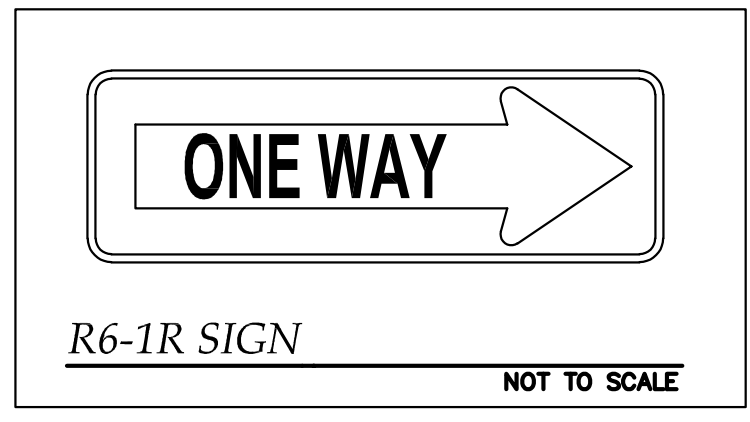
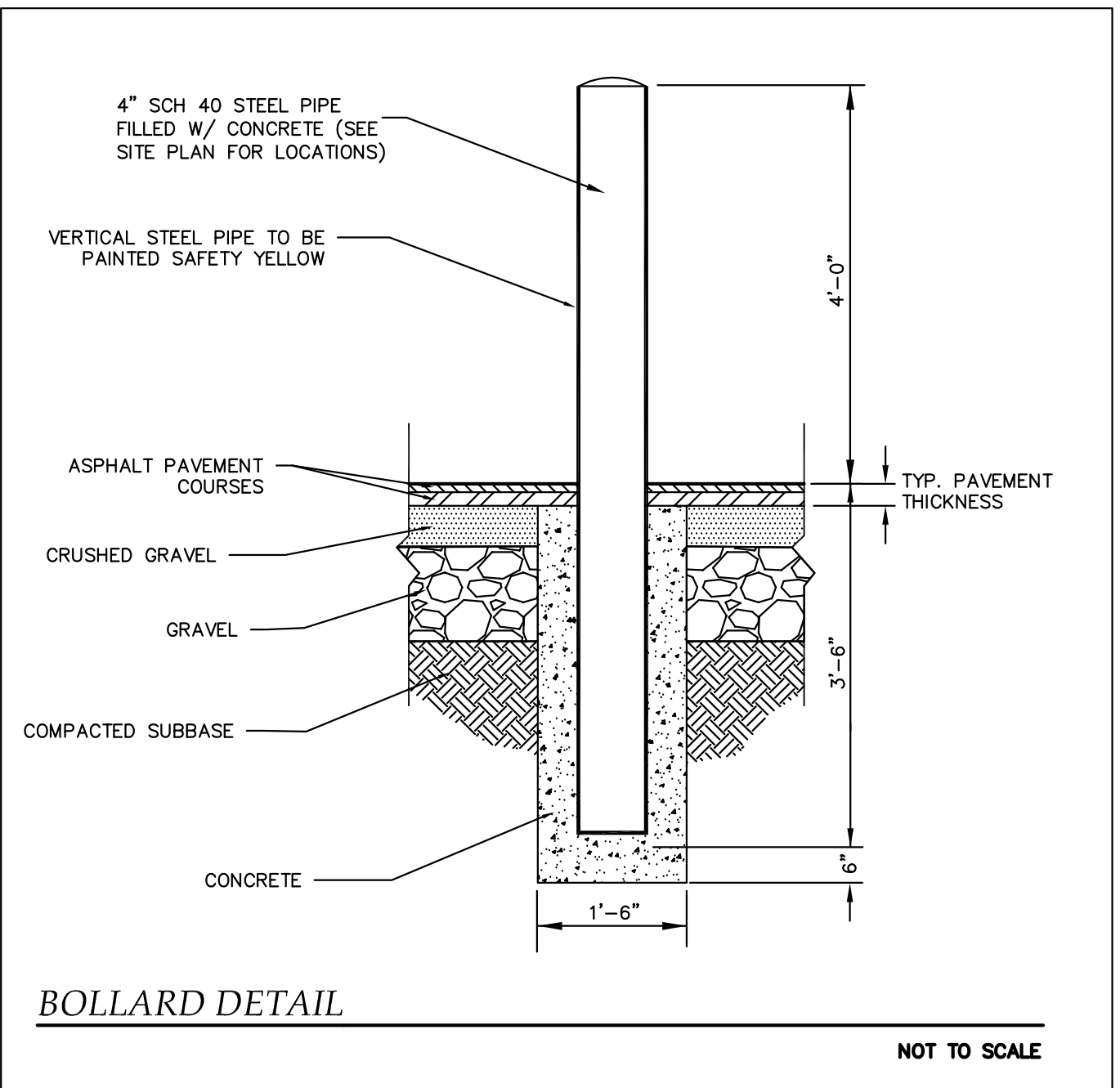
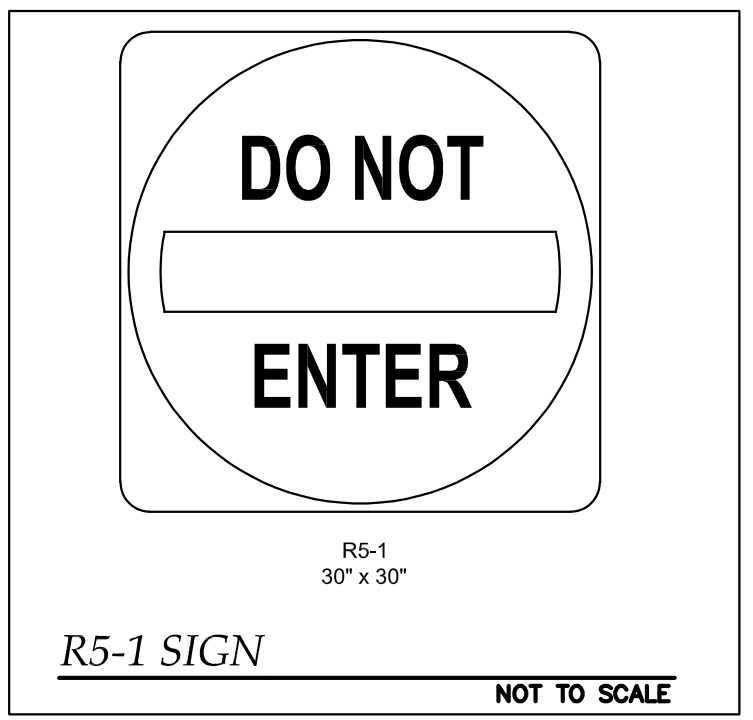
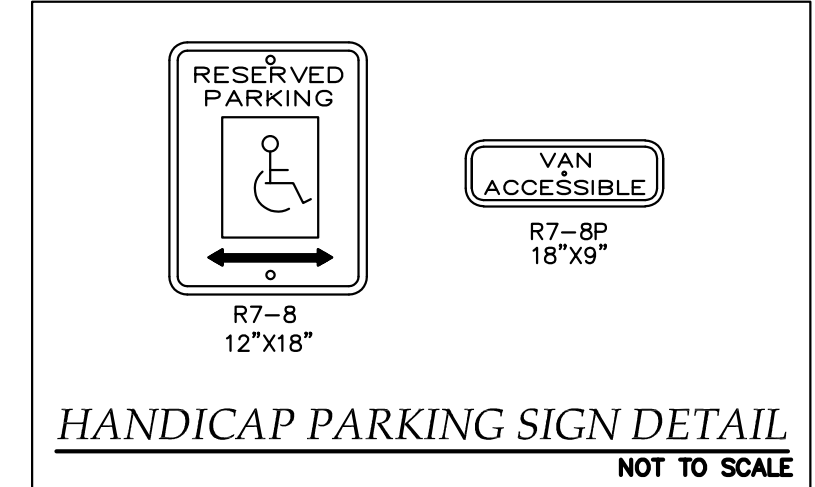
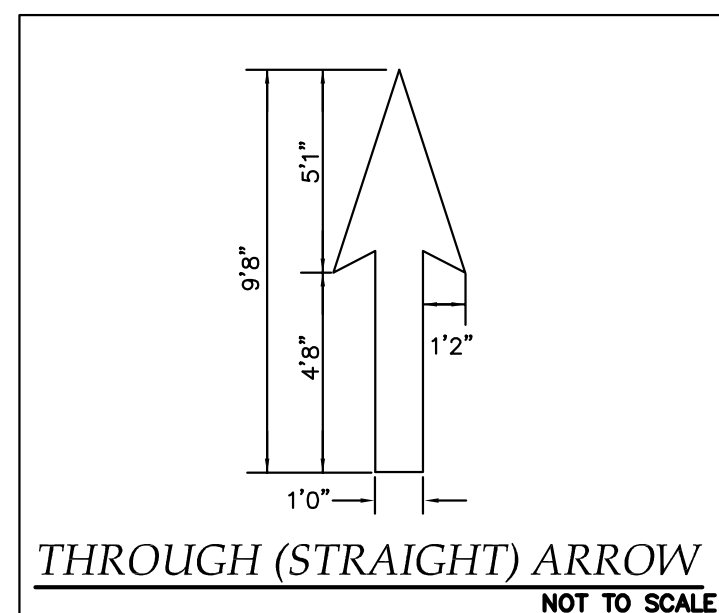
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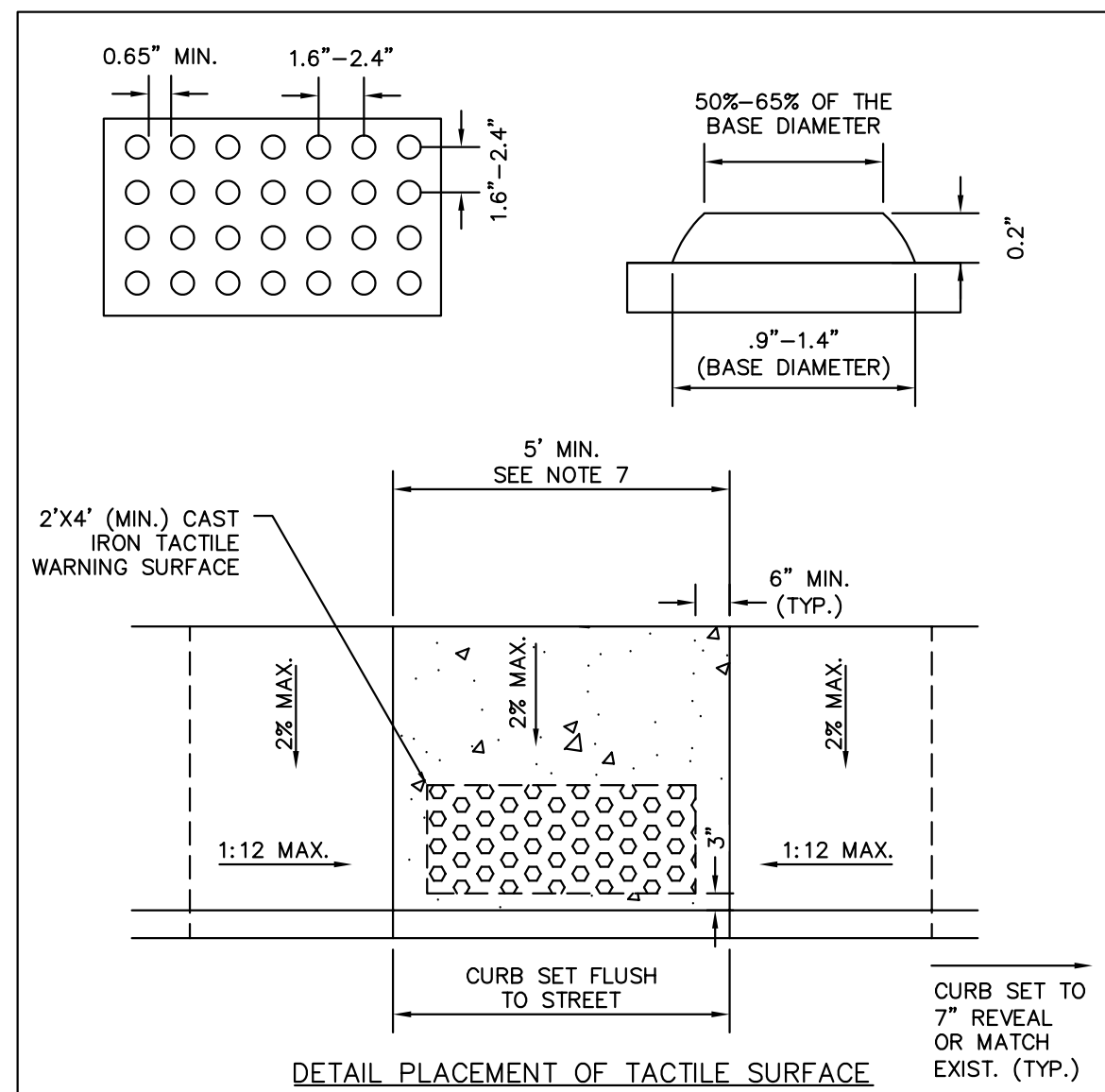


LOCATION:  
TAX MAP 6 LOT 14  
30 WILTON ROAD  
MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

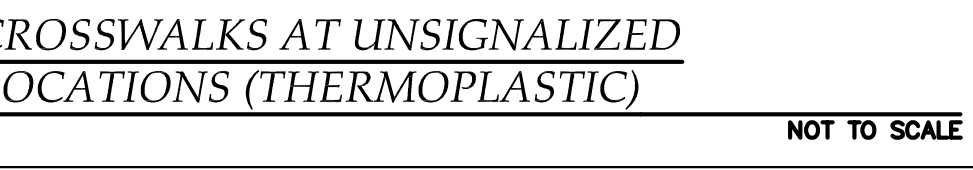
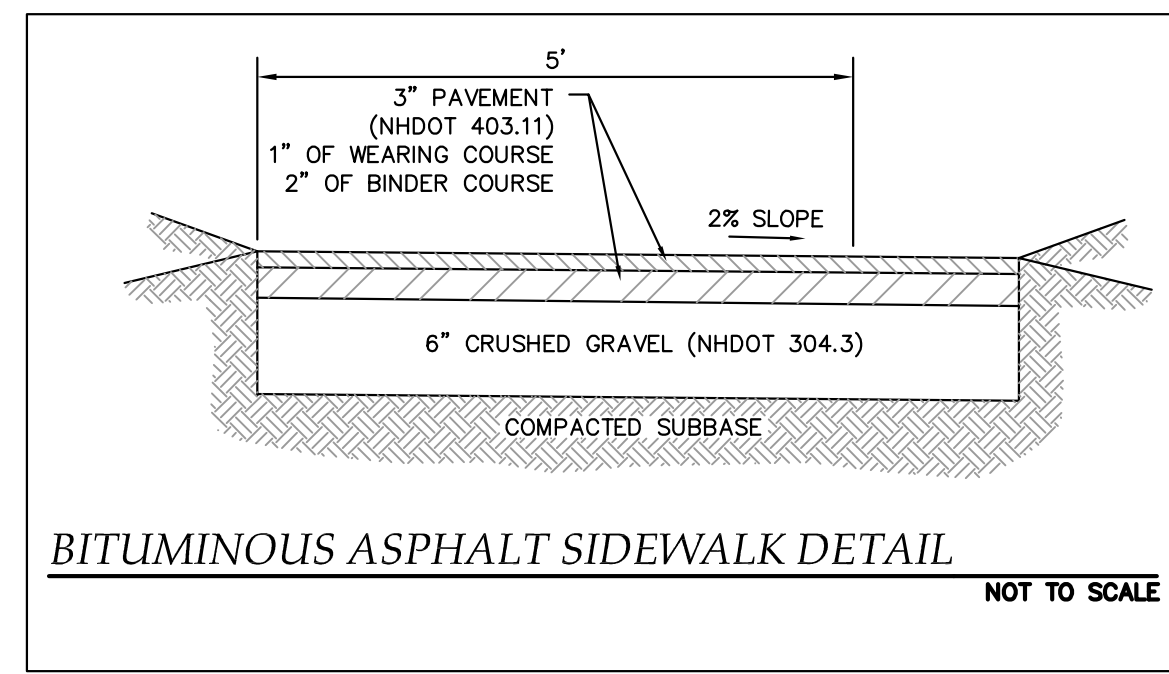
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**DETAILS**



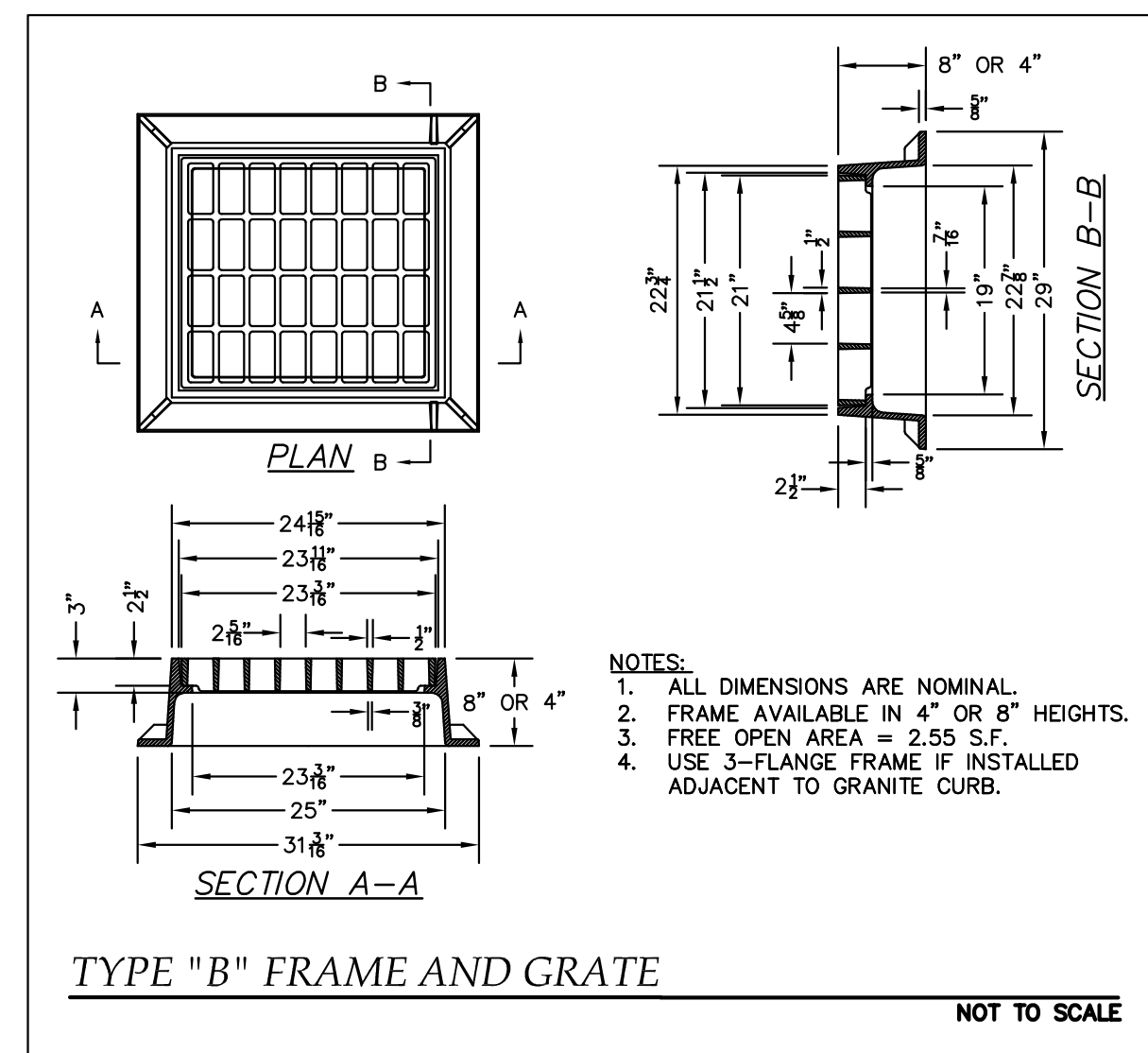


1. SLOPE OF RAMP VARIES WITH SIDEWALK WIDTH AND HEIGHT, WITH A MAXIMUM SLOPE OF 12:1 AND MINIMUM SLOPE OF 16:1.
2. A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMPS.
3. MAINTAIN THE NORMAL GUTTER PROFILE THROUGHOUT THE RAMP AREA.
4. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF THE RAMP.
5. MAINTAIN 0" OF CURB REVEAL AT THE RAMP.
6. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, SIGNS, ETC.).
7. A WIDTH LESS THAN FIVE FEET MAY BE PERMISSIBLE AT THE CITY'S DISCRETION. DIMENSIONS THAT DO NOT COMPLY WITH ADA TITLE III REGULATIONS WILL NOT BE ALLOWED.
8. CROSS SLOPE WITHIN ACCESSIBLE ROUTE SHALL NOT EXCEED 2%.

**TACTILE PANEL DETAIL**  
NOT TO SCALE

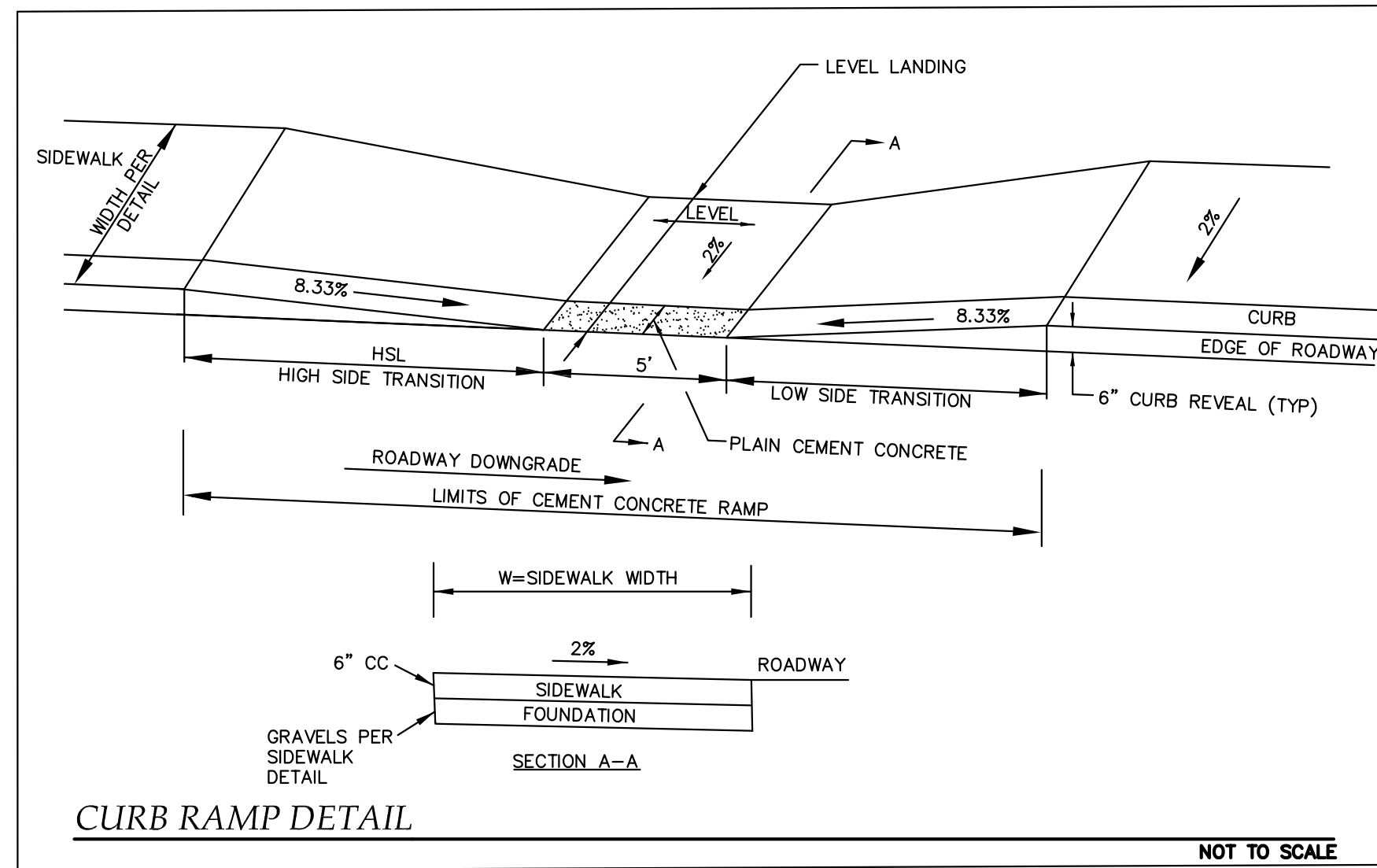


**CROSSWALKS AT UNSIGNALIZED LOCATIONS (THERMOPLASTIC)**  
NOT TO SCALE

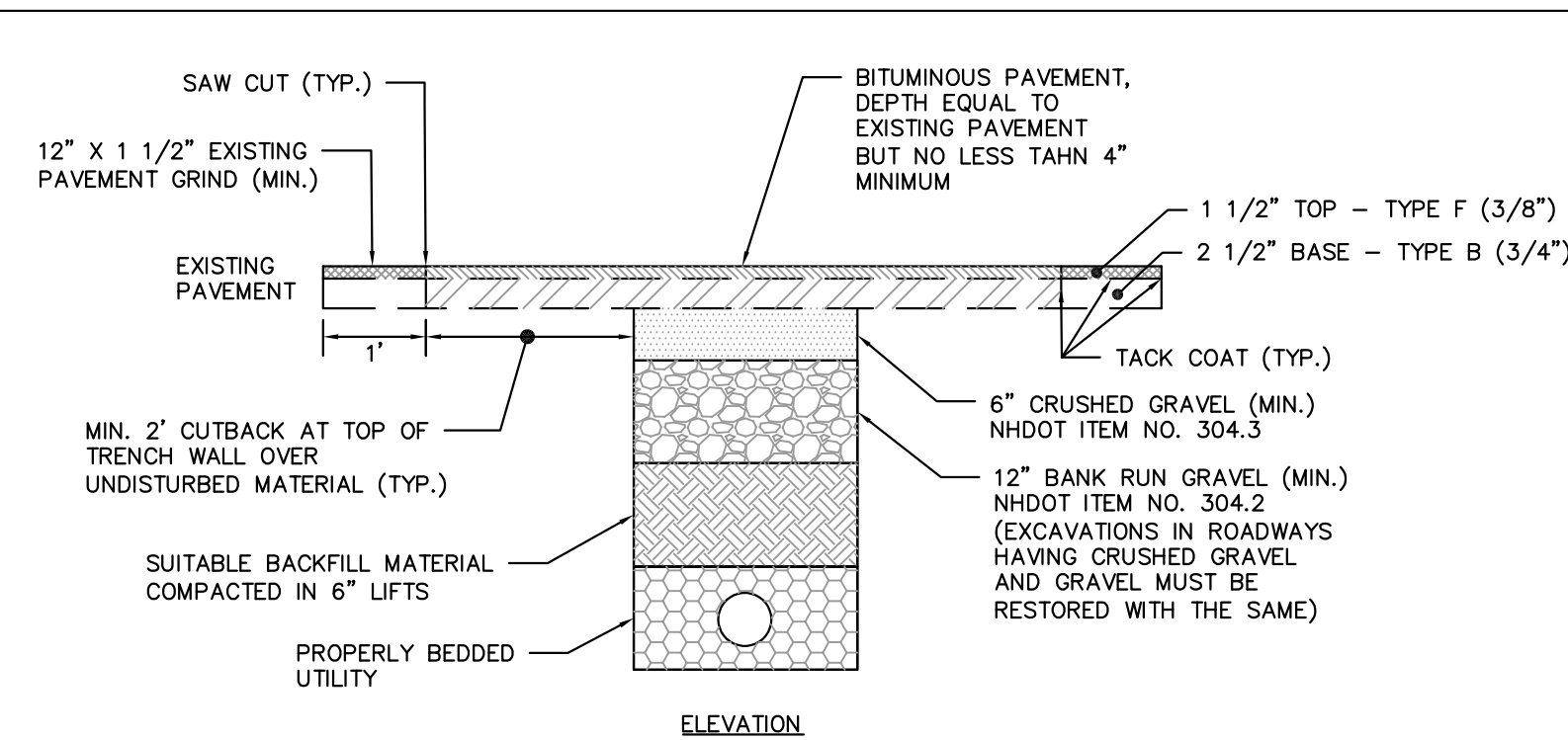


- NOTES:**
1. ALL DIMENSIONS ARE NOMINAL.
  2. FRAME AVAILABLE IN 4" OR 5" HEIGHTS.
  3. FREE OPEN AREA = 2.55 S.F.
  4. USE 3-FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB.

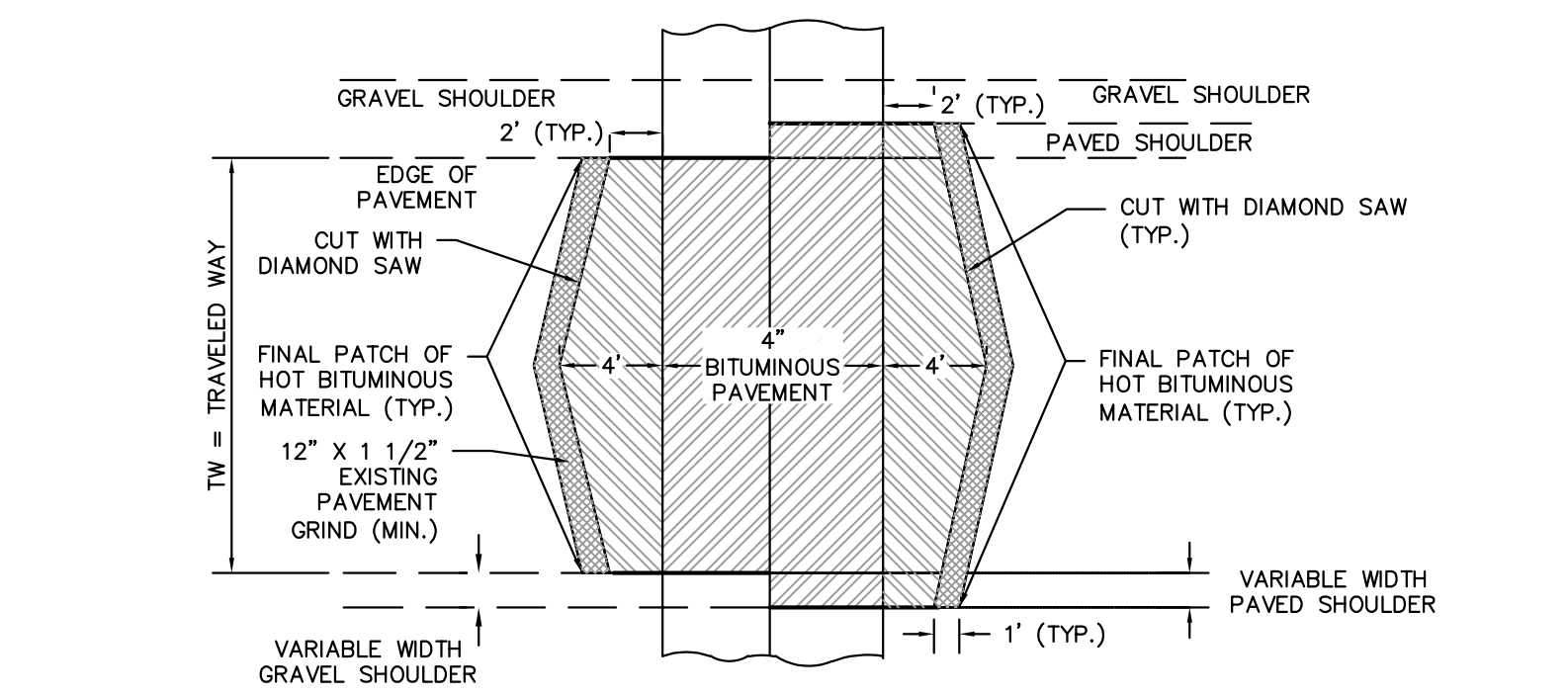
**TYPE "B" FRAME AND GRATE**  
NOT TO SCALE



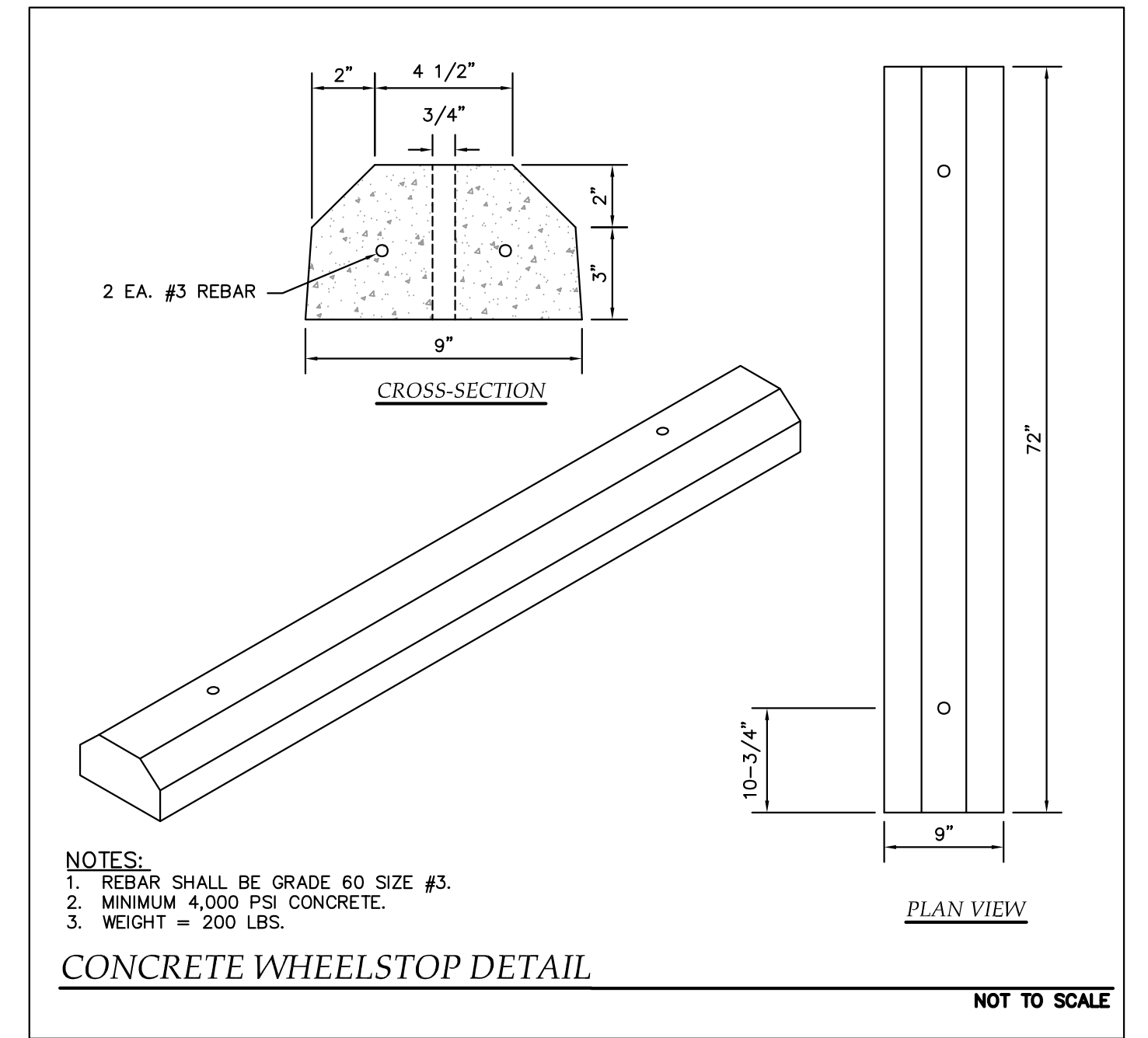
**CURB RAMP DETAIL**  
NOT TO SCALE



- NOTES:**
1. ALL BACKFILL MATERIAL PLACED IN TRENCHES SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 6" (SIX INCHES) IN COMPACTED THICKNESS AT NEAR OPTIMUM MOISTURE CONTENT USING PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. THE MATERIAL SHALL BE COMPACTED TO NO LESS THAN 95% OF AMERICAN ASSOCIATION OF STATE HIGHWAY OFFICIALS, METHOD OF TEST 199, METHOD C. WATER SHALL BE UNIFORMLY APPLIED DURING COMPACTION IN THE AMOUNT NECESSARY FOR PAPER CONSOLIDATION, BUT PUDDLING WILL NOT BE ALLOWED.
  2. WITHIN PAVED AREAS, CLASS A CRUSHED GRAVEL (AS DESCRIBED IN NH STANDARD SPECIFICATIONS) EQUAL TO THE EXISTING GRAVEL COURSE, SHALL BE PLACED IN LAYERS NOT EXCEEDING 9" (NINE INCHES) LOOSE DEPTH AND THOROUGHLY COMPACTED. AN APPROVED BITUMINOUS PLANT MIX MATERIAL SHALL BE PLACED AND CAREFULLY GRADED AND ROLLED TO THE ADJACENT PAVEMENT GRADE AS A TEMPORARY PATCH. JUST BEFORE COMPLETION OF THE PROJECT AND AFTER SUITABLE EXPOSURE OF THE TEMPORARY PATCHES TO TRAFFIC COMPACTION, THE PAVEMENT SHALL BE SAWN ON EITHER SIDE OF THE TRENCH TO PROVIDE A TWO FOOT MINIMUM OVERLAP OF THE FINAL PATCH ON UNDISTURBED MATERIAL. IN THE CASE OF TRANSVERSE OR DIAGONAL TRENCHING, THE PAVEMENT SHALL BE SAWN TO PROVIDE A FLAT DIAMOND SHAPED PATCH WITH A TWO FOOT MINIMUM OVERLAP ON UNDISTURBED MATERIAL THAT WILL PERMIT ONLY ONE WHEEL OF A VEHICLE AT A TIME TO STRIKE THE PATCH AREA. WITHIN THE SAWN LIMITS OF THE FINAL PATCH, THE EXISTING PAVEMENT AND TEMPORARY PATCH MATERIAL SHALL BE REMOVED AND REPLACED WITH AN EQUAL DEPTH OF TYPE 1-1 HOT ASPHALTIC CONCRETE, LAYED AND COMPACTED TO MEET THE EXISTING PAVEMENT EDGE EXACTLY. SAW CUTS FOR FINAL PATCHING SHALL BE AS DIRECTED BY THE DISTRICT ENGINEER.
  3. SHOULDERS, OTHER THAN PAVED, DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED BY EXCAVATING TO A DEPTH SUFFICIENT TO RECEIVE 3" CRUSHED BANK RUN GRAVEL WHICH SHALL BE GRADED AND COMPACTED ON A SLOPE OF 5/8" PER FOOT AWAY FROM THE PAVEMENT OR AS ORDERED BY THE DISTRICT ENGINEER.
  4. OTHER THAN HIGHWAY SLOPES AND SHOULDERS DISTURBED SHALL BE REPLACED PER THE RESPECTIVE SUBDIVISIONS OF THIS PERMIT OR INSTRUCTIONS ISSUED BY THE DISTRICT ENGINEER.
  5. IN OTHER AREAS, THE PRESENT SURFACE TYPE SHALL BE RESTORED BY PLACING SIMILAR MATERIAL INTO THE TRENCH TO A DEPTH EQUAL TO THAT EXISTING BEFORE EXCAVATION. ANY EXISTING GRASS ADDITIONALLY SHALL BE FERTILIZED AND RE-SEEDED. ANY ASPHALT OR CONCRETE SIDEWALKS SHALL HAVE SURFACES OF EQUAL DEPTH, KIND AND QUALITY PLACED.
  6. TRAFFIC SHALL BE MAINTAINED, CONTROLLED AND PROTECTED BY SUITABLE WARNING AND/OR CHANNELING DEVICES, ADVANCE AND STANDARD WARNING SIGNS AND FLAGS DURING THE PERFORMANCE OF THE WORK AS SHOWN ON THE ATTACHED "WARNING AND SIGN PACKAGE". THE CONTRACTOR SHALL MARK ALL HAZARDS WITHIN THE LIMITS OF THE PROJECT AND CONNECTING ROADS. THESE DEVICES SHALL BE MOVED, SUPPLEMENTED, CHANGED OR REMOVED DURING THE PROGRESS OF THE CONSTRUCTION. UNIFORMED TRAFFIC CONTROL OFFICERS SHALL BE PROVIDED FOR THE PROTECTION OF THE PUBLIC WHENEVER TWO WAY TRAFFIC CANNOT BE MAINTAINED AND/OR AT THE REQUEST OF THE DISTRICT ENGINEER.
  7. THIS TYPICAL DETAIL IS TO BE USED IN CONJUNCTION WITH THE STANDARD TRENCH PERMIT. ALL SAW CUTS FOR THE FINAL PATCH SHALL BE AS DIRECTED BY THE DISTRICT ENGINEER.
  8. IN ALL CASES, TRENCH IS TO BE FLUSH WITH EXISTING PAVEMENT AT THE END OF EACH WORK DAY.

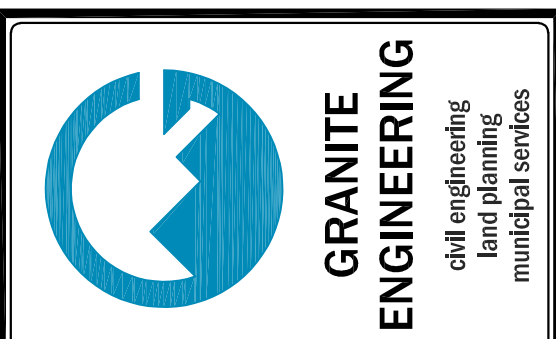


**TYPICAL PERMANENT PAVEMENT REPAIR**  
NOT TO SCALE



- NOTES:**
1. REBAR SHALL BE GRADE 60 SIZE #3.
  2. MINIMUM 4,000 PSI CONCRETE.
  3. WEIGHT = 200 LBS.

**CONCRETE WHEELSTOP DETAIL**  
NOT TO SCALE

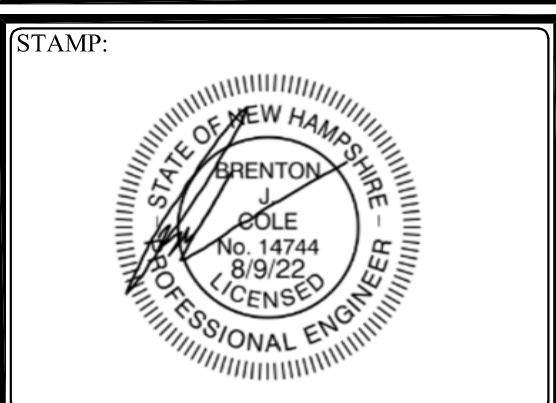


NO.	DATE	REVISIONS
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1	08/09/2022	REVISED PER TOWN COMMENTS

OWNER & APPLICANT:  
30 WILTON ROAD LLC  
55 HIGH STREET  
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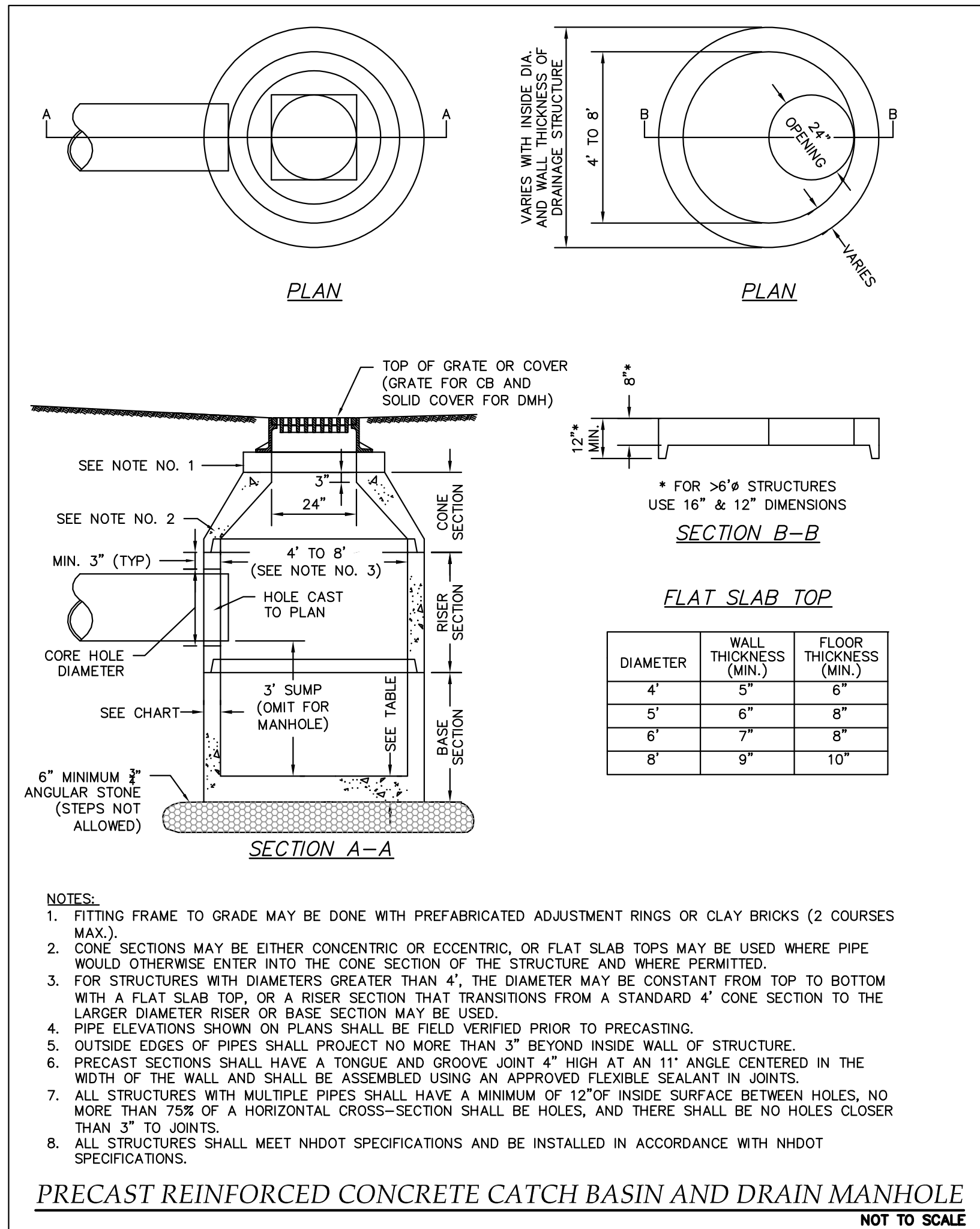
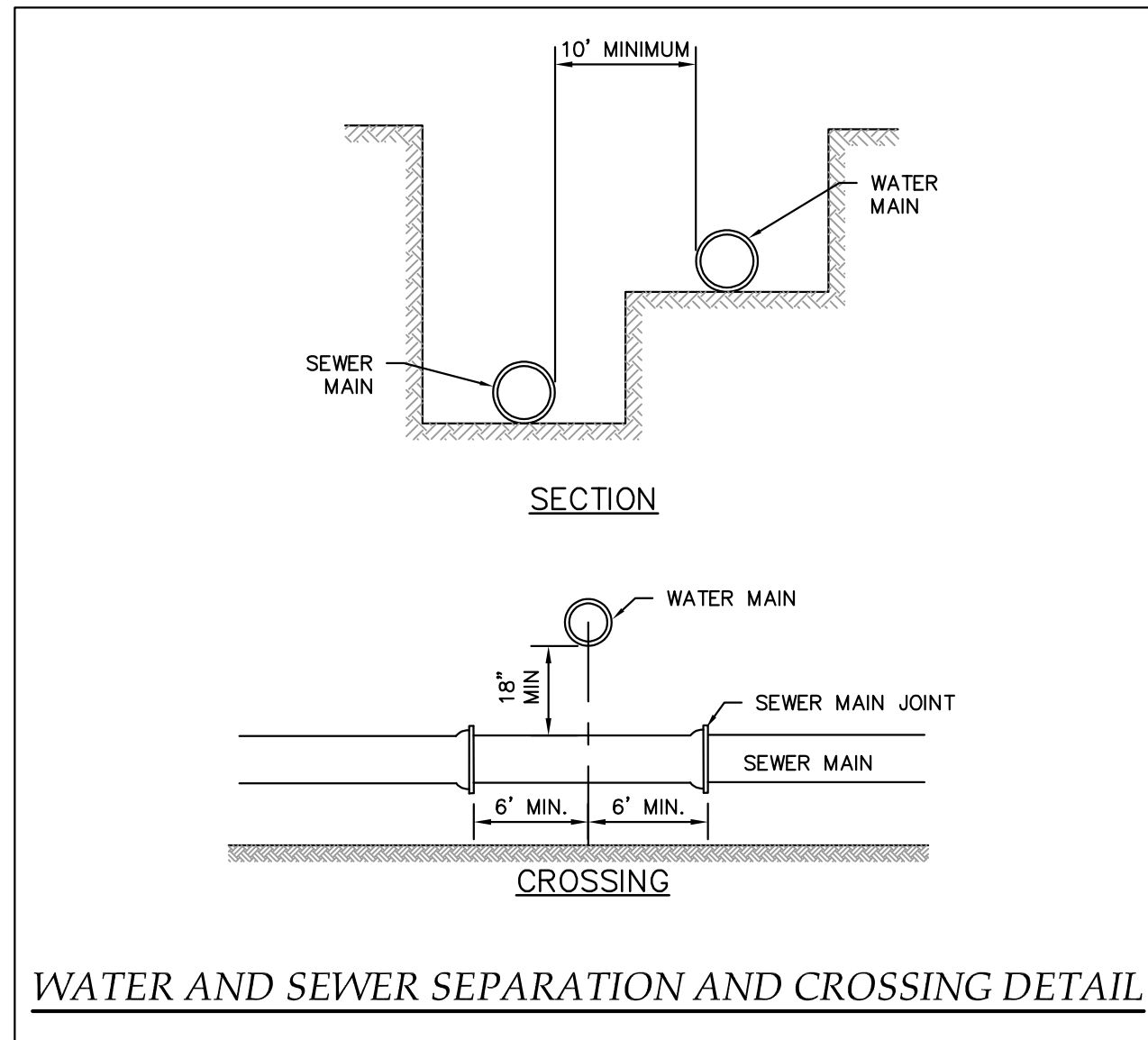


LOCATION:  
TAX MAP 6 LOT 14  
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MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

TITLE:  
**DETAILS**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022 SCALE: AS SHOWN  
SHEET: 13 OF 19

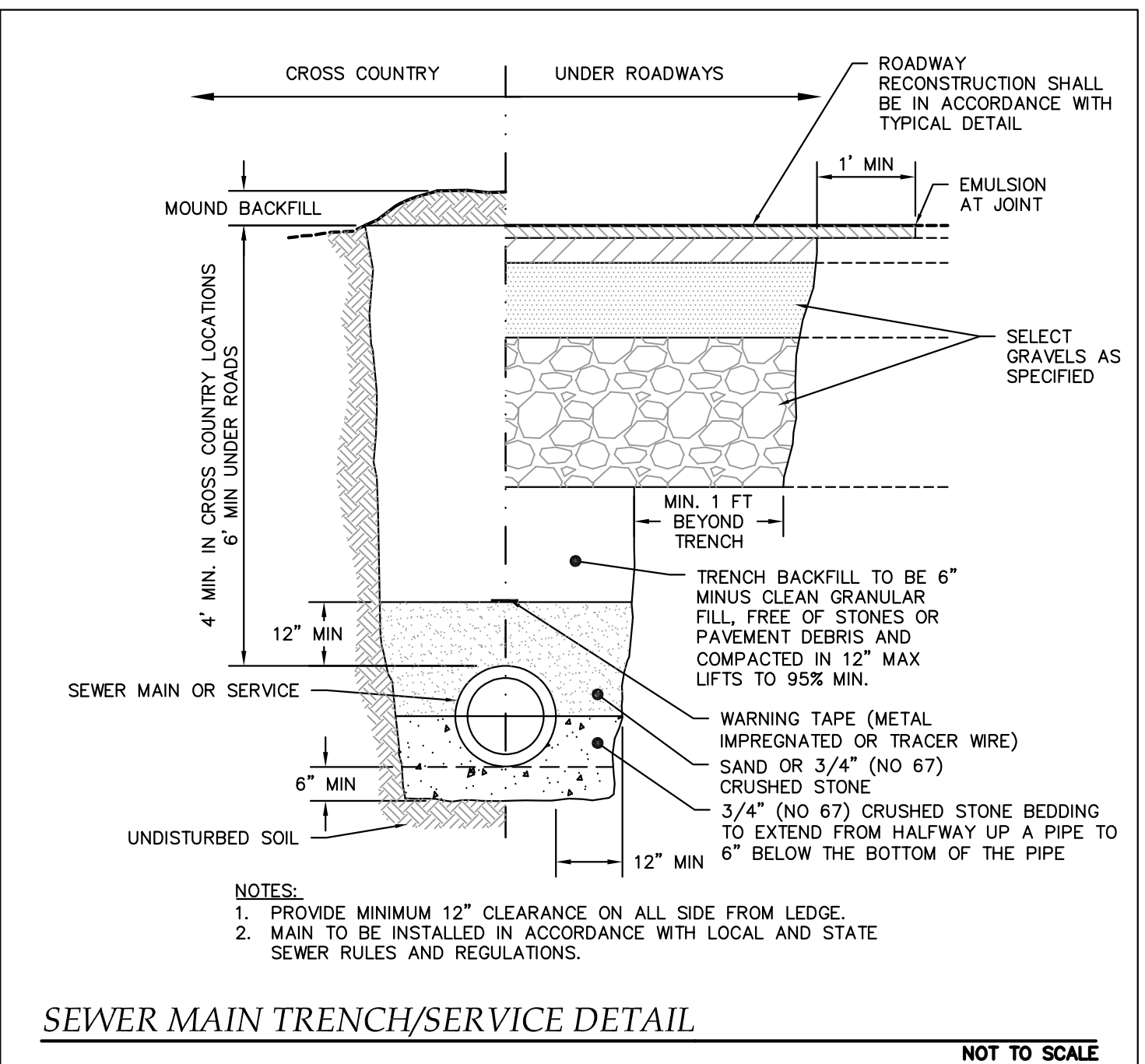
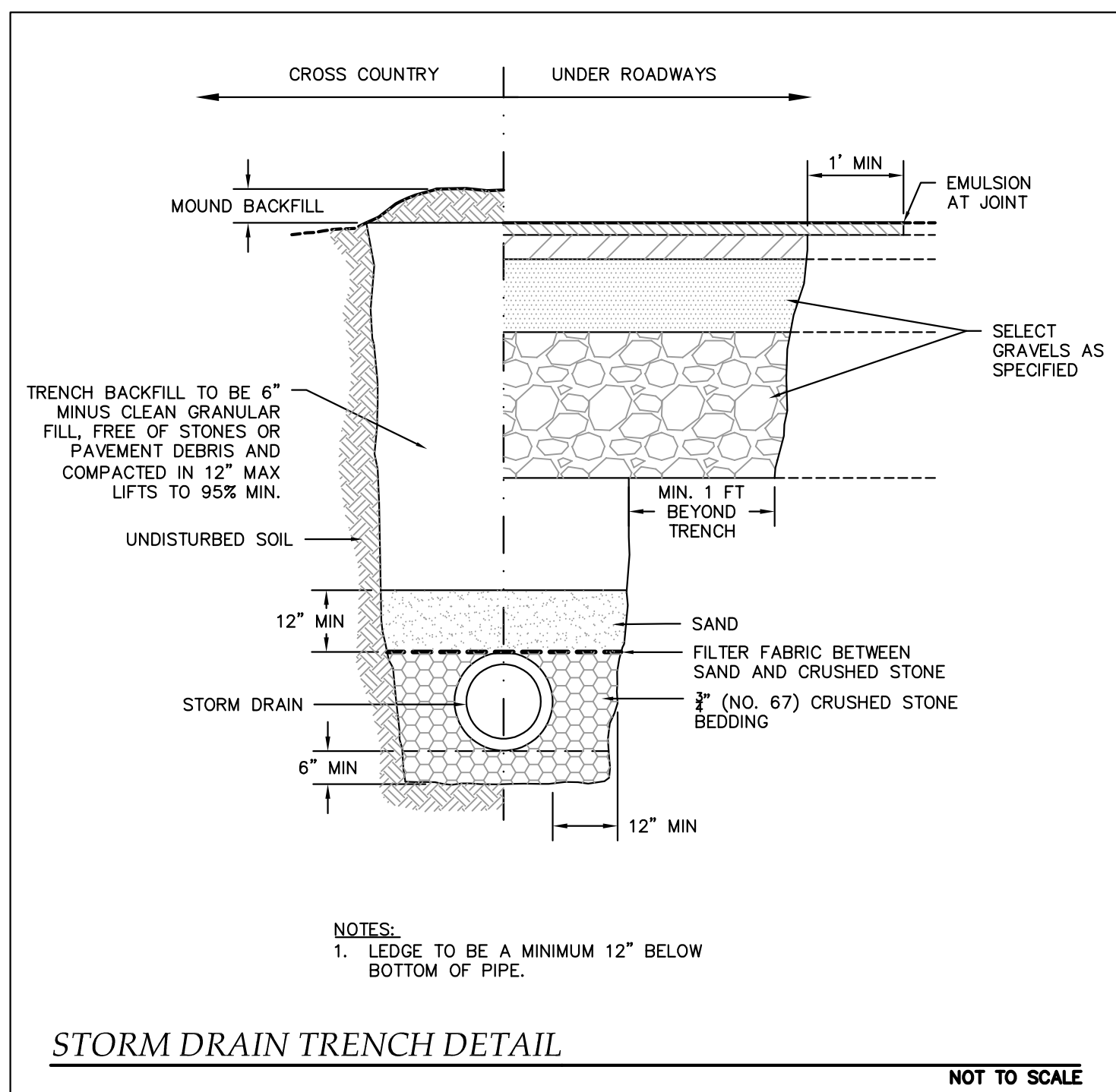
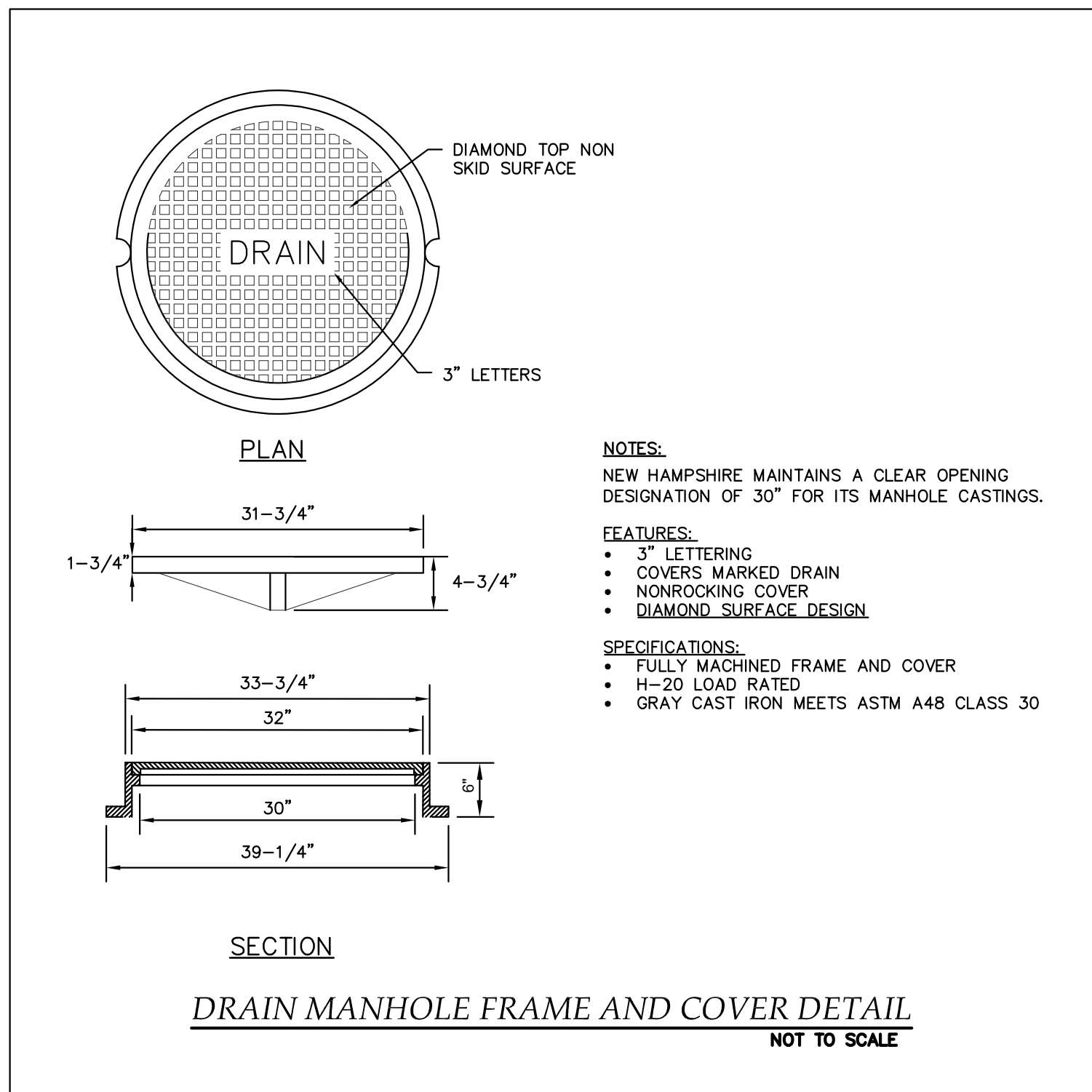
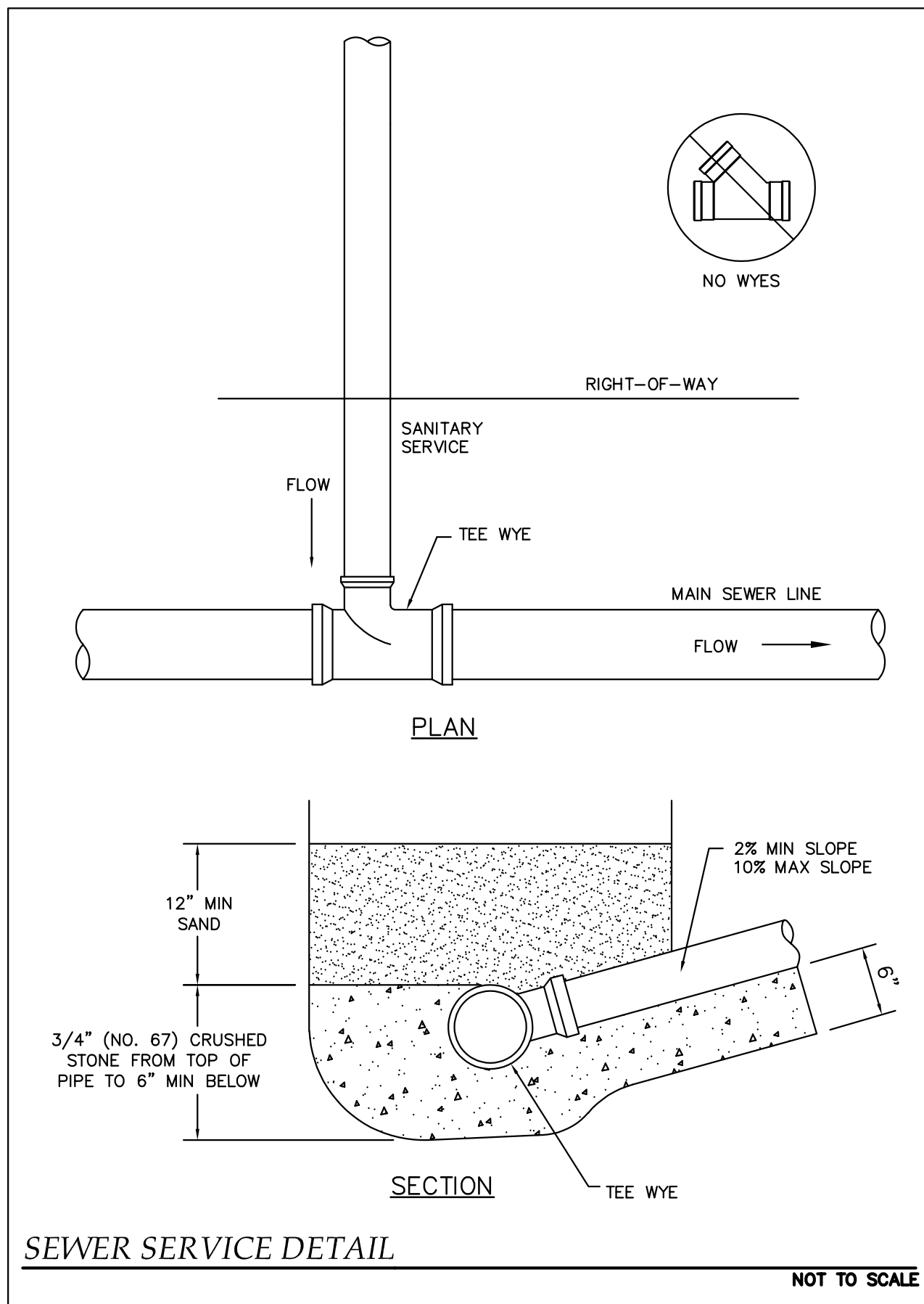


**SEWER SERVICE CONNECTION NOTES:**

- SERVICE CONNECTIONS SHALL USE SANITARY TEE OR WYE FITTINGS FOR ALL NEW SEWER CONSTRUCTION.
- THE CENTERLINE OF ALL BUILDING CONNECTIONS SHALL ENTER THE TOP HALF OF THE SEWER.
- ANY SERVICE CONNECTION WITH A VERTICAL RISE UP TO 4 FEET MAY HAVE THE SEWER FITTING SET VERTICALLY.
- ANY SERVICE CONNECTION WITH A VERTICAL RISE UP TO 12 FEET SHALL EMPLOY NON-ENCASED RISERS THAT PROTECT AGAINST PIPE PENETRATION OR FAILURE AT THE FITTING BY THE USE OF BELL-ON-BELL CONNECTIONS.
- FOR EXISTING SEWERS WHERE FITTINGS CANNOT BE INSTALLED, SADDLE CONNECTIONS SHALL BE USED.
- PRESSURE SEWERAGE SHALL HAVE AN ISOLATION VALVE OR CURB STOP VALVE INSTALLED AT THE PROPERTY LINE. IF A CHECK VALVE IS USED AT THE PROPERTY LINE, THE VALVE SHALL BE INSTALLED WITHIN A VAULT TO FACILITATE MAINTENANCE.
- ROOF DOWNSPOUTS, EXTERIOR OR INTERIOR FOUNDATION DRAINS, SUMP PUMPS, OR OTHER SOURCES OF SURFACE WATER RUN-OFF OR GROUNDWATER SHALL NOT BE DIRECTLY OR INDIRECTLY CONNECTED TO A PUBLIC SEWER.

**SEWER SERVICE CONNECTION NOTES**

**NOT TO SCALE**



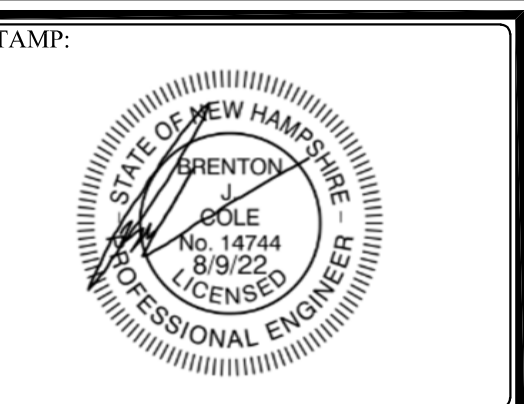
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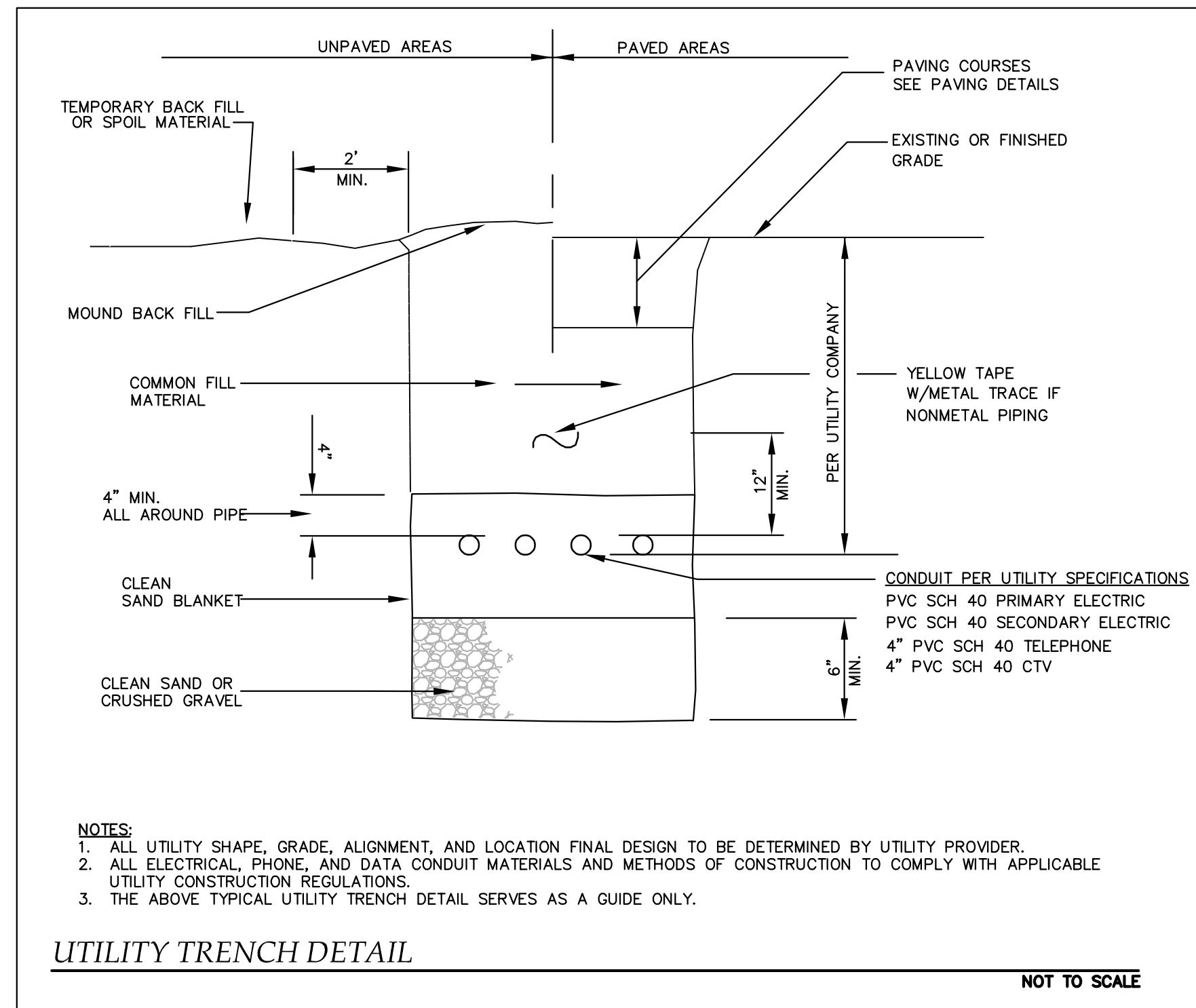
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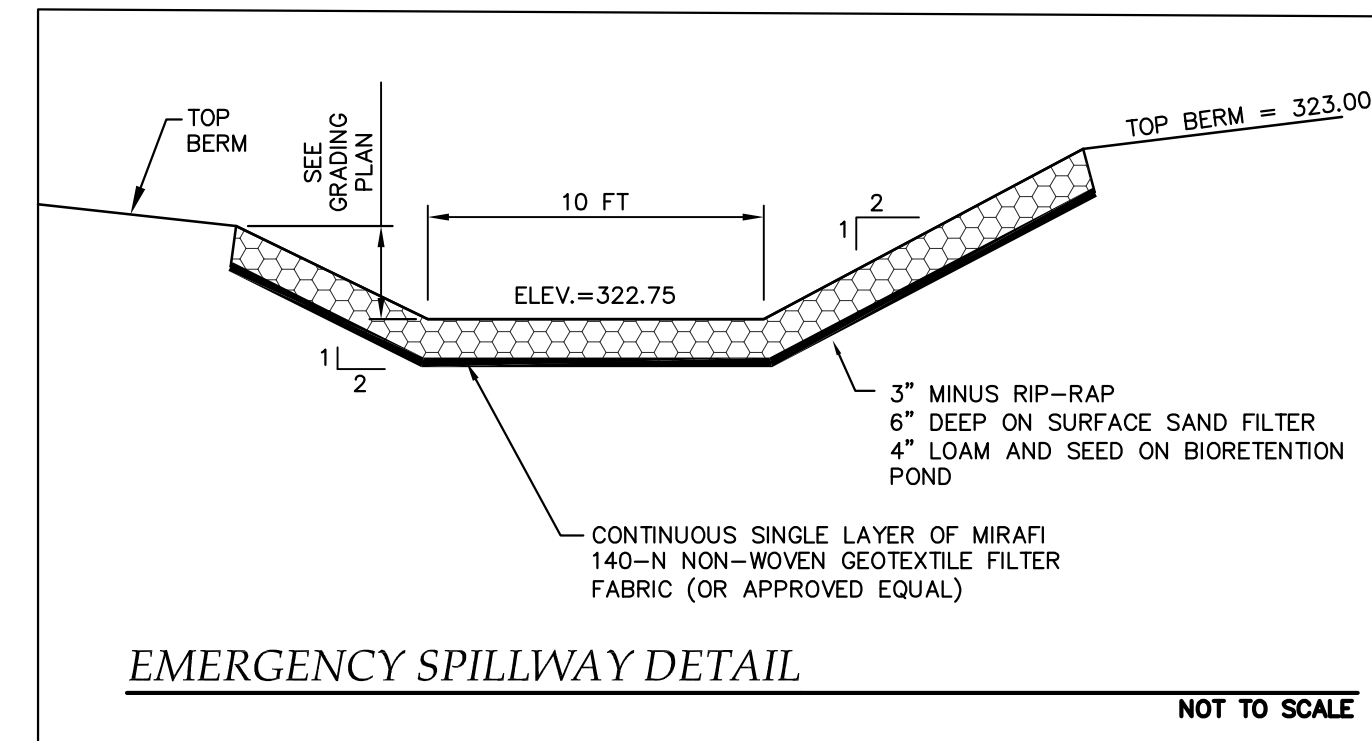
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**STORAGE SENSE - MILFORD WEST**

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**DETAILS**

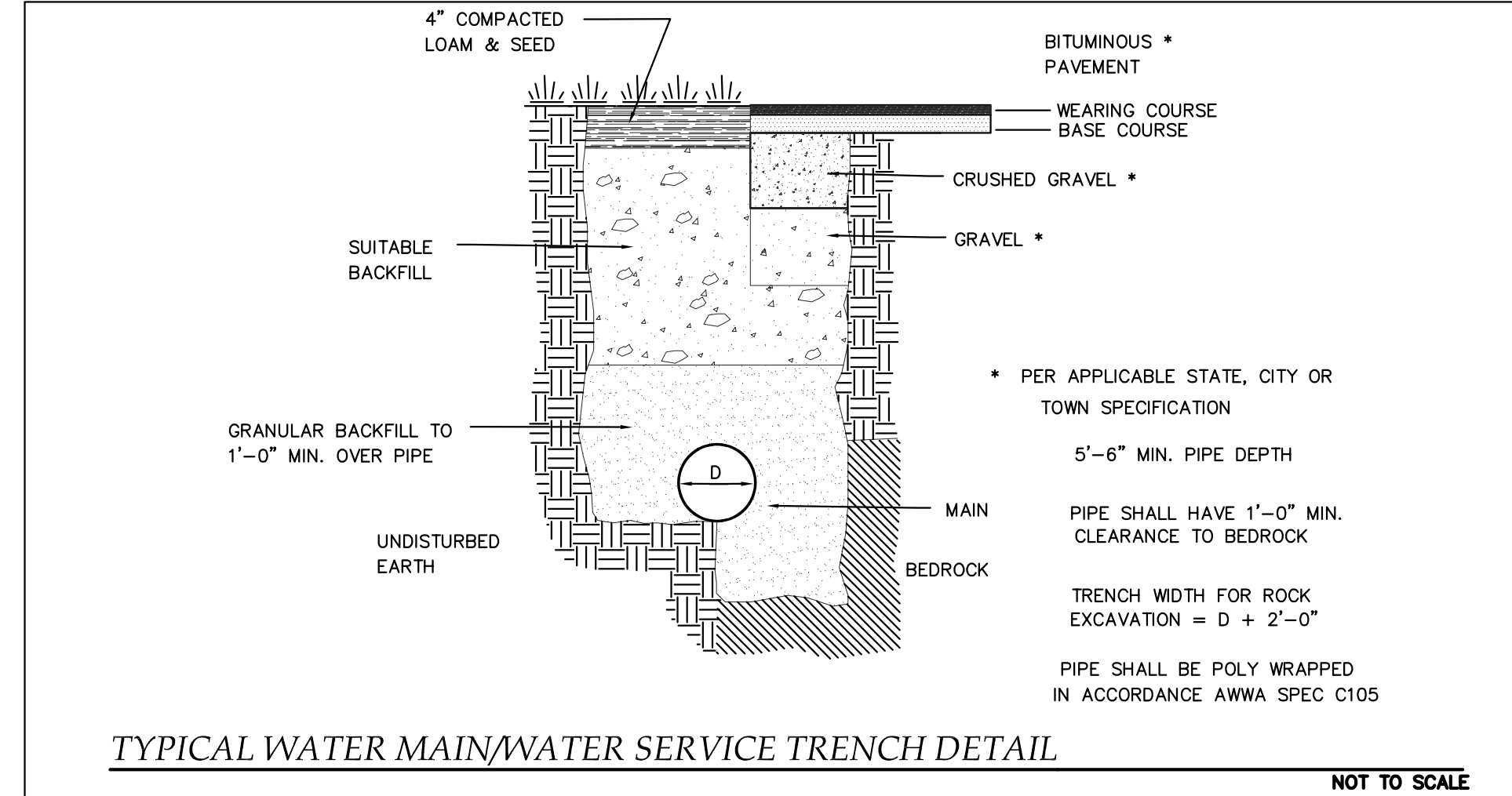


- NOTES:
1. ALL UTILITY SHAPE, GRADE, ALIGNMENT, AND LOCATION FINAL DESIGN TO BE DETERMINED BY UTILITY PROVIDER.
  2. ALL ELECTRICAL, PHONE, AND DATA CONDUIT MATERIALS AND METHODS OF CONSTRUCTION TO COMPLY WITH APPLICABLE UTILITY CONSTRUCTION REGULATIONS.
  3. THE ABOVE TYPICAL UTILITY TRENCH DETAIL SERVES AS A GUIDE ONLY.

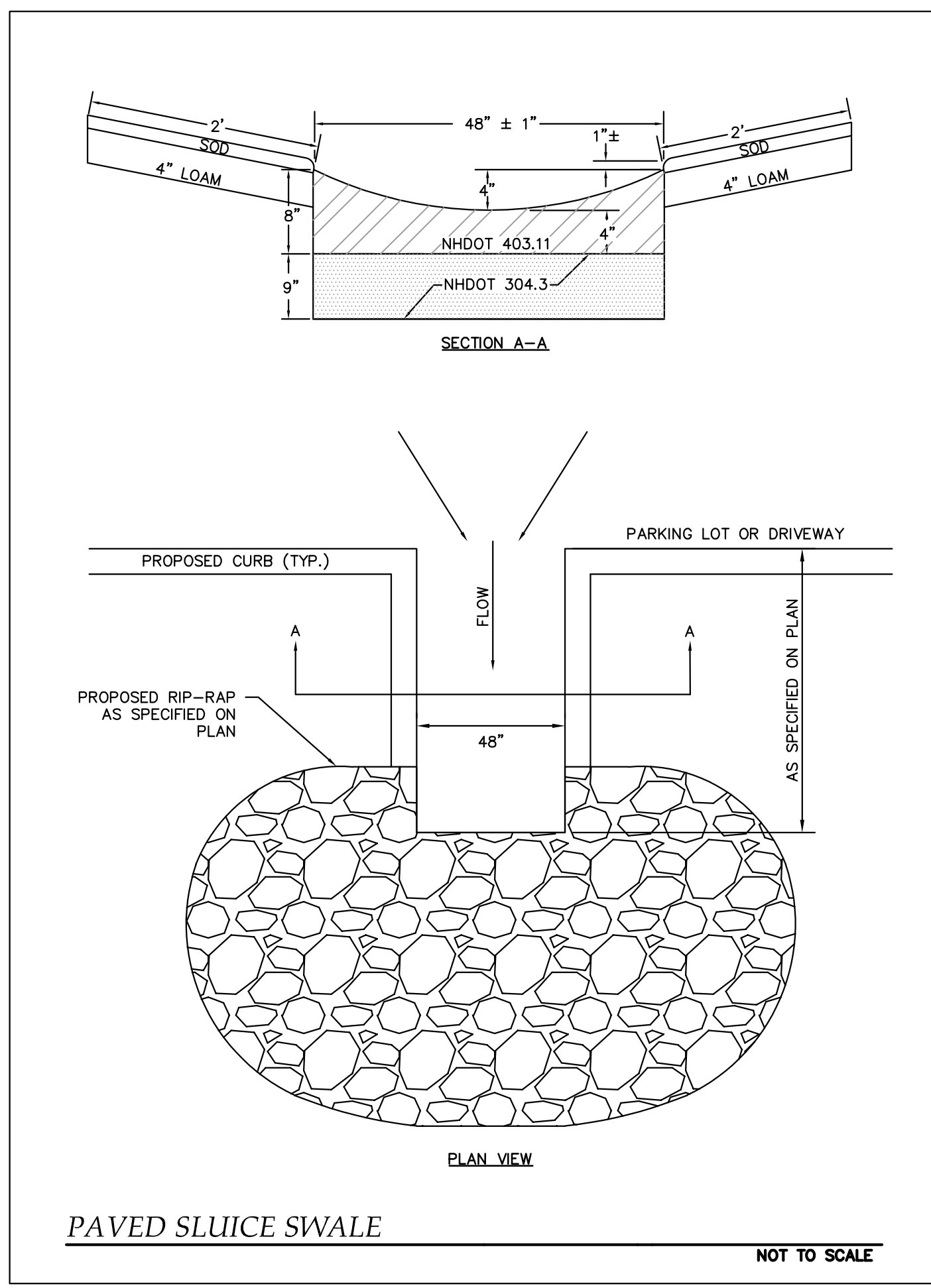
UTILITY TRENCH DETAIL NOT TO SCALE



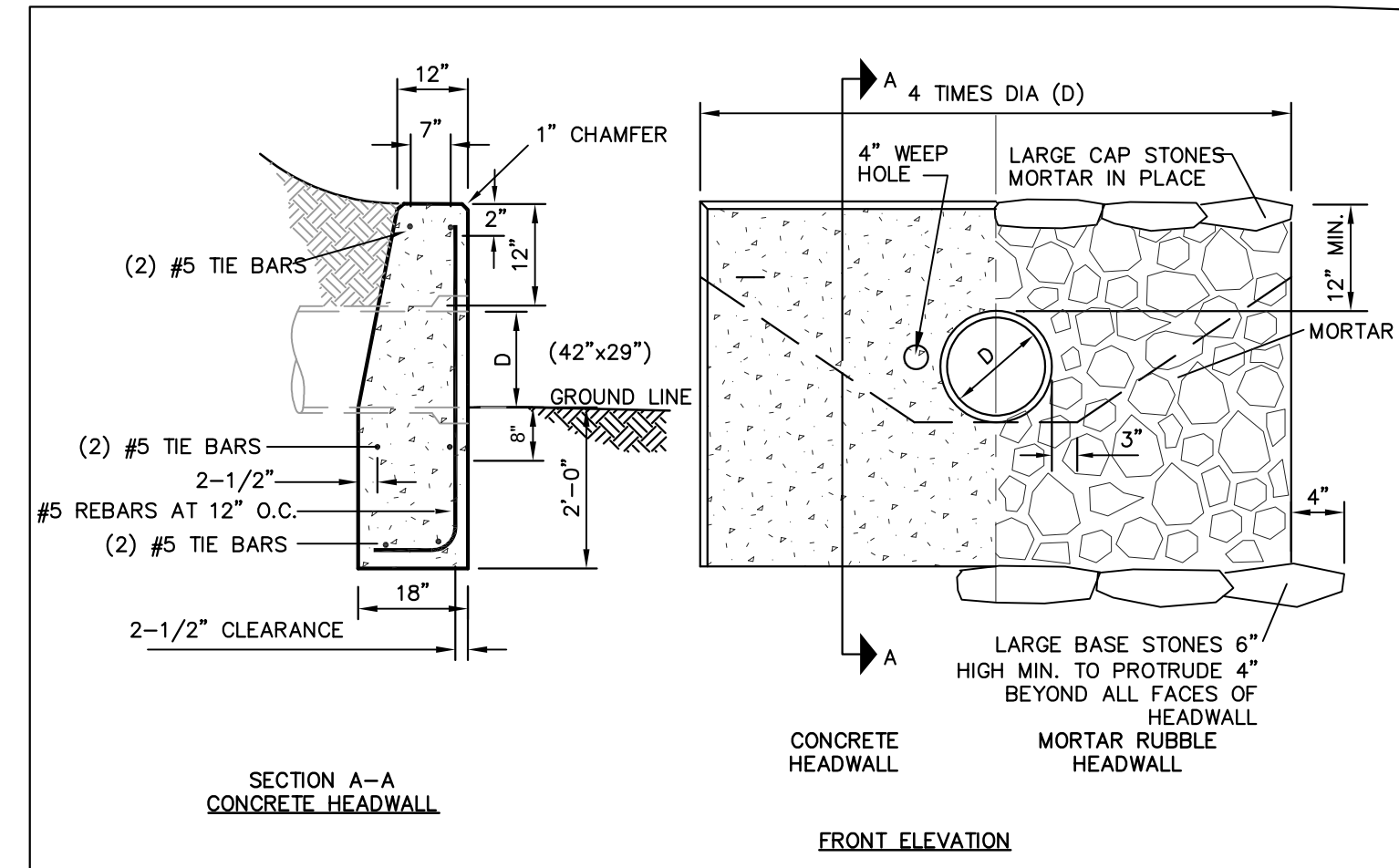
EMERGENCY SPILLWAY DETAIL NOT TO SCALE



TYPICAL WATER MAIN/WATER SERVICE TRENCH DETAIL NOT TO SCALE



PAVED SLUICE SWALE NOT TO SCALE



CLASS B CONCRETE - SCHEDULE FOR REINFORCED CONCRETE

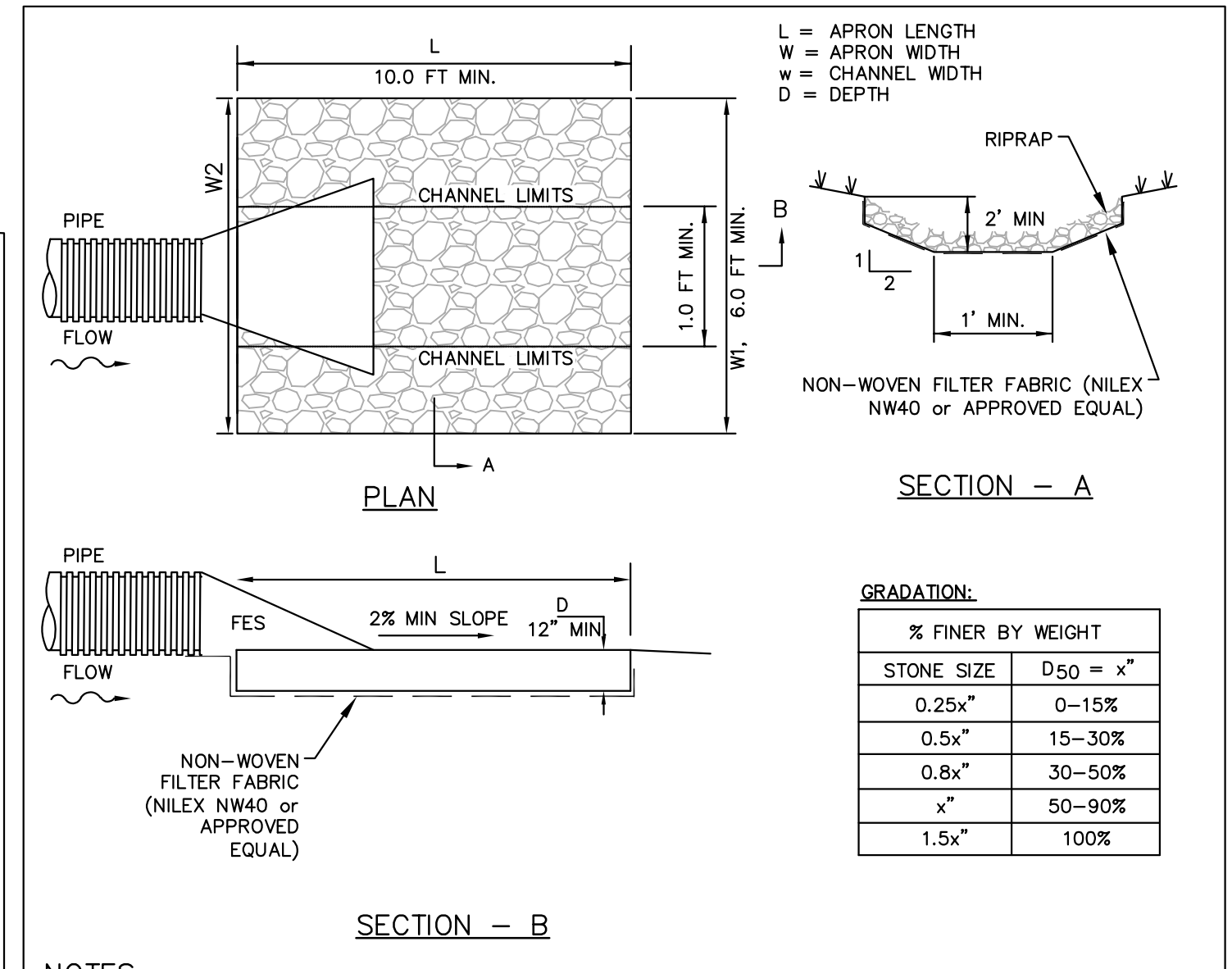
PIPE DIAMETER	12"	15"	18"	24"	30"	36"	42"	48"	54"	60"
NUMBER	4	4	4	4	4	4	4	4	4	4
LENGTH OF BARS	3'-0"	3'-0"	3'-0"	3'-0"	4'-0"	4'-0"	5'-0"	5'-0"	6'-0"	6'-0"

CLASS B CONCRETE - SCHEDULE FOR REINFORCED CONCRETE

PIPE DIAMETER	12"	15"	18"	24"	30"	36"	42"	48"	54"	60"
CONCRETE QUANTITY (YDS)	1.0	1.3	1.8	2.7	3.5	4.9	6.4	8.0	10.0	12.3

- NOTES:
1. FOR DESCRIPTIONS, MATERIALS AND CONSTRUCTION METHODS, SEE LATEST NHDOT SPECIFICATIONS.
  2. ALL CONCRETE DIMENSIONS SHOWN ARE MINIMUM.
  3. THE PLANNING BOARD RESERVES THE RIGHT TO REQUIRE THAT THE DEVELOPER PROVIDE CAST-IN-PLACE CONCRETE HEADWALLS WITH STONE FACING IF THE CAST-IN-PLACE TYPE IS TO BE USED.

TYPICAL CONCRETE HEADWALL DETAIL NOT TO SCALE



GRADATION:

STONE SIZE	D50 = x"	% FINER BY WEIGHT
0.25x"	0-15%	
0.5x"	15-30%	
0.8x"	30-50%	
x"	50-90%	
1.5x"	100%	

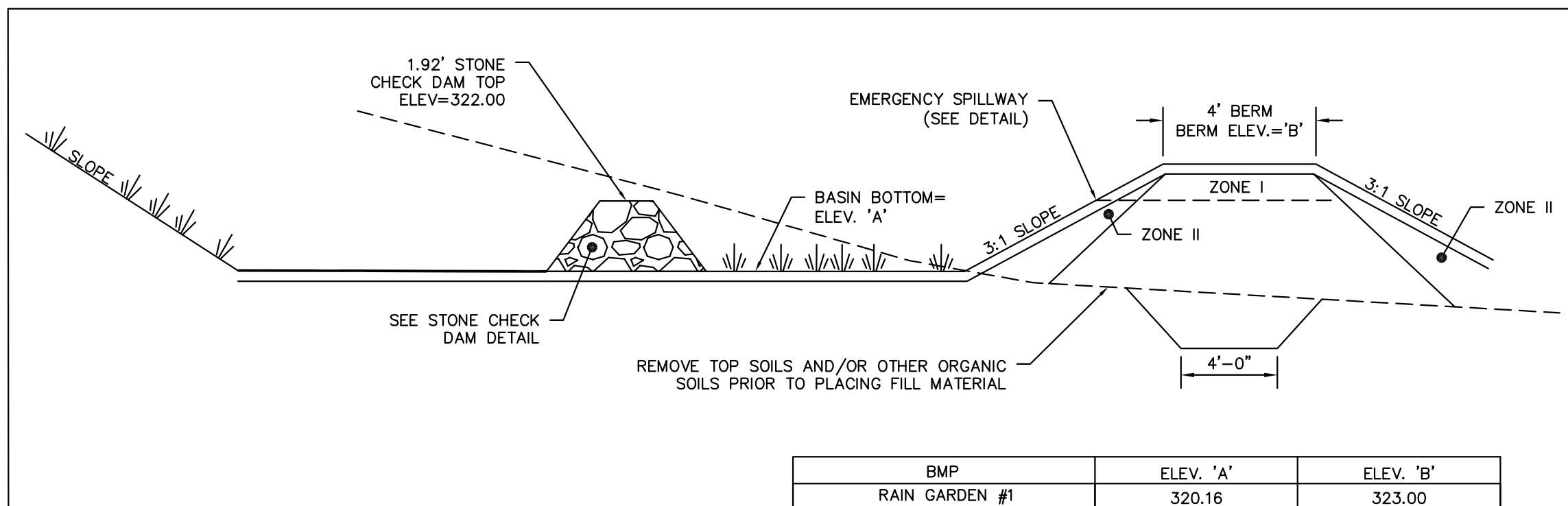
- NOTES:
1. THE APRON SUBGRADE TO BE PREPARED TO THE GRADES SHOWN ON THE APPROVED PLANS.
  2. THE FRACTURED ROCK (RIP-RAP) SHALL CONFORM TO THE SPECIFIED GRADATION (D<sub>50</sub>=4" MIN.).
  3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE RIP-RAP PLACEMENT. DAMAGED FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS SHALL BE A MINIMUM OF 12.0 INCHES.
  4. RIP-RAP PLACEMENT SHALL BE IN ONE CONTINUOUS LIFT TO THE DEPTH SPECIFIED, AVOIDING MATERIAL SEGREGATION.

**MAINTENANCE**

THE APRON SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT (≥ 3"). IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE VEGETATED CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE PERIODICALLY INSPECTED FOR DEGRADATION. IF DEGRADATION HAS OCCURRED, REPAIR IMMEDIATELY. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS AND SEDIMENT THAT COULD IMPAIR UPSTREAM CHANNEL CHARACTERISTICS. ALL DEBRIS OR SEDIMENT SHOULD BE REMOVED OFF SITE and DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.

STRUCTURE	LENGTH	W1	W2	D50	DEPTH
RIPRAP SWALE	9'	12'	3'	4"	10"
HW#2	8'	11'	3'	4"	10"
HW#5	10'	7'	3'	4"	10"
HW#5A	9'	12'	3'	4"	10"
HW#13	12'	15'	4'	4"	10"

OUTLET PROTECTION DETAIL NOT TO SCALE



- RAIN GARDEN NOTES:**
1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO PERMANENT BIORETENTION BMPs.
  2. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
  3. IMMEDIATELY AFTER CONSTRUCTING THE BASIN, STABILIZE ITS BOTTOM AND SIDE SLOPES WITH A DENSE TURF OF WATER-TOLERANT GRASS. USE LOW-MAINTENANCE, RAPIDLY GERMINATING GRASSES, SUCH AS FESCUES.
  4. DO NOT PLACE BIORETENTION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

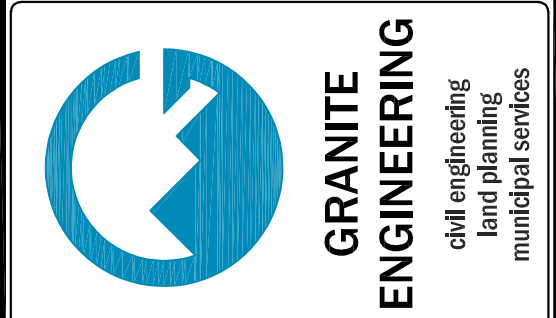
BMP	ELEV. 'A'	ELEV. 'B'
RAIN GARDEN #1	320.16	323.00

- NOTES:**
1. CONTRACTOR TO NOTIFY DIG-SAFE 72 HOURS PRIOR TO START OF CONSTRUCTION
  2. CLEAR AND CUT THE AREA TO THE NECESSARY EXTENT. CONTRACTOR TO PROPERLY DISPOSE OF ALL DEBRIS.
  3. ALL SILTATION AND TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS PRIOR TO GRUBBING OF CLEARED AREAS.
  4. CONTRACTOR TO COMPLETE GRUBBING AND PROPERLY DISPOSE OF ALL DEBRIS. STOCKPILE ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL IN UPLAND AREAS. ALL STOCKPILES TO BE SEEDED AND, IF NECESSARY, SURROUNDED WITH HAY BALES TO PREVENT LOSSES DUE TO EROSION.
  5. CONSTRUCT TEMPORARY CULVERTS AS NECESSARY FOR CONSTRUCTION ACTIVITIES. ALL CROSSINGS TO BE PROTECTED BY HAY BALE BARRIERS TO PREVENT EROSION.
  6. CONSTRUCT CUT-OFF TRENCH (PART OF ZONE I).
  7. CONSTRUCT OUTLET AND OVERFLOW STRUCTURE, CULVERT, ANTI SEEP COLLARS, HEADWALL, AND RIP RAP OUTLET PROTECTION AS SHOWN ON PLANS AND DETAILS.
  8. CONSTRUCT ZONE II PORTION OF EARTH EMBANKMENT.
  9. CONSTRUCT ZONE I PORTION OF EARTH EMBANKMENT.
  10. APPLY TOPSOIL TO SLOPES AND OTHER AREAS OF DISTURBANCE BY CONSTRUCTION. TOPSOIL MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ALL DELETERIOUS MATERIAL. TOPSOIL SHALL BE A MINIMUM OF 4-INCHES OF COMPACTED THICKNESS. UPON PLACEMENT ON TOPSOIL, FINISHED AREAS ARE TO BE LIMED, SEEDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ALL PROBLEM AREAS UNTIL GRASS HAS BECOME ESTABLISHED.
  11. MAINTAIN, REPAIR AND REPLACE TEMPORARY EROSION CONTROL MEASURES AS NECESSARY UNTIL THE WHOLE CONSTRUCTION AREA HAS BEEN STABILIZED (MINIMUM ONE WINTER).
  12. REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES AFTER STABILIZATION.
  13. MONITOR CONSTRUCTION ACTIVITIES TO INSURE THEY ARE PERFORMED IN SUCH WAYS AS TO NOT ENDANGER THE INTEGRITY OF EARTH EMBANKMENTS, STORMWATER CONTROL, STRUCTURE, CULVERT AND RIP RAP OUTLET PROTECTION.

BIORETENTION POND #1 DETAIL NOT TO SCALE

**MATERIAL TYPE/SPECIFICATIONS**

- ZONE I:**  
WELL GRADED MIXTURE OF GRAVEL, SAND, SILT OR CLAY WITH MAX. 6-INCH SIZE STONES AND GRADATION AS INDICATED BELOW. PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557. SCARIFY SURFACE PRIOR TO PLACING SUBSEQUENT LIFT. IN ADDITION REMOVE ORGANIC SOILS.
- | SIEVE SIZE | % BY WEIGHT PASSING |
|------------|---------------------|
| 6-INCH     | 100                 |
| NO. 4      | 50-100              |
| NO. 40     | 30-70               |
| NO. 200    | 20-40               |
- ZONE II:**  
DRAINAGE LAYER: PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX DRY DENSITY IN ACCORDANCE WITH ASTM D1557
- | SIEVE SIZE | % BY WEIGHT PASSING         |
|------------|-----------------------------|
| 1-INCH     | 100                         |
| NO. 40     | 70-100                      |
| NO. 200    | 0-12 (IN SAND PORTION ONLY) |



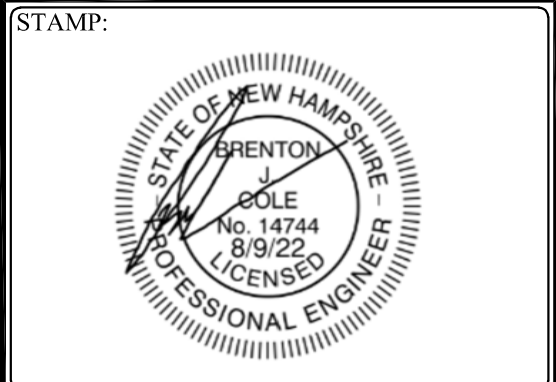
REVISIONS

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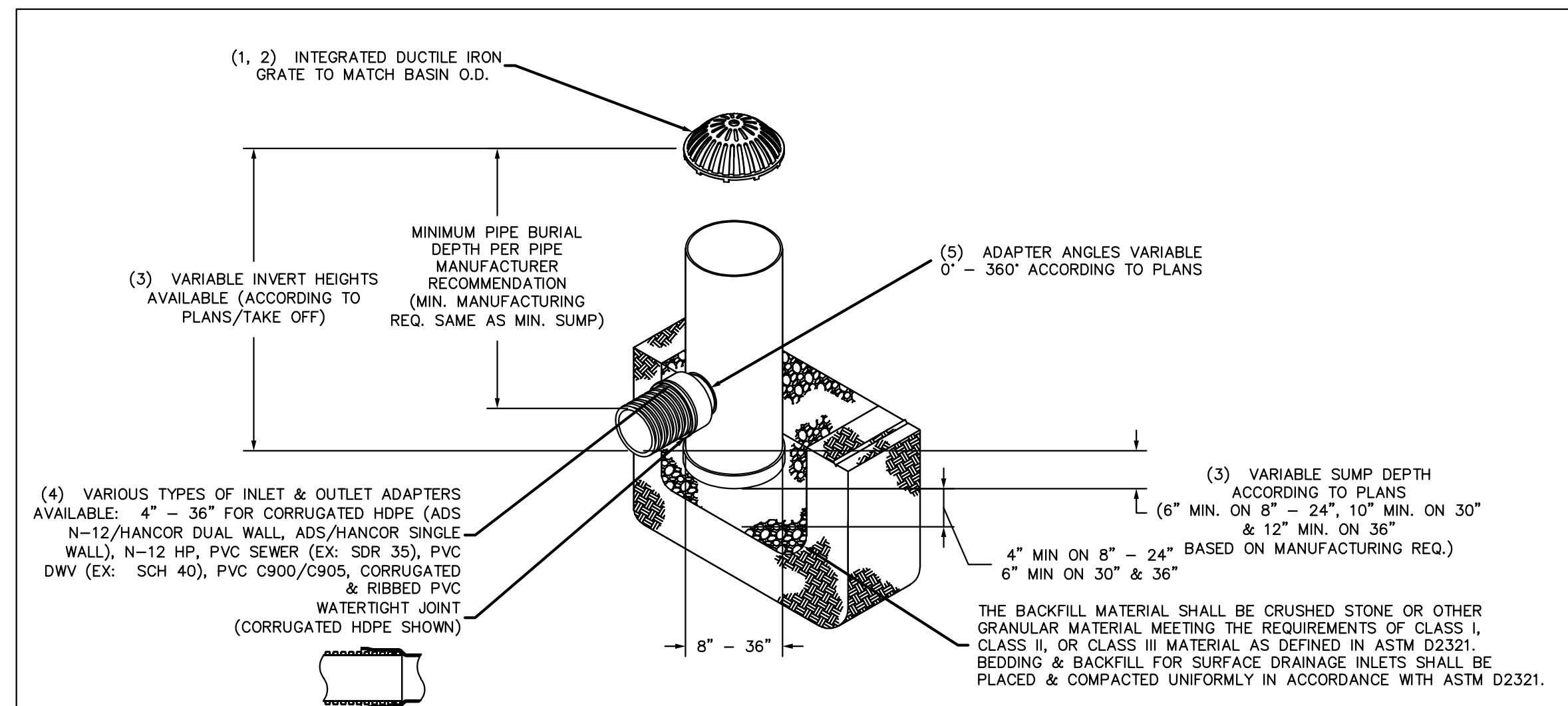
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**STORAGE SENSE - MILFORD WEST**

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PROJECT No. / DATE:  
21-0630-1 / MAY 23, 2022

SCALE:  
AS SHOWN

SHEET:  
15 OF 19

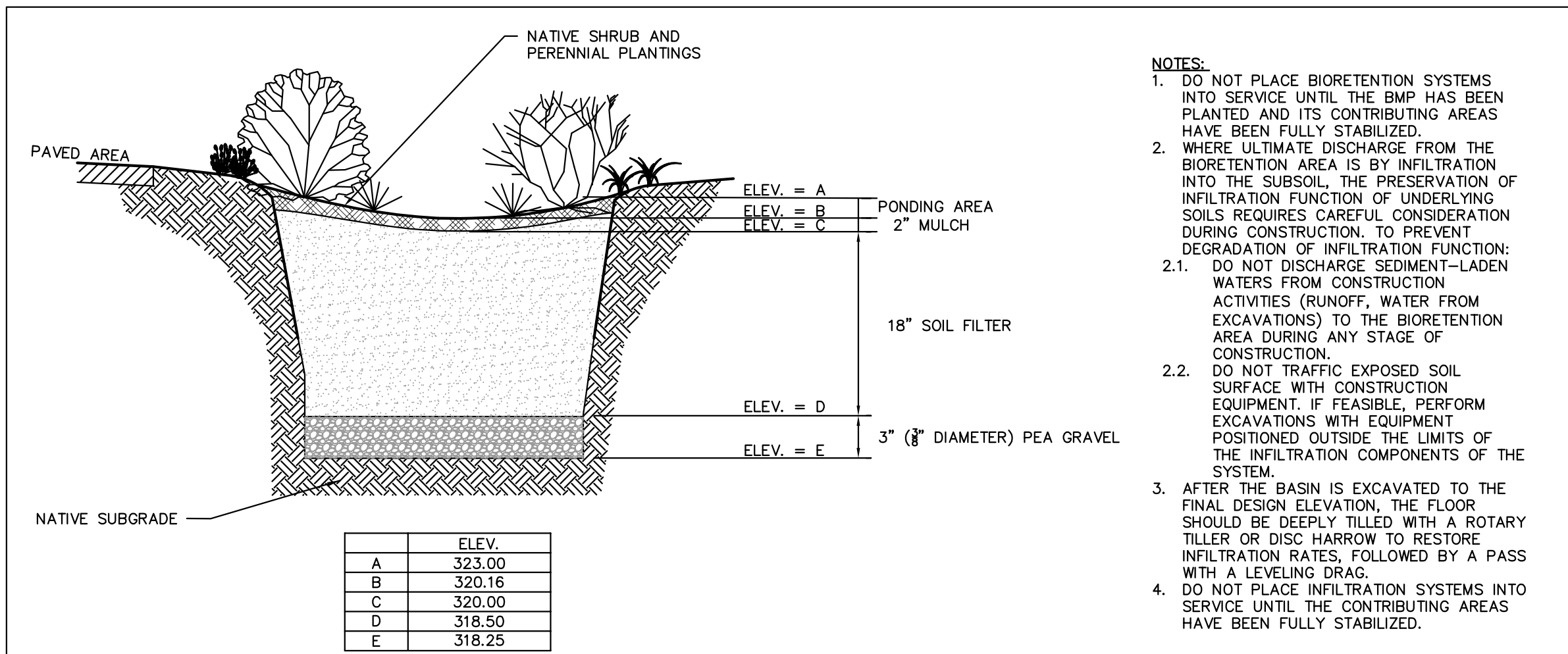


**NOTES**

- 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 8" & 10" DOME GRATES FIT ONTO THE DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 36").
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 8" - 30" DOME GRATES HAVE NO LOAD RATING.

**NYLOPLAST AREA DRAIN DETAIL**

NOT TO SCALE



	ELEV.
A	323.00
B	320.16
C	320.00
D	318.50
E	318.25

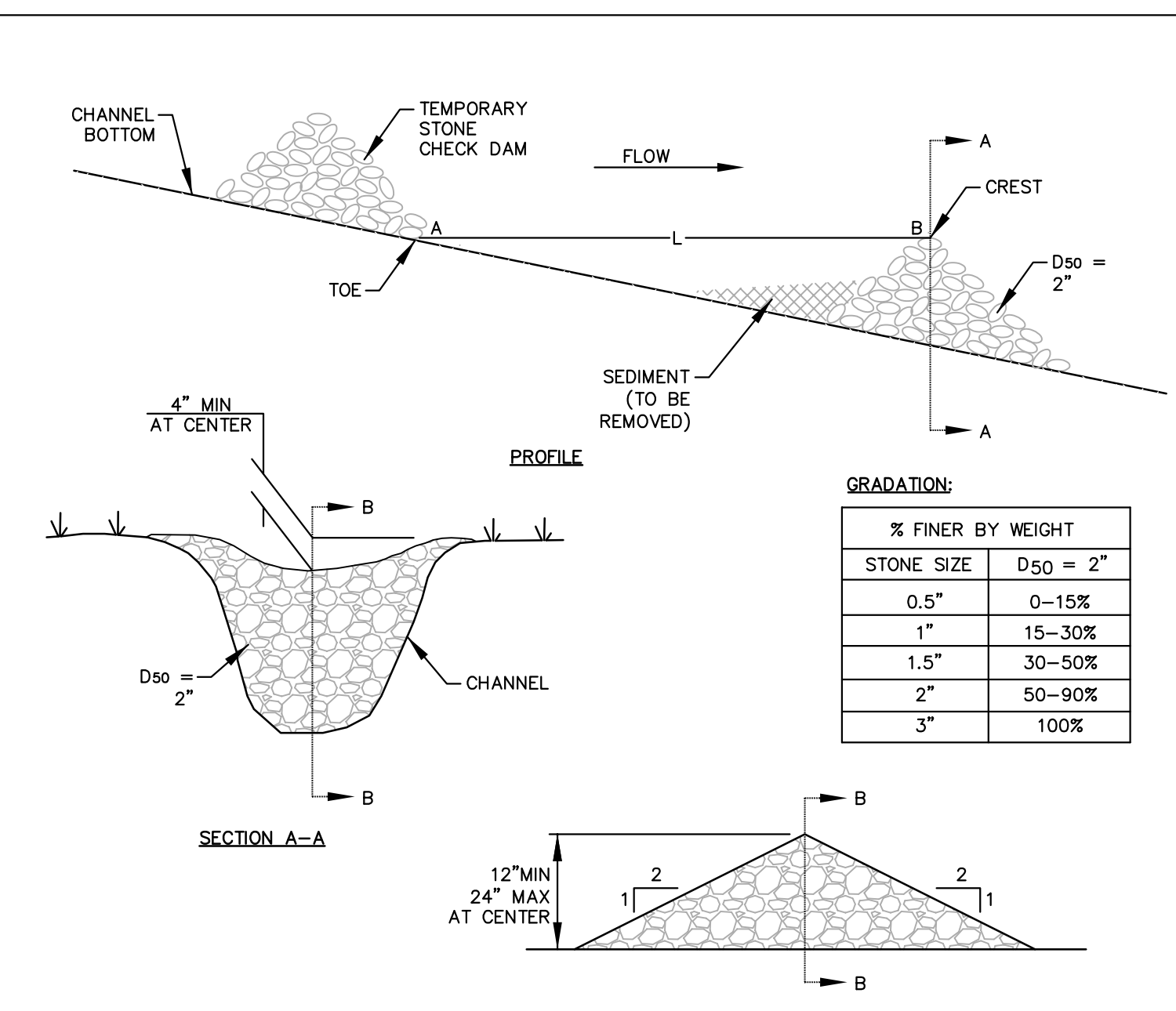
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
<b>FILTER MEDIA OPTION A</b>			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
<b>FILTER MEDIA OPTION B</b>			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15

**MAINTENANCE NOTES:**

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

**TYPICAL BIORETENTION POND DETAIL**

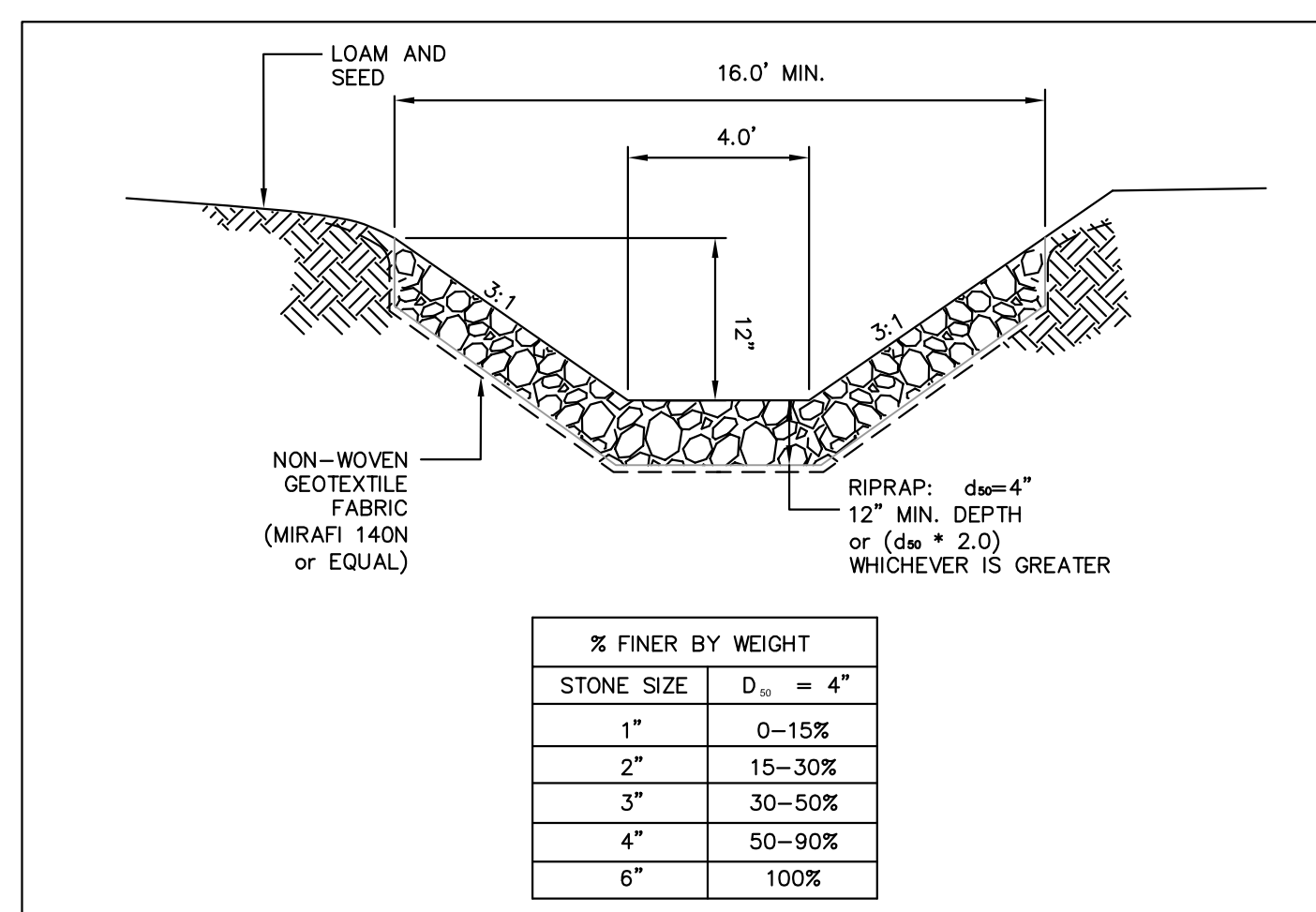
NOT TO SCALE



- NOTES:**
- PLACE TEMPORARY STONE CHECK DAM ( $D_{50} = 2"$  MIN) TO THE LINES, GRADES AND LOCATIONS AS SHOWN ON THE APPROVED PLAN OR AS FIELD DIRECTED BY THE ENGINEER.
  - STONE SIZE TO BE INCREASED TO  $D_{50} = 4"$  WHEN GRADES EXCEED 8% OR VELOCITIES EXCEED 6.0 FPS.
  - SET SPACING OF STONE CHECK DAMS SO THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
  - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH EROSION STONE ( $D_{50} = 4"$  MIN) OR LINER (NAG 05-150) AS NEEDED OR DIRECTED BY THE ENGINEER.
  - REMOVE STONE CHECK DAM WHEN NO LONGER NEEDED. AFTER BARRIER IS REMOVED, STABILIZE WITH VEGETATION.
  - REMOVE ALL SEDIMENT, REGRADE/VEGETATE AS NECESSARY OR AS FIELD DIRECTED BY THE ENGINEER.

**STONE CHECK DAM DETAIL**

NOT TO SCALE



**CONSTRUCTION NOTES:**

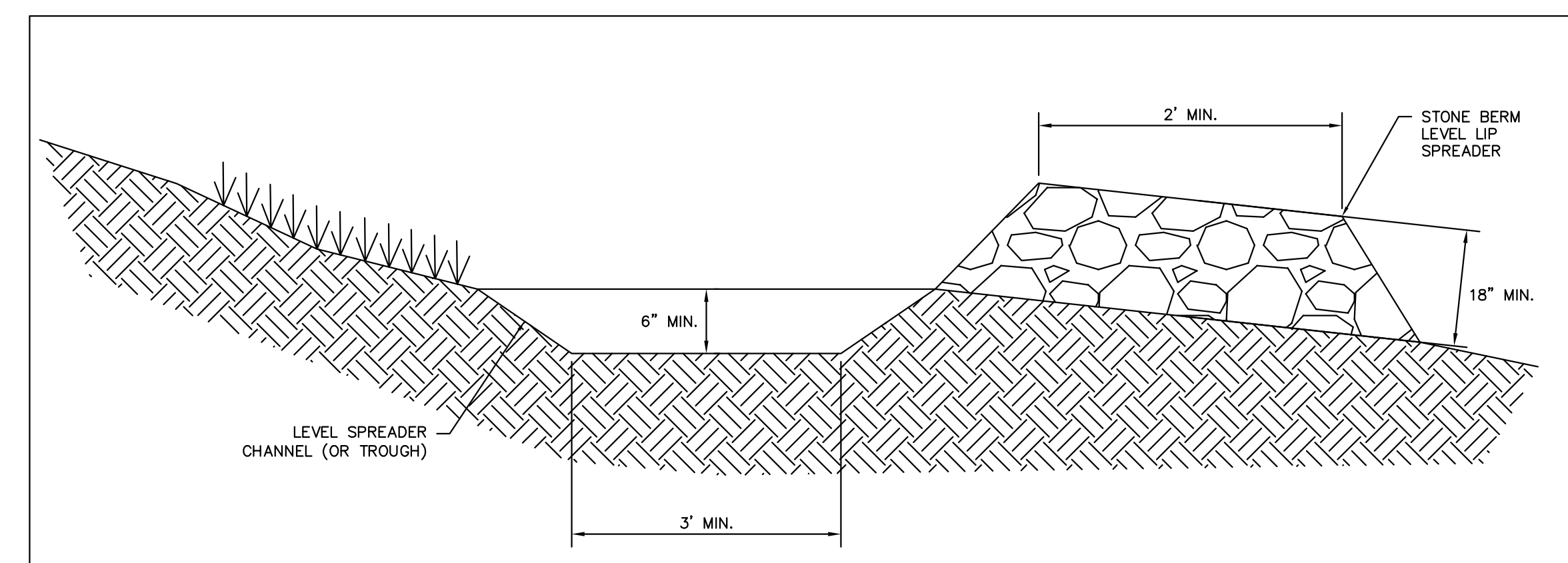
- THE FOUNDATION AREA OF THE SWALE SHALL BE CLEARED AND GRUBBED OF ALL TREES, BRUSH, STUMPS AND OTHER OBJECTIONABLE MATERIAL. MATERIALS REMOVED SHALL BE DISPOSED OF SO THEY DO NOT INTERFERE WITH THE CONSTRUCTION OR PROPER FUNCTION OF THE SWALE.
- THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE DESIGN CRITERIA. PLACEMENT OF THE FILTER FABRIC.
- EARTH FILLS REQUIRED TO MEET SUBGRADE REQUIREMENTS BECAUSE OF OVER EXCAVATION OR TOPOGRAPHY SHALL BE COMPACTED TO THE SAME DENSITY AS THE SURROUNDING SOIL TO PREVENT UNEQUAL SETTLEMENT THAT COULD CAUSE DAMAGE TO THE COMPLETED WATERWAY.
- PLACE FILTER FABRIC WITH CARE. ALL JOINTS SHALL BE STAPLED AND HAVE A 1.0 FT MIN OVERLAY.
- STONE PLACEMENT SHALL BE IN ONE CONTINUOUS LIFT TO THE DEPTH SPECIFIED, AVOIDING SEGREGATION OF STONE MATERIAL. UNIFORM GRADATION MUST BE MAINTAINED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER AS TO MINIMIZE EROSION AND AIR AND WATER POLLUTION. ALL APPROPRIATE STATE AND LOCAL LAWS AND REGULATIONS SHALL BE COMPLIED WITH FOR DESIGN AND INSTALLATION.

**MAINTENANCE:**

MAINTENANCE OF THE RIPRAP ROADSIDE SWALE IS EXTREMELY IMPORTANT IN ORDER TO PREVENT SILTATION, EXCESS GROWTH AND FAILURE OF THE WATERWAY. FREQUENTLY OBSERVATIONS OF THE RIPRAP SHOULD OCCUR TO INSURE THE FUNCTIONALITY OF THE SWALE. SILT DEPOSITS AND ENCROACHMENT OF WEEDS OR WOODY VEGETATION SHOULD BE MONITORED. ROUTINE MAINTENANCE SHOULD REDUCE OR ELIMINATE UNWANTED MATERIAL IN THE SWALE.

**RIPRAP SWALE DETAIL**

NOT TO SCALE



**CONSTRUCTION NOTES:**

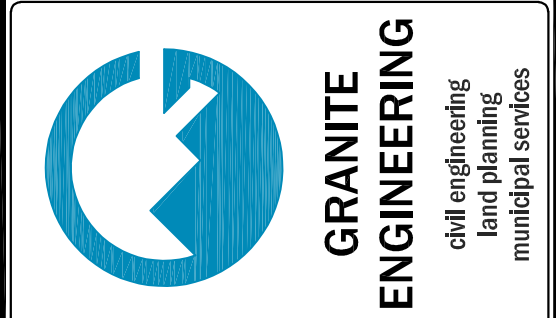
- IT IS CRITICAL TO INSTALL LEVEL SPREADERS AT A ZERO PERCENT GRADE ALONG THE LENGTH OF THE DISCHARGE LIP. FLOW MUST DISCHARGE UNIFORMLY ALONG THE LENGTH OF THE SPREADER.
- CARE MUST BE EXERCISED IN SITING THE SPREADER, SO THAT IT DISCHARGES ONTO A GENTLY SLOPING GRADE, WHERE RUNOFF EXITING THE SPREADER WILL NOT RE-CONCENTRATE AND CAUSE EROSION. A SLOPE THAT IS CONCAVE IN SHAPE (SUCH AS A SHALLOW SWALE) IS NOT SUITABLE FOR RECEIVING DISCHARGE FROM A LEVEL SPREADER. SUITABLE SLOPES ARE PLANAR OR CONVEX IN SHAPE, SO THAT FLOW WILL CONTINUE AS DISPERSED SHEET FLOW ACROSS THE SITE.
- IT IS ESSENTIAL TO STABILIZE THE OUTLET LIP OF THE SPREADER, AND TO DISCHARGE ONTO A WELL STABILIZED RECEIVING AREA (PREFERABLY UNDISTURBED VEGETATION) TO PREVENT EROSION.

**MAINTENANCE NOTES:**

- INSPECT AT LEAST ONCE ANNUALLY FOR ACCUMULATION OF SEDIMENT AND DEBRIS AND FOR SIGNS OF EROSION WITHIN APPROACH CHANNEL, SPREADER CHANNEL OR DOWN-SLOPE OF THE SPREADER.
- REMOVE DEBRIS WHENEVER OBSERVED DURING INSPECTION.
- REMOVE SEDIMENT WHEN ACCUMULATION EXCEEDS 25% OF SPREADER CHANNEL DEPTH.
- MOW AS REQUIRED BY LANDSCAPING DESIGN. AT A MINIMUM, MOW ANNUALLY TO CONTROL WOODY VEGETATION WITHIN THE SPREADER.
- SNOW SHOULD NOT BE STORED WITHIN OR DOWN-SLOPE OF THE LEVEL SPREADER OR ITS APPROACH CHANNEL.
- REPAIR ANY EROSION AND RE-GRADE OR REPLACE STONE BERM MATERIAL, AS WARRANTED BY INSPECTION.
- RECONSTRUCT THE SPREADER IF DOWN-SLOPE CHANNELIZATION INDICATES THAT THE SPREADER IS NOT LEVEL OR THAT DISCHARGE HAS BECOME CONCENTRATED AND CORRECTIONS CANNOT BE MADE THROUGH MINOR RE-GRADEING.

**LEVEL SPREADER DETAIL**

NOT TO SCALE



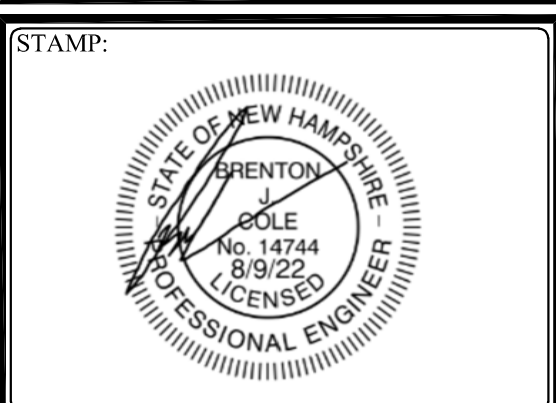
NO.	DATE	REVISIONS	COMMENTS	BY	TD	TD
0	05/23/2022					
1	08/09/2022					

OWNER & APPLICANT:  
 30 WILTON ROAD LLC  
 55 HIGH STREET  
 PITTSFIELD, NH 05263  
 BOOK 9471 PAGE 2225

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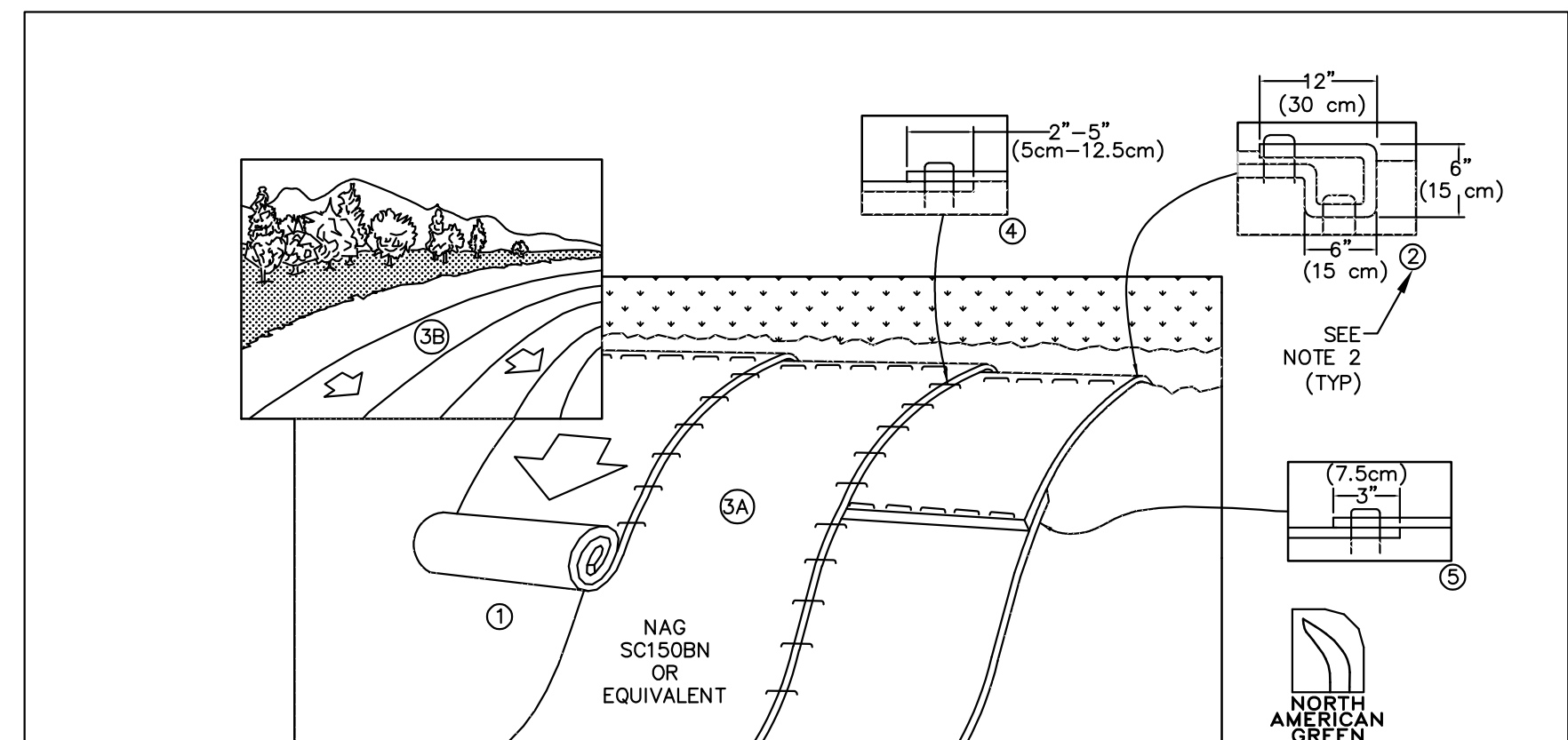


LOCATION:  
 TAX MAP 6 LOT 14  
 30 WILTON ROAD  
 MILFORD, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

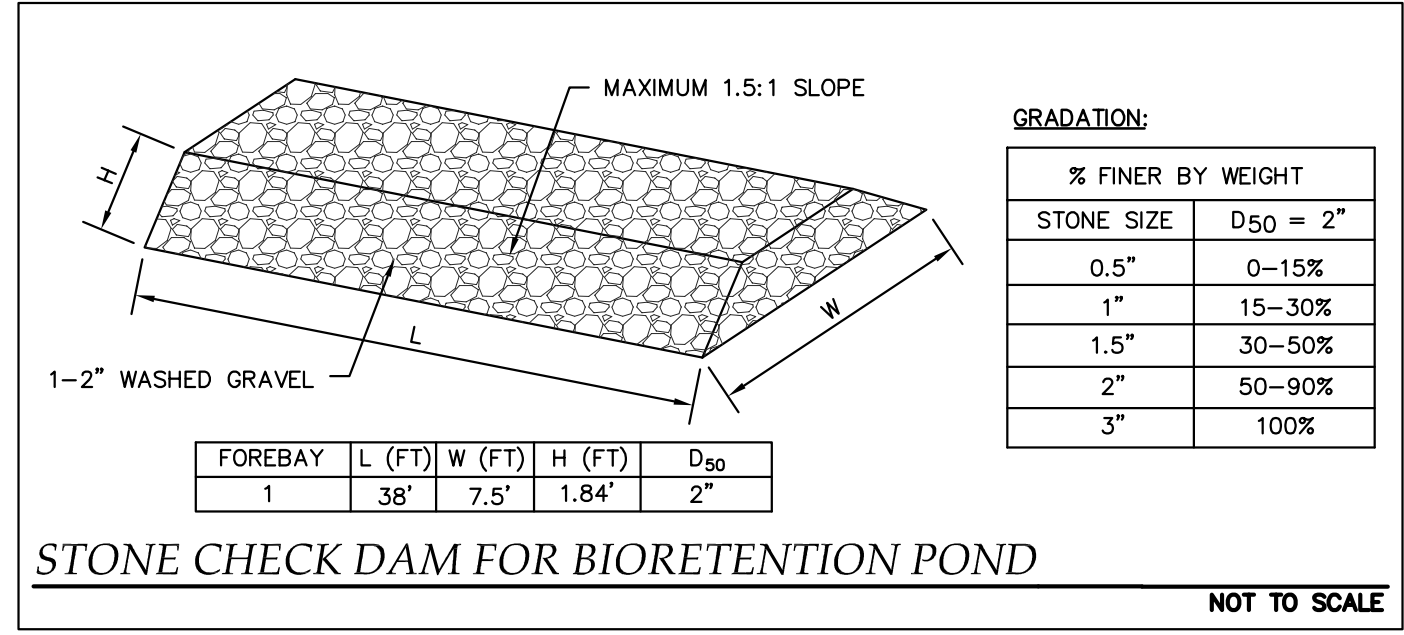
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**DETAILS**

PROJECT NO. DATE: 21-0630-1 MAY 23, 2022 SCALE: AS SHOWN  
 SHEET: 16 OF 19

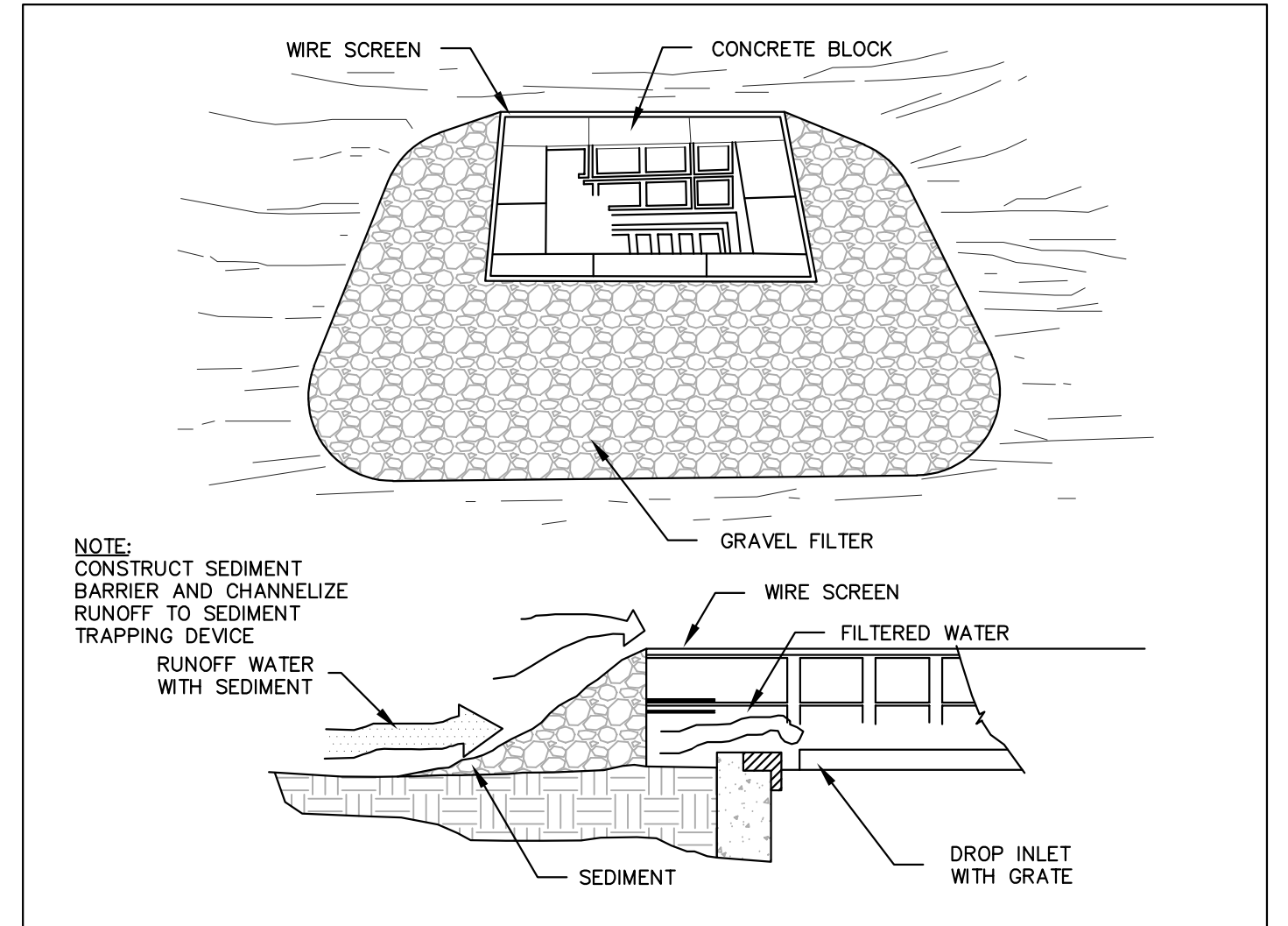


- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
  - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH. NOTE: \*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
  - THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED.

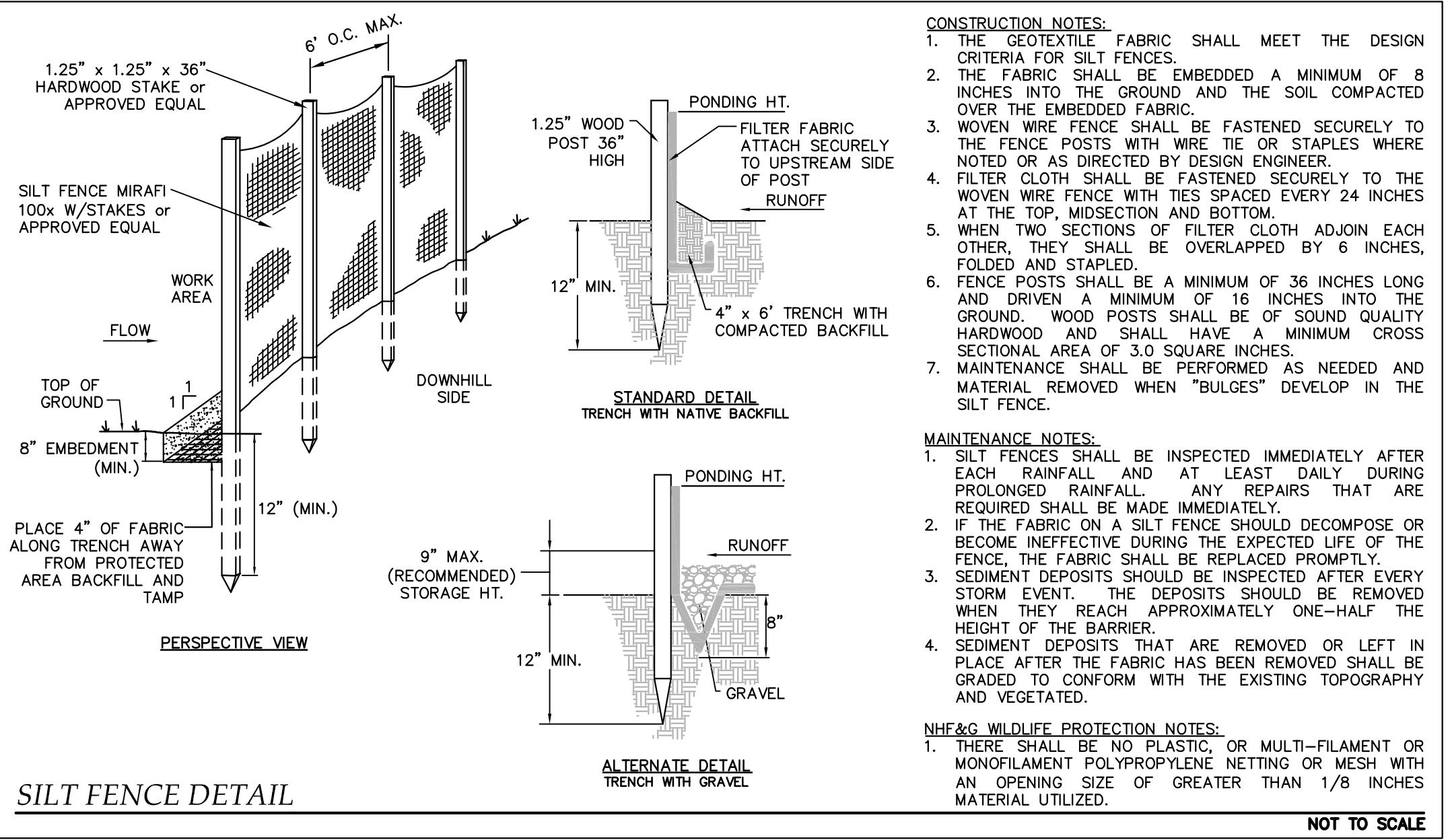
**EROSION CONTROL BLANKET DETAIL** NOT TO SCALE



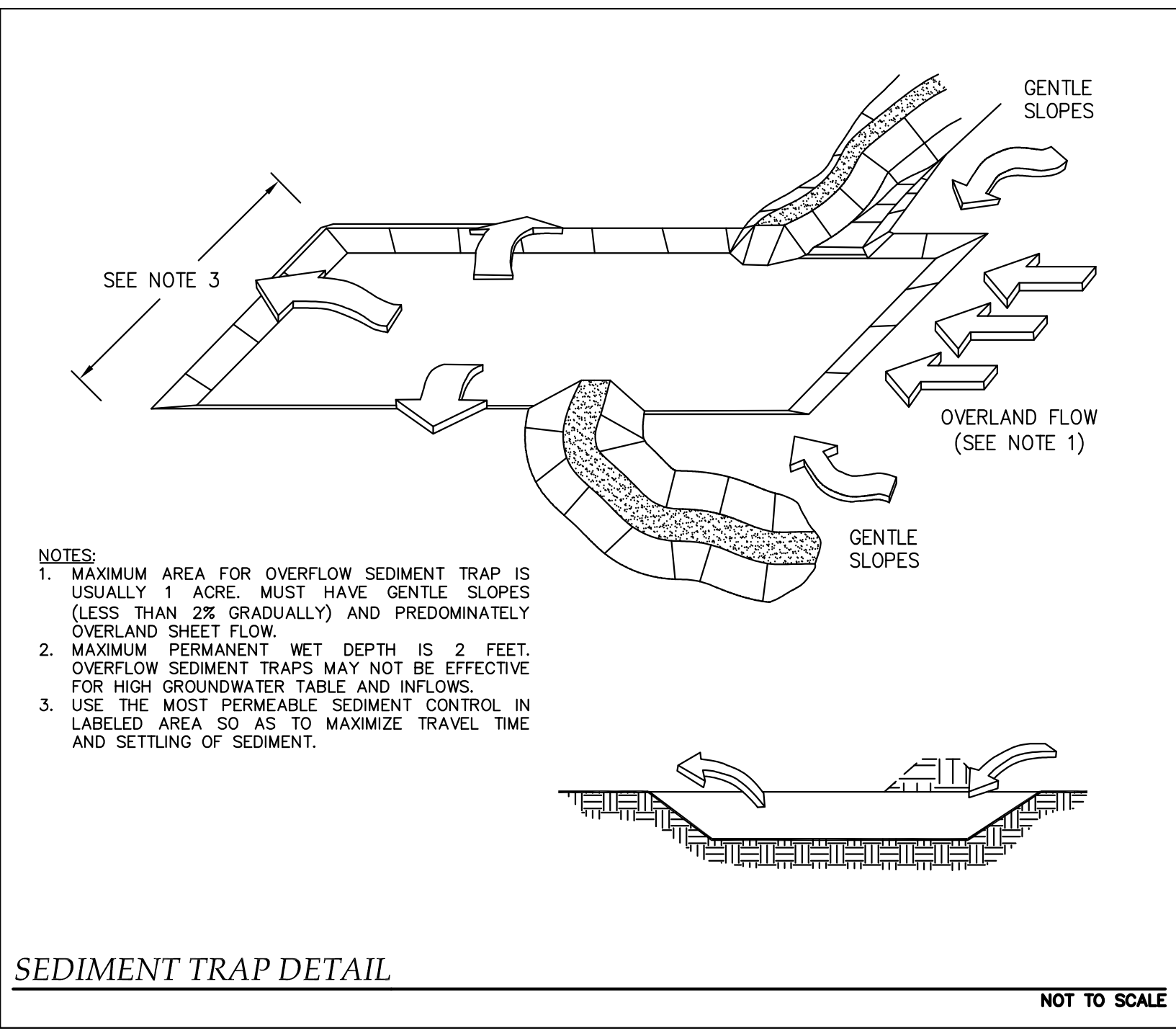
**STONE CHECK DAM FOR BIORETENTION POND** NOT TO SCALE



**BLOCK AND GRAVEL SEDIMENT BARRIER DETAIL** NOT TO SCALE

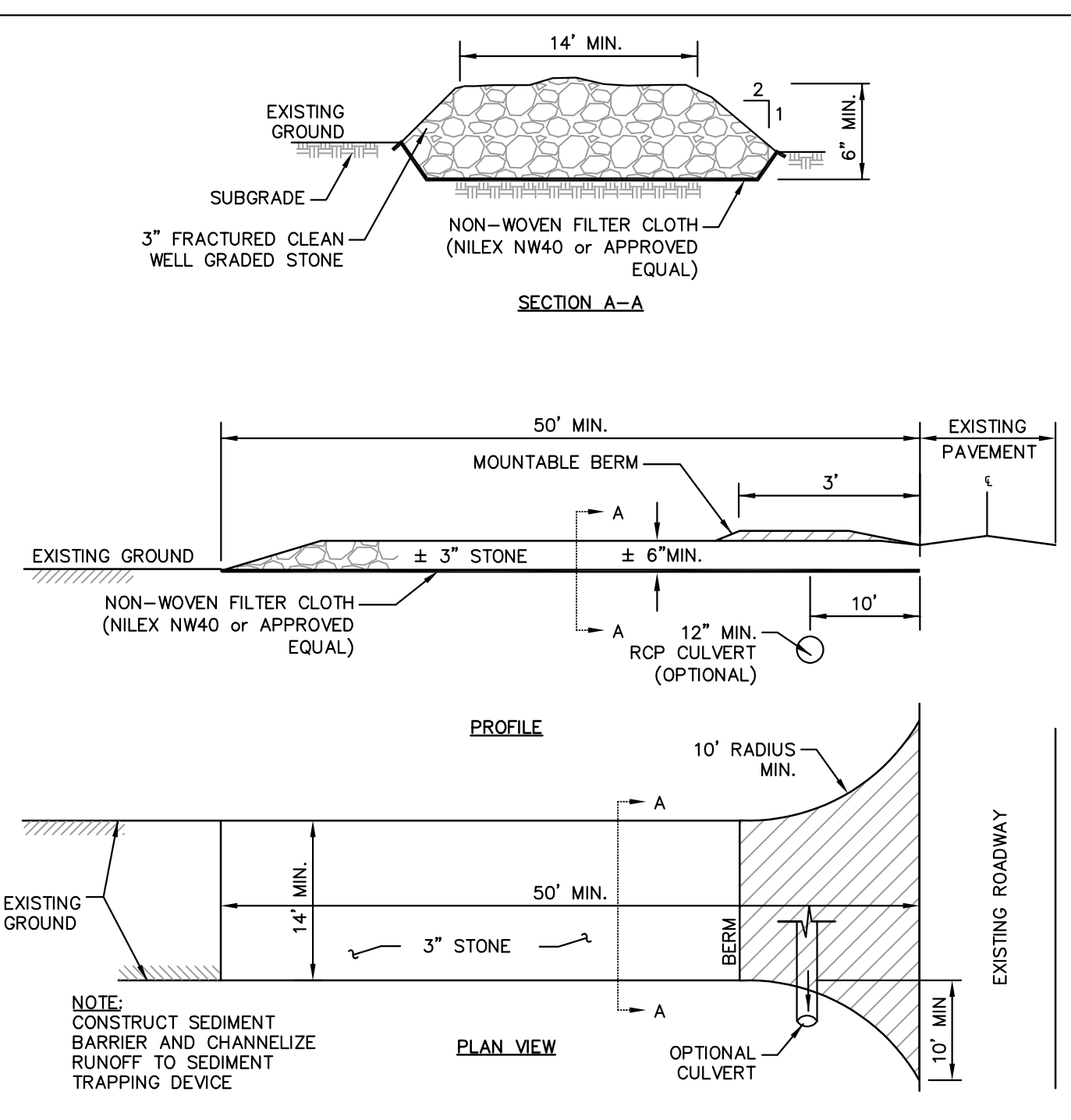


**SILT FENCE DETAIL** NOT TO SCALE



**SEDIMENT TRAP DETAIL** NOT TO SCALE

- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES CONTROL.
  - EARTHWORK SHALL BE LIMITED TO THE AREAS WITHIN THE LIMITS OF CLEARING AS SHOWN ON THE PLAN. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
  - THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
  - PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
  - EROSION CONTROL MEASURES USED SHALL BE INSPECTED AT LEAST WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. ALL DEFICIENCIES SHALL BE FIXED IN ORDER TO KEEP OPERATION EFFECTIVE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
  - TEMPORARY WATER DIVERSIONS (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
  - PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE (BEFORE ROUGH GRADING THE SITE).
  - ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTION RUNOFF TO THEM.
  - PERIODIC INSPECTION AND MAINTENANCE TO MAINTAIN DESIGN INTENT IS REQUIRED.
  - ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE THE REQUIRED AMOUNT OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
  - IF DURING CONSTRUCTION A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
  - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
    - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
    - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
    - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
    - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
  - ALL DUST SHALL BE CONTROLLED BY THE USE OF WATER IN ACCORDANCE WITH ENV-A 1000.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES ARE REQUIRED, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY DEVICES OR CONSULT WITH THE ENGINEER.
  - JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" ON ALL 3:1 SLOPES OR GREATER.
  - ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS.
  - ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS.
- EROSION CONTROL NOTES**



**STABILIZED CONSTRUCTION EXIT DETAIL** NOT TO SCALE

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT BE DONE OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
  - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
  - AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL (MHDOT 304.3).
- WINTER CONSTRUCTION NOTES**

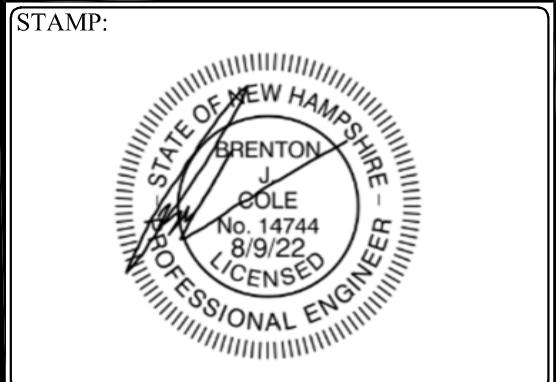
- CONTACT BIG SAFE AT LEAST 72 HOURS BEFORE ANY EXCAVATION WORK.
  - CUT AND CLEAR TREES AND BRUSH WITHIN LIMITS OF CLEARING SHOWN ON PLAN.
  - INSTALL ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS. THE STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
  - REMOVE STUMPS FROM THE SITE FOR SITE GRADING TO COMMENCE. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR UNLESS A STUMP DUMP IS NOTED ON THE PLAN. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED BY PERIMETER CONTROLS TO PREVENT EROSION.
  - COMMENCE EARTHWORK OPERATIONS. ALL PERMANENT EROSION CONTROL MEASURES AND DETENTION FACILITIES SHOULD BE INSTALLED PRIOR TO GRADING FOR PROJECT.
  - ALL DRAINAGE SYSTEMS AND OTHER UTILITIES SHOULD BE CONSTRUCTED FROM LOW GRADE TO HIGH GRADE. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF PERIMETER CONTROLS UNTIL THE SITE HAS BECOME FULLY STABILIZED.
  - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
    - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
    - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
    - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
  - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES ARE REQUIRED, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY DEVICES OR CONSULT WITH THE ENGINEER.
  - ALL STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE STORMWATER MEASURES UNTIL ALL CONTRIBUTING AREA HAVE BEEN DEEMED STABLE.
  - BEGIN THE CONSTRUCTION OF GRAVEL AND CRUSHED GRAVEL COURSES OVER PROPOSED DRIVEWAY, WALKS, AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS AND COMPACTION RATES.
  - COMPLETE GRADING ACTIVITIES AND WHEN COMPLETE, BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE THE SPECIFIED THICKNESS.
  - FINE GRADE ALL TURF AREAS AND COMPLETE PERMANENT SEEDING AND LANDSCAPING BY HYDROSEEDING WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
  - INSTALL THE FINAL BINDER COURSE OF PAVEMENT.
  - INSTALL THE FINAL WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
  - COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE, AND OTHER SITE AMENITIES.
  - REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE ESTABLISHED THEMSELVES.
- CONSTRUCTION SEQUENCE**

NO.	DATE	REVISIONS
0	05/23/2022	PROJECT SUBMITTAL
1	08/09/2022	REVISED PER TOWN COMMENTS

**OWNER & APPLICANT:**  
30 WILTON ROAD LLC  
55 HIGH STREET  
PITTSFIELD, NH 05263  
BOOK 9471 PAGE 2228

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Manchester, New Hampshire 03101  
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**LOCATION:** TAX MAP 6 LOT 14  
30 WILTON ROAD  
MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

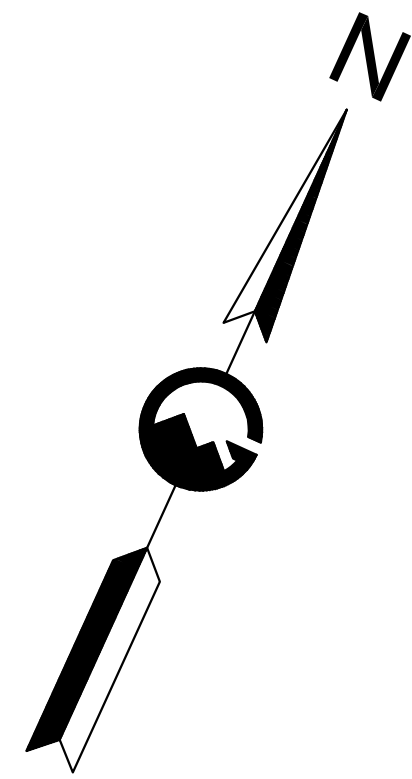
**PROJECT:** STORAGE SENSE -  
MILFORD WEST

**TITLE:** DETAILS

**PROJECT NO. / DATE:** 21-0630-1 / MAY 23, 2022  
**SCALE:** AS SHOWN  
**SHEET:** 17 OF 19





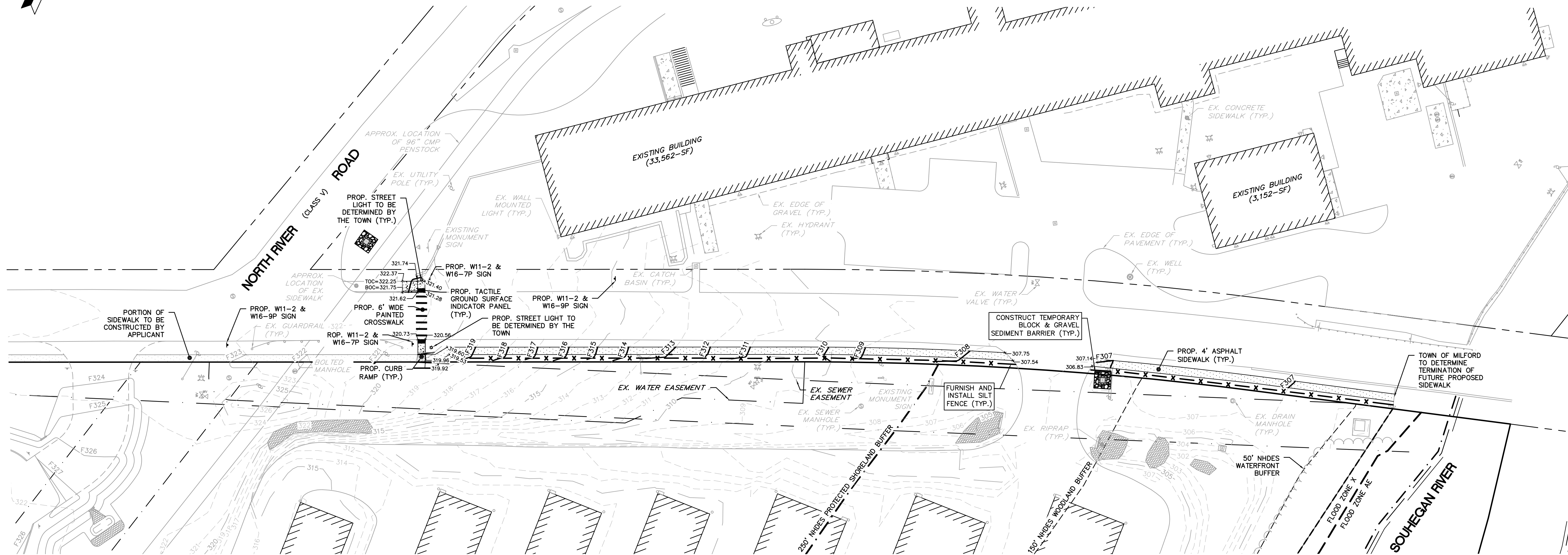


**GENERAL NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO DEPICT FUTURE OFFSITE IMPROVEMENTS TO BE CONSTRUCTED BY THE TOWN AT A TIME WHEN DEEMED WARRANTED BY THE TOWN. THESE OFFSITE IMPROVEMENTS ARE NOT TO BE CONSTRUCTED BY APPLICANT. THE IMPROVEMENTS INCLUDE:
  - A. FORMAL MID-BLOCK CROSSWALK IN WILTON ROAD WITH PROPER SIGNAGE, MARKINGS, AND LIGHTS.
  - B. SIDEWALK EXTENSION ALONG THE FRONTAGE OF MAP 6 LOT 14 WITHIN THE RIGHT OF WAY.
2. AT THE TIME OF CONSTRUCTION, DESIGN IS TO BE REVIEWED BY A LICENSED PROFESSIONAL ENGINEER FOR COMPLIANCE WITH THE LATEST APPLICABLE LOCAL, STATE AND FEDERAL STANDARDS AND REGULATIONS FOR MID-BLOCK CROSSINGS. CONTRACTOR TO COORDINATE WITH THE TOWN OF MILFORD AND ANY APPLICABLE STATE AGENCIES PRIOR TO CONSTRUCTION.
3. THE TOWN IS RESPONSIBLE FOR SECURING ALL LOCAL, STATE AND FEDERAL PERMITS INCLUDING BUT NOT LIMITED TO NHDES SHORELAND.
4. THE INTERSECTION OF NORTH RIVER ROAD AND WILTON ROAD IS BASED ON APPROXIMATE DATA AND MAY REQUIRE ADDITIONAL SURVEY PRIOR TO CONSTRUCTION.

**CONSTRUCTION NOTES:**

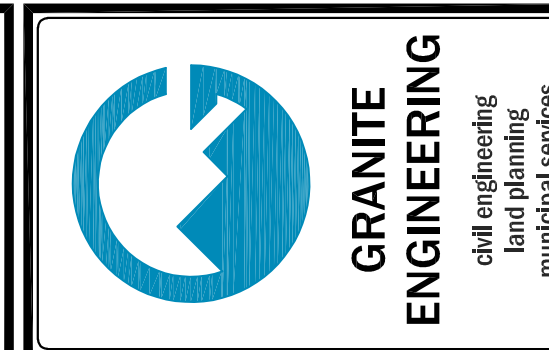
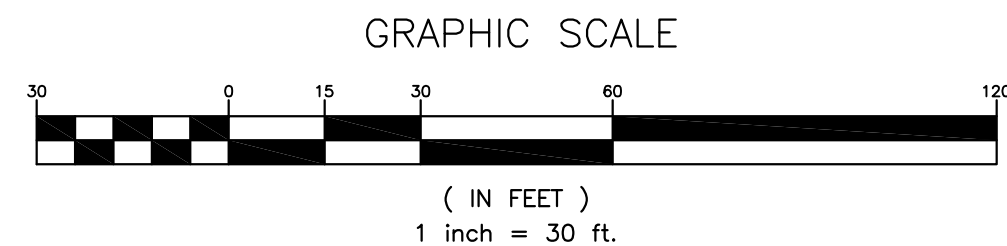
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE FUTURE PROPOSED OFFSITE IMPROVEMENT PLANS FOR THIS PROJECT.
2. ALL WORK ON THE SUBJECT PROPERTY AND WITHIN THE TOWN OF MILFORD RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION. IN THE ABSENCE OF A SPECIFIC TOWN SPECIFICATION, CONTRACTOR SHALL FOLLOW THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2020.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
4. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEED.
5. MATERIAL STOCKPILES SHALL BE ON LEVEL SITES WITH SILT FENCE INSTALLED AROUND THE PILE. STOCKPILES MUST BE SEEDDED AND MULCHED IF STORED MORE THAN 14 DAYS.



LOAM AND SEED ALL DISTURBED AREAS (TYP.)

**LEGEND**

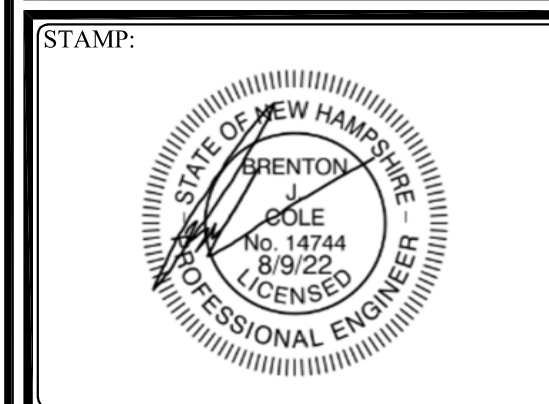
- EX. UTILITY POLE
- EX. LIGHT
- EX./PROP. WATER VALVE
- EX. HYDRANT
- EX./PROP. SIGN
- EX. DRAIN MANHOLE
- EX. CATCH BASIN
- ABUTTER LINE
- PROPERTY LINE
- EX. EDGE OF PAVEMENT
- EX. BUILDING
- PROP. EDGE OF ASPHALT SIDEWALK
- EX. RIP RAP
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- F100 PROP. GRADING



No.	DATE	COMMENTS	BY		TD	
			PROJECT SUBMITTAL	REVISIONS	PROJECT SUBMITTAL	REVISIONS
0	05/23/2022					
1	08/09/2022					

OWNER & APPLICANT:  
 30 WILTON ROAD LLC  
 55 HIGH STREET  
 PITTSFIELD, NH 03263  
 BOOK 9471 PAGE 2225

**GRANITE ENGINEERING**  
 civil engineering • land planning • municipal services  
 150 Dow Street, Tower 2, Suite 421  
 Manchester, New Hampshire 03101  
 603.518.8030  
 www.GraniteEng.com



LOCATION:  
 TAX MAP 6 LOT 14  
 30 WILTON ROAD  
 MILFORD, NEW HAMPSHIRE  
 HILLSBOROUGH COUNTY

PROJECT:  
**STORAGE SENSE - MILFORD WEST**

TITLE:  
**FUTURE OFFSITE IMPROVEMENT PLAN**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022 SCALE: 1"=30'  
 SHEET: 19 OF 19

I, Jonathan Halle, hereby Certify that I am the designer of this Landscape Plan and that I am a Professional Landscape Architect Licensed by the State of New Hampshire.

*Jonathan Halle*  
Jonathan Halle, PLA, AIA

SECTION OF BYLAW	LA REQUIREMENTS	REQUIRED	PROPOSED
6.08.6 LA FRONTAGE	1 SHRUB EVERY 5' OF FRONTAGE	90/5 = 18	24

Any landscape element that dies, or is otherwise removed, shall be promptly replaced with the same, if not similar to, height or texture element as originally intended. In addition, landscaped areas shall be kept free of all debris, rubbish, weeds and overgrown turf grass.

Photo	Type	Symbol	Common Name	Botanical Name	Hardiness Zone	Height	Spread	Sun Exposure	Drought Tolerant	Native New England	Quantity	Installed Size	Type	Use	Additional Notes (Height, Exposure, Bloom, Color)
	Tree	SMT	American Red Maple	Acer rubrum 'Sensation'	4-8	40'-60'	30'-50'	Full Sun	YES	YES	2	3'-0" 12'-0" gals	BBB	Street Tree	Excellent for shade and street tree use. Good for urban environments. Can be used in a variety of settings.
	Tree	SMT	Sugar Maple	Acer saccharum	3-8	50'-70'	30'-50'	Full Sun	YES	YES	3 to 4	3'-0" 12'-0" gals	BBB	Shade Tree	Excellent for shade and street tree use. Good for urban environments. Can be used in a variety of settings.
	Shrub	CPD	Cornus Florida	Cornus florida	5-9	15'-30'	25'-30'	Full-Partial Sun	YES	YES	3 to 4	3 to 4 gal	BBB	Accent Tree	Excellent for shade and street tree use. Good for urban environments. Can be used in a variety of settings.
	Shrub	JHL	Japanese Holly	Ilex crenata 'Spartan'	5-8	3'-4'	4'-8'	Full-Partial Sun	YES	NO	1	3 Gal	C1N	NA	A versatile holly variety that grows well in a variety of settings. Good for urban environments. Can be used in a variety of settings.
	Shrub	BBS	Baby Blue Spruce	Picea pungens 'Baby Blue'	2-8	15'-30'	15'	Full-Partial Sun	YES	YES	NO	6'-0" gal	BBB	MA	Some varieties of Baby Blue Spruce are not recommended for use in New England due to their susceptibility to winter damage.
	Shrub	HFB	Fraxinus Saxatilis	Fraxinus saxatilis	3-9	16'-24'	30'	Partial Sun-Full Shade	NO	NO	2	1 yr. pot	1 gal	NA	Fraxinus saxatilis is a native New England species that is well adapted to the region's climate. It is a good choice for shade and street tree use.
	Shrub	HCL	Hibiscus Laniata	Hibiscus laniata	5-9	16'-24'	18'-24'	Full Sun	YES	NO	4	1 yr. pot	1 gal	NA	Hibiscus laniata is a native New England species that is well adapted to the region's climate. It is a good choice for shade and street tree use.
	Tree	HPS	Hemlock	Podocarpus nivalis	5-11	30'	12'	Full-Partial Sun	YES	NO	1	1 yr. pot	2 gal	NA	Hemlock is a native New England species that is well adapted to the region's climate. It is a good choice for shade and street tree use.
	Seed	WEF	Seed Mix	See Notes	3-8	24"	NA	Full Sun	YES	YES	NO	Seed Mix	NA	See notes for details on seed mix composition and installation.	

General Planting Notes: All plants should be installed in accordance with the manufacturer's instructions. All plants should be installed in accordance with the manufacturer's instructions. All plants should be installed in accordance with the manufacturer's instructions.



PLAN KEY:

PROJECT TITLE / ADDRESS:  
**STORAGE SENSE - MILFORD WEST**  
30 WILTON ROAD  
MILFORD, NH 03055



SCALE: AS NOTED DWN BY: CB  
JOB #: 3782 CHK BY: JH  
PRINT DATE: 8/5/2022 7:38:03 AM

ISSUE DATE:  
08/5/2022  
**NOT FOR CONSTRUCTION**  
SCHEMATIC DESIGN  
LANDSCAPE SITE PLAN

**LA101**  
SHEET NUMBER: 1 OF 4 ARCHITECTURAL

THE DRAWING AND ITS CONTENT IS THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS INC. WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS PROHIBITED AND PROTECTED UNDER COPYRIGHT LAW.  
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BASE AND SLOPE OF BIORETENTION AREA TO BE PLANTED WITH "WET" SEED MIX. Fox Sedge, Lurid Sedge, Blunt Broom Sedge, Blue Vervain, Fowl Bluegrass, Hop Sedge, Green Bulrush, Creeping Spike Rush, Fringed Sedge, Soft Rush, Spotted Joe Pye Weed, Rattlesnake Grass, Swamp aster, Blueflag, Swamp Milkweed, Square stemmed Monkey Flower

1 LANDSCAPE PLAN  
LA101 1" = 20'-0"

three inches = one foot  
one and one half inches = one foot  
one inch = one foot  
three quarter inch = one foot  
one quarter inch = one foot  
one eighth inch = one foot



LANDSCAPE GENERAL SPECIFICATIONS

SECTION 02955 - TREES, SHRUBS AND GROUND COVERS

PART 1 - GENERAL

1.1 GENERAL REQUIREMENTS

- A. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL CONDITIONS AND DIVISION I SPECIFICATION SECTIONS APPLY TO THIS SECTION.
B. EXAMINE ALL OTHER SECTIONS OF THE SPECIFICATIONS FOR REQUIREMENTS WHICH AFFECT WORK OF THIS SECTION WHETHER OR NOT SUCH WORK IS SPECIFICALLY MENTIONED IN THIS SECTION.
C. COORDINATE WORK WITH THAT OF ALL OTHER TRADES AFFECTING, OR AFFECTED BY WORK OF THIS SECTION. COOPERATE WITH SUCH TRADES TO ASSURE THE STEADY PROGRESS OF ALL WORK UNDER THE CONTRACT.

1.2 SUMMARY

- A. THIS SECTION INCLUDES THE FOLLOWING:
1. FURNISHING ALL PLANTS, MATERIALS, SUPPLIES, LABOR, EQUIPMENT, AND PERFORMING ALL OPERATIONS IN CONNECTION WITH FURNISHING AND PLACEMENT OF TOPSOIL AND PLANTING MIXTURE, PLANTING OF ALL TREES, SHRUBS AND PERENNIAL GROUND COVERS, PRUNING/MULCHING/WATERING OF PLANTS, MAINTENANCE, GUARANTEE AND FINAL CLEAN-UP.
B. RELATED SECTIONS: THE FOLLOWING SECTIONS CONTAIN REQUIREMENTS THAT RELATE TO THIS SECTION: SECTION 02300 "EARTHWORK" SECTION 02950 "SEEDING AND SODDING" LOCAL GOVERNING AUTHORITY AND CODE REQUIREMENTS. ALL NECESSARY CONSTRUCTION PERMITS.

1.3 SUBMITTALS

- A. SAMPLES: BEFORE ANY BARK MULCH IS DELIVERED TO THE JOB SITE, SUBMIT A SAMPLE TO THE LANDSCAPE ARCHITECT FOR THEIR APPROVAL.
B. MATERIALS LIST:
1. BEFORE ANY PLANTING MATERIALS ARE DELIVERED TO THE JOB SITE, SUBMIT TO THE LANDSCAPE ARCHITECT A COMPLETE LIST OF ALL PLANTS AND OTHER ITEMS PROPOSED TO BE INSTALLED.
2. INCLUDE COMPLETE DATA ON SOURCE, SIZE, AND QUALITY.
3. DEMONSTRATE COMPLETE CONFORMANCE WITH THE REQUIREMENTS OF THIS SECTION. THIS SHALL IN NO WAY BE CONSTRUED AS PERMITTING SUBSTITUTION FOR SPECIFIC ITEMS DESCRIBED IN THE PLANS OR THESE SPECIFICATIONS UNLESS THE SUBSTITUTION HAS BEEN APPROVED IN ADVANCE BY THE LANDSCAPE ARCHITECT.
C. AS-BUILT DRAWINGS: DURING THE COURSE OF THE INSTALLATION, CAREFULLY RECORD IN RED LINE ON A PRINT OF THE PLANTING PLANS ALL CHANGES MADE TO THE PLANTING LAYOUT DURING INSTALLATION.
D. CERTIFICATES: ALL CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY SHIPMENTS. UPON COMPLETION OF THE INSTALLATION, DELIVER ALL CERTIFICATES TO THE LANDSCAPE ARCHITECT.

1.4 QUALITY ASSURANCE

- A. INSTALLER QUALIFICATIONS: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK AND WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE OF MATERIALS BEING INSTALLED AND THE BEST METHODS FOR THEIR INSTALLATION AND WHO SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
B. MATERIAL STANDARDS:
1. ALL PLANTS AND PLANTING MATERIAL SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND COUNTY LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.
2. QUALITY AND SIZE SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF CURRENT EDITION OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK. FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANTS SHALL BE TRUE TO NAME AND ONE OF EACH BUNDLE OR LOT SHALL BE TAGGED WITH THE NAME AND SIZE OF THE PLANTS IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES.

1.5 DELIVERY, STORAGE, HANDLING

- A. DELIVERY AND STORAGE:
1. DELIVER ALL ITEMS TO THE SITE IN THEIR ORIGINAL CONTAINERS WITH ALL LABELS INTACT AND LEGIBLE AT TIME OF LANDSCAPE ARCHITECT INSPECTION.
2. IMMEDIATELY REMOVE FROM THE JOB SITE ALL PLANTS WHICH ARE NOT TRUE TO NAME AND ALL MATERIALS WHICH DO NOT COMPLY WITH THE PROVISIONS OF THIS SECTION OF THESE SPECIFICATIONS.
3. ROOT PROTECTION:
a. HANDLE PLANTS AT ALL TIMES IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICES SO THAT THE ROOTS OR BALLS ARE ADEQUATELY PROTECTED FROM THE SUN AND DRYING WINDS. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT WOULD DAMAGE THE BARK, BREAK THE BRANCHES, OR DESTROY ITS NATURAL SHAPE.
4. HANDLING:
a. LIFT AND HANDLE PLANTS FROM THE BOTTOM OF THE BALL OR CONTAINER ONLY. PLANTS HANDLED OTHERWISE WILL BE SUBJECT TO REJECTION. PLANT NO BALLED AND BURLAPPED PLANT WHICH HAS THE BALL CRACKED OR BROKEN WILL BE ACCEPTED. NO BALLED AND BURLAPPED PLANTS USING PLASTIC/POLYESTER BURLAP WILL BE ACCEPTED. PLANT NO CONTAINERIZED OR TUBE-PAK PLANT WHOSE ROOT SYSTEM HAS SEPARATED FROM THE SOIL IN ITS CONTAINER.
5. PROTECTION DURING DELIVERY:
a. TRANSPORT PLANT MATERIAL IN CLOSED VEHICLES OR IN OPEN VEHICLES WITH THE ENTIRE LOAD PROPERLY COVERED FOR PROTECTION FROM DRYING WINDS.
6. PROTECTION AFTER DELIVERY:
a. PLANT TREES AND SHRUBS AS SOON AS POSSIBLE AFTER DELIVERY. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY SHALL HAVE THEIR ROOTS KEPT MOST AND ADEQUATELY PROTECTED UNTIL PLANTED.
b. COVER THE BALLS OF BALLED AND BURLAPPED, CONTAINERIZED, AND TUBE-PAK PLANTS WITH TOPSOIL, OR AN APPROVED MULCH, AND KEEP CONSTANTLY MOIST UNTIL PLANTED.
c. STORE ALL PLANTS IN THE SHADE, OUT OF DIRECT SUNLIGHT AND DRYING WIND.
d. OWNER'S REPRESENTATIVE WILL SELECT STORAGE OR HOLDING AREA AND UPON DELIVERY OF PLANTS, DESIGNATE WHERE CONTRACTOR CAN PROTECT AND MAINTAIN THESE PLANT MATERIALS UNTIL THEY ARE PLANTED.

1.6 SCHEDULES

- A. PLANTING SEASON:
a. PLANTING OPERATIONS FOR DECIDUOUS MATERIALS SHALL TAKE PLACE DURING MARCH 15 TO JUNE 30 FOR SPRING PLANTING AND AUGUST 15TH TO OCTOBER 1 OR UNTIL GROUND FREEZES FOR FALL PLANTING. BARE ROOT DECIDUOUS PLANTING SHALL BE LIMITED TO PLANTING BETWEEN MARCH 10 TO MAY 1.
b. PLANTING OPERATIONS FOR EVERGREEN MATERIAL SHALL BE DURING MARCH 1 THROUGH JUNE 30 FOR SPRING PLANTING AND AUGUST 1 THROUGH SEPTEMBER 15 FOR FALL PLANTING.

1.7 INSPECTION

- A. INSPECTION OF PLANTS:
1. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH AND UPON DELIVERY FOR CONFORMITY TO SPECIFIED QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION UPON DELIVERY AT THE SITE OR WHILE WORK IS IN PROGRESS.
2. THE CONTRACTOR WILL INFORM THE LANDSCAPE ARCHITECT THREE BUSINESS DAYS (3) PRIOR TO THE PROPOSED ARRIVAL OF PLANT MATERIAL ON THE JOB SITE.
3. DURING THE TIME PLANT MATERIAL IS BEING INSPECTED, THE CONTRACTOR SHALL PROVIDE A COMPLETE STAKED LAYOUT AND HAVE MANPOWER AND EQUIPMENT AVAILABLE TO UNLOAD, OPEN AND HANDLE PLANT MATERIAL DURING INSPECTION.

PART 2 - MATERIALS

2.1 PLANT MATERIALS

- A. GENERAL:
1. PLANT MATERIALS SHALL MEAN TREES AND PLANTS OF ALL DESCRIPTIONS REQUIRED TO BE FURNISHED FOR THE PROJECT, IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL PLANT MATERIALS WILL BE TRUE TO NAME, WHICH SHALL CONFORM TO STANDARDIZED PLANT NAMES OF THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE, AND SHALL BE LEGIBLY TAGGED WITH THE NAME AND SIZE OF THE MATERIAL ACCORDING TO THE GENERAL NURSERY PRACTICE AS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. ALL PLANTS SHALL BE FIRST-CLASS REPRESENTATIVES OF THEIR NORMAL SPECIES OR VARIETIES. PLANTS SHALL BE SOUND, HEALTHY, AND VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. UNLESS OTHERWISE SPECIFIED, PLANTS SHALL HAVE AVERAGE OR NORMALLY DEVELOPED BRANCH SYSTEMS AND VIGOROUS ROOT SYSTEMS. PLANTS SHALL BE FREE FROM SCALE, SPECIFIC GROWING KNOTS, SUN GLAND INJURIES, ABRASIONS OF THE BARK, OR OTHER OBJECTIONABLE BLEMISHES. WEAK PLANTS WILL NOT BE ACCEPTED. PLANTS MUST SHOW APPEARANCE OF NORMAL HEALTH AND VIGOR IN STRICT ACCORDANCE WITH THESE SPECIFICATIONS. ALL STOCK SHALL BE NURSERY GROWN.
3. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE GROWN IN THE CONTAINER FOR AT LEAST ONE (1) GROWING SEASON ENOUGH TO PRODUCE AN EARTH-ROOT MASS OF ADEQUATE DIAMETER AND DEPTH OF THE STEM DIAMETER AND PLANT HEIGHTS OR SPREAD, AS ESTABLISHED BY ACCEPTED NURSERY PRACTICE. PLANTS, EVER ESTABLISHED IN THE CONTAINER, AS EVIDENCED BY POT BOUND ROOT ENDS, WILL NOT BE ACCEPTED. BARE ROOT MATERIAL WILL BE ACCEPTED ONLY FOR SPRING PLANTING. BARE ROOT STOCK SHALL BE HANDLED ACCORDING TO STANDARD HORTICULTURAL PRACTICE WITH SPECIAL ATTENTION BEING PAID TO PREVENTING PLANT ROOTS FROM DRYING AND PLANTS BEING APPROPRIATELY STORED.
4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE LANDSCAPE ARCHITECT.
5. THE HEIGHT OF TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH AND CALIPER OF THE TRUNK SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES, AND SHALL NOT BE LESS THAN THE MINIMUM SPECIFIED ON THE PLANT LIST. EXCEPT WHEN A CLUMP IS DESIGNATED, THE TRUNK OF EACH TREE SHALL BE A SINGLE TRUNK GROWING FROM A SINGLE CENTRIFUGAL CROWN OF ROOTS. NO PART OF THE TRUNK SHALL BE CONSPICUOUSLY CROOKED AS COMPARED TO NORMAL TREES OF THE SAME VARIETY. THE TRUNK SHALL BE FREE FROM SUN SCALD, FROST CRACKS OR WOUNDS RESULTING FROM ABRASIONS, FIRE, OR OTHER CAUSES. NO PRUNING WOUNDS SHALL BE PRESENT HAVING A DIAMETER OF MORE THAN TWO (2) INCHES AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES. EVERGREEN TREES SHALL BE BRANCHED TO WITHIN ONE FOOT OF THE GROUND.
6. SHRUBS AND PERENNIALS SHALL COMPLY WITH THE SPECIFIED SPREAD, HEIGHT OR CONTAINER SIZE AS SPECIFIED ON THE PLANT LIST. THE MEASUREMENTS FOR HEIGHT ARE TO BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP OF THE SHRUB AND NOT THE LONGEST BRANCH. THE THICKNESS OF EACH SHRUB SHALL CORRESPOND TO THE TRADE CLASSIFICATION "NO. 1". SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED. THE SIDE BRANCHES MUST BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BRANCHED TO THE GROUND. THE PLANTS MUST BE IN A MOST VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES OR OTHER ROOT OR BRANCH INJURIES.
7. ALL PLANT MATERIAL SHALL COMPLY WITH STATE AND FEDERAL LAWS WITH RESPECT TO INSPECTION FOR PLANT DISEASE AND INFECTION. ANY INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT.
8. ALL PLANT MATERIAL IS SUBJECT TO LANDSCAPE ARCHITECT'S APPROVAL AND INSPECTION AT ANY PLACE, BEFORE DURING AND/OR AFTER PLANTING. ANY PLANT MATERIAL NOT APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FOR THE SITE.
9. NO PLANT MATERIAL SHALL BE ACCEPTED WITH LOOSE OR BROKEN BALLS, BROKEN CONTAINERS OR TUBE-PAKS.

2.3 MULCH

- A. BARK MULCH: ALL BARK MULCH SHALL BE SHREDDED PINE BARK AS LOCALLY OR REGIONALLY MANUFACTURED, OR AN EQUAL APPROVED IN ADVANCE BY THE LANDSCAPE ARCHITECT.

2.4 PLANTING MIXTURE

- A. TOPSOIL: MOST TOPSOIL REQUIRED SHALL BE OBTAINED FROM ON-SITE STOCKPILED MATERIAL. SHOULD ADDITIONAL TOPSOIL BE NEEDED, IT SHALL BE IMPORTED MATERIAL FROM A LOCALLY AVAILABLE SOURCE. IT SHALL BE LOOSE, FRIABLE, AND FREE FROM LUMPY AND HARD LUMPS OF SOIL, ROCKS, OR OTHER DEBRIS. IT SHALL BE SUFFICIENTLY FERTILE TO SUSTAIN NORMAL HEALTHY PLANT GROWTH AND SHALL NOT HAVE A PH VALUE HIGHER THAN 7.0 OR LOWER THAN 6.5. THE TOPSOIL SHALL BE DELIVERED IN AN UNFROZEN AND NON-MUDDY CONDITION AND MUST MEET THE APPROVAL OF THE LANDSCAPE ARCHITECT.
B. PEAT: PEAT SHALL BE SPHAGNUM PEAT, SEDGE PEAT MOSS, FURNISH AIR-DRIED, FINELY SHREDDED, ORPH IT BETWEEN 5.5 AND 6.5, CONTAINING NO MORE THAN THIRTY-FIVE (35%) PERCENT MOISTURE BY WEIGHT.
C. COMPOSTED BARK MULCH/COMPOSTED BARK MULCH SHALL BE 1/4" MINUS, FINE TEXTURED AND WELL COMPOSTED MULCH SUITABLE FOR USE AS A PLANTING MIX AMENDMENT. IT SHALL BE LOCALLY OR REGIONALLY MANUFACTURED, OR AN EQUAL APPROVED IN ADVANCE BY THE LANDSCAPE ARCHITECT.
D. TREES/SHRUB PLANTING MIX: TOPSOIL USED AS FILL AROUND PLANTS SHALL BE MIXED WITH PEAT MOSS AT THE RATE OF THREE PARTS TOPSOIL TO ONE PART PEAT.
E. PERENNIAL/GROUND COVER PLANTING MIX: TOPSOIL USED AS FILL AROUND THESE PLANTS SHALL BE MIXED WITH PEAT MOSS AND COMPOSTED BARK MULCH AT THE RATE OF TWO PARTS TOPSOIL TO ONE PART PEAT TO ONE PART COMPOSTED BARK MULCH. THE ABOVE MIXTURE IS MIXED WITH MAG AMP (W. R. GRACE AND COMPANY, P.O. BOX 338, WEST CHICAGO, ILLINOIS) AT THE RATE OF 10 OUNCES PER CUBIC YARD OF PLANTING MIX.
F. "ROOTS" - ROOT GROWTH ENHANCER: THIS PRODUCT SHALL BE A NATURAL ORGANIC BIOSTIMULANT THAT PROMOTES ROOT GROWTH AND STRESS TOLERANCE IN PLANTS. APPLY TO ALL TREES, SHRUBS, AND PERENNIALS PER MANUFACTURER'S RECOMMENDATIONS.
G. SUPERSORB C: WATER ABSORBENT GRANULES: THIS PRODUCT SHALL BE A COPOLYMER WATER ABSORBENT IN GRANULAR FORM TO BE INCORPORATED IN THE SPECIFIED PLANTING MIXES FOR BOTH TREES/SHRUBS AND PERENNIALS. ITS PURPOSE IS TO IMPROVE THE TOPSOIL'S WATER HOLDING CAPACITY.
H. AGRIFORM FERTILIZER TABLETS: TREES AND SHRUBS SHALL BE FERTILIZED WITH TWO (2) FERTILIZER TABLETS PER PLANTING HOLE. TABLETS SHALL BE 21 GRAM SIZE, OF 20-10-5 ANALYSIS AS MANUFACTURED BY AGRIFORM.

2.5 MISCELLANEOUS MATERIALS

- A. WOOD STAKE: STAKES FOR TREE SUPPORT SHALL BE 2" X 2" X 80"; WOOD STAKES.
B. GUYING WIRE: WIRE SHALL BE NUMBER 12 GAUGE GALVANIZED SOFT STEEL WIRE.
C. HOSE: HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "CINCH-TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE)
D. TREE PAINT: TREE PAINT SHALL BE WATERPROOF, ASPHALT BASE PAINT WITH ANTISEPTIC PROPERTIES, MANUFACTURED FOR USE ON TREE WOUNDS; R.I.W. TREE SURGERY PAINT BY TOUCH-UP PRODUCTS COMPANY OR APPROVED EQUAL.
E. ANTI-DESSICCAT: ANTI-DESSICCAT SHALL BE AN EMULSION PERMEABLE ENOUGH TO PERMIT TRANSPIRATION, AND WILL BE USED TO RETARD EXCESS WATER LOSS. MIX IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
F. TREE WRAP: TREE WRAPPING PAPER SHALL BE WATERPROOF CREPE TREE WRAPPING PAPER, AT LEAST 2-1/2 INCHES IN WIDTH, MADE UP OF TWO LAYERS OF CREPE KRAFT PAPER, WEIGHING NOT LESS THAN 30 POUNDS PER ROLL, CEMENTED TOGETHER WITH ASPHALT.
G. TWINE: WRAPPING TWINE USED IN TREE WRAPPING SHALL BE COMPOSED OF A MINIMUM OF TWO PLY JUTE MATERIAL. SYNTHETIC MATERIALS SUCH AS NYLON OR PLASTIC WILL NOT BE PERMITTED.

PAR 3 - EXECUTION

3.1 SURFACE CONDITIONS

- A. INSPECT: PRIOR TO ALL WORK OF THIS SECTION, CAREFULLY INSPECT THE INSTALLED WORK OF ALL OTHER TRADES AND VERIFY THAT ALL SUCH WORK IS COMPLETE TO THE POINT WHERE THIS INSTALLATION MAY PROPERLY COMMENCE. DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO ANY INSTALLED UTILITIES.
B. LOCATION:
1. VERIFY THAT PLANTING MAY BE COMPLETED IN ACCORDANCE WITH THE ORIGINAL DESIGN AND THE REFERENCED STANDARDS. STAKE OUT LOCATIONS OF ALL PLANTS AND SECURE THE LANDSCAPE ARCHITECT APPROVAL BEFORE EXCAVATING PLANT PITS.
2. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, LEDGE, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY THE LANDSCAPE ARCHITECT BEFORE PLANTING.
C. DISCREPANCIES:
1. IN THE EVENT OF DISCREPANCY, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
2. DO NOT PROCEED WITH INSTALLATION IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.

3.2 TREE PROTECTION AND REMOVAL

- A. REMOVAL OF TREES:
1. TREE REMOVAL UNDER THIS CONTRACT SHALL BE ACCOMPLISHED AS REQUIRED TO ACCOMMODATE THE SCOPE OF WORK AS INDICATED ON THE SITE PLANS AS PREPARED BY SHERMAN, GREINER, HALL, LTD. AND PROVAN & LORBER, INC. SITE GRADING AND GRUBBING WILL BE ACCOMPLISHED AS DIRECTED IN SECTION 02112 "SITE GRADING". ALL TREES AND STUMPS SHALL BE REMOVED FROM THE AREA TO BE OCCUPIED BY THE NEW PLAYFIELDS, ROADS, SURFACED AREAS AND PLANTED AREAS. REMOVAL OF TREES OUTSIDE THESE AREAS SHALL ONLY BE THOSE AS NOTED, MARKED AND APPROVED BY THE LANDSCAPE ARCHITECT.
2. NO OTHER TREES MAY BE CUT EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. ALL STUMPS SHALL BE REMOVED.
B. PROTECTION OF TREES:
1. GENERAL PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF TOPS, TRUNKS, AND ROOTS OF EXISTING TREES ON THE SITE THAT ARE TO REMAIN. EXISTING TREES SUBJECT TO CONSTRUCTION DAMAGE SHALL BE BOXED, FENCED OR OTHERWISE PROTECTED BEFORE ANY WORK IS STARTED. REMOVE BOXING WHEN DIRECTED. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN BRANCH SPREAD. REMOVE INTERFERING BRANCHES WITHOUT INJURY TO TRUNKS AND COVER WITH TREE PAINT.
2. GRADING AROUND TREES: WHERE EXCAVATION, FILL OR GRADING IS REQUIRED WITHIN THE BRANCH SPREAD OF TREES THAT ARE TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
C. TRENCING: WHEN TRENCING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT BUT THE TRENCH SHALL BE TUNNELED UNDER AND AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS.
D. RAISING GRADE: WHEN THE GRADE AT TREES IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 12 INCHES IS REQUIRED, CLEAN WASHED GRAVEL GRADED FROM 1 INCH TO 2 INCH SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES AND FINISH APPROXIMATELY 2 INCHES ABOVE THE FINISHED GRADE AT THE TRUNK. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNKS OF ANY TREES REQUIRING FILL.
E. TREE MARKERS: PRIOR TO ANY GRADING OR FILLING, EACH TREE SHALL HAVE AN OPEN DRY WELL OF DURABLE MATERIAL WITHOUT MORTAR SITUATED AT LEAST 24" FROM THE TREE TRUNK. ALL WELLS ARE TO BE PROPERLY DRAINED. BEFORE FILLS OF OVER 12" ARE MADE UPON THE TREE ROOT AREAS, IT IS ADVISABLE TO SPREAD AT LEAST A 6" LAYER OF BROKEN STONE OR COARSE GRAVEL COVERED BY INVERTED SODS TO FACILITATE PROPER DRAINAGE AND AERATION.
F. LOWERING GRADES: EXISTING TREES IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE REGRADING WORK DONE BY HAND TO ELEVATION AS INDICATED. ROOTS AS REQUIRED SHALL BE CUT CLEANLY 3 INCHES BELOW FINISHED GRADE AND SCARS ARE COVERED WITH TREE PAINT. TREES MARKED FOR INJURY TO BE LOCATED MORE THAN 6" ABOVE PROPOSED GRADES SHALL STAND ON BROAD, ROUNDED MOUNDS AND BE GRADED SMOOTHLY INTO THE LOWER LEVEL. EXPOSED OR BROKEN ROOTS SHALL BE CUT CLEAN AND COVERED WITH TOPSOIL.

3.3 PLANTING TREES, SHRUBS AND GROUND COVERS

- A. GENERAL:
1. PLANT NURSERY STOCK IMMEDIATELY UPON DELIVERY TO THE SITE AND APPROVAL BY THE LANDSCAPE ARCHITECT EXCEPT THAT, IF THIS IS NOT FEASIBLE, HEAL-IN ALL BALLED MATERIAL AND PROTECT FROM SUN AND WIND.
2. REGULARLY WATER ALL NURSERY STOCK IN CONTAINERS AND TUBE-PAKS AND PLACE THEM IN A COOL AREA PROTECTED FROM SUN AND DRYING WINDS.
B. EXCAVATION OF PLANT HOLES:
1. TREE PITS SHALL HAVE SUBSTANTIALLY VERTICAL SIDES AND HORIZONTAL BOTTOMS. DEPTH OF PIT BELOW FINISH GRADE SHALL BE AT LEAST 9 INCHES (FOR TREES) AND 6 INCHES (FOR SHRUBS) GREATER THAN THE DEPTH OF THE BALL. IN NO CASE SHALL DEPTH OF TREE PITS BE LESS THAN 24 INCHES BELOW FINISHED GRADE. DIAMETER OF PITS FOR ALL TREES SHALL BE AT LEAST 9 INCHES GREATER THAN THE MAXIMUM DIAMETER OF THE TREE BALL OR ROOT SYSTEM AND FOR SHRUBS 6 INCHES.
2. PLANTING POCKETS FOR TUBE-PAK, ONE GALLON CONTAINER SHRUBS, CONTAINERIZED PERENNIALS AND 1" CALIPER TREES INTENDED FOR "NATURALIZING" FILL AND DISTURBED SLOPES, SHALL BE EXCAVATED SIMILAR AS DESCRIBED ABOVE, BUT TO A DEPTH OF 6" BELOW THE BOTTOM OF THE TUBE-PAK OR CONTAINER AND A MINIMUM OF 12" IN DIAMETER.
C. PLANTING OPERATION:
1. TREES AND SHRUBS SHALL BE SUPPLIED IN SIZES SHOWN ON THE PLANTING PLANS WITH ALL PLANTS BALLED AND BURLAPPED, CONTAINERIZED, OR IN TUBE-PAKS. DURING PLANTING OPERATIONS, THE NURSERY STOCK SHALL NOT BE EXPOSED TO THE SUN, DRYING WINDS, OR WINTER FREEZING.
2. THE SOIL IN THE BOTTOM OF THE HOLE, WHICH HAS BEEN EXCAVATED TO THE PRESCRIBED REQUIREMENTS, SHALL BE LOOSENEED TO A DEPTH OF 3 INCHES AND SOD AND ANE LAWNINGS SHALL BE REMOVED FROM THE CENTER OF THE HOLE TO SUPPORT THE ROOTS OF THE PLANT. THE PLANT SHALL BE PLACED ON THIS MOUND OF SOIL AND HELD IN A VERTICAL POSITION. THE PLANT SHALL BE SO SET, BY ADJUSTING THE ELEVATION OF THE MOUND, THAT AFTER SETTLEMENT THE PLANT WILL STAND AT APPROXIMATELY THE SAME DEPTH IT STOOD IN THE NURSERY OR FIELD.
3. THE PLANT HOLE SHALL BE BACKFILLED WITH TOPSOIL, PEAT AND MAG AMP MIXTURE PLACED IN LAYERS AROUND THE ROOTS. EACH LAYER SHALL BE CAREFULLY TAMPED TO FILL ALL VOIDS AND PLACED IN MANNER TO AVOID INJURY TO THE TREE OR DISTURBING THE POSITION OF THE PLANT.
4. BURDAS, ROPES OR WIRES SHALL BE REMOVED FROM THE UPPER THIRD OF BALLS. TREES WITH WIRE BASKETS SHALL HAVE THE TOP 12" OF THE WIRE BASKET COMPLETELY REMOVED IF PRACTICAL. REMOVAL OF BASKET WIRE SHALL BE DONE WITH BUL CUTLIER OR SIMILAR DEVICE AND NOT BEFORE THE BOTTOM HALF OF PLANT HOLE HAS BEEN BACKFILLED AND TAMPED SO AS TO PREVENT THE BALL FROM BREAKING APART OR LOOSENING DURING THIS OPERATION. UNITE AND REMOVE ALL ROPES AROUND TRUNK.
5. WHEN APPROXIMATELY TWO-THIRDS OF THE PLANT HOLE HAS BEEN BACKFILLED, THE HOLE SHALL BE FILLED WITH WATER AND THE SOIL ALLOWED TO SETTLE AROUND THE ROOTS. AFTER THE WATER HAS BEEN ABSORBED, THE PLANT HOLE SHALL BE FILLED WITH TOPSOIL AND TAMPED LIGHTLY TO GRADE. ANY SETTLEMENT SHALL BE BROUGHT TO GRADE WITH TOPSOIL.
6. ALL PLANTS SHALL BE SET PLUMB AND STRAIGHT, AND AT SUCH A LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP OF THE TRUNK CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. PLANTS SHALL BE LOCATED IN THE CENTER OF THE PIT. THE SURFACE ABOUT THE PLANT SHALL BE SMOOTH AND FORMED TO A CUP-SHAPED DEPRESSION ABOUT THE STEM OR TRUNK SO AS TO HOLD WATER. ONCE THIS CUP-SHAPED DEPRESSION HAS BEEN FORMED, THEN APPLY THE TREE/SHRUB GROWTH ENHANCER/STIMULANT, PER MANUFACTURER'S RECOMMENDATIONS, TO ALL TREES, SHRUBS AND PERENNIALS PRIOR TO MULCHING. UPON COMPLETION OF THE PLANTING, ALL SURPLUS SUBSOIL AND WASTE MATERIALS SHALL BE REMOVED.
7. FOR PLANTS ON LEVEL GROUND OR SLIGHT SLOPES, THE CONTRACTOR SHALL FORM AND LEAVE A SHALLOW BASIN A LITTLE LARGER THAN THE DIAMETER OF THE PLANT AROUND EACH PLANT. AFTER PLANTING, CULTIVATE THE SOIL IN THE SHRUB BED BETWEEN TREE/SHRUB PITS, RAKE SMOOTH AND OUTLINE AS PER PLANS.
8. IN CASE OF PLANTING IN THE OPEN ON HOT DAYS, SHORTEN THE TIME BETWEEN PLANTING AND WATERING.

3.4 SEED BED PREPARATION

- A. SUB GRADE PREPARATION: SEED BED PREPARATION SHALL PERTAIN TO THE PREPARATION OF THE SURFACE OF THE GROUND TO RECEIVE THE SEED. THE GROUND SHALL BE HAND OR MACHINE RAKED SO AS TO REMOVE ALL DEBRIS, CLODS, STONES, OR OTHER FOREIGN MATTER LARGER THAN 1 INCH, TO A DEPTH OF 4 INCHES. PRIOR TO DUMPING AND SPREADING THE SEED, THE GROUND SHALL BE SCAPED TO A MINIMUM DEPTH OF 2 INCHES TO FACILITATE BONDING OF THE SEED TO THE SUB GRADE. WHERE SUB GRADES HAVE BEEN COMPACTED ARTIFICIALLY SCARIFY TO A DEPTH OF 4 INCHES. PRIOR TO SPREADING TOPSOIL, ALL SUB GRADES SHALL BE GRADED EVENLY ACCORDING TO THE CONTRACT DOCUMENTS, SUCH DEBRIS, CLODS, ROCKS, AND OTHER MATERIAL SO REMOVED SHALL BE DISPOSED OF AS APPROVED BY THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE. SEED BED PREPARATION SHALL NOT COMMENCE UNTIL THE MOISTURE CONDITIONS MAKE THE GROUND AREA AND SOIL FRIABLE.
B. PREPARING UNDISTURBED AREAS: AREAS TO BE SEEDED, WHICH HAVE NOT BEEN DISTURBED BY SITE GRADING OR TOPSOIL STRIPPING OPERATIONS, SHALL BE MOWED AND RAKED PRIOR TO TILLING AND TOP-SOLING OPERATIONS. TILLAGE OF THE EXISTING VEGETATION INTO THE GROUND WILL NOT BE ACCEPTED.

3.5 TOPSOIL PLACEMENT

- A. SPREADING: TOPSOIL SHALL BE SPREAD EVENLY ON THE PREPARED AREAS TO A MINIMUM DEPTH OF 6 INCHES AFTER MACHINE COMPACTION. SPREADING SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN OR EXCESSIVELY WET. AFTER SPREADING, ANY LARGE, STIFF CLODS OR HARD LUMPS SHALL BE BROKEN UP AND THE GROUND SHALL BE RAKED TO REMOVE ALL DEBRIS, STONES, AND FOREIGN MATTER LARGER THAN 1 INCH TO A DEPTH OF 4 INCHES.
B. FINISH GRADING: GRADE THE AREAS TO FINISH GRADES FILLING AS NEEDED OR REMOVING SURPLUS DIRT AND FLOATING AREAS TO A SMOOTH UNIFORM GRADE. ALL LAWN AREAS SHALL SLOPE TO DRAIN. WHERE NO GRADES ARE SHOWN, AREAS SHALL HAVE A SMOOTH AND CONTINUAL GRADE BETWEEN EXISTING OR FIXED CONTROLS (SUCH AS WALKS, CURBS, OR WALLS). RAKE AND LEVEL, AS NECESSARY TO OBTAIN TRUE EVEN LAWN SURFACES. ALL FINISH GRADES SHALL MEET THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE SEED IS SOWN OR SOD IS PLACED.
C. SEED BED PREPARATION: AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDED SHALL BE LOOSENEED TO PROVIDE A ROUGH, FIRM BUT FINELY POLYMERIZED SEED BED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED, AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEED BED NOT MORE THAN 48 HOURS AFTER THE SEED BED HAS BEEN PREPARED.
D. WATER: IF THERE HAS BEEN A TIME LAPSE BETWEEN THE PLACEMENT OF TOPSOIL AND SEEDING OPERATIONS TO ALLOW IT TO BECOME SETTLED AND COMPACTED ON THE SURFACE, THE AREA TO BE PLANTED WITH SEED SHALL BE THOROUGHLY HARROWED, WORKED TO A DEPTH OF 4 INCHES SO AS TO PROVIDE A SURFACE OF SUCH CONDITION THAT IT WILL ALLOW HAND RAKING AND APPLICATION OF THE SEED IN COMPLIANCE WITH THESE SPECIFICATIONS.
E. FERTILIZER/SOIL AMENDMENTS: APPLICATION OF FERTILIZER WILL BE IN 2 STAGES. TWO WEEKS PRIOR TO APPLICATION OF SEED, FERTILIZER SHALL BE APPLIED AT THE RATE OF 1 LBS/1000 S.F. FOR TURF AREAS. FERTILIZER SHALL BE APPLIED BY BROADCASTING OR DRILL METHODS; IT SHALL BE APPLIED SEPARATELY FROM THE SEED AND MIXED INTO THE SOIL TO A MINIMUM DEPTH OF 2 INCHES AND MAY BE INCORPORATED AS PART OF THE TOPSOIL PLACEMENT AND SEED BED PREPARATION OPERATIONS. SPRINKLE IMMEDIATELY AFTER INITIAL APPLICATION OF THE FERTILIZER WITH A FINE SPRAY UNTIL GROUND IS THOROUGHLY SATURATED, WITH PARTICULAR CARE TO AVOID RUNOFF ON SLOPING AREAS.
1. THE 2ND APPLICATION WILL FOLLOW THE FOLLOWING SEASON WITHIN THE SPECIFIED WARRANTY PERIOD AT A RATE DETERMINED BY SOIL TEST RESULTS FOR BOTH TURF AND NATIVE GRASS WILDLFLOWER AREAS.
2. APPLICATION OF SUPERPHOSPHATE AND GROUND LIMESTONE SHALL BE APPLIED AT RATES DETERMINED BY SOILS TEST RESULTS.
3. SEEDING: IMMEDIATELY PRIOR TO THE APPLICATION OF THE SEED, THE SOIL SHALL BE LOOSE TO A DEPTH OF AT LEAST 1 INCH AND FREE FROM ALL MATERIAL AS SPECIFIED. IF SOIL IS TOO LOOSE OR DRY FOR GOOD HANDLING, IT SHOULD BE MOISTENED AND ROLLED LIGHTLY.
4. SEEDING SHALL BE DONE WITHIN THE SPECIFIED TIME PERIODS AND AT THE FOLLOWING RATES:
a. FINE LAWN SEED SHALL BE SOWN AT A RATE OF 3.0 POUNDS PER 1000 SQUARE FEET AND SHALL BE PLANTED IN THE SPRING FROM APRIL 1ST TO MAY 30TH OR IN THE FALL FROM AUGUST 16TH TO OCTOBER 1ST.
b. NATIVE SEED MIX SHALL BE SOWN AT A RATE OF 5.0 POUNDS PER 1000 SQUARE FEET AND SHALL BE PLANTED IN THE SPRING FROM APRIL 1ST TO MAY 30TH OR IN THE FALL FROM AUGUST 16TH TO OCTOBER 1ST.
5. METHODS: SEEDING BY DRILL IS PREFERABLE, HOWEVER, HYDRAULIC SEEDING OR BROADCASTING WILL BE PERMITTED. BROADCAST SEEDING AND HYDRAULIC SEEDING SHALL NOT BE USED DURING ADVERSE WEATHER. AREAS SOWN BY HYDRAULIC OR BROADCAST METHODS WILL BE VISUALLY INSPECTED FOR UNIFORMITY OF APPLICATION. AREAS WHICH FAIL TO REVEAL AN AVERAGE OF TWO SEEDS PER SQUARE INCH WILL BE RE-SOWN AT NO ADDITIONAL EXPENSE TO THE OWNER. THE APPLIED SEED, REGARDLESS OF APPLICATION, SHALL NOT BE COVERED BY A SOIL THICKNESS NO GREATER THAN 1/2 INCH.
a. SEEDING BY DRILL: SEEDING EQUIPMENT USED FOR APPLYING GRASS SEED MUST BE DESIGNED, MODIFIED, OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF GRASS SEED. SEED MUST BE UNIFORMLY DISTRIBUTED IN THE DRILL, HOPPER DURING THE DRILLING OPERATION. ALL GRASS ESTABLISHMENT EQUIPMENT SHALL BE OPERATED PERPENDICULAR TO THE SLOPE DRAINAGE. A DRILL SHALL BE NO WIDER THAN THE WIDTH OF THE AREA TO BE SO OPERATED. THE ROWS OF PLANTED SEEDS SHALL BE A MAXIMUM OF 8 INCHES APART AND SHALL BE AT RIGHT ANGLES TO THE FINISHED SLOPES.
b. BROADCAST SEEDING: WHEN SEED IS SOWN BY BROADCASTING, EXERCISE GREAT CARE THAT AN UNIFORM DISTRIBUTION OF SEED IS OBTAINED. SEEDING SHALL BE DONE ON A STILL DAY USING A HOPPER TYPE SEEDER WITH ONE HALF OF THE SEED FOR EACH AREA BEING SOWN AT RIGHT ANGLES TO THE OTHER HALF. SEED DISTRIBUTION BY BROADCASTING SHALL BE COVERED WITH 1/4 TO 1/2 INCH OF SOIL. THE SEED MAY BE COVERED BY RAKING, DRAGGING, OR BY APPROPRIATE MECHANICAL MEANS.
c. HYDRAULIC SEEDING: WHEN HYDRAULIC SEED IS USED, SEED AND MULCH SHALL BE APPLIED IN SEPARATE AND DISTINCT OPERATIONS EXCEPT FOR THE FOLLOWING SEED PREPARATION:
6. THE CONTRACTOR MUST PROVIDE ONE POUND OF MULCH PER EACH THREE GALLONS OF WATER IN THE HYDROSEEDER AS A CUSHION AGAINST SEED DAMAGE. THE MULCH USED AS A CUSHION MAY BE PART OF THE TOTAL REQUIRED MULCH WITH THE REMAINDER APPLIED AFTER THE SEED IS METERING DURING APPLICATION.

3.6 MULCHING

- A. MULCHING:
1. ALL TREES AND SHRUB BEDS WILL BE CULTIVATED FOLLOWING THE GENERAL SHAPE OF THE BEDS AS INDICATED ON THE PLANS. FORM A SAUCER AROUND THE TOP OF THE PLANTING PIT TO HELP HOLD WATER DURING WATERING AND FORM THE OUTLINE FOR MULCHING.
2. APPLY THE SHREDDED BARK MULCH TO A DEPTH OF 4", EVENLY SPREAD OVER THE ENTIRE AREA OF EACH PLANTING PIT.
3. THOROUGHLY SOAK ALL MULCH AREAS. AFTER WATERING, RAKE MULCHED AREAS AND LEAVE IN A COMPLETED AND FINISHED CONDITION. THOROUGHLY SOAK ALL MULCH AREAS. AFTER WATERING, RAKE MULCHED AREAS AND LEAVE IN A COMPLETED AND FINISHED CONDITION.
B. MULCHING:
1. EACH TREE SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. THE OBJECTIVE IS TO PRESERVE A SHAPE AND FORM REPRESENTATIVE OF THE SPECIES. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
B. PRUNING:
1. ALL DEAD WOOD, SUCKERS, BADLY BRUISED OR BROKEN BRANCHES SHALL BE REMOVED. THE TOPS OF DECIDUOUS PLANTS SHALL BE PRUNED EITHER BEFORE OR AFTER PLANTING. IN THE CASE OF BARE ROOT LOSS DUE TO TRANSPORT INJURY, THIS SHALL CONSIST OF REMOVING ONE OR TWO INCHES OF THE TOP OF THE HEADING BACK THE STEMS AND TOP BRANCHES, AND SHALL BE DONE SO THAT THE PLANT RETAINS ITS NATURAL FORM. EXCEPT WHEN HEADING BACK, ALL CUTS SHALL BE MADE FLUSH WITH THE TRUNK OR BRANCH, NEVER CUT A LEADER.
2. CUTS OVER 1/2 INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT. PAINT SHALL COVER ALL EXPOSED CAMBIAL AS WELL AS OTHER EXPOSED LIVING TISSUE. PAINT SHALL BE WATERPROOF, ADHESIVE AND ELASTIC, ANTISEPTIC, FREE FROM KEROSENE, COAL TAR CREOSOTE OR ANY OTHER MATERIAL INJURIOUS TO THE PLANT. PAINT SHALL BE APPLIED TO ALL CUTS, WHETHER OR APPROVED EQUAL.
3. TREES THAT HAVE BEEN SO BADLY PRUNED AS TO SPOIL THEIR REPRESENTATIVE FORM AND USEFULNESS SHALL BE REMOVED AND REPLACED.

3.7 STAKING, GUYING, AND WRAPPING

- A. STAKING AND GUYING:
1. TREES GREATER THAN 1-1/2" IN CALIPER, SHALL BE STAKED IMMEDIATELY AFTER PLANTING. GUY WIRES SHALL BE ENCASED IN HOSE TO PREVENT DIRECT CONTACT WITH BARK OF THE TREE OR IT SHALL BE PLACED AROUND THE TRUNK IN A SINGLE LOOP. WIRES SHALL BE TIGHTENED AND KEPT TAUNT BY TWISTING THE STRANDS TOGETHER OR WITH TURNBUCKLES.
2. WRAP TREES IMMEDIATELY AFTER PLANTING, BUT NOT BEFORE THE CONDITION OF THE TRUNKS HAS BEEN INSPECTED AND APPROVED. CAREFULLY WRAP THE TRUNKS OF DECIDUOUS TREES WITH TREE WRAPPING PAPER. BEGIN THE WRAPPER AT THE BASE OF THE TRUNK JUST ABOVE THE ROOTS AND BELOW THE NORMAL GROUND LINE, AND EXTEND WRAPPING UPWARD IN SPIRAL MANNER WITH AN OVERLAP OF ONE-HALF (1/2) THE WIDTH OF THE PAPER STRIP. COVER WITH SOIL THE PORTION OF THE WRAPPING BELOW THE FINISHED GRADE. THE PAPER SHALL BE HELD IN PLACE WITH APPROVED TWINE OR TAPE. TIE THE TWINE AROUND THE TREE IN AT LEAST THREE PLACES, IN ADDITION TO THE TOP AND BOTTOM.
3. TREE GUYING AND STAKING SHALL BE AS DETAILED AS PER PROJECT PLANS AND COMPLETED IMMEDIATELY AFTER PLANTING.

3.8 PRUNING

- A. GENERAL:
1. EACH TREE SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. THE OBJECTIVE IS TO PRESERVE A SHAPE AND FORM REPRESENTATIVE OF THE SPECIES. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
B. PRUNING:
1. ALL DEAD WOOD, SUCKERS, BADLY BRUISED OR BROKEN BRANCHES SHALL BE REMOVED. THE TOPS OF DECIDUOUS PLANTS SHALL BE PRUNED EITHER BEFORE OR AFTER PLANTING. IN THE CASE OF BARE ROOT LOSS DUE TO TRANSPORT INJURY, THIS SHALL CONSIST OF REMOVING ONE OR TWO INCHES OF THE TOP OF THE HEADING BACK THE STEMS AND TOP BRANCHES, AND SHALL BE DONE SO THAT THE PLANT RETAINS ITS NATURAL FORM. EXCEPT WHEN HEADING BACK, ALL CUTS SHALL BE MADE FLUSH WITH THE TRUNK OR BRANCH, NEVER CUT A LEADER.
2. CUTS OVER 1/2 INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT. PAINT SHALL COVER ALL EXPOSED CAMBIAL AS WELL AS OTHER EXPOSED LIVING TISSUE. PAINT SHALL BE WATERPROOF, ADHESIVE AND ELASTIC, ANTISEPTIC, FREE FROM KEROSENE, COAL TAR CREOSOTE OR ANY OTHER MATERIAL INJURIOUS TO THE PLANT. PAINT SHALL BE APPLIED TO ALL CUTS, WHETHER OR APPROVED EQUAL.
3. TREES THAT HAVE BEEN SO BADLY PRUNED AS TO SPOIL THEIR REPRESENTATIVE FORM AND USEFULNESS SHALL BE REMOVED AND REPLACED.

3.9 WATERING

- A. ALL PLANTS SHALL BE WATERED TWICE WITHIN THE FIRST 24 HOURS OF THE TIME OF PLANTING, AND ALL PLANTS DURING THE MAINTENANCE PERIOD SHALL BE WATERED AT LEAST TWICE EACH WEEK. AT EACH WATERING THE SOIL AROUND EACH TREE OR SHRUB SHALL BE THOROUGHLY SATURATED. IF SUFFICIENT MOISTURE IS RETAINED IN THE SOIL AS DETERMINED BY THE LANDSCAPE ARCHITECT, THE REQUIRED WATERING MAY BE REDUCED.

3.10 INSPECTION FOR ACCEPTANCE AND CLEAN-UP

- A. INSPECTION:
1. IN ADDITION TO THE NORMAL PROGRESS INSPECTIONS, SCHEDULE AND CONDUCT THE FOLLOWING FORMAL INSPECTIONS, GIVING THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS PRIOR NOTICE OF READINESS FOR INSPECTION.
2. INSPECTION OF PLANTS IN CONTAINERS PRIOR TO PLANTING.
3. INSPECTION OF PLANT LOCATIONS, TO VERIFY COMPLIANCE WITH THE PLANS.
4. FINAL INSPECTION AFTER COMPLETION OF PLANTING. SCHEDULE THIS INSPECTION SUFFICIENTLY IN ADVANCE, AND IN COOPERATION WITH THE LANDSCAPE ARCHITECT SO THAT FINAL INSPECTION MAY BE CONDUCTED WITHIN 24 HOURS AFTER COMPLETION OF PLANTING.
5. FINAL INSPECTION AT THE END OF THE MAINTENANCE PERIOD, PROVIDED THAT ALL PREVIOUS DEFICIENCIES HAVE BEEN CORRECTED.
6. THE LANDSCAPE ARCHITECT WILL INSPECT ALL WORK FOR ACCEPTANCE UPON WRITTEN REQUEST OF THIS SUBCONTRACTOR.
7. ACCEPTANCE OF LAWN SHALL BE GRANTED FOR THE WORK IN ITS ENTIRETY. NO PARTIAL ACCEPTANCE SHALL BE GIVEN.
8. INSPECTION OF LAWN AREAS SHALL BE CONDUCTED AT A MINIMUM OF THREE CUTTINGS. LAWN AREAS SHALL HAVE NO BARE SPOTS IN EXCESS OF FOUR (4) INCHES IN DIAMETER AND BARE SPOTS SHALL COMPRISE NO MORE THAN TWO PERCENT (2%) OF THE TOTAL AREA OF THE LAWN.
9. NATIVE GRASS AREAS SHALL EXHIBIT A UNIFORM, THICK, WELL DEVELOPED STAND OF GRASS WHICH HAS RECEIVED A MINIMUM OF THREE CUTTINGS. NATIVE GRASS AREAS SHALL HAVE NO BARE SPOTS IN EXCESS OF FOUR (4) INCHES IN DIAMETER AND BARE SPOTS SHALL COMPRISE NO MORE THAN TWO PERCENT (2%) OF THE TOTAL AREA OF THE LAWN.
10. NO LAWN AREAS SHALL EXHIBIT SIGNS OF DAMAGE FROM EROSION, WASHOUTS, GULLIES OR OTHER CAUSES.
11. BUILDING AND PAVEMENT SURFACES ADJACENT TO LAWN AREAS SHALL BE CLEAN AND FREE OF SPILLS OR OVERSPRAY FROM PLACING OR HANDLING OF TOPSOIL AND SEEDING OPERATIONS.
B. ACCEPTANCE:
1. UPON WRITTEN REQUEST OF THE CONTRACTOR, THE LANDSCAPE ARCHITECT SHALL INSPECT ALL LAWN AREAS TO DETERMINE COMPLETION OF THE CONTRACT WORK. THIS REQUEST MUST BE SUBMITTED AT LEAST FIVE (5) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE AND AFTER THE THIRD MOWING OF FINE LAWN.
2. IF THE LAWN ARE NOT ACCEPTABLE, THE LANDSCAPE ARCHITECT SHALL INDICATE CORRECTIVE MEASURES TO BE TAKEN, AND SHALL EXTEND THE MAINTENANCE PERIOD AS NECESSARY FOR THE COMPLETION OF WORK. THE CONTRACTOR SHALL BE

**LANDSCAPE GENERAL SPECIFICATIONS, CONT.**

- B. SOD:** UPON DELIVERY OF SOD TO THE WORK SITE, USE ALL MEANS NECESSARY TO PROTECT AND MAINTAIN THE SOD BEFORE, DURING AND AFTER INSTALLATION. DELIVERY OF SOD SHALL BE CAREFULLY COORDINATED SO ITS PLACEMENT CAN PROCEED DIRECTLY AFTER ITS ARRIVAL. SOD SHALL BE INSTALLED ON SITE NO MORE THAN 24 HOURS AFTER CUTTING.
- C. FERTILIZER/LIME:** FERTILIZER AND LIME SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL, UNOPENED CONTAINERS BEARING THE MANUFACTURER'S GUARANTEED CHEMICAL ANALYSIS, NAME, TRADEMARK, AND CONFORMANCE WITH STATE AND FEDERAL LAWS. IN LIEU OF CONTAINERS, BOTH MATERIALS MAY BE FURNISHED IN BULK AND A CERTIFICATE INDICATING THE ABOVE INFORMATION SHALL ACCOMPANY EACH DELIVERY.
- D. STORAGE:** SEED, HYDROMULCH, HYDROMULCH BINDER, FERTILIZER AND LIME SHALL BE KEPT IN DRY STORAGE AWAY FROM CONTAMINANTS. THEY SHALL BE UNIFORM IN COMPOSITION, DRY, UNFROZEN AND FREE FLOWING. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIAL WHICH HAS BECOME CAKED FOR OTHERWISE DAMAGED OR DOES NOT MEET SPECIFIED REQUIREMENTS.
- E. REPLACEMENTS:** IN THE EVENT OF REJECTION OF THE SEED, IMMEDIATELY MAKE ALL REPLACEMENTS NECESSARY TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- F. SCHEDULES:**
- SEASONAL LIMITATIONS CONDUCT SEEDING OPERATIONS DURING THE SPECIFIED TIME PERIODS. IF SPECIAL CONDITIONS EXIST THAT MAY WARRANT A VARIANCE IN THE SPECIFIED PLANT DATES OR CONDITIONS, A WRITTEN REQUEST SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT STATING THE SPECIAL CONDITIONS AND PROPOSED VARIANCE.
- G. NOTICE TO PROCEED:**
- THE CONTRACTOR SHALL NOT PROCEED WITH SEEDING AND SOD PLACEMENT OPERATIONS UNTIL THE IRRIGATION SYSTEM HAS BEEN TESTED AND APPROVED.

**PART 2: MATERIALS**

**2.1 TOPSOIL**

- A. TOPSOIL REQUIRED** SHALL BE OBTAINED FROM ON-SITE STOCKPILED MATERIAL WHICH WILL BE PLACED BY THE SITE CONTRACTOR. SHOULD ADDITIONAL TOPSOIL BE NEEDED TO BRING LANDSCAPE AREAS UP TO GRADE, THEN IT SHALL BE FURNISHED AND PLACED BY THE SITE CONTRACTOR, WITH IMPORTED MATERIAL FROM A LOCALLY APPROVED SOURCE.
- B. TOPSOIL SHALL BE A FINE SANDY LOAM** OR A 'SANDY LOAM' AS DETERMINED BY MECHANICAL ANALYSIS AND BASED ON THE 'USDA' CLASSIFICATION SYSTEM. IT SHALL BE OF UNIFORM COMPOSITION, WITHOUT ADJUSTMENTS, LOOSE, FRIABLE, AND SHALL CONTAIN ORDINARY AMOUNT OF HUMUS. IT SHALL CONTAIN NO LUMPS OF SOIL, ROCKS LARGER THAN 1 INCH, OR STICKS, OR ROOTS, AND OTHER DEBRIS. IT SHALL BE SUFFICIENTLY FERTILE TO SUSTAIN NORMAL HEALTHY LAWN GROWTH AND SHALL NOT HAVE A PH VALUE HIGHER THAN 7.0 OR LOWER THAN 6.5. THE TOPSOIL SHALL BE DELIVERED IN AN UNFROZEN AND NON-MUDDY CONDITION AND MUST MEET THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- C. THE LOAM PLACED IN LANDSCAPE AREAS ON THE SITE MUST BE TESTED AND AMENDED AS RECOMMENDED BY SOIL TESTING FOR LAWNS AND PLANTING. THE COST OF ANY AMENDMENT TO THE LOAM AND TOPSOIL SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. THE SITE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL AS REQUIRED.**

**2.2 SEED**

- A. GENERAL:**
- CONTRACTOR SHALL SUBMIT CERTIFICATION TAGS FOR APPROVAL. ALL GRASS SEED SHALL BE:
    - FREE FROM NOXIOUS WEED SEEDS AND RECLEANED GRADE A RECENT CROP SEED
    - TREATED WITH APPROPRIATE FUNGICIDE
    - DELIVERED TO THE SITE IN SEALED CONTAINERS WITH DEALER GUARANTEED ANALYSIS.
- B. FINE LAWN SEED MIXTURE:**
- ALL SEEDED, FINE LAWN AREAS AND INTENDED FOR THE PLAYFIELD AREAS AS DESIGNATED ON THE PLANS, SHALL BE SEEDDED WITH THE MIXTURE HEREIN SPECIFIED:
- | NAME OF GRASS              | PROPORTION BY WEIGHT |
|----------------------------|----------------------|
| CLASSIC KENTUCKY BLUEGRASS | 20%                  |
| KENTUCKY BLUEGRASS         | 20%                  |
| PERENNIAL RYEGRASS         | 20%                  |
| SR4200 PERENNIAL RYEGRASS  | 15%                  |
| SHADOW & CHEWINGS FESCUE   | 10%                  |
| SHADEMASTER RED FESCUE     | 10%                  |
| SR5000 CHEWINGS FESCUE     | 5%                   |
- C. NATIVE SEED MIXTURE:**
- FOR ALL TURF AREAS NOT DESIGNATED ON THE PLANS FOR USE AS FINE LAWN ON THE PLAYFIELD AREAS, SHALL BE SEEDDED WITH THE MIXTURE HEREIN SPECIFIED:
- | NAME OF GRASS       | PROPORTION BY WEIGHT |
|---------------------|----------------------|
| TALL FESCUE         | 53%                  |
| CREeping RED FESCUE | 41%                  |
| REDFOP              | 6%                   |
- 2. ALL SEED USED SHALL MEET THE FOLLOWING MINIMUM STANDARDS:**
- |             |     |
|-------------|-----|
| PURITY      | 95% |
| GERMINATION | 85% |

**2.3 SOD**

- A. ALL SOD SHALL BE WELL ESTABLISHED MOWN LAWN GRASS. IT SHALL BE VIGOROUS, WELL ROOTED, HEALTHY TURF FREE FROM DISEASE, INSECT PESTS, WEEDS AND OTHER GRASSES, STONES AND ANY OTHER HARMFUL OR DELETERIOUS MATTER.**
- B. IT SHALL HAVE BEEN GROWN FROM A SEED MIXTURE IDENTICAL TO THAT SPECIFIED FOR THE FINE LAWN SEED MIXTURE SPECIFIED ABOVE. THIS SOD IS AVAILABLE FOR GOLD STAR SOD FARMS, CANTERBURY, NH. NOT MORE THAN 5% WEED AND UNDESIRABLE GRASSES SHALL BE ALLOWED.**
- C. SOD SHALL BE A MINERAL BACKED SOD GROWN IN THE NEW ENGLAND REGION. IT SHALL BE CUT IN UNIFORM, 1/4" WIDE STRIPS, 3/4" IN THICKNESS WITH CLEAN, CUT EDGES. SOD SHALL BE ROLLED OR FOLDED PRIOR TO LIFTING AND HANDLING TO PREVENT TEARING, BREAKING, DRYING AND ANY OTHER DAMAGE.**

**2.4 SOIL AMENDMENTS**

- A. FERTILIZER:**
- FERTILIZER TO BE SPREAD ON AREAS TO BE SEEDDED SHALL BE COMMERCIALY PREPARED AND SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT:
    - LAWN SEED AND SOD AREAS:
      - 16% NITROGEN
      - 16% PHOSPHORIC ACID
      - 15% POTASH
      - 5% ZINC
  - USE FERTILIZER PERCENTAGE FOR ESTIMATING PURPOSES ONLY. AFTER ON-SITE, STOCKPILED TOPSOIL HAS BEEN PLACED, THE CONTRACTOR SHALL SUBMIT A LABORATORY CHEMICAL ANALYSIS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND DETERMINATION OF A FERTILIZER ANALYSIS AND APPLICATION RATE. THIS ANALYSIS SHALL BE OBTAINED FROM A MINIMUM OF FOUR (4) RANDOM SOIL SAMPLES SELECTED AND TAKEN IN THE FIELD PER REPRESENTATIVE APPROVAL.
- 3. THE TOPSOIL ANALYSIS SHALL INCLUDE THE FOLLOWING CHEMICAL PARAMETERS:**
- |                     |          |
|---------------------|----------|
| PH                  |          |
| NITRATE             | NPPM     |
| ORGANIC MATTER      | %        |
| PHOSPHOROUS (OLSON) | PPM      |
| POTASSIUM           | PPM      |
| SODIUM              | MEQ/100G |
| SULFATE             | PPM      |
| CONDUCTIVITY        | MMHSCM   |
- 4. COMMERCIAL FERTILIZER SHALL BE COMPLETE, UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THE FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL WATERPROOF CONTAINERS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS.**
- D. SUPERPHOSPHATE:**
- INCORPORATE SUPERPHOSPHATE INTO THE TOPSOIL WITH THE FIRST APPLICATION OF COMMERCIAL FERTILIZER AT THE RATE OF TWENTY POUNDS PER SQUARE FEET OR AT THE RATE DETERMINED FROM THE TEST RESULTS.
- C. GROUND LIMESTONE:**
- INCORPORATE GROUND LIMESTONE INTO THE TOPSOIL AFTER IT HAS BEEN SPREAD AT THE RATE OF FIFTY POUNDS PER THOUSAND SQUARE FEET OR AT THE RATE DETERMINED FROM THE TEST RESULTS TO ACHIEVE A PH OF 6.0 TO 6.5.

- D. MULCH:**
- WHERE A SPECIFIC TYPE OF MULCH IS REQUIRED, THE TYPE WILL BE DESCRIBED IN THE EXECUTION SECTION. WHERE MULCHING REQUIREMENTS CAN BE MET EQUALLY WELL BY ONE OF SEVERAL TYPES, THE CONTRACTOR SHALL HAVE THE OPTION OF SELECTING ONE OF THE ACCEPTABLE TYPES.
    - ORGANIC MULCH: JACKLN ORGANIC MULCH AS MANUFACTURED BY THE VAUGHAN-JACKLN CORPORATION, EAST 8803 SPRAGUE, SPOKANE, WASHINGTON 99213 - (TELEPHONE (509) 926-6241), OR APPROVED EQUAL.
    - VEGETATIVE MULCH: VEGETATIVE MULCH MATERIAL SHALL BE COMPOSED OF WHEAT STRAW, RYE STRAW OR BARLEY STRAW, IN THAT ORDER OF PREFERENCE AND SHALL BE FREE OF NOXIOUS WEED SEEDS, STONES, DIRT, ROOTS, STUMPS, OR OTHER FOREIGN MATERIAL.
    - CELLULOSE FIBER MULCH: WOOD CELLULOSE FIBER MULCH SHALL CONSIST OF VIRGIN WOOD FIBERS MANUFACTURED FROM WHOLE WOOD CHIPS AND SHALL BE PROCESSED IN SUCH A MANNER THAT IT WILL NOT CONTAIN ANY GROWTH OR GERMINATION INHIBITING FACTORS. THE MULCH SHALL BE DYED AN APPROPRIATE COLOR TO FACILITATE VISUAL METERING DURING APPLICATION. UPON APPLICATION, THE MATERIAL SHALL PRODUCE A MAT ABSORPTION AND PERCOLATION AND SHALL COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL. THE WOOD CELLULOSE FIBERS MUST MAINTAIN UNIFORM SUSPENSION IN WATER UNDER AGITATION.
- E. MULCH TACKIFIERS:**
- TACKIFIERS MIXED WITH OR APPLIED OVER STRAW SHALL BE TERRA-TACK AR, OR APPROVED EQUAL OF NON-ASPHALTIC FORMULATION. TACKIFIERS USED TO ANCHOR VEGETATIVE OR CELLULOSE FIBER MULCH SHALL BE TERRA TACK III, OR APPROVED EQUAL OF NON-ASPHALTIC FORMULATION.
- F. WATER:**
- WATER SHALL BE AVAILABLE FROM MUNICIPAL SYSTEM THROUGH CONTRACTOR.
- G. EROSION CONTROL BLANKET:**
- EROSION CONTROL FABRIC MAY BE REQUIRED AS AN ADDITIONAL MEASURE TO PREVENT EROSION ON SLOPES GREATER THAN 2:1 AND IN DRAINAGE SWALES. MATERIAL IS NECESSARY AND AUTHORIZED WHILE WORK IS IN PROGRESS, THEN THE MATERIAL SHALL BE CURLEX® EROSION CONTROL BLANKET CONSISTING OF A DENSE MAT OF CURLED AND SEASONED ASPEN WOOD EXCELSIOR BOUND WITH A TOUGH, PHOTO-DEGRADABLE, EXTRUDED PLASTIC MESH AS MANUFACTURED BY AMERICAN EXCELSIOR CO., ARLINGTON, TEXAS OR APPROVED EQUAL.

**PART 3: EXECUTION**

- 3.1 SURFACE CONDITIONS**
- A. INSPECTION:**
- PRIOR TO ALL WORK OF THIS SECTION, CAREFULLY INSPECT THE INSTALLED WORK OF ALL OTHER TRADES AND VERIFY THAT ALL SUCH WORK IS COMPLETE TO THE POINT WHERE THIS INSTALLATION MAY PROPERLY COMMENCE. VERIFY THAT SEEDING MAY BE COMPLETED IN ACCORDANCE WITH THE ORIGINAL DESIGN AND THE REFERENCED STANDARDS.
- B. DISCREPANCIES:**
- IN THE EVENT OF DISCREPANCY, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
  - DO NOT PROCEED WITH INSTALLATION IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.
- 3.2 SEED BED PREPARATION**
- A. SUBGRADE PREPARATION:**
- SEED BED PREPARATION SHALL PERTAIN TO THE PREPARATION OF THE SURFACE OF THE GROUND TO RECEIVE THE SEED. THE GROUND SHALL BE HAND OR MACHINE RAKED SO AS TO REMOVE ALL DEBRIS, CLOUDS, STONES, OR OTHER FOREIGN MATTER LARGER THAN 1 INCH, TO A DEPTH OF 4 INCHES. PRIOR TO DUMPING AND SPREADING OF TOPSOIL, THE SURFACE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 2 INCHES TO FACILITATE BONDING OF TOPSOIL TO SUBGRADE SOIL. WHERE SUBGRADES HAVE BEEN COMPACTED ARTIFICIALLY SCARIFY TO A DEPTH OF 6 INCHES. PRIOR TO SPREADING TOPSOIL, ALL SUBGRADES SHALL BE GRADED EVENLY ACCORDING TO THE CONTRACT DOCUMENTS.
  - SUCH DEBRIS, CLOUDS, ROCKS, AND OTHER MATERIAL SO REMOVED SHALL BE DISPOSED OF AS APPROVED BY THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE. SEED BED PREPARATION SHALL NOT COMMENCE UNTIL THE MOISTURE CONDITIONS MAKE THE GROUND AREA AND SOIL FRIABLE.
- B. PREPARING UNDISTURBED AREAS:**
- AREAS TO BE SEEDDED, WHICH HAVE NOT BEEN DISTURBED BY SITE GRADING OR TOPSOIL STRIPPING OPERATIONS, SHALL BE MOWED AND RAKED PRIOR TO TILLING AND TOPSOILING OPERATIONS. TILLAGE OF THE EXISTING VEGETATION INTO THE GROUND WILL NOT BE ACCEPTED.

**3.3 TOPSOIL PLACEMENT**

- A. SPREADING:**
- TOPSOIL SHALL BE SPREAD EVENLY ON THE PREPARED AREAS TO A MINIMUM DEPTH OF 6 INCHES AFTER MACHINE COMPACTION. SPREADING SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN OR EXCESSIVELY WET. AFTER SPREADING, ANY LARGE, STIFF CLOUDS OR HARD LUMPS SHALL BE BROKEN UP AND THE GROUND SHALL BE HAND OR MACHINE RAKED TO REMOVE ALL DEBRIS, STONES, AND FOREIGN MATTER LARGER THAN 1 INCH TO A DEPTH OF 4 INCHES.
- B. FINISH GRADING:**
- GRADE THE AREAS TO FINISH GRADES FILLING AS NEEDED OR REMOVING SURPLUS DIRT AND FLOATING AREAS TO A SMOOTH UNIFORM GRADE. ALL LAWN AREAS SHALL SLOPE TO DRAIN. WHERE NO GRADES ARE SHOWN, AREAS SHALL HAVE A SMOOTH AND CONTINUAL GRADE BETWEEN EXISTING OR FIXED CONTROLS (SUCH AS WALKS, CURBS, OR WALLS). RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE EVEN LAWN SURFACES. ALL FINISH GRADES SHALL MEET THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE SEED IS SOWN OR SOD IS PLACED.
- C. SEED BED PREPARATION:**
- AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDDED SHALL BE LOOSENEED TO PROVIDE A ROUGH, FIRM BUT FINELY PULVERIZED SEED BED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED, AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEED BED NOT MORE THAN 48 HOURS AFTER THE SEED BED HAS BEEN PREPARED.
  - IF THERE HAS BEEN A TIME LAPSE BETWEEN THE PLACEMENT OF TOPSOIL AND SEEDING OPERATIONS TO ALLOW IT TO BECOME SETTLED AND COMPACTED ON THE SURFACE, THE AREA TO BE PLANTED WITH SEED SHALL BE THOROUGHLY HARROWED, WORKED TO A DEPTH OF 4 INCHES SO AS TO PROVIDE A SURFACE OF SUCH CONDITION THAT IT WILL ALLOW HAND RAKING AND APPLICATION OF THE SEED IN COMPLIANCE WITH THESE SPECIFICATIONS.

- D. FERTILIZER/SOIL AMENDMENTS:**
- APPLICATION OF FERTILIZER WILL BE IN 2 STAGES. TWO WEEKS PRIOR TO APPLICATION OF SEED, FERTILIZER SHALL BE APPLIED AT THE RATE OF 3 LBS/1000 S.F. FOR TURF AREAS. FERTILIZER SHALL BE APPLIED BY BROADCASTING OR DRILL METHODS. IT SHALL BE APPLIED SEPARATELY FROM THE SEED AND MIXED INTO THE SOIL TO A MINIMUM DEPTH OF 2 INCHES AND MAY BE INCORPORATED AS PART OF THE TOPSOIL PLACEMENT AND SEED BED PREPARATION OPERATIONS. SPRINKLE IMMEDIATELY AFTER INITIAL APPLICATION OF THE FERTILIZER WITH A FINE SPRAY UNTIL GROUND IS THOROUGHLY SATURATED, WITH PARTICULAR CARE TO AVOID RUNOFF ON SLOPING AREAS.
  - THE 2ND APPLICATION WILL FOLLOW THE FOLLOWING SEASON WITHIN THE SPECIFIED WARRANTY PERIOD AT A RATE DETERMINED BY SOIL TEST RESULTS FOR BOTH TURF AND NATIVE GRASS WILDLAND AREAS.
  - APPLICATION OF SUPERPHOSPHATE AND GROUND LIMESTONE SHALL BE APPLIED AT RATES DETERMINED BY SOILS TEST RESULTS.

- E. SEEDING:**
- IMMEDIATELY PRIOR TO THE APPLICATION OF THE SEED, THE SOIL SHALL BE LOOSE TO A DEPTH OF AT LEAST 1 INCH AND FREE FROM ALL MATERIAL AS SPECIFIED. IF SOIL IS TOO LOOSE OR DRY FOR GOOD HANDLING, IT SHOULD BE MOISTENED AND ROLLED LIGHTLY.
  - SEEDING SHALL BE DONE WITHIN THE SPECIFIED TIME PERIODS AND AT THE FOLLOWING RATES:
    - FINE LAWN SEED SHALL BE SOWN AT A RATE OF 3.0 POUNDS PER 1000 SQUARE FEET AND SHALL BE PLANTED IN THE SPRING FROM APRIL 1ST TO MAY 30TH OR IN THE FALL FROM AUGUST 16TH TO OCTOBER 1ST.
    - NATIVE SEED MIX SHALL BE SOWN AT A RATE OF 5.0 POUNDS PER 1000 SQUARE FEET AND SHALL BE PLANTED IN THE SPRING FROM APRIL 1ST TO MAY 30TH OR IN THE FALL FROM AUGUST 16TH TO OCTOBER 1ST.

- F. METHODS:**
- SEEDING BY DRILL IS PREFERABLE, HOWEVER, HYDRAULIC SEEDING OR BROADCASTING WILL BE PERMITTED. BROADCAST SEEDING AND HYDRAULIC SEEDING SHALL NOT BE USED DURING ADVERSE WEATHER.
  - AREAS SOWN BY HYDRAULIC OR BROADCAST METHODS WILL BE VISUALLY INSPECTED FOR UNIFORMITY OF APPLICATION. AREAS WHICH FAIL TO REVEAL AN AVERAGE OF TWO SEEDS PER SQUARE INCH WILL BE RESOWN AT NO ADDITIONAL EXPENSE TO THE OWNER.
  - THE APPLIED SEED, REGARDLESS OF APPLICATION, SHALL NOT BE COVERED BY A SOIL THICKNESS NO GREATER THAN 1/2 INCH.
  - SEEDING BY DRILL:
    - SEEDING EQUIPMENT USED FOR APPLYING GRASS SEED MUST BE DESIGNED, MODIFIED, OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED. SEED MUST BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. ALL GRASS ESTABLISHMENT EQUIPMENT SHALL BE OPERATED PERPENDICULAR TO THE SLOPE DRAINAGE. A DRILL SHALL BE NO WIDER THAN THE WIDTH OF THE AREA WHICH IT IS TO EQUIPATE. THE ROWS OF PLANTED SEEDS SHALL BE A MAXIMUM OF 8 INCHES APART AND SHALL BE AT RIGHT ANGLES TO THE FINISHED SLOPES.

- 5. BROADCAST SEEDING:**
- WHEN SEED IS SOWN BY BROADCASTING, EXERCISE GREAT CARE THAT A UNIFORM DISTRIBUTION OF SEED IS OBTAINED. SEEDING SHALL BE DONE ON A STILL DAY USING A HAND OR MACHINE TYPE SEEDER WITH ONE HALF OF THE SEED FOR EACH AREA BEING SOWN AT RIGHT ANGLES TO THE OTHER HALF. SEED DISTRIBUTION BY BROADCASTING SHALL BE COVERED WITH 1/4 TO 1/2 INCH OF SOIL. THE SEED MAY BE COVERED BY RAKING, DRAGGING, OR BY APPROPRIATE MECHANICAL MEANS.
  - HYDRAULIC SEEDING:
    - WHEN HYDRAULIC SEED IS USED, SEED AND MULCH SHALL BE APPLIED IN SEPARATE AND DISTINCT OPERATIONS EXCEPT FOR THE FOLLOWING:
      - THE CONTRACTOR MUST PREPARE ONE POUND OF MULCH PER EACH THREE GALLONS OF WATER IN THE HYDROSEEDER AS A CUSHION AGAINST SEED DAMAGE. THE MULCH USED AS A CUSHION MAY BE PART OF THE TOTAL REQUIRED MULCH WITH THE REMAINDER APPLIED AFTER THE SEED IS METERING DURING APPLICATION.
      - THE CONTRACTOR MAY APPLY MULCH AND LAWN SEED MIX HYDRAULICALLY IN A SINGLE APPLICATION, PROVIDING ONE HALF OF THE SEED HAS BEEN SOWN BY BROADCAST OR DRILL METHODS AS AN INITIAL APPLICATION AND THE RATE OF APPLICATION OF LAWN SEED MIX INCREASED BY 4 POUNDS PER 1000 SQUARE FEET.
      - THE APPLICATION OF THE SEED SLURRY SHALL BE MADE WITH EQUIPMENT HAVING A BUILT-IN AGITATION SYSTEM AND OPERATING CAPACITY SUFFICIENT TO AGITATE, SUSPEND AND HOMOGENEOUSLY MIX A SLURRY CONTAINING WATER, SEED, AND MULCH OF SEED. THE SLURRY SHALL BE SPRAYED OVER THE SOIL IN A UNIFORM COAT. ALL HYDRAULICALLY SEED AREAS SHALL BE HYDROMULCHED UPON COMPLETION.

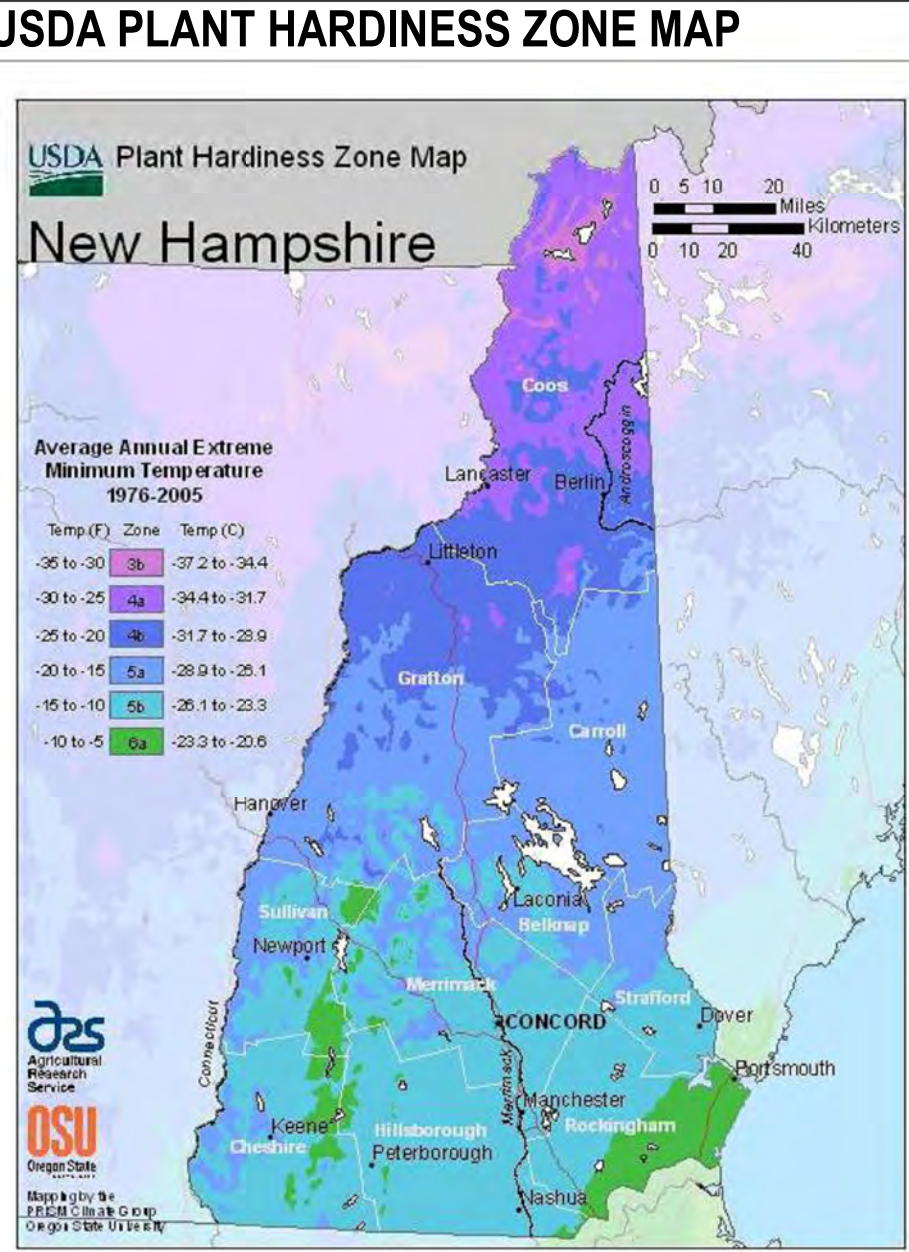
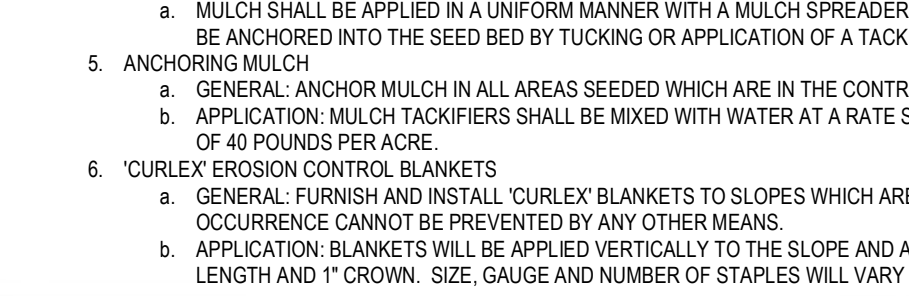
- G. WATERING:**
- WATERING IMMEDIATELY AFTER SEEDING OR MULCHING WITH A FINE SPRAY TO A DEPTH OF 6 INCHES. AVOID RUNOFF ON SLOPING AREAS.
  - THE SURFACE LAYER OF THE SOIL MUST BE KEPT DAMP BY FREQUENT LIGHT WATERING DURING THE GERMINATION PERIOD AND UNTIL PLANTS ARE FIRMLY ROOTED.
- H. PROTECTION:**
- PROTECT ALL SEEDED AREAS BY ERECTING TEMPORARY FENCES, BARRIERS, SIGNS, ETC. AS NECESSARY TO PREVENT TRAMPLING. THEY SHALL REMAIN IN PLACE FOR AT LEAST SIX WEEKS UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE LANDSCAPE ARCHITECT.

- I. MULCHING:**
- GENERAL:
    - MULCH ALL HYDROSEEDED AREAS, DRAINAGE SWALES, SLOPES 4:1 OR STEEPER, AND ANY AREAS WHERE LIKELY HAZARD OF EROSION EXISTS. TOPSOIL OR SEED WHICH WASHES OUT FOR REASONS ATTRIBUTABLE TO THE CONTRACTOR'S ACTIVITIES OR FAILURE TO TAKE PROPER PRECAUTIONS, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
    - ALL STRUCTURES SHALL BE PROTECTED FROM HYDRAULIC APPLICATION OF MULCH MATERIAL AND MATERIAL DEPOSITED ON FACILITIES SHALL BE REMOVED.
    - MULCH SHALL NOT BE APPLIED IN THE PRESENCE OF FREE SURFACE WATER, BUT MAY BE APPLIED ON DAMP GROUND.
  - APPLICATION OF ORGANIC MULCH:
    - WET APPLICATION: ORGANIC MULCH SHALL BE MIXED WITH WATER AT A RATE OF ONE POUND MULCH (DRY WEIGHT) TO ONE GALLON OF WATER HYDRAULICALLY APPLIED AS PER MANUFACTURERS RECOMMENDATIONS AT A MINIMUM RATE OF 2000 POUNDS PER ACRE.
    - DRY APPLICATION: ORGANIC MULCH SHALL BE BROADCAST AT A MINIMUM RATE OF 2000 POUNDS PER ACRE, AND SHALL BE ROLLED LIGHTLY TO SET FIRMLY INTO THE SOIL.

- 3. APPLICATION OF WOOD CELLULOSE FIBER MULCH:**
- WOOD CELLULOSE FIBER MULCH SHALL BE APPLIED HYDRAULICALLY. IT SHALL BE MIXED WITH WATER AT THE RATE SPECIFIED BY THE MANUFACTURER AND SHALL BE MIXED IN STANDARD HYDRAULIC MULCHING EQUIPMENT TO FORM A HOMOGENEOUS SLURRY. THE SLURRY SHALL BE SPRAYED UNIFORMLY OVER THE SURFACE AT A MINIMUM RATE OF 1800 POUNDS PER ACRE.
- 4. APPLICATION OF VEGETABLE MULCH:**
- MULCH SHALL BE APPLIED IN A UNIFORM MANNER WITH A MULCH SPREADER AT A MINIMUM RATE OF 1-1/2 TONS PER ACRE WHERE REQUIRED MULCH SHALL BE ANCHORED INTO THE SEED BED BY TUCKING OR APPLICATION OF A TACKIFYING AGENT.
- 5. ANCHORING MULCH:**
- GENERAL: ANCHOR MULCH IN ALL AREAS SEEDDED WHICH ARE IN THE CONTRACTOR'S OPINION HIGHLY SUSCEPTIBLE TO EROSION.
  - APPLICATION: MULCH TACKIFIERS SHALL BE MIXED WITH WATER AT A RATE SPECIFIED BY THE MANUFACTURER AND SHALL BE APPLIED AT A MINIMUM RATE OF 40 POUNDS PER ACRE.

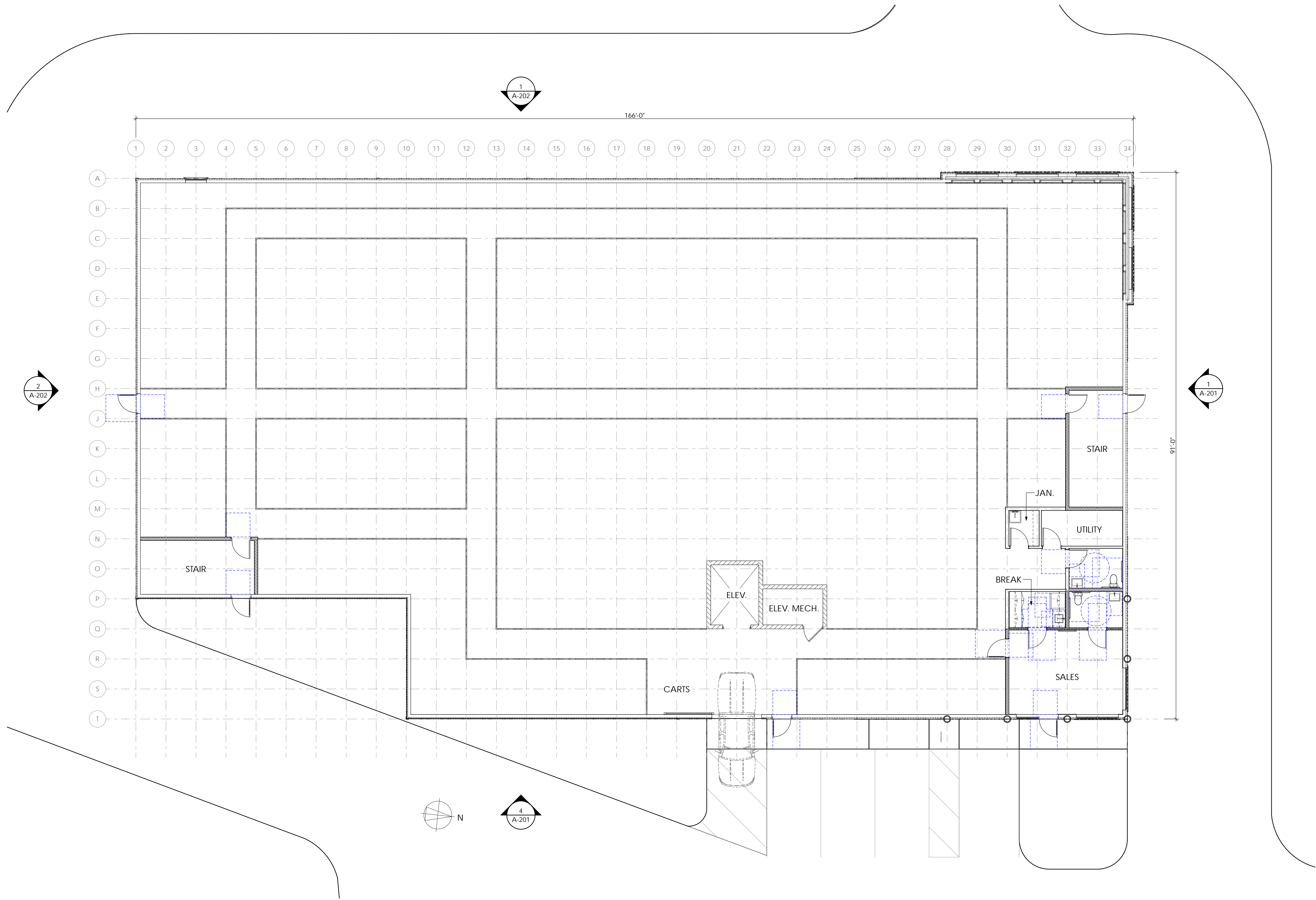
- 6. CURLEX® EROSION CONTROL BLANKETS**
- GENERAL: FURNISH AND INSTALL 'CURLEX' BLANKETS TO SLOPES WHICH ARE IN THE CONTRACTOR'S OPINION HIGHLY SUSCEPTIBLE TO EROSION AND ITS OCCURRENCE CANNOT BE PREVENTED BY ANY OTHER MEANS.
  - APPLICATION: BLANKETS WILL BE APPLIED VERTICALLY TO THE SLOPE AND ATTACHED TO THE SLOPE WITH U-SHAPED METAL STAPLES, WITH LEGS 6" IN LENGTH AND 1" CROWN. SIZE, GAUGE AND NUMBER OF STAPLES WILL VARY WITH GROUND CONDITIONS, SLOPE, ETC.

**USDA PLANT HARDINESS ZONE MAP**



**NH INVASIVE SPECIES WATCH LIST**

SCIENTIFIC NAME	SYNONYMS	COMMON NAME
ABUTILON THEOPHRASTI MEDIK.		VELVETLEAF INDIAN-MALLOW
ACER GINNALA MAXIM.		AMUR MAPLE
AGROSTEMMA GITHAGO L. VAR. GITHAGO	LYCHNIS GITHAGO (L.) SCOP.	COMMON CORNCOCKLE
AIRA CARYOPHYLLEA L.	ASPRIS CARYOPHYLLEA (L.) NASH	COMMON SILVER-HAIRGRASS
ALLIUM VITUECOSA L.		CROW GARLIC
AMORPHA FRUTICOSA L.	AMORPHA FRUTICOSA L. VAR. ANGUSTIFOLIA PURSH; A. FRUTICOSA L. VAR. OBLONGIFOLIA PALMER; A. FRUTICOSA L. VAR. TENNESSEENSIS (SHUTT TLW. EX KUNZE) PALMER	FALSE INDIGO-BUSH
ARALIA ELATA (MIQ.) SEEM.	DIORPHANTHUS ELATUS MIQ.	JAPANESE ANGELICA-TREE
BARBAREA VULGARIS AIT. F.	BARBAREA ARCUATA (OPIZ EX J. & K. PRESL.) REICHENB.; B. STRICTA. OF AUTHORS NOT ANDRZ.; B. VULGARIS VAR. ARCUATA (OPIZ EX J. & K. PRESL.) FRIES; CAMPE BARBAREA (L.) W. WIGHT EX PIPER, C. STRICTA. OF AUTHORS NOT (ANDRZ.) W. WIGHT EX PIPER, ERYSIMIUM BARBAREA L.	GARDEN YELLOW-ROCKET
BRASSICA JUNCEA (L.) CZERN.	BRASSICA JUNCEA (L.) CZERN. VAR. CRISPIFOLIA BAILEY; SINAPIS JUNCEA L.	CHINESE MUSTARD
BRASSICA NIGRA (L.) W.D.J. KOCH	SINAPIS NIGRA L.	BLACK MUSTARD
BROMUS TECTORUM L.	ANISANTHA TECTORUM (L.) NEVSKI	CHEAT BROME
CARDAMINE IMPATIENS L.		NARROW-LEAVED BITTER-CRESS
CENTAUREA JACEA L.	CENTAUREA DEBEAUXII GREIN. & GODR. SSP. THULLIERI DOSTÁL; C. JACEA L. SSP. DECIPIENS (THUILL.) CELAK.; C. JACEA L. SSP. PRATENSIS CELAK.; C. PRATENSIS THUILL.; C. THULLIERI (DOSTÁL) J. DUVOID; & LAMBINON: CYANUS JACEA (L.) P. GAERTN.; JACEA PRATENSIS LAM.	BROWN KNAPWEED
CENTAUREA NIGRA L.	JACEA NIGRA (L.) HILL	BLACK KNAPWEED
CHELIDONIUM MAJUS L.	CHELIDONIUM MAJUS L. VAR. LACINIATUM (P. MILL.) SYME; C. MAJUS L. VAR. PLENUM WEHRHANN	GREATER CELANDINE
CIRSILUM PALUSTRE (L.) SCOP.	CHELIDONIUM PALUSTRE L.	MARSH THISTLE
CIRSILUM VULGARE (SAVI) TEN.	CARDIUS LANCEOLATUS L.; C. VULGARIS SAVI; CIRSILUM LANCEOLATUM (L.) SCOP.	COMMON THISTLE
CONVOLVULUS ARVENSIS L.	STROPHOCALOUS ARVENSIS (L.) SMALL	FIELD BINDWEED
CYTISUS SCOPARIUM (L.) L'NIK	SPARTIUM SCOPARIUM L.	SCOTCH BROOM
DIGITARIA SANGUINALIS (L.) SCOP.	PANICUM SANGUINALE L.	HAIRY CRABGRASS
EICHHORNIA CRASSIPES (MART.) SOLMS-LAUBACH	EICHHORNIA SPECIOSA KUNTH; PIAROPUS CRASSIPES (MART.) RAF.	COMMON WATER-HYACINTH
ELYMUS REPENS (L.) GOULD	AGROPYRON REPENS (L.) GOULD; ELYTRIGIA REPENS (L.) DESV. EX B.D. JACKSON; TRITICUM REPENS L.	CREeping WILD-RYE
EPILOBIUM HIRSUTUM L.		HAIRY WILLOW-HERB
EPPACTIS HELLEBORINE (L.) CRANTZ	EPPACTIS LATIFOLIA (L.) ALL.; SERAPIAS HELLEBORINE L.	BROAD-LEAVED HELLEBORINE
EUONYMUS EUROPAEUS L.		EUROPEAN SPINDLE-TREE
EUONYMUS FORTUNEI (TURCZ.) HAND.-MAZZ	EUONYMUS FORTUNEI (TURCZ.) HAND.-MAZZ VAR. RADICANS (SIEB. EX MIQ.) REHD.; E. FORTUNEI (TURCZ.) HAND.-MAZZ VAR. VEGETUS (REHD.) REHD.; E. RADICANS SIEB. EX MIQ.; E. RADICANS SIEB. EX MIQ. VAR. VEGETUS REHD.	CLIMBING SPINDLE-TREE
FESTUCA FILIFORMIS POURRET	FESTUCA CAPILLATA LAM.; F. OVINA L. VAR. CAPILLATA (LAM.) ALEF.; F. TENUIFOLIA SIBTHORP	FINE-LEAVED SHEEP FESCUE
FIGARIA VERNA HUDS. SSP. FERTILIS (LAWALRÉE EX LAEGAARD) STACE	FIGARIA VERNA HUDS. SSP. BULBIFERA A. & D. LÖVE; RANUNCULUS FIGARIA L. SSP. BULBIFER LAMBINON; R. FIGARIA L. SSP. BULBIFERA (MARDSEN-JONES) LAWALRÉE, AN ILLEGITIMATE NAME; R. FIGARIA VAR. BULBIFERA MARDSEN-JONES	FIG-CROWFOOT
FROELICHA GRACILIS (HOOK.) MOQ.	OPLOTHECA GRACILIS MOQ.	SLENDER COTTON-WEED
GALIUM MOLLUGO L.		WHORLED BEDSTRAW
GLEDITSIA HEDERACEA L.	GLEDITSIA HEDERACEA L. VAR. MICRANTHA MORIC.; G. HEDERACEA L. VAR. PARVIFLORA (BENTH.) HOUSE; NEPETA HEDERACEA (L.) TRIVISAN	GILL-OVER-THE-GROUND
HYLOTELEPHUM TELEPHIUM (L.) H. OGBA	SEDUM PURPUREUM (L.) J.A. SCHULTES; S. PURPURASCENS W.D.J. KOCH; S. TELEPHIUM L.	PURPLE ORPINE
KOCHIA SCOPARIA (L.) SCHRAD.	BASSIA SCOPARIA (L.) A.J. SCOTT; CHENOPodium SCOPARIUM L.; KOCHIA SCOPARIA (L.) SCHRAD. VAR. PUBESCENS FENZL; K. SCOPARIA (L.) SCHRAD. VAR. SUBVILLOSA MOQ.	SUMMER-CYRESS
LAMIUM AMPLEXICAULE L. VAR. AMPLEXICAULE		COMMON HENBIT
LAMIUM PURPUREUM L.	LAMIUM DISSECTUM WITH.; L. HYBRIDUM, OF AUTHORS NOT VILL.	RED HENBIT
LONICERA XYLOSTEMUM L.		FLY HONEYSUCKLE
LUPINUS POLYPHYLLUS LINDL. VAR. POLYPHYLLUS	LUPINUS PALLIDIPES HELLER; L. POLYPHYLLUS LINDL. VAR. ALBIFLORUS L.H. BAILEY; L. POLYPHYLLUS LINDL. VAR. PALLIDIPES (HELLER) C.P. SM.	BLUE LUPINE
LYCHNIS FLOS-CUCULI L. SSP. FLOS-CUCULI	CORONARIA FLOS-CUCULI (L.) A. BRAUN; SILENE FLOS-CUCULI (L.) CLAIRVILLE	RAGGED ROBIN LYCHNIS
LYSIMACHIA ARVENSIS (L.) U. MANNS & A. ANDERB.	ANAGALLIS ARVENSIS L.; A. ARVENSIS L. VAR. CAERULEA (SCHREB.) GREIN. & GODR.; A. CAERULEA SCHREB.	SCARLET PIMPERNEL
LYSIMACHIA VULGARIS L.		GARDEN YELLOW-LOOSESTRIFE
MISCANTHUS SINENSIS ANDERS.	MISCANTHUS SINENSIS ANDERS. VAR. GRACILLIMUS A.S. HITCHC.	CHINESE SILVERGRASS
MYCELIS MURALIS (L.) DUMORT.	LACTUCA MURALIS (L.) FRESEN.	WALL-LETTUCE
MYOSOTIS SCORPIOIDES L.	MYOSOTIS PALUSTRIS (L.) HILL	WATER FORGET-ME-NOT
NASTURTIIUM OFFICINALE AIT. F. VAR. MICROPHYLLUM (BOENN. EX REICHENB.) THELLUNG; RORIPPA MICROPHYLLA (BOENN. EX REICHENB.) HYL. EX A. & D. LÖVE		ONE-ROWED WATER-CRESS
NASTURTIIUM OFFICINALE AIT. F.	BAELUERTA NASTURTIIUM-AQUATICUM (L.) HAYEK; RORIPPA NASTURTIIUM-AQUATICUM (L.) HAYEK; SISYMBRIUM NASTURTIIUM-AQUATICUM L.	TWO-ROWED WATER-CRESS
ONENANTHE JAVANICA (BLUME) DC		JAVA WATER DROPWORT
PERSICARIA LONGISETA (BRUIJN) KITAGAWA	PERSICARIA CAESPITOSA (BLUME) NAKAI VAR. LONGISETA (BRUIJN) REED; POLYGONUM CAESPITOSUM BLUME VAR. LONGISETUM (BRUIJN) STEWARD; P. LONGISETUM BRUIJN	ORIENTAL LADY'S-THUMB SMARTWEED
PHELLODENDRON AMURENSE RUPR.	PHELLODENDRON AMURENSE RUPR. VAR. SACHALINENSE F. SCHMIDT; P. JAPONICUM MAXIM.; P. SACHALINENSE (F. SCHMIDT) SARG.	AMUR CORKTREE
POA COMPRESSA L.		FLAT-STEMMED BLUE GRASS
POA NEMORALIS L.		WOOD BLUE GRASS
POPULUS ALBA L.	POPULUS ALBA L. VAR. BOLLEANA LAUCHE	WHITE POPLAR
RANUNCULUS REPENS L.	RANUNCULUS REPENS L. VAR. DEGENERATES SCHUR; R. REPENS L. VAR. ERECTUS DC.; R. REPENS L. VAR. GLABRATUS DC.; R. REPENS L. VAR. PLENIFLORUS FERN.; R. REPENS L. VAR. VILLOSIUS LAMOTTE	SPOT-LEAVED CROWFOOT
RAPHANUS RAPHANISTRUM L. SSP. RAPHANISTRUM		WILD RADISH
RHINANTHUS MINOR L. SSP. MINOR	RHINANTHUS CRISTA-GALLI L. IN PART; R. CRISTA-GALLI L. VAR. FALLAX (WIMMER & GRAB.) DRUCE; R. STENOPHYLLUS (SCHUR) SCHINZ & THELLUNG	LITTLE YELLOW-RATTLE
RUMEX ACETOSELLA L		



1 FLOOR PLAN - MAIN LEVEL  
SCALE: 1/8" = 1'-0"

603 STORAGE  
30 WILTON ROAD • MILFORD • NH



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SCHEMATIC

REV. #	DESCRIPTION	DATE

FLOOR PLAN - MAIN LEVEL

ISSUED: 8/3/22  
PROJECT #: 2022.007

A-101



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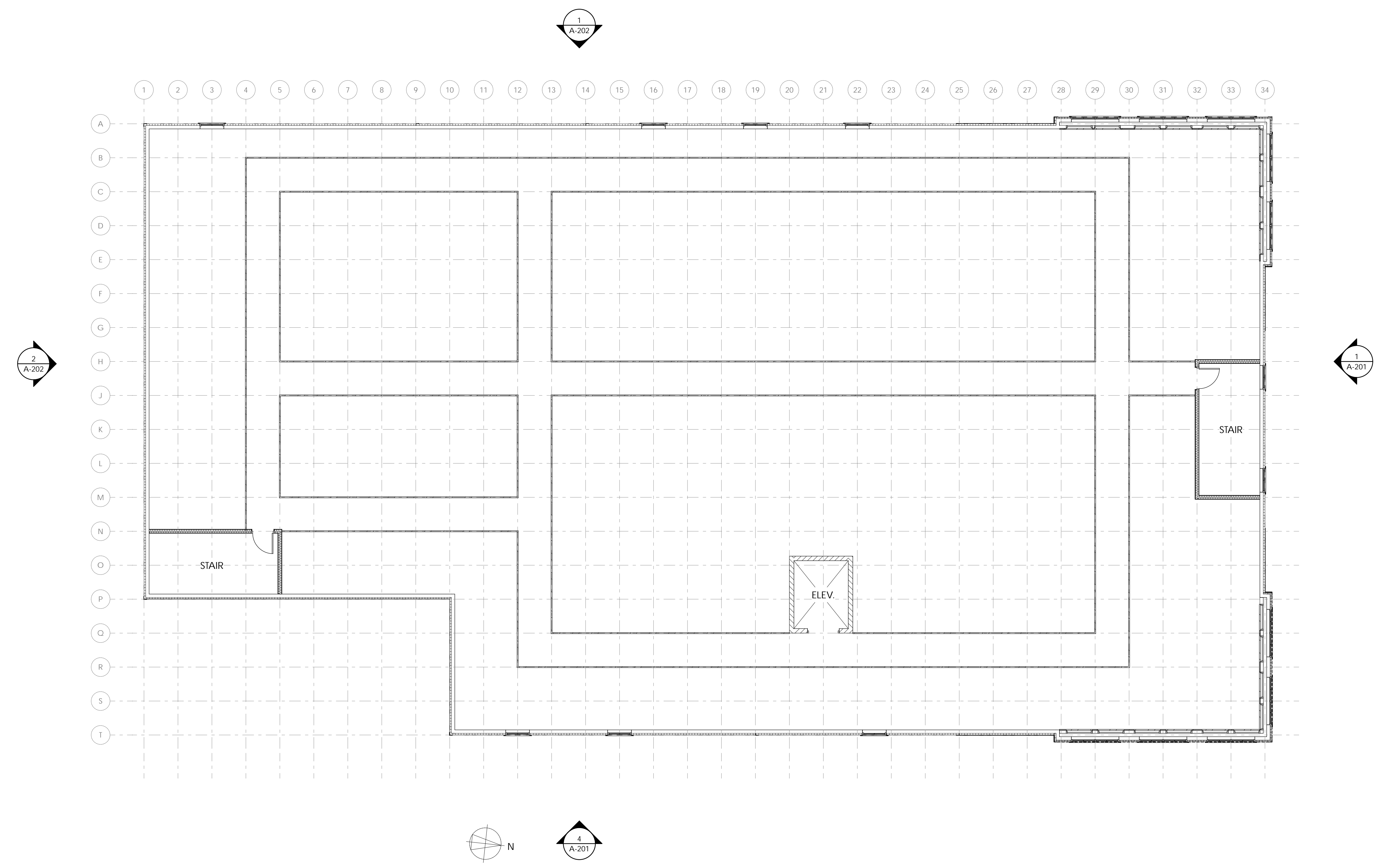
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SCHEMATIC

REV #	DESCRIPTION	DATE

FLOOR PLAN - SECOND LEVEL

ISSUED: 8/3/22  
PROJECT #: 2022.007



1 FLOOR PLAN - SECOND LEVEL  
SCALE: 1/8" = 1'-0"





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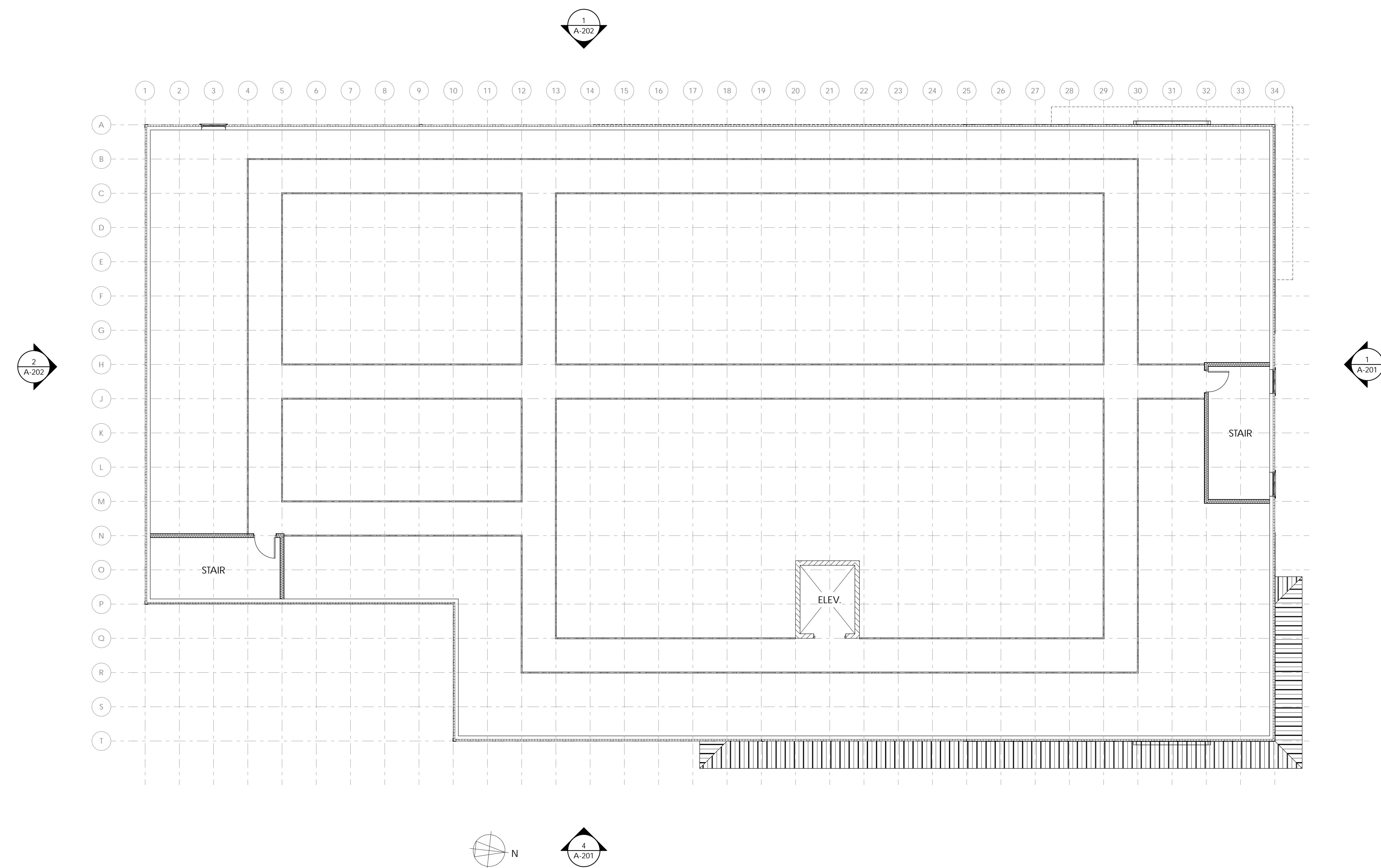
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SCHEMATIC

REV #	DESCRIPTION	DATE

FLOOR PLAN - THIRD LEVEL

ISSUED: 8/3/22  
PROJECT #: 2022.007



1 FLOOR PLAN - THIRD LEVEL  
SCALE: 1/8" = 1'-0"



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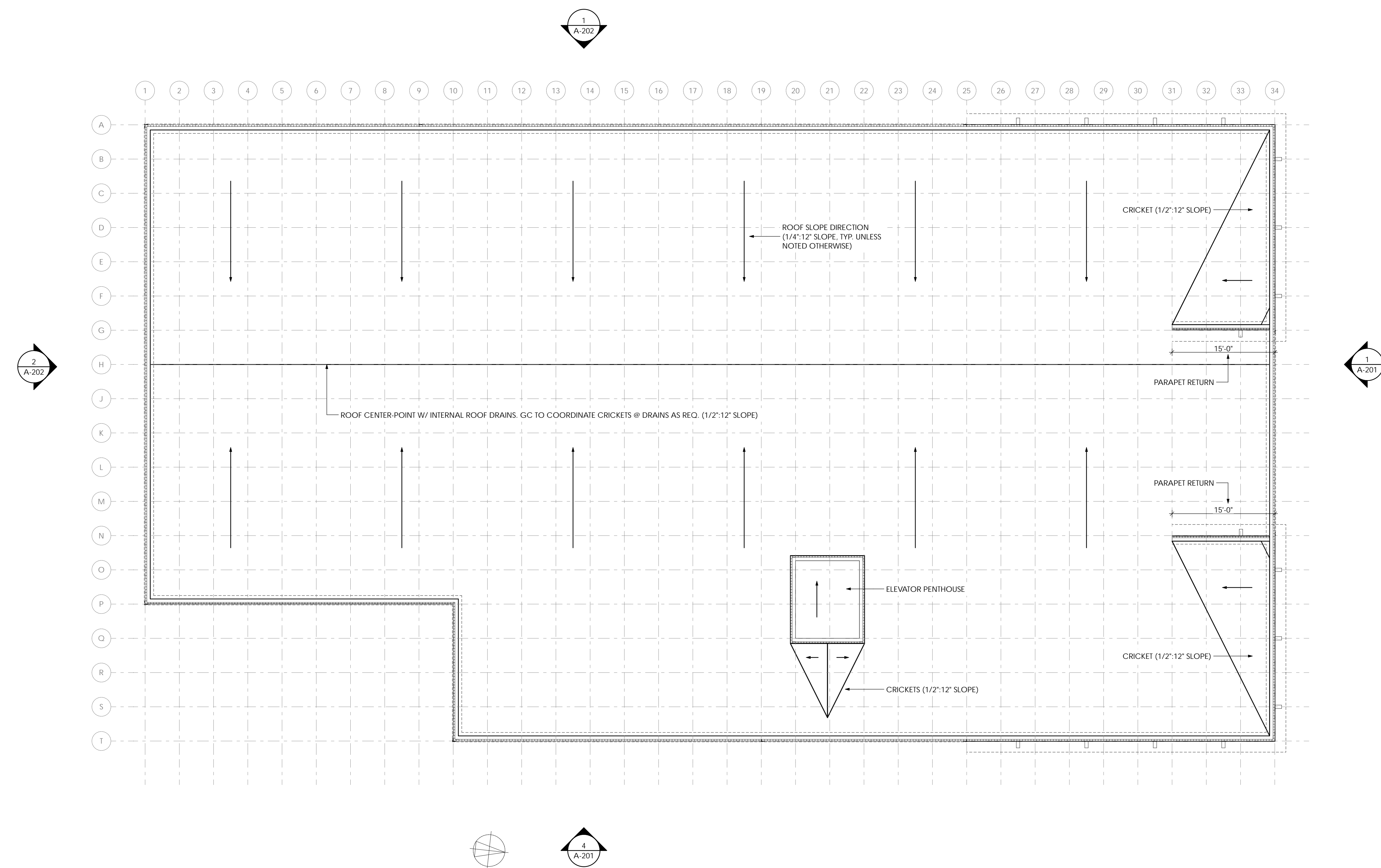
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SCHEMATIC

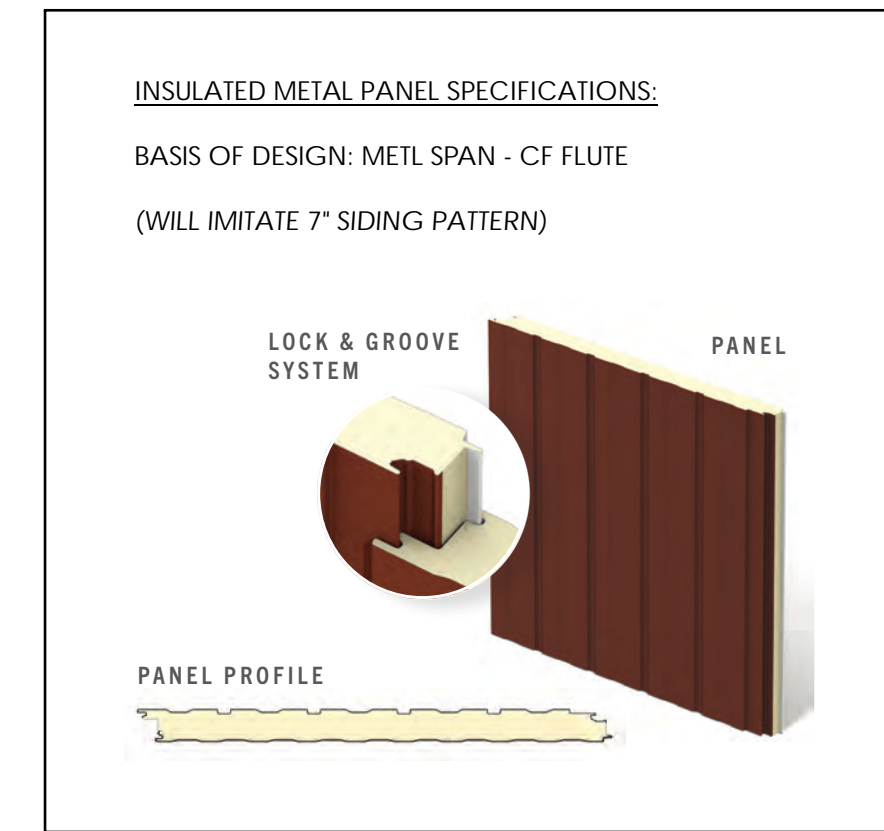
REV. #	DESCRIPTION	DATE

ROOF PLAN

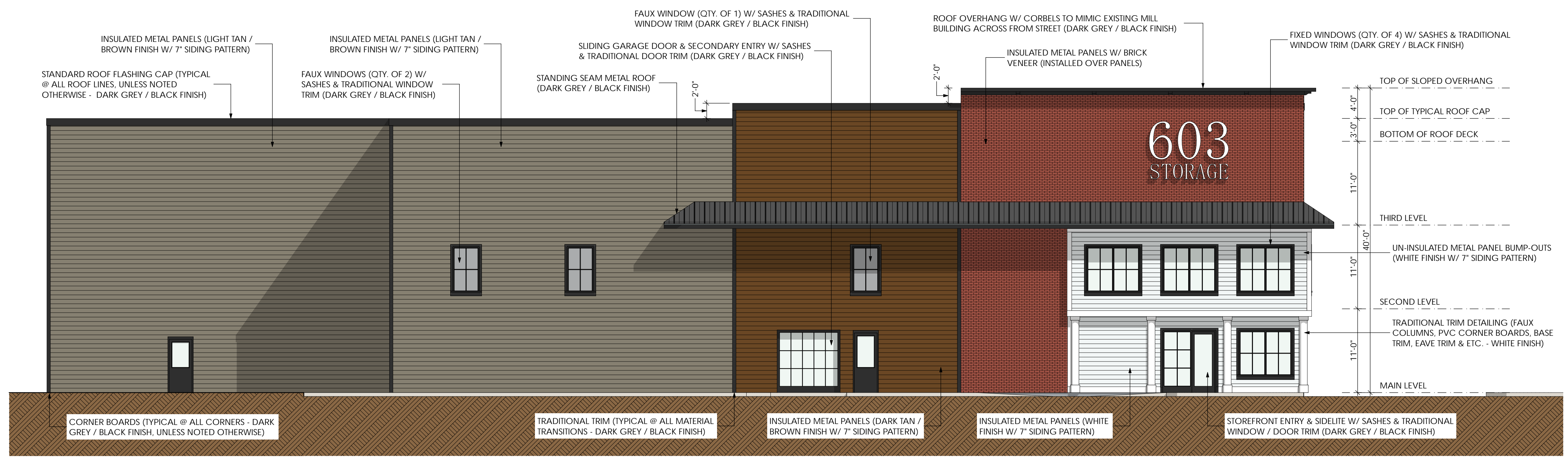
ISSUED: 8/3/22  
PROJECT #: 2022.007



1 ROOF PLAN  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
 SCALE: 1/8" = 1'-0"

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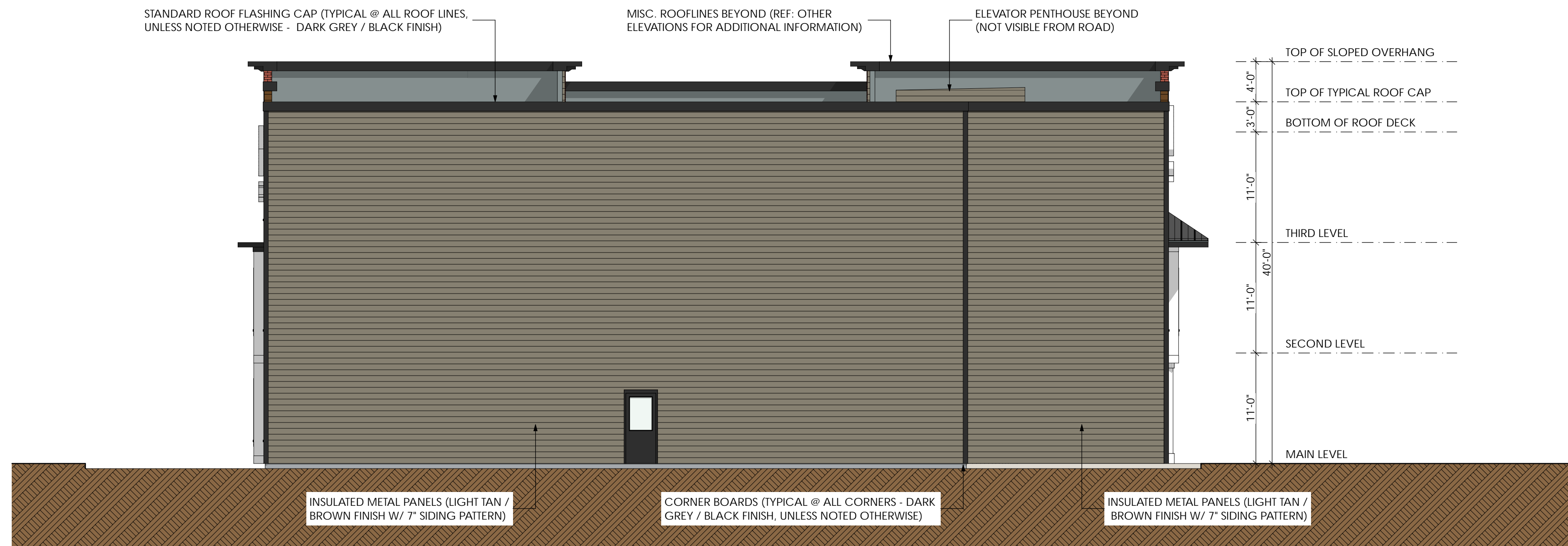
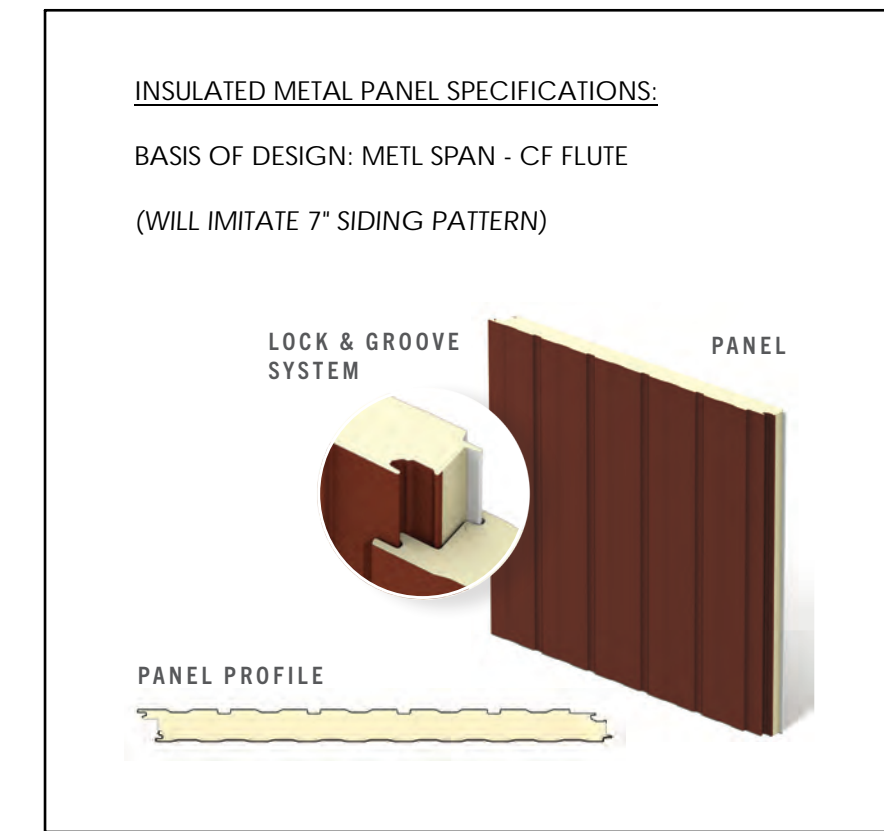
SCHEMATIC

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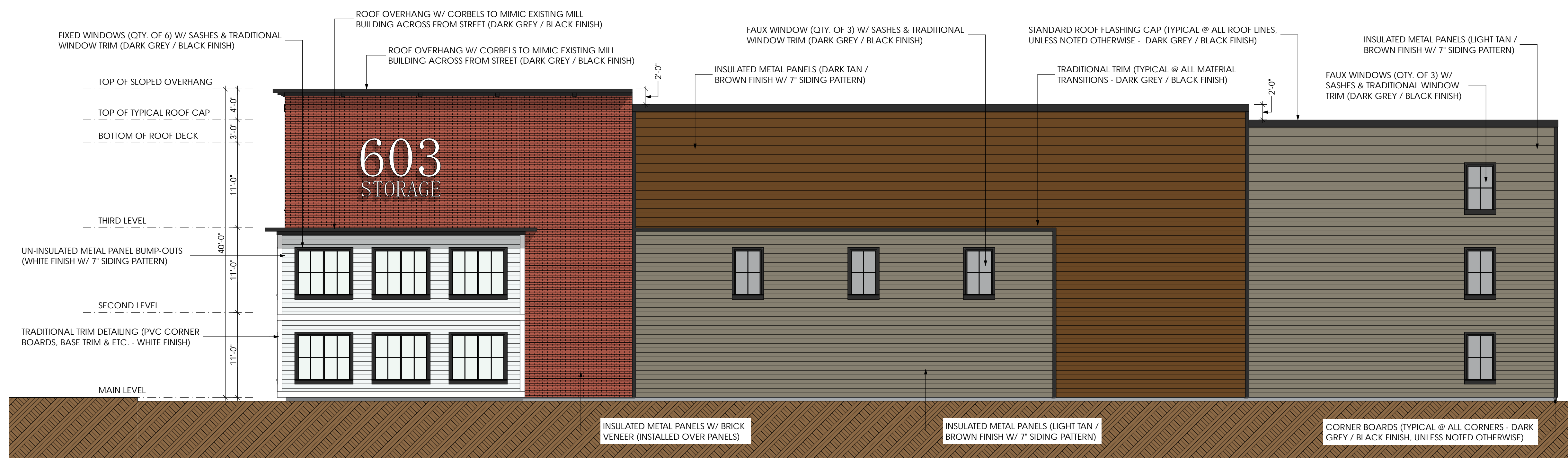
ELEVATIONS

ISSUED: 8/3/22  
 PROJECT #: 2022.007

A-201



2 NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION  
 SCALE: 1/8" = 1'-0"

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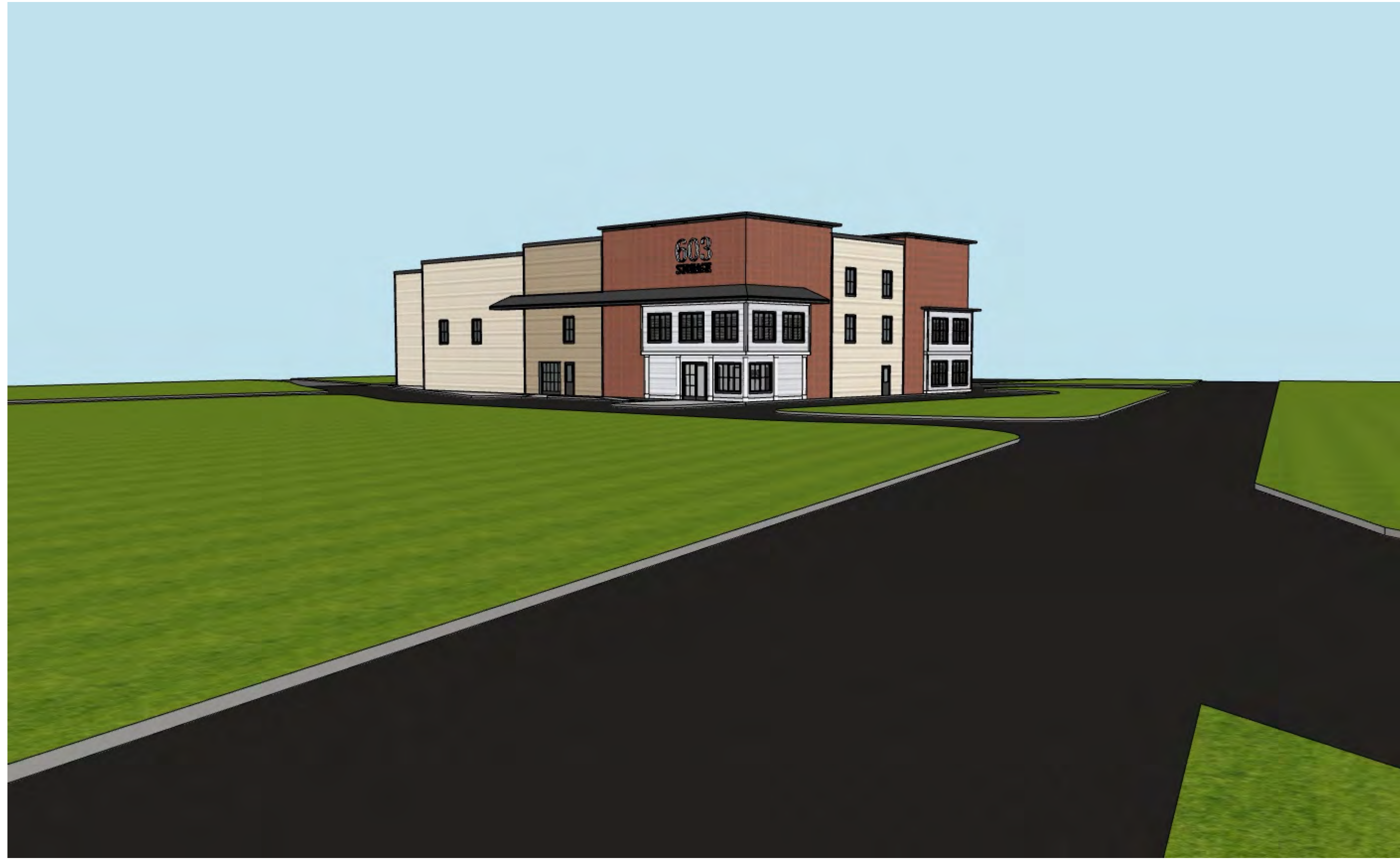
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SCHEMATIC

REV #	DESCRIPTION	DATE

ELEVATIONS

ISSUED: 8/3/22  
 PROJECT #: 2022.007



3 PERSPECTIVE



4 PERSPECTIVE



1 PERSPECTIVE



2 PERSPECTIVE

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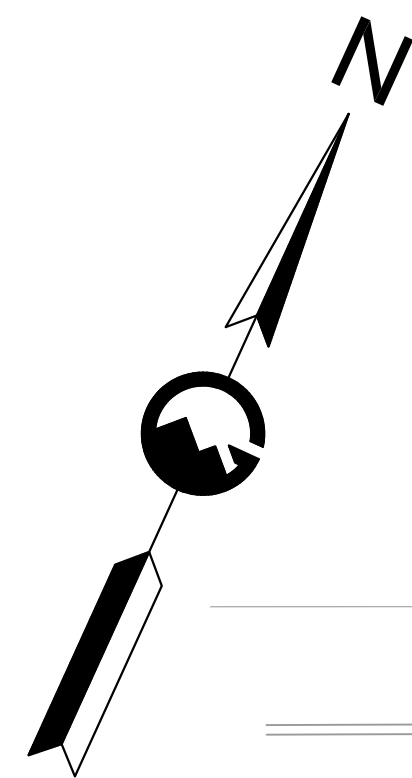
**SCHEMATIC**

REV #	DESCRIPTION	DATE

**PERSPECTIVES**

ISSUED: 8/3/22  
PROJECT #: 2022.007

X-001



TAX MAP 6  
LOT 48-2

WILTON (CLASS V) ROAD

NORTH RIVER ROAD  
(CLASS V)

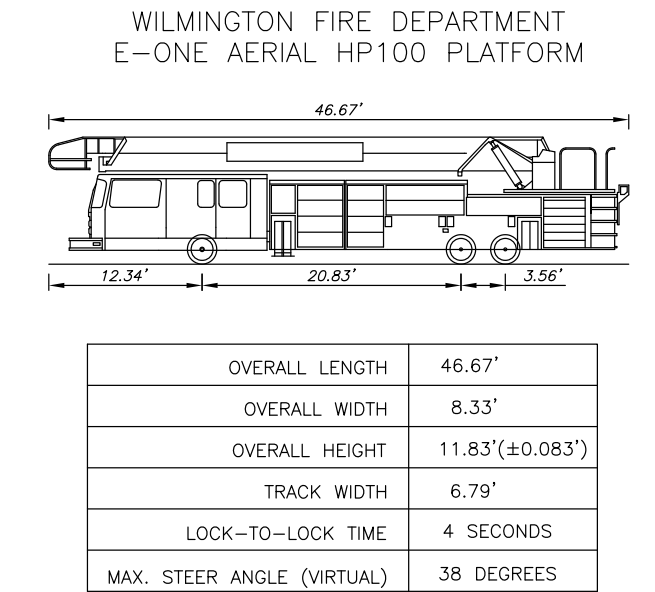
TAX MAP

TAX MAP 6  
LOT 14-1

TAX MAP 6  
LOT 14  
276,773 SF  
6.354 AC

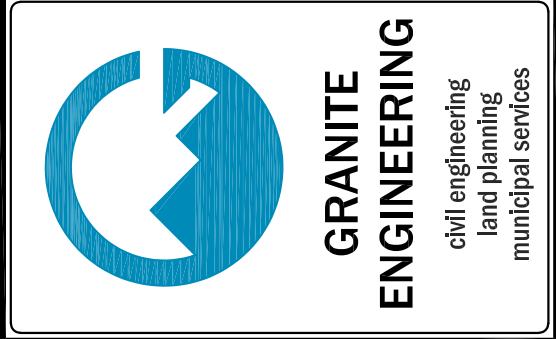
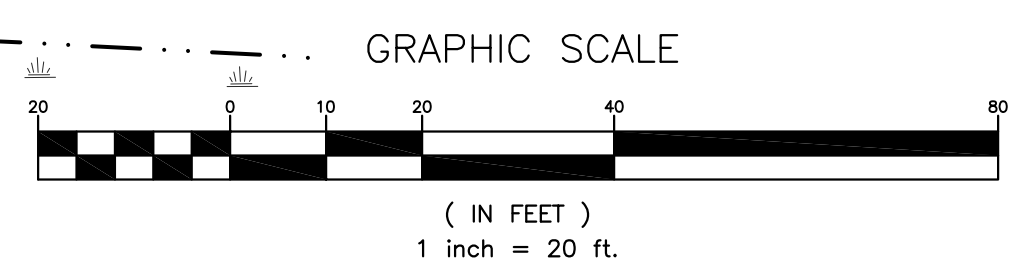
EXISTING INFILTRATION DRAINAGE SYSTEM

BOSTON & MAINE RAILROAD



- LEGEND**
- EX. UTILITY POLE
  - PROP. WALL MOUNTED LIGHT
  - EX./PROP. WATER VALVE
  - EX. HYDRANT
  - EX./PROP. SIGN
  - EX. SEWER MANHOLE
  - EX./PROP. DRAIN MANHOLE
  - EX./PROP. CATCH BASIN
  - EX./PROP. BOLLARD

- ABUTTER LINE
- PROPERTY LINE
- MIN. BUILDING SETBACK
- EX. EDGE OF PAVEMENT
- EX. GUARD RAIL
- EX. GRAVEL
- EX. WETLAND
- WETLAND BUFFER
- EX. LANDSCAPE BUFFER
- EX. BUILDING
- EX. EASEMENT
- PROP. EDGE OF PAVEMENT
- PROP. STORMWATER MANAGEMENT AREA
- PROP. BITUMINOUS CURB
- PROP. BUILDING
- PROP. CONCRETE
- EX. RIP RAP
- PROP. RIP RAP
- PROP. ASPHALT SIDEWALK
- PROP. TREELINE



NO.	DATE	BY	COMMENTS
0	05/23/2022	TD	PROJECT SUBMITTAL
1	08/09/2022	TD	REVISED PER TOWN COMMENTS

OWNER & APPLICANT:  
30 WILTON ROAD LLC  
55 HIGH STREET  
PITTSFIELD, NH 05263  
BOOK 9471 PAGE 2225

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150 Dow Street, Tower 2, Suite 421  
Manchester, New Hampshire 03101  
603.518.8030  
www.GraniteEng.com

STAMP:

LOCATION: TAX MAP 6 LOT 14  
30 WILTON ROAD  
MILFORD, NEW HAMPSHIRE  
HILLSBOROUGH COUNTY

PROJECT: **STORAGE SENSE - MILFORD WEST**

TITLE: **FIRE TRUCK TURN**

PROJECT No. DATE: 21-0630-1 MAY 23, 2022  
SHEET: 1 OF 1  
SCALE: HORIZ. 1"=20'



**GRANITE ENGINEERING, LLC**  
civil engineering • land planning • municipal services

August 9th, 2022

Milford Planning Department  
1 Union Square  
Milford, New Hampshire 03055

RE: **Storage Sense – Milford West**  
**Tax Map 6 Lot 14**  
**30 Wilton Road**  
**Milford, New Hampshire**  
GE Project No. 2106301

Dear Mr. Daley,

We are in receipt of your review letter to the Planning Board, dated June 16, 2022. The message contains comments relative to the review of the site plan application for Storage Sense – Milford West, located at 30 Wilton Road. In response to the comments made by the various departments in Milford, we offer the following explanations and/or responses:

Town Engineering Consultant (KV Partners)

1. Existing Infiltration Basin #1 has different outlet structure openings and basin dimensions indicated in the hydraulic analysis from pre vs. post construction conditions, however, no modifications to the existing outlet structure or basin were found on the plans. Also, the existing outlet structure inverts do not match the existing conditions plan. Please clarify.

**The HydroCAD analysis has been revised in both pre- and post-construction conditions to match the existing conditions plan with regards to inverts and basin dimensions. Additionally, the plans proposed a change to the rim elevation of the outlet structure and the coring of a new orifice at the outlet control structure of Existing Infiltration Basin #1, see Sheets #1 & #5.**

Fire Department

1. The building will be required to have a sprinkler system installed. Plans must be provided for review and approval.

**Noted. Plans will be provided.**

## Public Works

1. Project will require a Town Street Opening Permit.

### **Noted.**

2. Ensure that all plantings do not impact sight distance for access/egress along Wilton Road.

**Plantings have been located set back from the edge of Wilton Road as to not impair any sight distance for vehicles entering/exiting the site.**

3. The plan should incorporate pedestrian activity along Wilton Road.

**Pedestrian connectivity has been provided in coordination with the Planning Board and town staff. The project is proposing to extend the sidewalk from Dollar General to the approximate area where a crosswalk across Wilton Road will be constructed in the future, when pedestrian demand merits development. The project also provides layouts and designs for future improvements, including the crosswalk and a sidewalk extension to the bridge to the east of the property on Wilton Road. These improvements are to be constructed when pedestrian demand necessitates the additional infrastructure, at which time the design will need to be reevaluated to meet current local, state, and federal pedestrian standards and guidelines.**

## Community Development/Planning

1. Sheet 1 and 4. Please confirm if the proposed internal roadway connecting the existing storage facility with the proposed building conflicts with ability to construct said road over the underground penstock. Will additional access/maintenance easement(s) be required? If yes, please revise the plans accordingly and submit draft easement.

**The proposed internal roadway has been graded to remain above the existing grade in the area, which allows the road to be constructed over the existing penstock without impact. The proponent is currently coordinating with the neighboring property owner to evaluate the best way to update/maintain the existing access/utility easement. The proponent will update the town and Planning Board as progress is made.**

2. Sheet 1 and 4. Please explain the reason for not aligning the proposed driveway entrance with North River Road within the existing access easement area?



**Based on subsequent discussions with town staff, the town engineering consultant and the Planning Board, the alignment of the proposed driveway across from North River Road would create an unsafe situation for turning movements and could impact other areas of the existing storage facility given the significant grade change. Additionally, there are significant utilities in the area, including the 96" CMP penstock, that could be impacted by the desired alignment.**

**The current resubmission package includes an alternative option, which omits the proposed paved driveway near the North River Road intersection. Based on discussions with the town and the 2<sup>nd</sup> Planning Board hearing for this project, the project will provide a gravel access road near the intersection to maintain the current access conditions for the neighbor to the rear, similar to what they use today. The public will not use this gravel entrance, and they will enter the subject property through the existing storage facility to the driveway to the east or use the Dollar General driveway and existing access easement to enter the property.**

3. General Comment – Per the 8/27/16 Planning Board approval for the initial self-storage facility site plan for Map 6, Lot 14, Condition 1.c. states that the “applicant shall work with the Community Development to finalize the design and location of future bus stop shelter. Should an easement to accommodate future bus turnouts and shelters may be required, the applicant shall submit an access and maintenance easement to Community Development for review and approval.”

This has yet to be completed and would appear to be an opportunity to incorporate said bus shelter and potential bus turn out into the proposed site to provide multi-modal transportation for residents to access goods/services (e.g. storage facilities, Dollar General, and Mill Building) and residences (Mill Building Apartments).

**In subsequent discussions with town staff, the project is proposing to create an easement to allow the future construction of a bus stop and shelter going eastbound on Wilton Road. This proposed easement has been shown on the revised plans and has been sized to provide room for a bus pullout, shelter and required regrading of the area.**

4. General Comment – Pedestrian Connectivity. Pursuant to Section 7.03 Sidewalks of the Development Regulations, the Planning Board may require sidewalks for pedestrian traffic to provide a connection between the main entrances of business, housing or industrial establishments, parking areas and along public roadways. Further, the Planning Board may also require sidewalks from the road to the main building entrance or along the road frontage if there is a reasonable expectation that pedestrian patrons, residents, neighbors, employees would be traveling to or from the site. Sidewalks and pedestrian connectivity is further emphasized in the West Elm Street Overlay District.

**The project is proposing the construction of sidewalks along the Wilton Road frontage in order to extend what Dollar General has constructed to date. The project also provides layouts and designs for future improvements, including the crosswalk and a sidewalk extension to the bridge to the east of the property on Wilton Road. These improvements are to be constructed when pedestrian demand necessitates the additional infrastructure, at which time the design will need to be reevaluated to meet current local, state, and federal pedestrian standards and guidelines.**

5. Sheets 1, 4-7. Please revise the plans accordingly to include the location of the underground penstock.

**Plans have been updated.**

6. Sheet 4. Please explain the reason for locating the proposed propane pad and tank as shown on the plan in close proximity to the building. In addition, it is recommended that protective bollards be installed around concrete pad.

**Plans have been updated to show the propane tank in a different location away from the building. Bollards will be added as protection.**

7. Sheet 8. Please revise the plan set to include the engineering and construction details for the lights. Include the manufacturing photographs of each proposed light.

**Plans have been updated, see Sheet 9.**

8. General Comment – Please explain if LID practices were considered as part of the drainage/stormwater and landscape design. More specifically it would appear that opportunities exist to utilize portions of the landscaped areas for treatment and infiltration of stormwater. In addition, were there considerations to design a functional raingarden in lieu of or in addition to the proposed detention basin?

**Due to the presence of the existing 96” CMP penstock and limited space for the development, the project proposed to use a surface sand filter to maximize infiltration possibility for stormwater on the site. The surface sand filter has been converted to a rain garden to provide a more vegetated LID solution.**

9. General Comment – Proposed Signage. Please include the proposed design, construction, and engineering details associated with the monument sign, directional signage and wall signage.

**Noted. Plans have been updated to include any directional or navigational signage details. There are no new monument signs proposed on the site,**

**the site will continue to use the existing sign on the eastern side of the property.**

10. Sheet LA 101 – Snow Storage. The plans show a snow storage location east of the main access drive. Please clarify and describe the anticipated process for snow removal. A note should be added to the plan detailing said removal process. It is recommended that the snow removal company be a Certified Green Snow Professional.

**Snow Storage areas have been shown on Sheet 4, along with a note describing the procedure for snow removal and recommended a Certified Green Snow Professional.**

11. Sheet LA 101. The proposed landscape design does not currently include any plantings along the building. Pursuant to Section 6.08.6 of the Development Regulations, landscaping shall be provided along all building frontage. A minimum of one (1) shrub for every five (5') feet of building frontage shall be provided. In instances where it is not possible to locate all required shrubs along the building frontage due to doorways, walkways or other impervious surfaces, the required shrubs shall be utilized within the parking lot or landscape buffers. Please revise the plan accordingly or submit a waiver request.

**Plans have been updated and shrub plantings have been provided where possible on the site. See Sheet LA 101.**

12. Sheet LA 101. Pursuant to Development Regulations, Section 6.08.8.A of the Development Regulations, please confirm that all plant stock meets the ANSI Z60.1 standard.

**See Sheet LA 103, note 1.4.B.2, all plant stock meets ANSI Z60.1.**

13. Sheet LA 101. Please add a note to the plan stating the following, "Any landscape element that dies, or is otherwise removed, shall be promptly replaced with the same, if not similar to, height or texture element as originally intended. In addition, landscaped areas shall be kept free of all debris, rubbish, weeds and overgrown turf grass."

**Note has been added. See Sheet LA 101.**

14. Sheet LA 101. Pursuant to the Development Regulations, Section 6.08.5.B.1, a landscaped buffer shall be at least ten (10') feet in width and six (6') feet in height to effectively screen from adjacent properties and may consist of evergreens, berms, mounds, fencing or combinations thereof in conjunction with complimenting shrubs and perennials. The buffer along the westerly property line is less than the required 10; (9' wide green buffer plus 1' cape cod berm) and contains no

screening. The plan should be revised to comply with said section or request a waiver.

**Noted. Plans have been updated.**

15. General Comment – Zoning Ordinance, Section 6.07.6.E.2 Building Massing, Form, Height. Pursuant to Section 6.07.06.E.2, to enhance the character of new development and the corridor, the building scale should be reduced introducing small-scaled architectural features, creating an irregular footprint and variations in roof forms and height of roof elements.

Please explain how the side elevations of the building meet these design standards and what alternatives were considered.

**Through two Planning Board hearings, the building massing and shape has undergone several changes based on suggestions from the Planning Board. The design utilizes canopies, changes in color, and stepping along the roof to create an irregular footprint and showing variations in the roof features.**

16. General Comment – Zoning Ordinance, Section 6.07.6.E.3 Architectural Features and Materials. Pursuant to Section 6.07.06.E.3, long expanses of repetitive architectural elements and flat unarticulated wall surfaces shall be avoided. Please explain how the side elevations of the building meet this requirement and what alternatives were considered. Please modify the plan in compliance with this section or request a waiver from said section.

**Based on suggestions from the Planning Board through two hearings, the design utilizes canopies, changes in color, and stepping along the roof to create an irregular footprint and showing variations in the roof features. This helps to avoid long expanses of repetitive architectural elements along the side elevations of the structure.**

17. General Comment – Zoning Ordinance, Section 6.07.6.E.8 Windows. Consideration should be given to adding windows or other architectural features to the side elevations to break up the walls.

**The structure has added true windows where possible along the front and sides of the building and has included faux windows in other locations to increase to amount of window features on the structure.**

18. General Comments – Section 6.07.6.E.11 Screening. Pursuant to Section 6.07.06.E.11, states that all rooftop air conditioning, heating and large mechanical equipment, building accessories, and refuse shall have noise reduction screening and be screened from public view and have noise reduction screening. Please identify on the plans where the anticipated roof mounted units will be located.

Further, please provide building design and construction details for sound and visual screening mitigation for all roof mounted mechanical units.

**The rooftop overhangs will shield any rooftop equipment from view from the roadway. HVAC equipment and the elevator penthouse are shielded.**

19. General Comments – Building Design and Elevations

- a. Roof Form and Materials – Section 6.07.E.7 of the Zoning Ordinance and the Development Regulations, Section 6.04.3 state that rooflines shall be characteristically sloped and articulated with architectural features such as dormers, chimneys, gables, cupolas, etc. Further, flat roofs are strongly discouraged unless the Planning Board finds that a proposal can provide appropriate visual appeal. In addition, rooflines shall not run in continuous planes and shall be broken into appropriately scaled masses. Please explain how the front and side roof lines of building meet these requirements. Further, please discuss what alternative building designs were considered for the location, corridor, and in context with Milford's architectural heritage.

**The project team has worked with the Planning Board to modify the original proposal and now includes a roof with stepped levels. In addition to having steps, the roof aligns with a change in materials and color along the building siding at each step. This creates a more pleasant appeal, and closely aligns with the materials found on buildings in the project area (like the existing mill building across Wilton Road). The building also utilizes lower level canopies to provide more sloped and terraced architectural features to better fit in with the typical style found in Milford.**

20. General comment – Zoning Ordinance, Section 6.07.06.F.1 Access Management. Please provide an internal turning radius template analysis showing the turning movements for WB-50 design vehicle.

**Based on subsequent discussions with town staff, the project utilized an oversized ladder truck for vehicle movements around the property. A WB-50 truck was modeled for rear property access via the proposed gravel driveway. Please see the attached vehicle turn exhibits.**

We trust the noted plan revisions and/or explanations will adequately address the conditions listed above. Should you have any further questions or comments, please do not hesitate to contact this office.

Best Regards,

Brenton Cole, P.E.  
*Principal Engineer*



Storage Sense – Milford West | 30 Wilton Road  
Narrative in Support of Conditional Use Permit for Self-Storage Use in ICI District

West Milford Self-Storage is an existing self-storage facility in Milford, located at 30 Wilton Road. The subject property, Milford Tax Assessor's Map 6 Lot 14, is approximately 6.35 acres in area and is situated in the Integrated Commercial-Industrial District (ICI). The existing site includes several buildings of self-storage units, and the proposal includes the construction of a climate-controlled self-storage facility on the remainder of the parcel. 30 Wilton Road, LLC, the applicant and owner of the parcel, proposes this addition that will maintain the use that currently exists on site. The Milford Zoning Ordinance, Section 7.13, states that self-storage facilities are permitted in the ICI District through the Conditional Use Permit process. The Applicant is submitting this application with the Major Site Plan Application and Stormwater Management Permit Application, in accordance with the Milford Zoning Ordinance. The following requirements in Section 7.13.4 have been listed below and the proponent offers the following statements of compliance with each item:

- 1. The use of the premises shall be limited to storage only, and shall not be used to manufacture, fabricate, or process goods; service or repair vehicles or boats, trailers, small engines or electrical equipment, or to conduct similar repair activities;***

The property will not be used for any other purpose than storage.

- 2. No auctions, garage sales or retail sales of any kind, with the exception of the property owner liquidating abandoned contents of a storage unit, shall be allowed on site;***

The property will not be used for any other purpose than storage.

- 3. No commercial or industrial activity other than that which pertains to the operation and maintenance of the facility shall be allowed on the site;***

The property will not be used for any other purpose than storage.

- 4. An individual self-service storage unit or private postal boxes within a self-service storage facility shall not be considered premises for the purpose of assigning a legal or business address;***

The self-storage units will not have associated private postal boxes or operate as a legal or business address.

- 5. Electrical service to storage units shall be for lighting and climate control only. No electrical outlets are permitted inside individual storage units.***

***Lighting fixtures and switches shall be of a secure design that will not allow tapping the fixtures for other purposes;***

Electrical outlets will not be designed in the storage units and fixtures will be secured to prevent tapping.

- 6. Exterior light fixtures shall comply with Section 6.06 of the Milford Development Regulations;***

Exterior lighting complies with the Milford regulations.

- 7. If the facility abuts residentially zoned property, the facility loading bays, docks or doors shall have appropriate permanent visual mitigation to as to not be visible from the residential property or from public rights-of-way;***

The facility has been situated such that the loading doors are oriented away from residentially zoned properties.

- 8. In order to promote visual compatibility with commercial development allowed in commercial and industrial zones, Self-Storage Facility buildings shall incorporate appropriate landscaping/screening and architectural design features, such as: massing, proportion; façade modulation; exterior building materials and detailing; varied roofline; pedestrian scale; etc.;***

Enclosed in our plan set are architectural plans and landscaping designs that we feel are compatible with surrounding properties.

- 9. All outdoor storage of merchandise or commodities (including motor vehicles) shall be screened from any lot which is in a residence district by a strip at least four (4) feet wide, densely planted with shrubs or trees which are of a type that may be expected to form a year-round dense screen at least six (6) feet high within three (3) years, or by an opaque wall, barrier or uniform fence at least six (6) feet high above finished grade. Such screening shall be maintained in good condition at all times. Such screening or barrier may be interrupted by normal entrances or exits, and shall have no signs hung or attached thereto other than those permitted in the district. As a part of the Site Plan approval, the Planning Board may require additional screening beyond that set forth in Section 6.08 of the Milford Development Regulations if it determines that additional Screening is necessary or appropriate;***

The proposal does not include any outdoor storage.

- 10. Self-storage facilities shall utilize building materials and architectural features which fit into the context of the surrounding properties;***



Enclosed in our plan set are architectural plans that we feel are compatible with surrounding properties.

**11. Except as provided herein, all property storage on the premises shall be entirely within an enclosed building. Open storage of recreation vehicles, boats and storage pods is permitted, subject to the following:**

- a. Storage shall occur only in a designated area which is clearly delineated for open storage;**
- b. Such areas shall not exceed 10 percent of the lot or parcel area;**
- c. Such areas shall be screened from view from property zoned for detached single family residential use and public property, including the public right-of-way;**
- d. Storage shall not occur in required parking spaces, drives, parking lanes nor within required building setback areas;**
- e. No vehicle maintenance, washing or repair shall be permitted;**

The proposal does not include any outdoor or open storage. Proposed storage units are all within the proposed climate-controlled facility.

**12. Vehicle and trailer rental may be permitted on the premises as an accessory use by the Self-Storage Facility owner, subject to review and approval as part of Site Plan Approval. Rental vehicles shall not be parked in required parking spaces, drives or parking lanes.**

The development is not proposing vehicle or trailer rental on the premises as part of this application.

Enclosed in our plan set are architectural plans that we feel are compatible with surrounding properties.

**11. Except as provided herein, all property storage on the premises shall be entirely within an enclosed building. Open storage of recreation vehicles, boats and storage pods is permitted, subject to the following:**

- a. Storage shall occur only in a designated area which is clearly delineated for open storage;**
- b. Such areas shall not exceed 10 percent of the lot or parcel area;**
- c. Such areas shall be screened from view from property zoned for detached single family residential use and public property, including the public right-of-way;**
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- e. No vehicle maintenance, washing or repair shall be permitted;**

The proposal does not include any outdoor or open storage. Proposed storage units are all within the proposed climate-controlled facility.

**12. Vehicle and trailer rental may be permitted on the premises as an accessory use by the Self-Storage Facility owner, subject to review and approval as part of Site Plan Approval. Rental vehicles shall not be parked in required parking spaces, drives or parking lanes.**

The development is not proposing vehicle or trailer rental on the premises as part of this application.



## **TRAFFIC IMPACT MEMORANDUM**

To: Town of Milford, Department of Planning & Community Development  
From: Thomas D'Aguiar, P.E.  
Date: May 23, 2022  
Re: 30 Wilton Road (Storage Sense – Milford West)

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This memorandum summarizes the trip generation and distribution analysis performed for the new building at 30 Wilton Road development. This analysis is provided in accordance with the regulations outlined for the West Elm Street Gateway zoning district in the Town's Zoning Ordinance. This memorandum serves to compare the expected traffic flows in and out of the site in the existing condition versus the proposed condition.

### **Project Description**

The project proposes the construction of a climate-controlled storage facility to supplement the existing storage facility on the same property. The subject property is located at 30 Wilton Road, Tax Map 6 Lot 14.

The subject property is currently occupied by the existing self-storage facility, which was constructed in 2017. The proposed development will provide a new driveway connection to Wilton Road, and will also connect internal roadways to the existing self-storage and the adjacent Dollar General to the west of the subject parcel.

### **Existing Street Network**

The property includes frontage on Wilton Road to the north, and the parcel is abutting some residential properties north of Wilton Road. On all other sides of the property, it is abutted by commercial properties in the Integrated Commercial-Industrial zone. The property is also enclosed to the east by the Souhegan River.

### **Wilton Road**

Wilton Road near the subject property is an east-west running two-lane roadway, with one lane in each direction. The posted speed limit is 25 mph in the vicinity of the site, and the nearest intersection is approximately 600 feet to the east (Wilton Road, Elm Street & NH 101). Driveway access is directly from Wilton Road.

## Sight Distance

The project proposes a new 24' wide driveway on Wilton Road, located to the west side of the site. There is an existing 30'-wide driveway on the eastern side of the site. Sight distance at the proposed driveway meets or exceeds AASHTO stopping sight distance for a 25-mph roadway and Milford Driveway Regulations of 200'.

## Trip Generation

Site generated trip projections were developed for the site based upon the methodologies of the Institute of Transportation Engineers (ITE), Trip Generation Manual (10th Edition, 2017). The ITE Manual is a nationally recognized and locally accepted method for forecasting trip generation for a range of commercial, retail, and residential land uses. The methodological assumptions are developed based upon the observed traffic conditions of other similar developments located throughout the United States. The layout of the proposed site is shown in the attached exhibit. Trip generation was determined for the typical weekday, AM peak hour, and PM peak hour based upon ITE Land Use 151 for Mini-Warehouse. Trip generation was calculated using rates that correlate trip generation to the square footage of storage units within the development. A summary of trip generation is provided within Table 1 for the existing self-storage facility and Table 2 for the additional storage area provided by the new facility, and Table 3 for the net new trips during the typical weekday, and weekday AM and PM peak hours of the adjacent street traffic.

**Table 1 – Existing Conditions Trip Generation Summary**

Time Period	Net Trips (LUC 151 for 38,460 SF)			
	Rate/Unit <sup>1</sup>	In	Out	Total
Weekday Daily <sup>2</sup> (24 hour period)	1.51	29	30	59
Weekday AM Peak Hour <sup>3</sup> (one hour between 7 and 9 a.m.)	0.10	3	1	4
Weekday PM Peak Hour <sup>4</sup> (one hour between 4 and 6 p.m.)	0.17	3	4	7

<sup>1</sup> 1 Unit is 1000 SF of use area

<sup>2</sup> Average rate of 1.51 with direction distribution of 50% entering and 50% exiting

<sup>3</sup> Average rate of 0.10 with direction distribution of 80% entering and 40% exiting

<sup>4</sup> Average rate of 0.17 with direction distribution of 47% entering and 53% exiting

**Table 2 – Proposed Condition Trip Generation Summary**

Time Period	Net Trips (LUC 151 for 80,310 SF)			
	Rate/Unit <sup>1</sup>	In	Out	Total
Weekday Daily <sup>2</sup> (24 hour period)	1.51	61	61	122
Weekday AM Peak Hour <sup>3</sup> (one hour between 7 and 9 a.m.)	0.10	6	3	9
Weekday PM Peak Hour <sup>4</sup> (one hour between 4 and 6 p.m.)	0.17	6	8	14

<sup>1</sup> Unit is 1000 SF of use area

<sup>2</sup> Average rate of 1.51 with direction distribution of 50% entering and 50% exiting

<sup>3</sup> Average rate of 0.10 with direction distribution of 60% entering and 40% exiting

<sup>4</sup> Average rate of 0.17 with direction distribution of 47% entering and 53% exiting

**Table 3 – Net New Trip Generation Summary**

Time Period	Net New Trips		
	In	Out	Total
Weekday Daily (24 hour period)	32	31	63
Weekday AM Peak Hour (one hour between 7 and 9 a.m.)	3	2	5
Weekday PM Peak Hour (one hour between 4 and 6 p.m.)	3	2	5

### Summary and Conclusion

The project proposes the construction of a new, climate-controlled storage facility on the existing self-storage lot at 30 Wilton Road, Milford, NH. The new building will produce an estimated 32 trips in and 31 trips out of the site, when compared to the existing use. The use is not heavily influenced by the weekday peak hours, since there are not many commuters driving to the property when they would normally be driving to and from work.