

3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Hayner/Swanson, Inc.

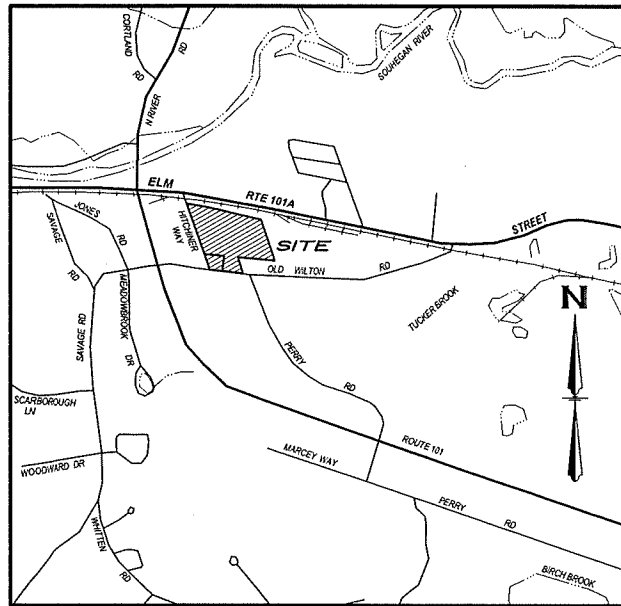


MAP D2, LOT 13-6
 SITE PLAN

ADMINISTRATION BUILDING

594 ELM STREET
 MILFORD, NEW HAMPSHIRE

TOWN OF MILFORD
 RECEIVED
 JAN 22 2024
 PB _____ ZBA _____ Office _____



VICINITY PLAN
 SCALE: 1" = 1,000'

PREPARED FOR/RECORD OWNER

HITCHINER MANUFACTURING CO., INC.

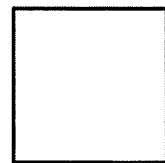
594 ELM STREET
 MILFORD, NEW HAMPSHIRE 03055
 (603) 673-1100
 www.hitchiner.com

18 JANUARY 2024

REVIEW ONLY
 NOT FOR CONSTRUCTION

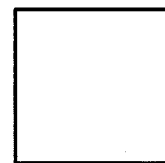
INDEX OF PLANS

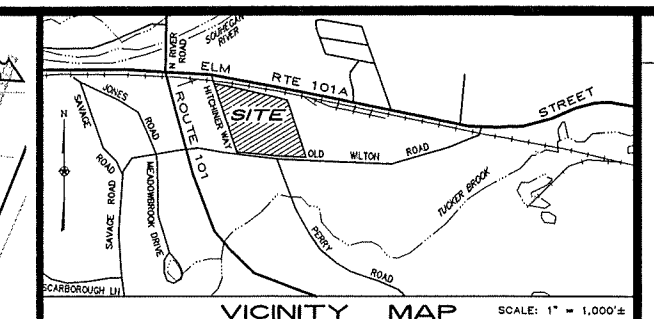
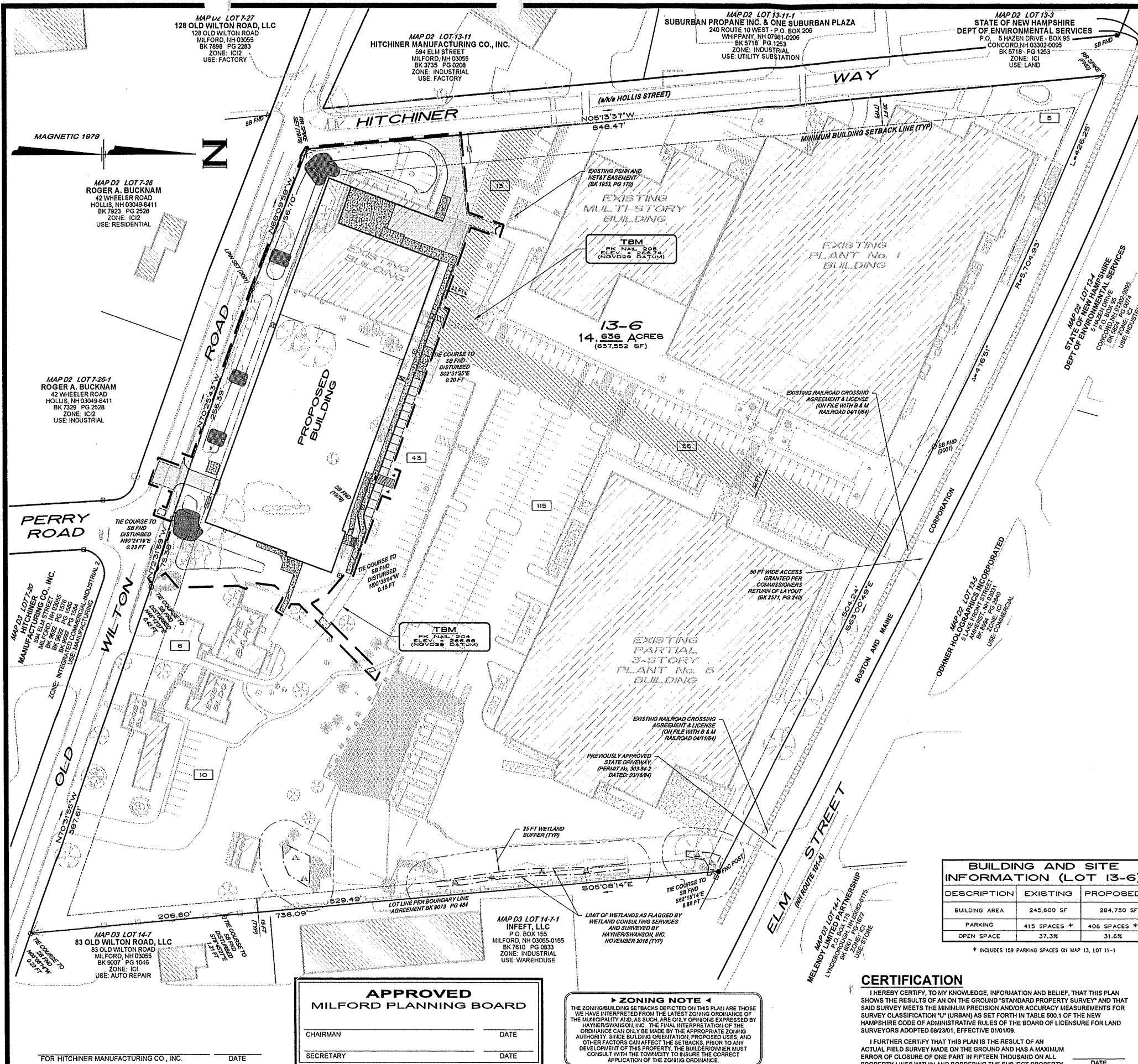
SHEET No.	TITLE	
1 OF 16	MASTER SITE PLAN	1" = 50'
2 OF 16	NOTES AND LEGENDS	
3 OF 16	EXISTING CONDITIONS PLAN	1" = 20'
4 OF 16	SITE DEMOLITION PLAN	1" = 20'
5 OF 16	SITE PLAN - PHASE 1	1" = 20'
6 OF 16	SITE PLAN - PHASE 2	1" = 20'
7 OF 16	EROSION CONTROL PLAN - PHASE I	1" = 20'
8 OF 16	EROSION CONTROL PLAN - PHASE II	1" = 20'
9 OF 16	UTILITY PROFILES	1" = 20' H 1" = 4' V
10-12 OF 16	DETAIL SHEET - GENERAL SITE	
13 OF 16	DETAIL SHEET - EROSION CONTROL	
14 OF 16	LANDSCAPE PLAN	1" = 20'
15 OF 16	DETAIL SHEET - LANDSCAPE	
16 OF 16	PHOTOMETRIC SITE LIGHTING PLAN	1" = 20'



HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com





PLAN REFERENCES:

- SITE PLAN (MAP 13, LOT 6) (12 SHEETS), PROPOSED BUILDING ADDITION, MILFORD, NEW HAMPSHIRE, PREPARED FOR RECORD BY HITCHINER MANUFACTURING COMPANY, INC. MILFORD, NEW HAMPSHIRE, DATED: 24 SEPTEMBER 2010 WITH REVISIONS THRU 22 OCTOBER, 2010, AND PREPARED THIS OFFICE.
- BOUNDARY PLAN ELM STREET (RTE 101) MILFORD, NEW HAMPSHIRE PREPARED FOR HITCHINER MANUFACTURING, DATED: APRIL 3 1979 SCALE: 1" = 50 FT BY ALLAN H. SWANSON, INC.
- PLAN ENTITLED PROPERTY OF JOSEPH E & AMELIA DEVINE OLD WILTON ROAD MILFORD NH SCALE: 1" = 40 FT SURVEYED BY E. SET. JUN 1974 RECORDED: HCRD No 7858
- RIGHT OF WAY AND TRACT MAP, WILTON RR CO., OPERATED BY THE BOSTON AND MAINE RR COMPANY STA 650+00 TO STA 735+00, SCALE: 1" = 100 FT, JUNE 30, 1914
- PLAN ENTITLED GUY HOLDS LOTS, MILFORD, NH BY W. FALCONER, SCALE: 1" = 50' DATED: AUGUST 1947 RECORDED: HCRD No 1632
- ACTIVITY AND USE RESTRICTION PLAN, MAP 13, LOT 8, HITCHINER WAY, MILFORD, NEW HAMPSHIRE, PREPARED FOR: GEONISIGHT, INC., RECORD OWNER: HITCHINER MANUFACTURING CO., INC., DATED: 1 APRIL 2015 AND PREPARED BY THIS OFFICE. RECORDED: HCRD No 38434
- BOUNDARY LINE AGREEMENT PLAN, HITCHINER MANUFACTURING CO. INC., MAP 13 LOT 6 & MAP 14 LOT 8, 83 OLD WILTON ROAD, LLC MAP 14 LOT 7 AND INFERT, LLC MAP 14 LOT 7-1, ELM STREET AND OLD WILTON ROAD, TOWN OF MILFORD, NEW HAMPSHIRE, PREPARED BY: SANDFORD SURVEYING AND ENGINEERING, DATED: JANUARY 18, 2018 RECORDED: HCRD No 39743
- PLANS OF PROPOSED FEDERAL AIDE PRIMARY PROJECT RF-010-106) NH PROJECT No 7501-B DATED: JULY 8, 1977 ON FILE WITH HDOT.

NOTES:

- TOTAL SITE AREA: LOT 13-6 = 14.836 ACRES (637,552 SF)
- PRESENT ZONING: INDUSTRIAL
- MINIMUM LOT REQUIREMENTS:
 - LOT SIZE: 0 SF
 - FRONTAGE: 0 FT
 - MINIMUM BUILDING SETBACKS:
 - FRONT YARD: 30 FT
 - SIDE YARD: 15 FT
 - REAR YARD: 15 FT
- LOT NUMBERS REFER TO TOWN OF MILFORD ASSESSORS MAPS D-2 AND D-3
- PURPOSE OF PLAN:
 - TO AMEND PREVIOUS SITE PLAN APPROVAL, TO DEMOLISH EXISTING 17,000 SF BUILDING AND CONSTRUCT A 27,000 SF PARTIAL 2-STORY MANUFACTURING BUILDING WITH ASSOCIATED PARKING, LIGHTING, UTILITY, STORMWATER MANAGEMENT/DRAINAGE, AND LANDSCAPING IMPROVEMENTS.
- SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND SEWER, TELEPHONE, ELECTRIC AND GAS.
- MONUMENTS, WHERE REQUIRED, TO BE SET BY A LICENSED LAND SURVEYOR.
- REQUIRED PARKING:

EXISTING MANUFACTURING:	EXISTING	PROPOSED
(184,855 SF X 1 SPACE/600 SF)	307 SPACES	307 SPACES
2. PROPOSED MANUFACTURING (NET):		65 SPACES
(39,120 SF X 1 SPACE/600 SF)		
3. OFFICE:	275 SPACES	275 SPACES
(9,100 SF X 3 SPACES/1,000 SF)		
4. RESTAURANT:	17 SPACES	17 SPACES
(50 SEATS X 1 SPACE/3 SEATS)		
TOTAL PARKING REQUIRED:	599 SPACES	664 SPACES
- PARKING PROVIDED:

LOCATION:	EXISTING	PROPOSED
1. PLANTS 1 & 6 (594 ELM STREET)	233 SPACES	204 SPACES
2. SUBURBAN PROPANE LEASE LOT	159 SPACES	159 SPACES
3. METAL CASTING TECHNOLOGY	37 SPACES	37 SPACES
4. ADMINISTRATION	20 SPACES	20 SPACES
5. BARN	6 SPACES	6 SPACES
6. WHITE HOUSE	10 SPACES	10 SPACES
7. 83 OLD WILTON ROAD	80 SPACES	80 SPACES
TOTAL PARKING PROVIDED:	533 SPACES	524 SPACES
- OPEN SPACE:
 - REQUIRED: 30 %
 - EXISTING: 37.3%
 - PROPOSED: 31.6%
- THE PARCEL IS LOCATED WITHIN THE GROUNDWATER (LEVEL 1) PROTECTION AREA AND SHALL COMPLY WITH THE REGULATIONS OF THAT OVERLAY DISTRICT.
- THE PARCEL APPEARS TO BE LOCATED IN ZONE 'X' AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), MILLSBOROUGH COUNTY, TOWN OF MILFORD, NH, COMMUNITY No. 330096, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL NUMBER: 330096 0454 D, DATED: SEPTEMBER 25, 2009 (ZONE 'X' - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
- EXTERIOR LIGHTING SHALL BE DOWNCAST AND DIRECTED 0% TO THE SITE AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF MILFORD REGULATIONS
- ALL LANDSCAPING SHALL BE AS SHOWN ON THE PLAN AND CONFORM TO THE APPLICABLE TOWN OF MILFORD LAND DEVELOPMENT REGULATIONS UNDER SECTION 6.08 OF THE LANDSCAPING STANDARDS.
- THE SITE IS SUBJECT TO A POLICE IMPACT FEE
- THE SITE PLAN IS SUBJECT TO THE ISSUANCE OF A SPECIAL EXCEPTION PERMIT PURSUANT TO THE MILFORD ZONING ORDINANCE, ARTICLE V, SECTION 5.06.2 A.3 TO ALLOW THE REDUCTION OF THE FRONT YARD SETBACK AND ARTICLE II, SECTION 2.03.1C.1 TO ALLOW THE EXPANSION OF A PRE-EXISTING NON-COMFORMING STRUCTURE APPROVED BY MILFORD ZONING BOARD OF ADJUSTMENT ON FEBRUARY 16, 2017 - CASE #2017-03.
- PERMITS:
 - INDEX ALTERATION OF TERRAIN PERMIT No. _____ ISSUED: _____
 - INDEX SEWER CONNECTION PERMIT No. _____ ISSUED: _____
 - MILFORD STORMWATER PERMIT ISSUED: _____
- SITE PLAN APPROVAL IS SUBJECT TO ARTICLE IV, SECTION 2.011, GOVERNING CONDITIONAL AND FINAL SITE PLAN APPROVAL EXPIRATION DATES.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT REGULATIONS.
- AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- PRESENT OWNER OF RECORD:
 - MAP D2, LOT 13-6
 - HITCHINER MANUFACTURING COMPANY, INC.
 - 594 ELM STREET
 - MILFORD, NEW HAMPSHIRE 03055
 - BK 1265 PG 0331
 - BK 1372 PG 0180
 - BK 1653 PG 0276
 - BK 1832 PG 2844
 - BK 9075 PG 1429 (MERGE)
 - BK 2036 PG 102 (LOT 14-6)

BUILDING AND SITE INFORMATION (LOT 13-6)

DESCRIPTION	EXISTING	PROPOSED
BUILDING AREA	245,600 SF	284,750 SF
PARKING	415 SPACES *	406 SPACES *
OPEN SPACE	37.3%	31.6%

* INCLUDES 159 PARKING SPACES ON MAP 13, LOT 11-1

CERTIFICATION

I HEREBY CERTIFY TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY REQUIREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 600.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE _____

LEE B. GAGNON, LLS

APPROVED MILFORD PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

FOR HITCHINER MANUFACTURING CO., INC. DATE _____

ZONING NOTE 4

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

MAP D2 LOT 7-27
128 OLD WILTON ROAD, LLC
128 OLD WILTON ROAD
MILFORD, NH 03055
BK 7858 PG 2283
ZONE: IC12
USE: FACTORY

MAP D2 LOT 13-11
HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK 2735 PG 0209
ZONE: INDUSTRIAL
USE: FACTORY

MAP D2 LOT 13-11-1
SUBURBAN PROPANE INC. & ONE SUBURBAN PLAZA
240 ROUTE 10 WEST - P.O. BOX 206
WHIPPANY, NH 07861-0206
BK 5718 PG 1253
ZONE: INDUSTRIAL
USE: UTILITY SUBSTATION

MAP D2 LOT 13-3
STATE OF NEW HAMPSHIRE
DEPT OF ENVIRONMENTAL SERVICES
P.O. 5 HAZEN DRIVE - BOX 95
CONCORD NH 03301-0095
BK 5718 PG 1253
ZONE: IC1
USE: LAND

MAP D2 LOT 7-26
ROGER A. BUCKNAM
42 WHEELER ROAD
HOLLIS, NH 03049-6411
BK 7329 PG 2528
ZONE: IC12
USE: RESIDENTIAL

MAP D2 LOT 7-26-1
ROGER A. BUCKNAM
42 WHEELER ROAD
HOLLIS, NH 03049-6411
BK 7329 PG 2528
ZONE: IC12
USE: INDUSTRIAL

MAP D3 LOT 14-7
83 OLD WILTON ROAD, LLC
83 OLD WILTON ROAD
MILFORD, NH 03055
BK 8007 PG 1046
ZONE: IC1
USE: AUTO REPAIR

MAP D3 LOT 14-7-1
INFERT, LLC
P.O. BOX 155
MILFORD, NH 03055-0155
BK 7610 PG 0833
ZONE: INDUSTRIAL
USE: WAREHOUSE

MAP D2 LOT 13-6
13-6
14.836 ACRES
(637,552 SF)

MAP D2 LOT 13-4
STATE OF NEW HAMPSHIRE
DEPT OF ENVIRONMENTAL SERVICES
CONCORD, NH 03301
BK 5718 PG 1253
ZONE: IC12
USE: INDUSTRIAL

MAP D2 LOT 13-5
JAMES H. SWANSON, INC.
594 ELM STREET
MILFORD, NH 03055
BK 1265 PG 0331
BK 1372 PG 0180
BK 1653 PG 0276
BK 1832 PG 2844
BK 9075 PG 1429 (MERGE)
BK 2036 PG 102 (LOT 14-6)

MAP D2 LOT 14-7
MELENDY LIMITED PARTNERSHIP
P.O. BOX 171
MILFORD, NH 03055-0171
BK 6801 PG 1672
BK 6801 PG 1672
ZONE: IC1
USE: STORAGE

MAP D2 LOT 13-1
HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK 1265 PG 0331
BK 1372 PG 0180
BK 1653 PG 0276
BK 1832 PG 2844
BK 9075 PG 1429 (MERGE)
BK 2036 PG 102 (LOT 14-6)

REVIEW ONLY
NOT FOR CONSTRUCTION

PREPARED FOR/RECORD OWNER:
HITCHINER MANUFACTURING COMPANY, INC.
594 ELM STREET
MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

MASTER SITE PLAN (MAP D2 LOT 13-6)
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

HIS Hayner/Swanson, Inc.
Civil Engineer/Land Surveyor
1000 State Street
Milford, NH 03055
(603) 673-1100
www.haynerswanson.com

FIELD BOOK: 1219, 1237, 1257 [ENC. LOC.] 1/10/2024 (10:00 AM) (UNITS: US) (SCALE: 1" = 50')
DATE: 1/16/2024
TIME: 11:09 AM
DRAWN BY: JBG
CHECKED BY: JBG
DATE: 15 JANUARY 2024

SURVEY NOTES:

- THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND IN SEPTEMBER 2010 THRU FEBRUARY 2012 AND IS IN ACCORDANCE WITH THE TOWN OF MILFORD, NEW HAMPSHIRE SITE PLAN REGULATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- NGVD29 DATUM HAS BEEN USED FOR THIS PROJECT.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- UTILITY SERVICE LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION.

TOWN OF MILFORD CONTACTS

- PLANNING DEPARTMENT**
MILFORD PLANNING BOARD
TOWN HALL - ONE UNION SQUARE
MILFORD, NH 03055
ATT: TERREY DOLAN
(603) 249-0620
- ENGINEERING DEPARTMENT**
MILFORD DEPT OF PUBLIC WORKS / ENGINEERING
289 SOUTH STREET
MILFORD, NH 03055
ATT: RICK RHEUDEAU, DIRECTOR
(603) 673-1662
- FIRE DEPARTMENT**
MILFORD FIRE DEPARTMENT
39 SCHOOL STREET
MILFORD, NH 03055
ATT: JASON SMEDICK
(603) 249-0683
- CODE ENFORCEMENT OFFICE:**
TOWN OF MILFORD
ONE UNION SQUARE
MILFORD, NH 03055
ATT: TIM HERLIHY,
BUILDING INSPECTOR
(603) 249-0529

UTILITY COMPANY CONTACTS

- WATER/SEWER:**
MILFORD WATER UTILITIES
AND WASTE WATER TREATMENT FACILITY
564 NASHUA STREET
MILFORD, NH 03055
ATT: DAVID BOUCHER, SUPT.
(603) 249-0660
- GAS:**
NATIONAL GRID
PO BOX 339
1260 ELM STREET
MANCHESTER, NH 03103
(877) 658-4743
- TELEPHONE:**
CONSOLIDATED COMMUNICATIONS,
237 DANIEL WEBSTER HWY.
MERRIMACK, NH 03044
(603) 595-1124
- POWER:**
EVERSOURCE
138 ELM STREET
MILFORD, NH 03055
(603) 673-0108

SITE DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. THE CONTRACTOR SHALL COORDINATE WITH TOWN OF MILFORD OFFICIALS ALL WORK INVOLVING WATER SUPPLY, SANITARY SEWER, AND IF NECESSARY STORMWATER MANAGEMENT.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBERGLASS PIPE (HEAT), FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF MILFORD, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, APPROVED AND ADOPTED, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION BOARD OF PUBLIC WORKS, MILFORD, NEW HAMPSHIRE, AND THE STANDARD SPECIFICATIONS FOR SEWERS AND DRAINS, BOARD OF PUBLIC WORKS, MILFORD, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP). CATCH BASINS SHALL BE TYPE B, AND HAVE 3 FT Sumps UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- ALL TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES, VS & PCC, AND ANY STRICTER REQUIREMENTS OF THE WATER AND SEWER COMMISSION, WATER UTILITIES, STANDARD REGULATIONS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE, LATEST EDITION.
- ALL WATER LINE, HYDRANT VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER AND SEWER COMMISSION, WATER UTILITIES, STANDARD REGULATIONS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE, LATEST EDITION.
- ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.

CONSTRUCTION SEQUENCE:

- CLEAR SITE ACCORDING TO PLAN.
- CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES TO BE IN ACCORDANCE WITH THE PLANS. PERIMETER CONTROLS TO BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
- GRUB SITE ACCORDING TO PLAN.
- CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
- CONSTRUCT DETENTION BASINS AND SWALES PRIOR TO ROUGH GRADING IN EACH PHASE. SEED AND MULCH IMMEDIATELY.
- SITE GRADING OF BUILDING AND PARKING AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED AFTER BEING CONSTRUCTED.
- INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "SILT-SACK DETAIL". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED. RIPRAP SHALL BE PLACED AT EACH HEADWALL OUTLET.
- AS THE BUILDING IS COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
- NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 45 DAYS OR GREATER. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO WINTER CONDITIONS. STABILIZATION SHALL BE DEFINED AS 70% VEGETATIVE GROWTH BY NOVEMBER 1ST OR INSTALLATION OF EROSION CONTROL MATTING.
- COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
- ALL PERMANENT STORM WATER MANAGEMENT MEASURES SHALL HAVE A HEALTHY STAND OF VEGETATION ESTABLISHED PRIOR TO DIRECTING RUNOFF INTO THEM.
- FINAL PAVING OF PARKING LOT.
- LOAM AND SEED ALL DISTURBED AREAS.
- INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
- SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF ALL DISTURBED AREAS.
- REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

GENERAL NOTES:

- THE STORM WATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS SECTION 02370 ("SWPPP"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEW HAMPSHIRE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (UPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- LOAM AND MATERIAL STOCKPILE AREAS AS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN TEN (10) DAYS.
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- AN AREA SHALL BE CONSIDERED STABLE ONLY IF THE FOLLOWING HAS OCCURRED:

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CLASS 3042 "ACE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".

LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (E. DIGSAFE)

LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THE INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

ZONING NOTE

THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNESWAGON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USE, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWNSHIPTO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.



LEGEND

EXISTING GROUND CONTOUR
EXISTING SPOT ELEVATION
PROPOSED GRADE
PROPOSED SPOT GRADE
STORM DRAIN & CATCH BASIN
STORM DRAIN & MANHOLES
STORM DRAIN & HEADWALL
STORM DRAIN & END SECTION
SANITARY SEWER & MANHOLES
WATER MAIN & HYDRANT
WATER MAIN & GATE VALVE
GAS LINE & GATE VALVE
UTILITY POLE WITH GUY SUPPORT
STREET LIGHT
LIGHT POLES
OVERHEAD ELECTRIC & TELEPHONE
UNDERGROUND ELECTRIC & MANHOLES
SIGN
N.H. HIGHWAY BOUND
STONE BOUND
CONCRETE BOUND
IRON PII
IRON PIPE
COTTON GII SPINDLE
DRILL HOLE & STONE WALL
STONE BOUND TO BE SET
IRON PII TO BE SET
TEMPORARY BENCHMARK
BUILDING SETBACK LINE
WETLAND FLAGGING LIMIT
WETLAND BUFFER LINE
WARE FENCE
CHAIN LINK FENCE
STOCKADE FENCE
POST & RAIL FENCE
CURBING
VERTICAL GRANITE CURBING
SLOPE GRANITE CURBING
STORMWATER RUNOFF DIRECTION
HANDICAP PARKING SPACE
HANDICAP SIDEWALK RAMP
PARKING SPACE COUNT
STREET ADDRESS
GUARDRAIL
PAVEMENT SAWCUT
REINFORCED CONCRETE
PROPOSED FULL-DEPTH PAVEMENT
PROPOSED PAVEMENT OVERLAY
RIPRAP / STONE
BORING LOCATION & IDENTIFIER
TEST PIT LOCATION & IDENTIFIER
RETAINING WALL
DECORATIVE WALL
DECORATIVE VINYL FENCE
ROCK/BOLDER
TREE LINE
CONIFEROUS TREE
DECIDUOUS TREE
SHRUBS
CENTER LINE STATIONING
LIMIT OF WORK

DATUM NOTE

NGVD29 DATUM HAS BEEN USED FOR THIS PROJECT. TO CONVERT TO NAVD88 DATUM, SUBTRACT 0.83 FT

SIGN LEGEND

TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE HATCO FOR TEXT DIMENSIONS		
	R1-1	30"/30"
	R7-8	12"/18"
	R7-8P	18"/9"
		SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS

ABBREVIATIONS

GENERAL	UTILITY
APPROX APPROXIMATE	CB CATCH BASIN
BIT BITUMINOUS	C.I. CAST IRON PIPE
BM BASEMENT FLOOR ELEVATION	CMP CORRUGATED METAL PIPE
BWL BROKEN WHITE LINE	C.O. CLEANOUT
BYL BROKEN YELLOW LINE	CU COPPER TYPE K WATER PIPE
COHC CONCRETE	DB GR. DOUBLE GRATE
DYL DOUBLE YELLOW LINE	D.I. DUCTILE IRON PIPE
ELEV ELEVATION	DMH DRAIN MANHOLE
EXIST EXISTING	FES FLARED END SECTION
FE FLOOR ELEVATION	HW HEAD WALL
FF FINISH FIRST FLOOR ELEVATION	FMH FORCE MAIN
GF GARAGE FLOOR ELEVATION	HPSE HIGH DENSITY POLYETHYLENE PIPE
MAX MAXIMUM	HYD HYDRANT
MH MINIMUM	INV INVERT
N.T.S. NOT TO SCALE	OCS OUTLET CONTROL STRUCTURE
PERF PERFORATED	PVC POLYVINYL CHLORIDE PIPE
PROP PROPOSED	RPC REINFORCED CONCRETE PIPE
SWL SOLID WHITE LINE	RM ELEVATION
SYL SOLID YELLOW LINE	SMH SEWER MANHOLE
TYP TYPICAL	UGE UNDERGROUND ELECTRIC
WFO WALKOUT FLOOR ELEVATION	UDT UNDERGROUND TELECOMMUNICATIONS
	YD YARD DRAIN

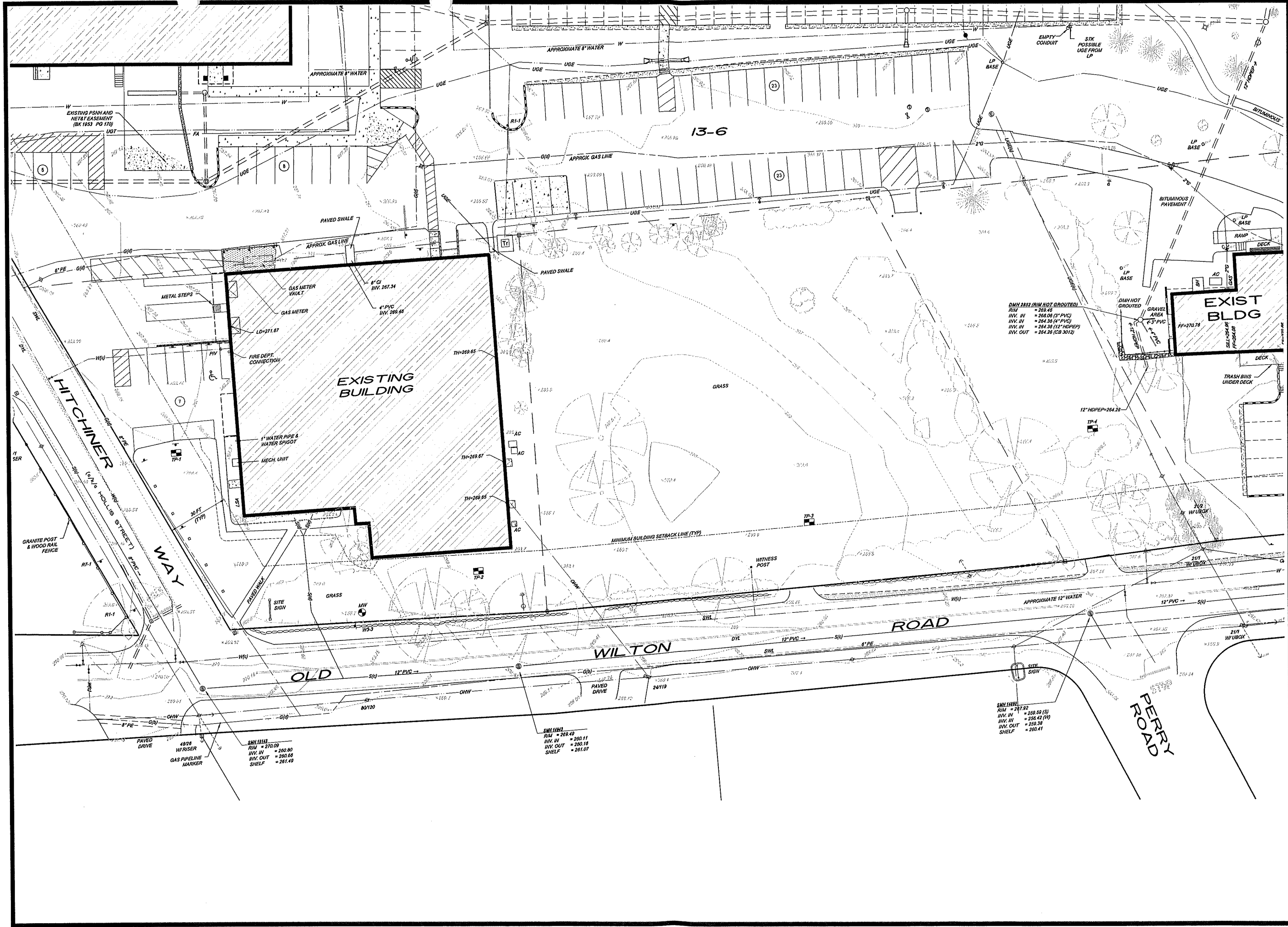
EROSION LEGEND

EXISTING GROUND CONTOUR
PROPOSED GRADE
WETLAND FLAGGING LIMIT
RUNOFF DIRECTION
SILT SOCK
ORANGE CONSTRUCTION FENCE
SILT-SACK INLET PROTECTION DEVICES
GRAVEL CONSTRUCTION EXIT
STABILIZATION MATTING
TEMPORARY STONE CHECK DAM
LIMIT OF WORK

CURB, SIDEWALK & PAVEMENT MARKING LEGEND

VERTICAL GRANITE CURB
SLOPE GRANITE CURB
TIP DOWN CURB & SIDEWALK RAMP
CONCRETE CURB & SIDEWALK
DOUBLE YELLOW LINE
CROSSWALK
PAINTED ISLAND
18" STOP BAR
DETECTABLE WARNING PANELS
PAINTED ARROW

REVIEW ONLY
 NOT FOR CONSTRUCTION
 PREPARED FOR / RECORD OWNER:
HAYNESWAGON MANUFACTURING COMPANY, INC.
 594 ELM STREET
 MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100
 NOTES AND LEGEND SHEET (MAP D2, LOT 13-16)
ADMINISTRATION BUILDING
 594 ELM STREET
 MILFORD, NEW HAMPSHIRE
 HSI HaynesWagon, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03062
 (603) 882-9207
 www.hayneswagon.com
 FIELD BOOK: 1219, 1227 DWG. LOC.: A.1000.01103.001A.103AB
 DATE: 11/09-AB-021
 SHEET: 2 OF 16
 DATE: 18 JANUARY 2024



HISI
 Haynes/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 North Andover, MA 01845
 (603) 883-2027
 www.hisiconsultants.com

FIELD BOOK: 1219, 1257
 DWG. LOC.: 1109-AB-EC2
 Scale: 1" = 20'
 Date: 18 JANUARY 2024
 3 of 16

EXISTING CONDITIONS PLAN
 (MAP 52, LOC. 13-6)
ADMINISTRATION BUILDING
 594 ELM STREET
 MILFORD, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
HITCHINER MANUFACTURING COMPANY, INC.
 594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

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NO.	DATE	REVISION	BY

0 20 40 60 80 FEET



NOTE
FOR SITE DEMOLITION NOTES
SEE SHEET 2 OF 16.



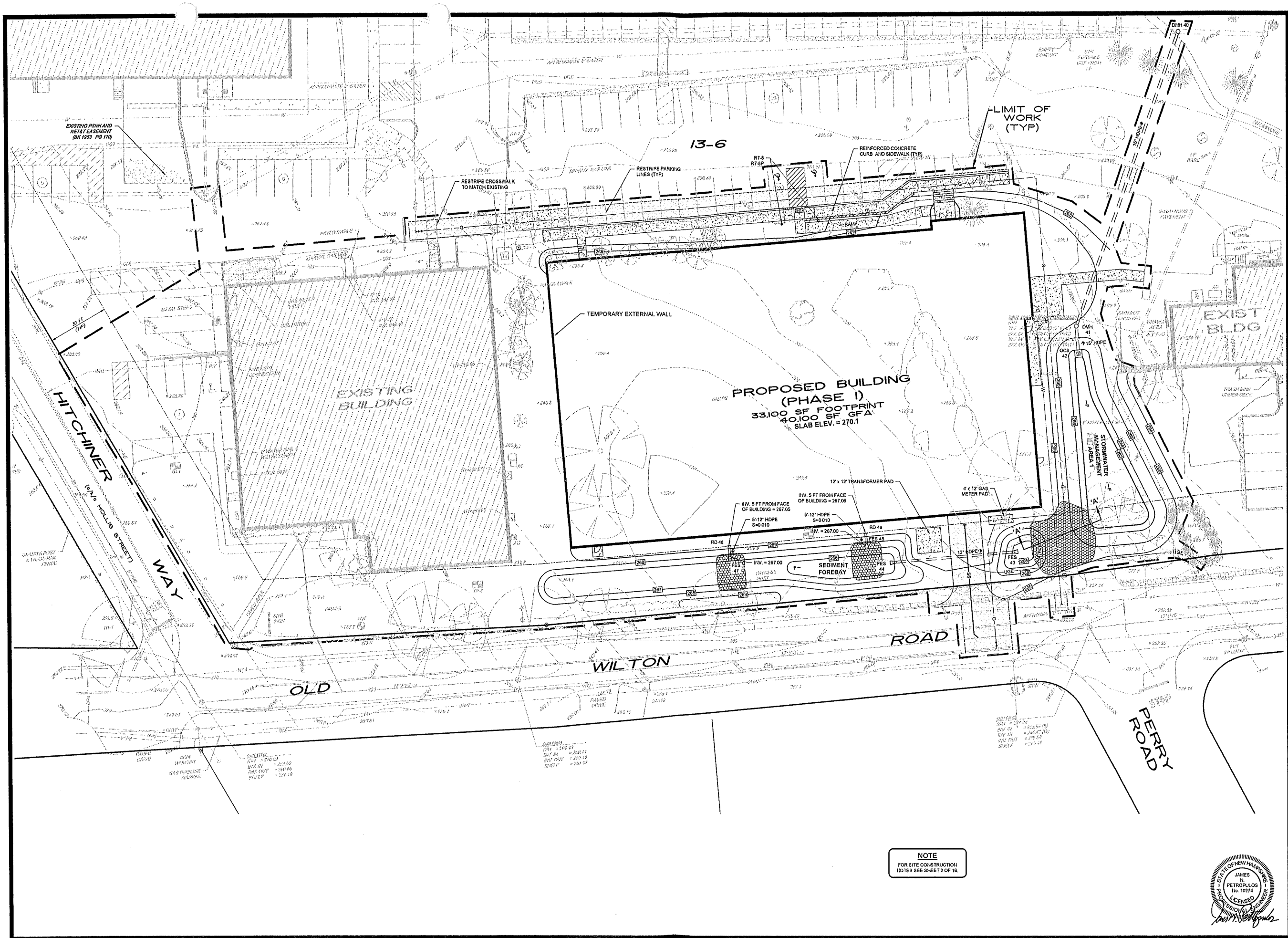
HSI Haynes/Swanson, Inc.
Civil Engineers/Lead Surveyors
3 Congress Street
Milford, New Hampshire 03055
(603) 882-2027
www.haynes-swanson.com

SITE DEMOLITION PLAN
(MAP DZ 15-15)
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
HITCHINER MANUFACTURING COMPANY, INC.
394 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

NO.	DATE	REVISION	BY

SCALE: 1" = 20'
DATE: 12-17-24
SHEET: 4 OF 16



NOTE
FOR SITE CONSTRUCTION
NOTES SEE SHEET 2 OF 16.



HSI Haynes/Swanson, Inc.
Civil Engineer/Land Surveyor
121 Middlebury Avenue
Milford, NH 03055
(603) 203-2027
www.haynes-swanson.com

FIELD BOOK: 1219, 1227 [ENC. LOC. J. V. 1000] TOP SURVEY DATUM
Scale: 1" = 20'
Date: 11/09-AB
Sheet: 5 of 16
File Number: 18
Date: JANUARY 2024

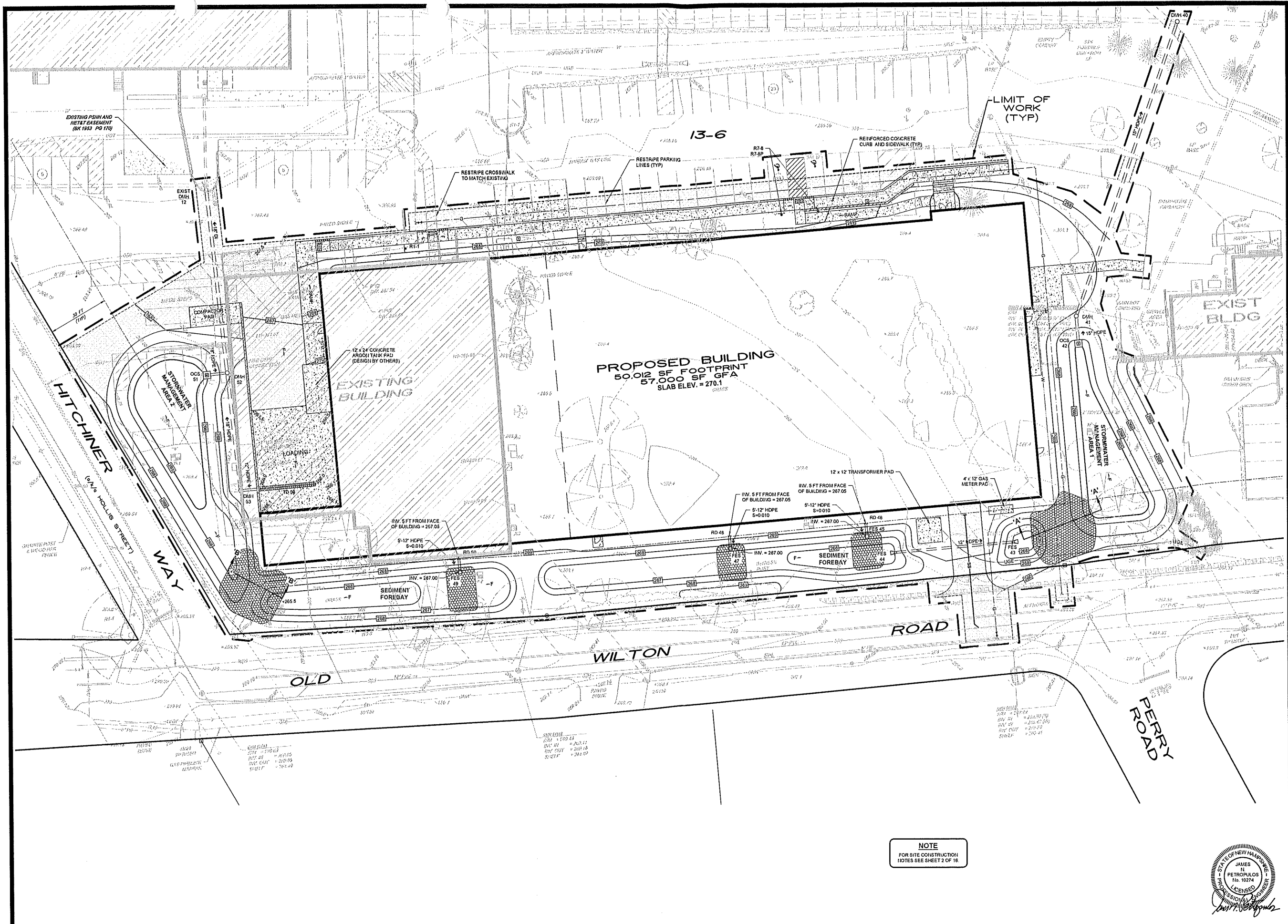
SITE PLAN - PHASE I
(MAP OF LOT 13-6)
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
HITCHENER MANUFACTURING COMPANY, INC.
394 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

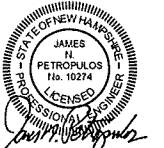
REVIEW ONLY
NOT FOR CONSTRUCTION

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80 FEET
60
40
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NOTE
FOR SITE CONSTRUCTION
NOTES SEE SHEET 2 OF 18.

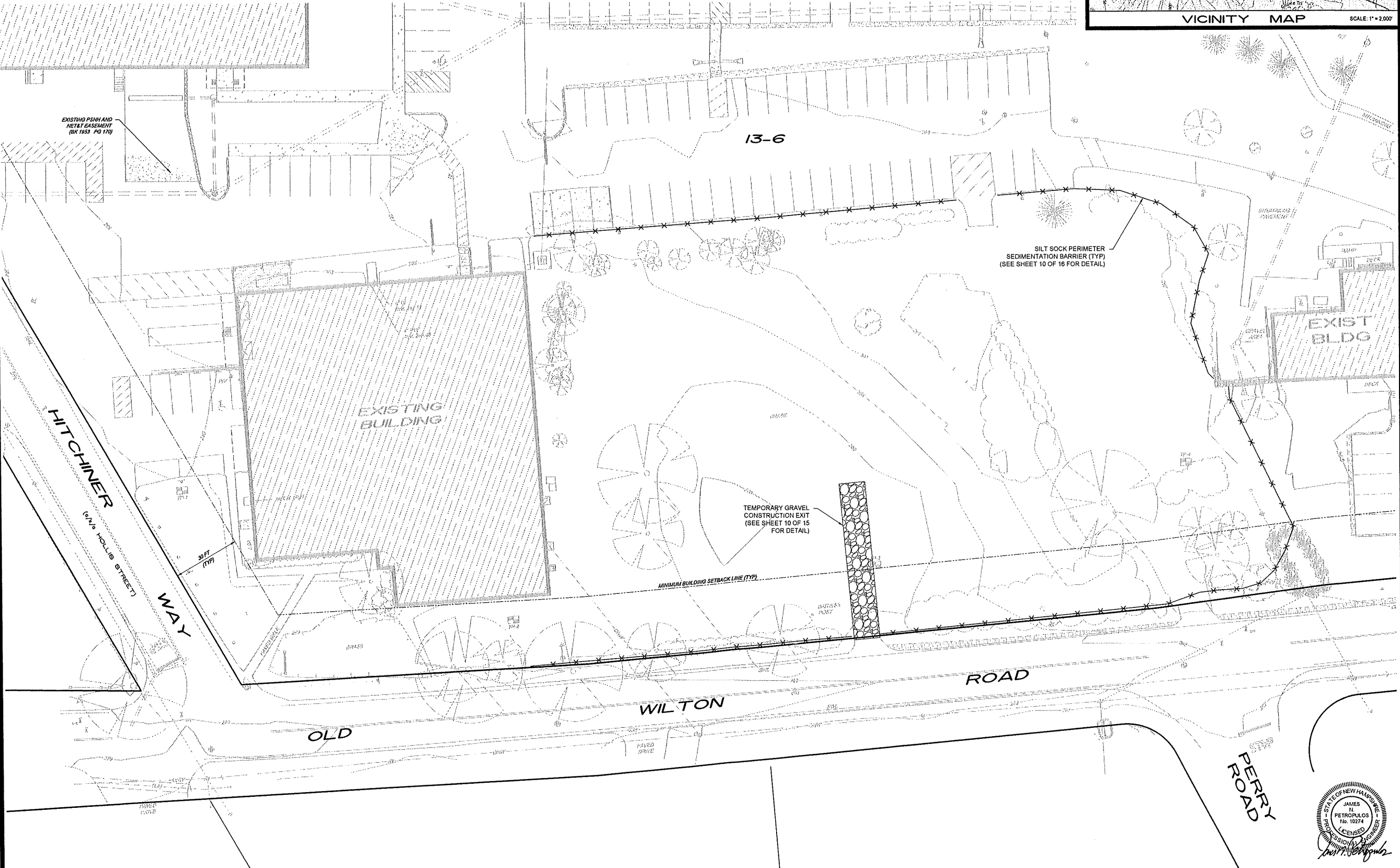
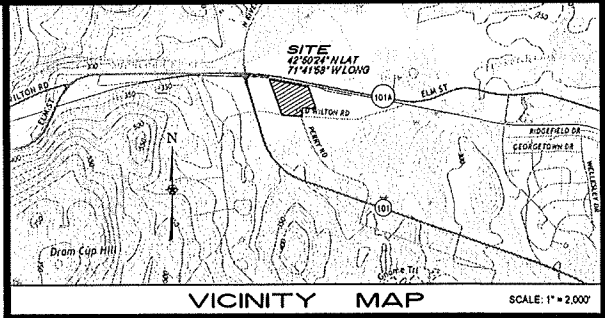


EHSI Haynes/Swanson, Inc.
Civil Engineers/Lead Surveyors
3 Congress Street
Merrimack, NH 03003
(603) 882-2027
www.haynes-swanson.com

SITE PLAN - PHASE 2
MAP D2, LOT 13-6
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
HITCHINER MANUFACTURING COMPANY, INC.
594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

NO.	DATE	REVISION	BY
1	12/11/23	ISSUE FOR PERMIT	JHP
2	12/11/23	REVISED PER COMMENTS	JHP
3	12/11/23	REVISED PER COMMENTS	JHP
4	12/11/23	REVISED PER COMMENTS	JHP
5	12/11/23	REVISED PER COMMENTS	JHP
6	12/11/23	REVISED PER COMMENTS	JHP
7	12/11/23	REVISED PER COMMENTS	JHP
8	12/11/23	REVISED PER COMMENTS	JHP
9	12/11/23	REVISED PER COMMENTS	JHP
10	12/11/23	REVISED PER COMMENTS	JHP



REVIEW ONLY
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NO.	DATE	REVISION

BY: _____
DATE: _____

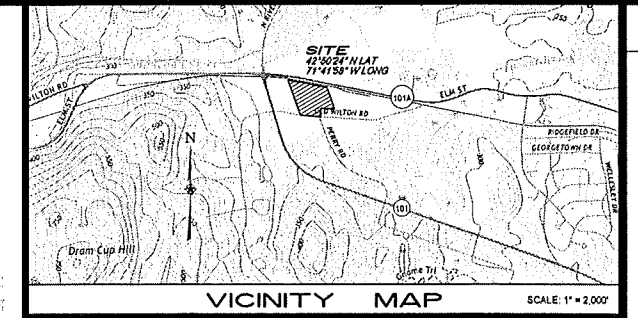
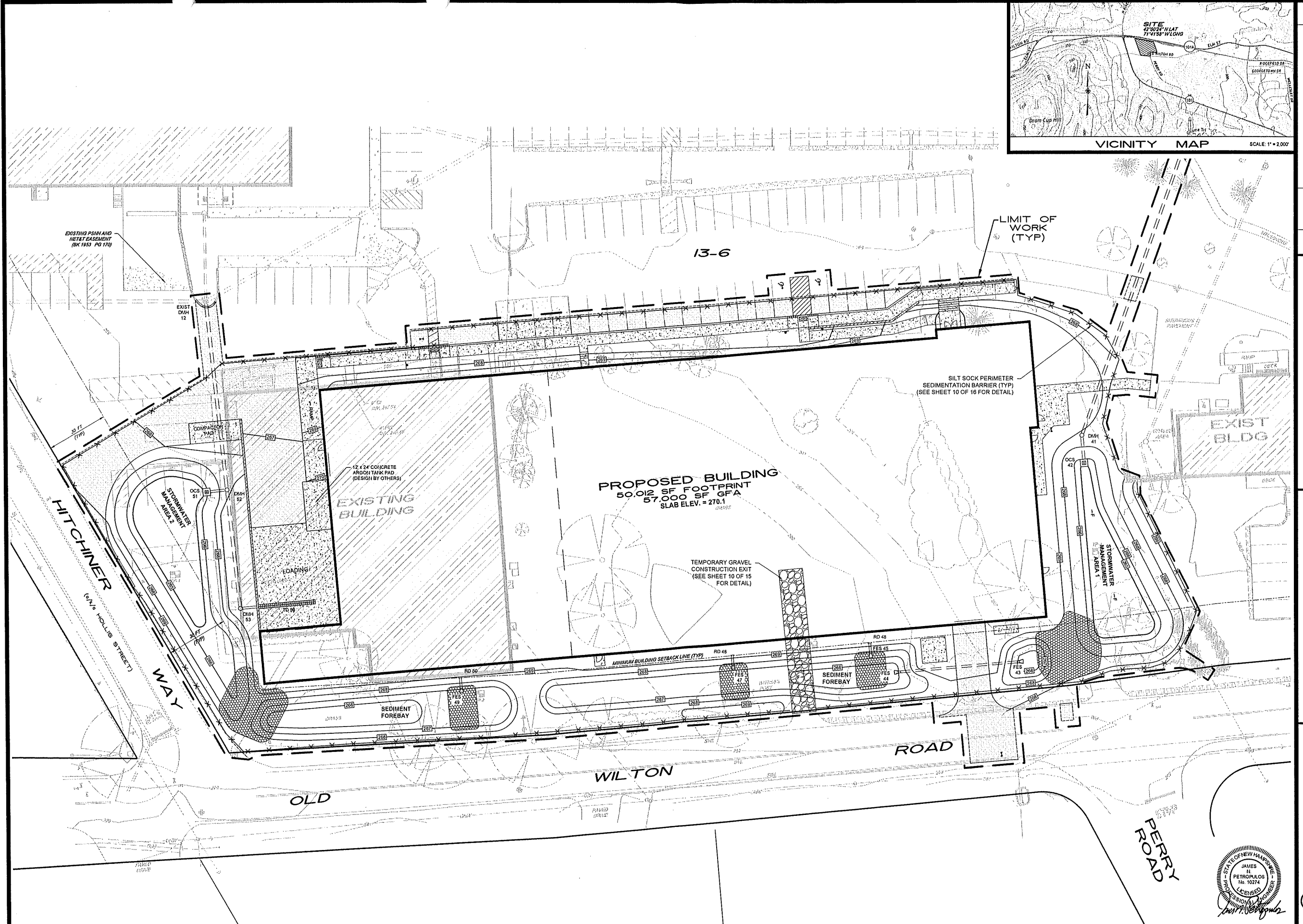
PREPARED FOR/RECORD OWNER:
HITCHINER MANUFACTURING COMPANY, INC.
 594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

EROSION CONTROL PLAN
 PHASE 1 LOT 13-6
ADMINISTRATION BUILDING
 594 ELM STREET
 MILFORD, NEW HAMPSHIRE

HSI Haynes Swanson, Inc.
 Civil Engineer/Land Surveyor
 3 Congress Street
 Nashua, NH 03075
 (603) 882-2007 www.hayneswanson.com

Scale: 1" = 20'
 SHEET NO. 1109-AB Date
 7 OF 16 JANUARY 2024





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NO.	REVISION
DATE	BY
	80 FEET
	60
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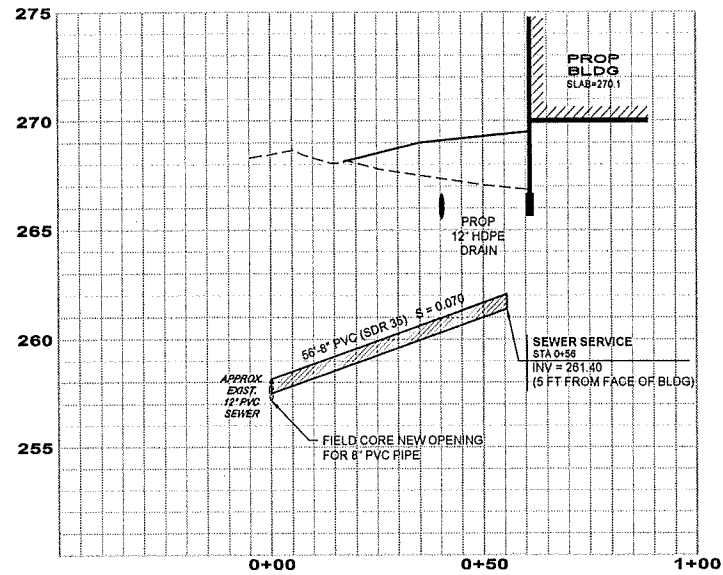
PREPARED FOR/RECORD OWNER:
HITCHINER MANUFACTURING COMPANY, INC.
 594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 675-1100

EROSION CONTROL PLAN
 (MAP 95, LOT 13-6)
ADMINISTRATION BUILDING
 594 ELM STREET
 MILFORD, NEW HAMPSHIRE

HESI Haynes/Swanson, Inc.
 Civil Engineer/Land Surveyor
 3 Congress Street
 Portsmouth, NH 03801
 (603) 883-2057
 www.hesiprosessionals.com

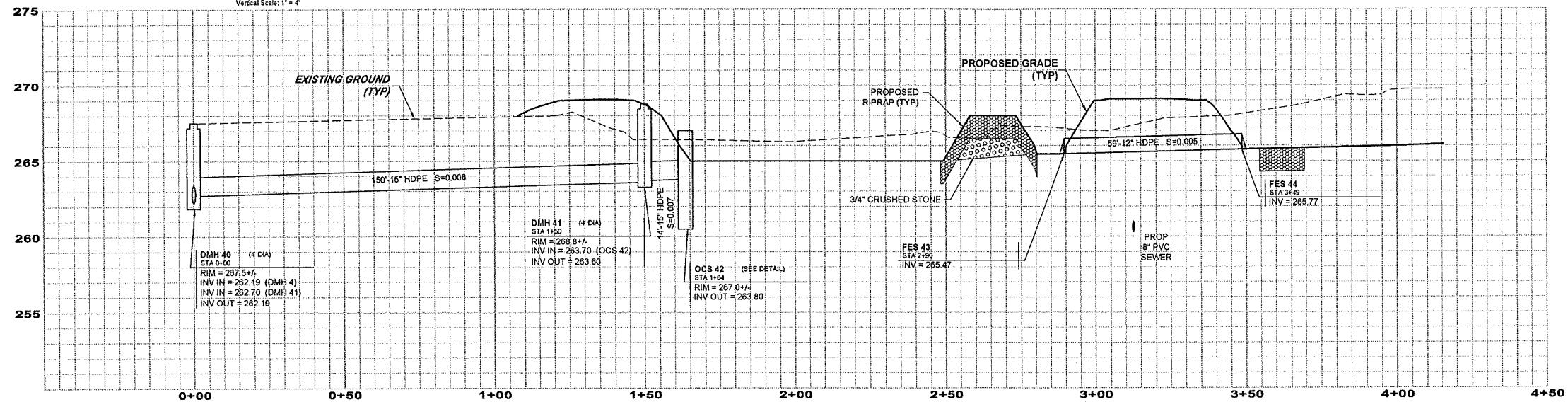
PROFESSIONAL SEAL
 JAMES H. PETROPOULOS
 No. 10274
 CIVIL ENGINEER

Scale: 1" = 20'
 1109-AB 068
 8 OF 16 15 JANUARY 2024
 FIELD BOOK 1219, 1227 DWG. LOC. J:\VIRON\1109\DWG\1109AB



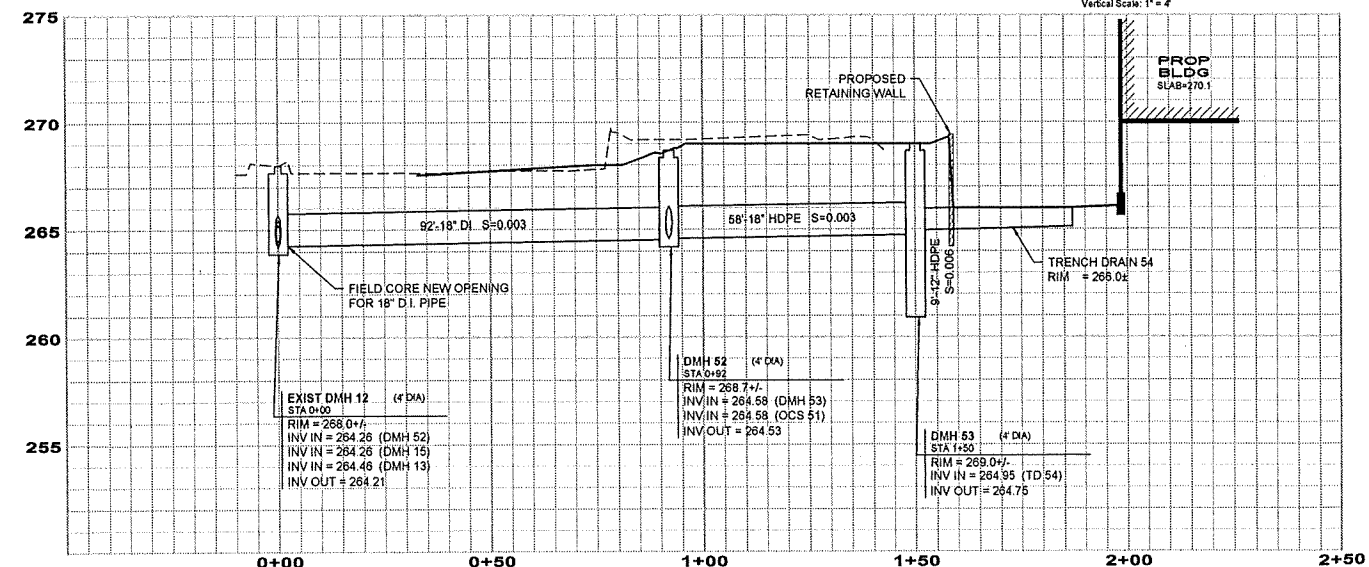
SEWER SERVICE

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Vertical Scale: 1" = 4'



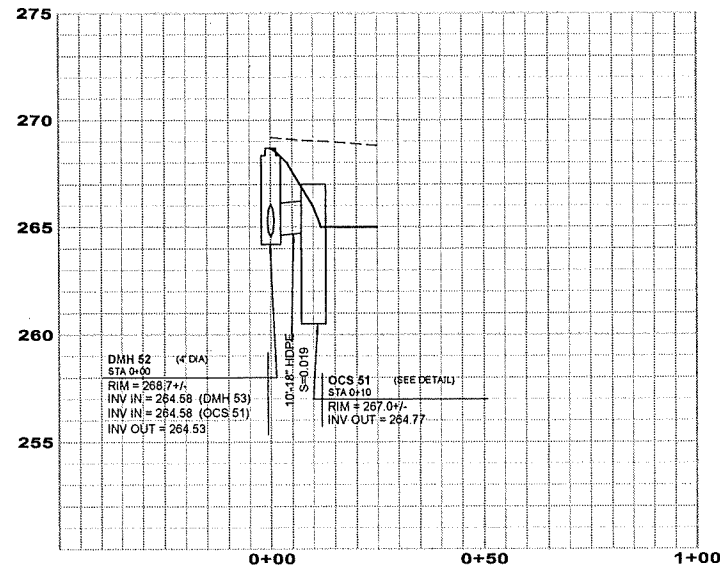
DMH 40 TO SEDIMENT FOREBAY

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 4'



DMH 12 TO TD 54

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 4'



DMH 52 TO OCS 51

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 4'

- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
 - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
 - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.
 - SEE PLUMBING PLANS FOR A DETAIL OF THE ROOF DRAIN PIPE/STORM DRAIN DROP CONNECTION.



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NO.	DATE	REVISION

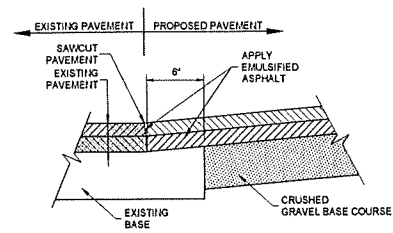
BY: _____
DATE: _____

PREPARED FOR/RECORD OWNER:
HITCHEM MANUFACTURING COMPANY, INC.
304 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

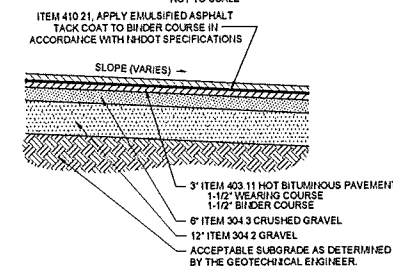
UTILITY PROFILES (MAP D2, LOT 13-6)
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

HSI Haynes/Swanson, Inc.
Civil Engineer/Lead Surveyor
13 Middlesex Turnpike
Nashua, NH 03073
(603) 282-2027
www.haynes-swanson.com

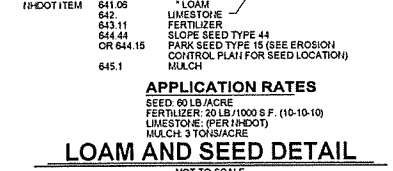
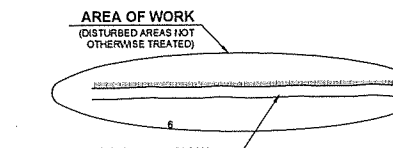
Scale: 1" = 20'/4'
Date: 11-09-AB
Sheet: 9 of 16
JOB NUMBER: 1109-AB
DATE: 18 JANUARY 2024



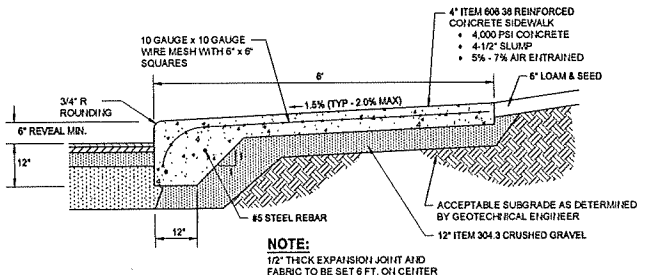
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



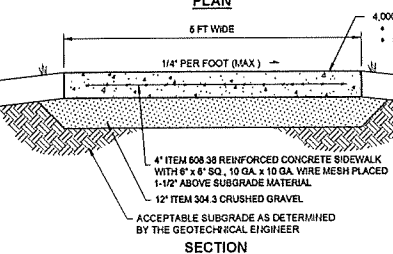
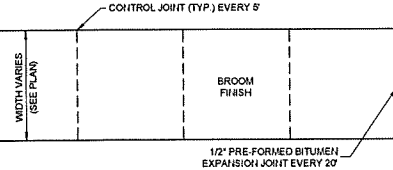
TYPICAL PAVEMENT SECTION
NOT TO SCALE



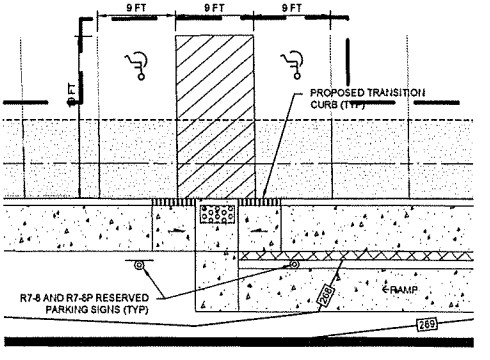
LOAM AND SEED DETAIL
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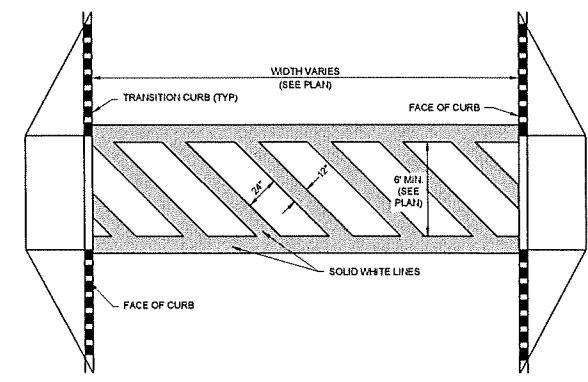
CONCRETE SIDEWALK AND CURB DETAIL
NOT TO SCALE



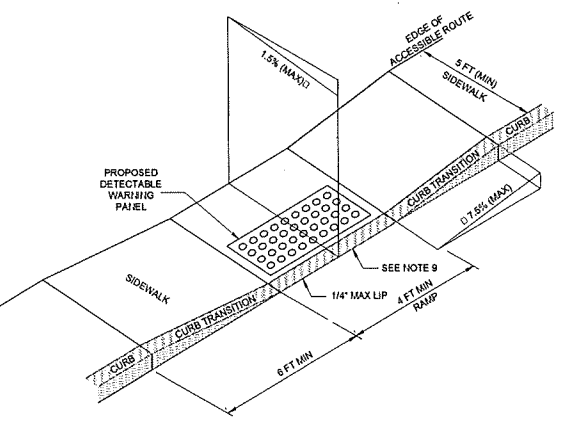
REINFORCED CONCRETE SIDEWALK DETAIL
NOT TO SCALE



ACCESSIBLE PARKING DETAIL
SCALE: 1" = 10'

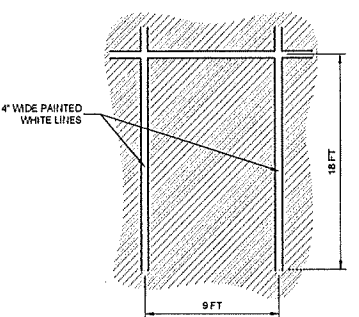


TYPICAL CROSSWALK DETAIL
NOT TO SCALE

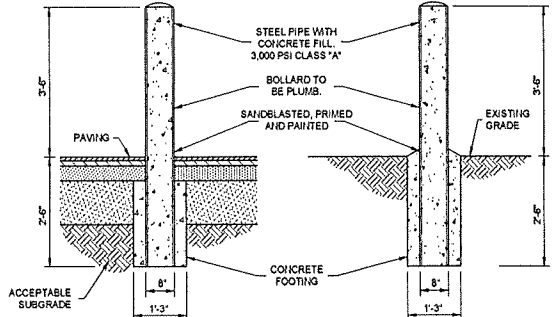


- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC).
 5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT POUDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT X 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.

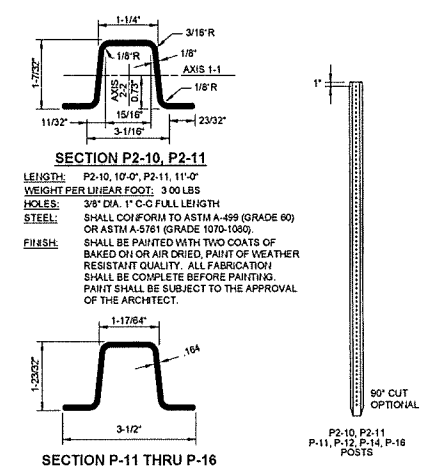
HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE



TYP. PARKING STALL DETAIL
NOT TO SCALE

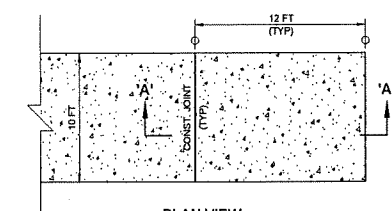


BOLLARD DETAIL
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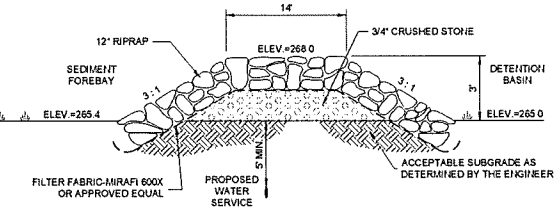


TRAFFIC SIGN SUPPORT DETAIL
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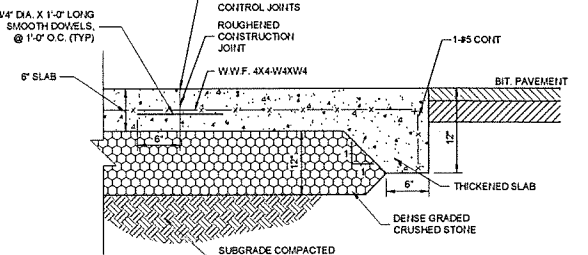
SIGN LEGEND		
TEXT	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
SEE HINTO FOR TEXT DIMENSIONS	TEXT DIMENSIONS	
	R1-1	30\"/>
	R7-8	12\"/>
	R7-6P	18\"/>



PLAN VIEW

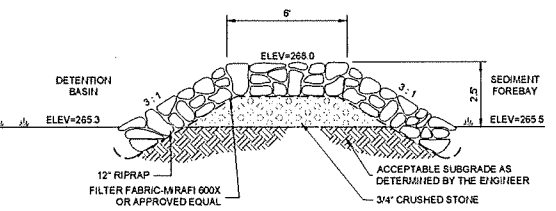


TYPICAL SECTION- PERMANENT STONE CHECK DAM 'A'-A'
NOT TO SCALE



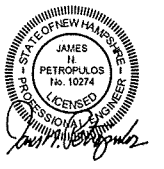
SECTION 'A'-A'

NOTE:
CONCRETE 4000 PSI PER DWG S-1 DENSE GRADED CRUSHED STONE ITEM 402 ALL ITEM NUMBERS REFERENCE THE MASSACHUSETTS HIGHWAY DEPARTMENT'S STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.



TYPICAL SECTION- PERMANENT STONE CHECK DAM 'B'-B'
NOT TO SCALE

CONCRETE SLAB DETAIL
NOT TO SCALE

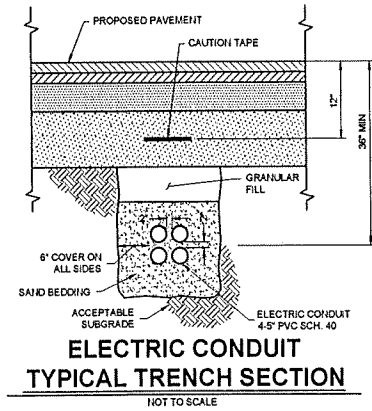


REVIEW ONLY
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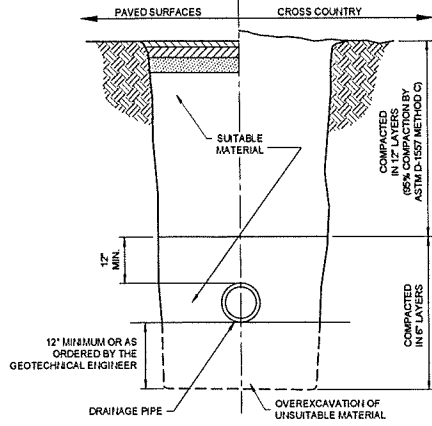
PREPARED FOR/RECORD OWNER:
HUTCHINER MANUFACTURING COMPANY, INC.
594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

DETAIL SHEET GENERAL SITE
MAP DZ, LOT 13-6
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

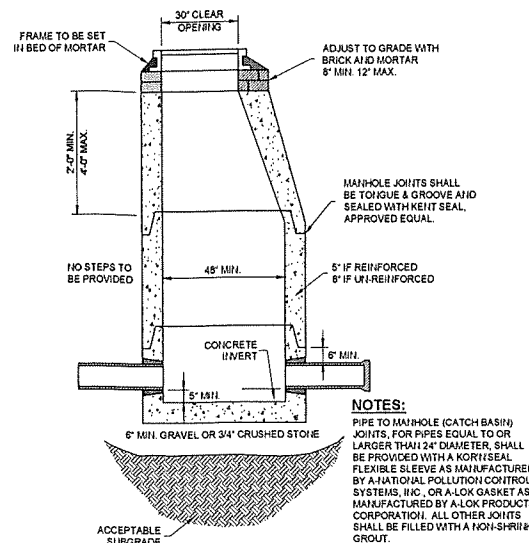
HESI Haynes Swanson, Inc.
Civil Engineer/Land Surveyor
131 Middlesex Turnpike
North Andover, MA 01855
(603) 882-2407 www.haynes-swanson.com
DATE: 11/16/2024
SCALE: AS SHOWN
FIELD BOOK: 1219, 1257, 1286, 1300, 1100, 1109, 1109A, 1109B
DWG: 1109-AB-001
11 OF 16
1109-AB
18 JANUARY 2024



ELECTRIC TRENCH SECTION
NOT TO SCALE



TYPICAL DRAINAGE TRENCH SECTION
NOT TO SCALE



DRAIN MANHOLE DETAIL
NOT TO SCALE

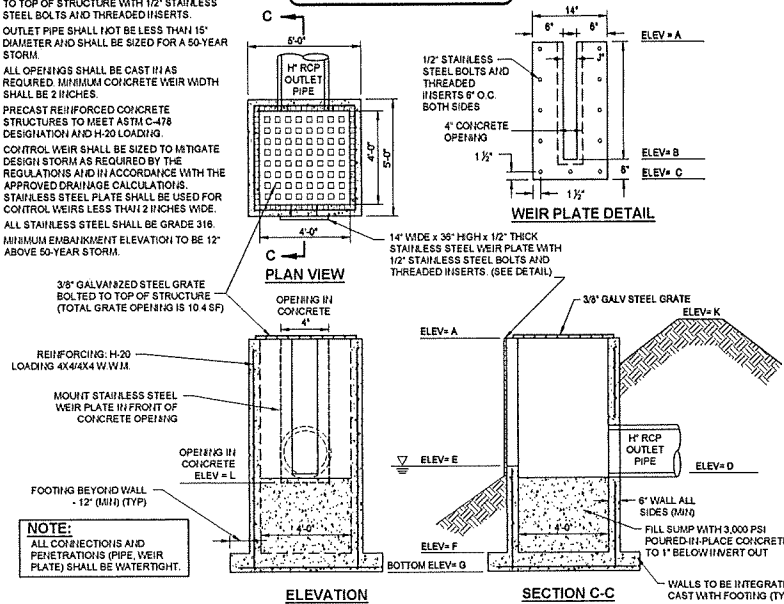
		ELEVATIONS/DIMENSIONS										
OUTLET STRUCTURE		A	B	C	D	E	F	G	H	J	K	L
OCS 42		287.0	284.5	283.0	283.8	284.5	281.0	280.5	18'	2'	288.0	284.5
OCS 48		287.0	284.8	284.3	284.77	284.8	281.0	280.5	18'	2'	288.0	284.8

NOTES:

1. ALL CEMENT CONCRETE TO BE 4000 PSI (MI)
2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2\"/>
- 3. OUTLET PIPE SHALL NOT BE LESS THAN 15\"/>
- 4. ALL OPENINGS SHALL BE CAST IN AS REQUIRED MINIMUM CONCRETE WEIR WIDTH SHALL BE 18\"/>
- 5. PRECAST REINFORCED CONCRETE STRUCTURES TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.
- 6. CONTROL WEIR SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY THE REGULATIONS AND IN ACCORDANCE WITH THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIRS LESS THAN 2 FEET WIDE.
- 7. ALL STAINLESS STEEL SHALL BE GRADE 316.
- 8. MINIMUM EMBANKMENT ELEVATION TO BE 12\"/>

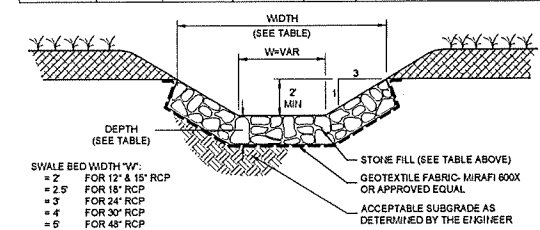
NOTE

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO CONSTRUCTION!

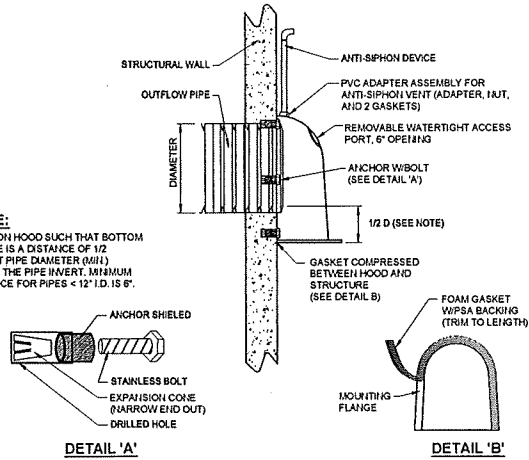


SINGLE WEIR OUTLET CONTROL STRUCTURE 42 & 54 DETAIL
NOT TO SCALE

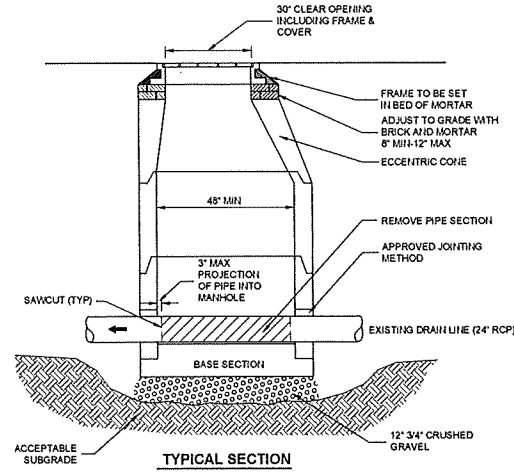
RIPRAP OUTLET PROTECTION SPECIFICATION TABLE						
LOCATION	WIDTH (FT)	LENGTH (FT)	DEPTH (FT)	# 50 (lb)	MATERIAL	
FES 43	12	18	1	4	ITEM 585 3 STONE FILL CLASS C	
FES 45	12	18	1	4	ITEM 585 3 STONE FILL CLASS C	
FES 47	12	18	1	4	ITEM 585 3 STONE FILL CLASS C	



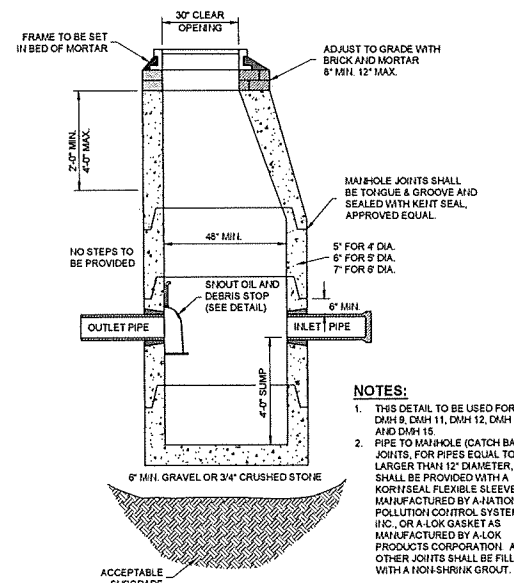
RIPRAP AT HEADWALL / OUTLET DETAIL
NOT TO SCALE



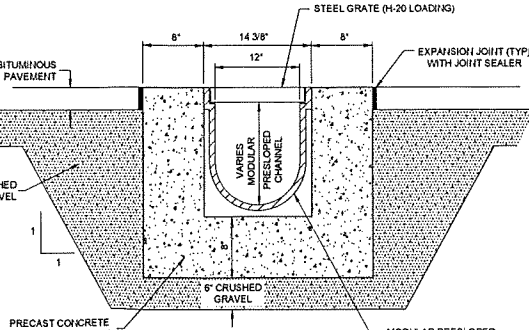
SNOUT OIL AND DEBRIS STOP DETAIL
NOT TO SCALE



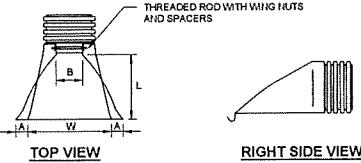
TYPICAL SECTION
CROSS SECTION
DROP-OVER DRAIN MANHOLE (DMH 40)
NOT TO SCALE



DEEP SUMP (4' - 0\") DRAIN MANHOLE DETAIL (DMH 53)
NOT TO SCALE

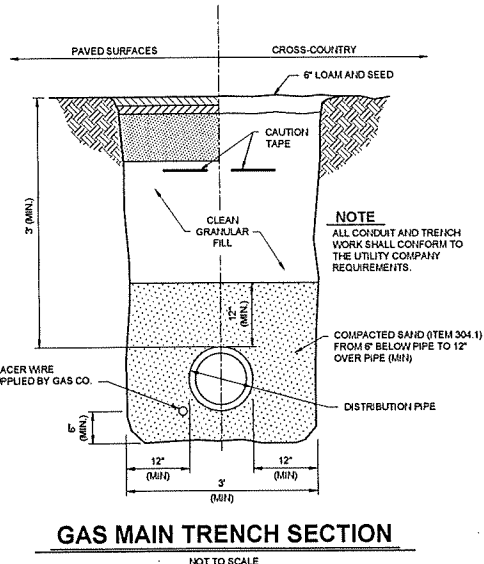


TRENCH DRAIN DETAIL
NOT TO SCALE

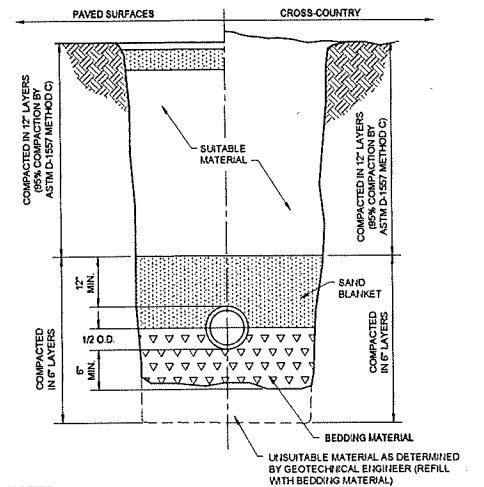


DIA.	A	B	H	L	W
12"	6.5"	10.0"	8.5"	25.0"	28.0"
15"	6.5"	10.0"	6.5"	25.0"	29.0"
18"	7.5"	15.0"	6.5"	32.0"	35.0"
24"	7.5"	18.0"	6.5"	38.0"	45.0"
30"	7.5"	12.0"	6.6"	58.0"	63.0"
36"	7.5"	25.0"	6.6"	58.0"	63.0"

FLARED END SECTION FOR ADS PIPE
NOT TO SCALE



GAS MAIN TRENCH SECTION
NOT TO SCALE



TYPICAL SEWER TRENCH SECTION
NOT TO SCALE

NOTES:

1. THE SEWER TRENCH SECTION SHALL CONFORM TO THE INDEX STANDARD TRENCH SECTION, AND TO THE ADDITIONAL REQUIREMENTS OF THIS TYPICAL SECTION.
2. IN GENERAL, DISTURBED CROSS-COUNTRY AREAS SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE LOAM AND SEED IN ACCORDANCE WITH THE DETAIL AND SHALL BE MAINTAINED UNTIL A VIABLE STAND OF GRASS HAS BEEN ESTABLISHED.
3. ROADWAYS, DRIVEWAYS, AND OTHER PAVED AREAS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE PLANS. THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER CONSTRUCTION AND ALLOWED TO STAND FOR FOUR MONTHS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER FOUR MONTHS AND THE ENTIRE ROAD OR PAVED AREA OVERLAYED TO THE LIMITS SHOWN ON THE PLANS.

REVIEW ONLY
NOT FOR CONSTRUCTION

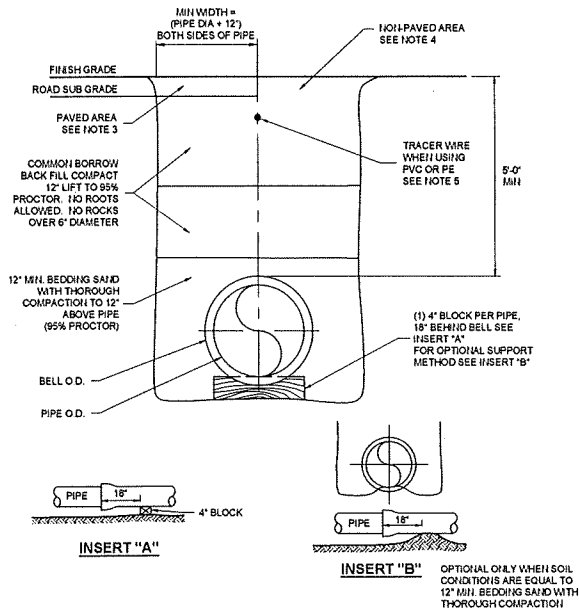
PREPARED FOR/RECORD OWNER:
HITCHCOCK MANUFACTURING COMPANY, INC.
394 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

GENERAL SITE
DETAIL SHEET LOT 13-6
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

HISI Hayner/Swanson, Inc.
Civil Engineer/Lead Surveyor
131 Middleway, Tanglewood
North Andover, MA 01850
(603) 689-9477
www.hisieresources.com

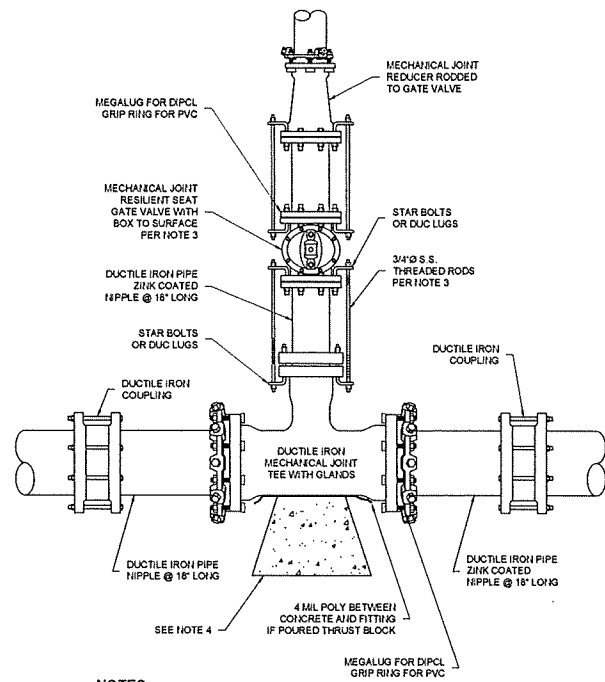
Scale: AS SHOWN
Date: 11/09-AB
Sheet: 12 of 16
18 JANUARY 2024





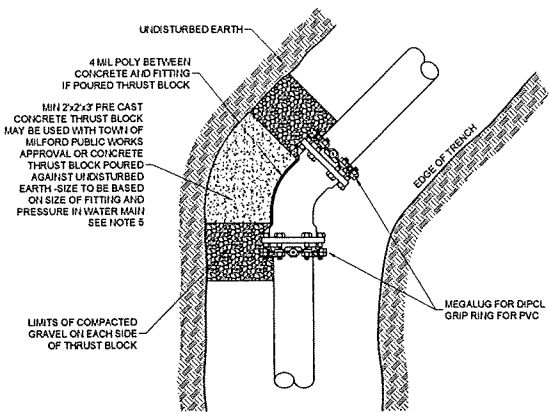
- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF MILFORD PUBLIC WORKS TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SAND ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. USE 10-GAUGE SOLID-CORE COATED BLUE TRACER WIRE PER TOWN OF MILFORD PUBLIC WORKS TECHNICAL SPECIFICATIONS.

TYPICAL TRENCH DETAIL
NOT TO SCALE



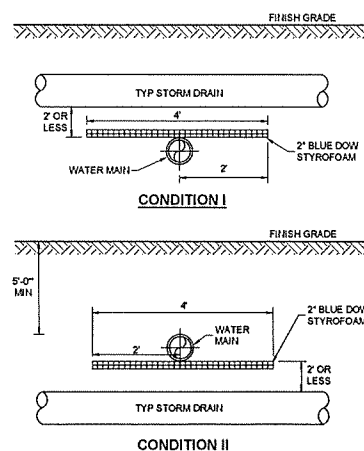
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF MILFORD PUBLIC WORKS TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS.
 4. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE. MIN 2'-0" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF MILFORD PUBLIC WORKS APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL M10.

TYPICAL TEE INSTALLATION ON EXISTING MAIN
NOT TO SCALE



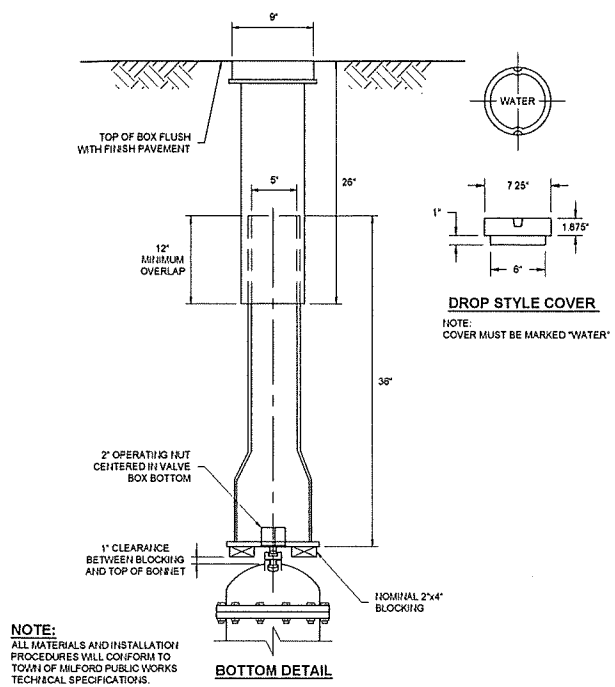
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF MILFORD PUBLIC WORKS TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH 5'-0" FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS.
 4. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
 5. MIN 2'-0" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF MILFORD PUBLIC WORKS APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.
 6. VOID BETWEEN PRECAST THRUST BLOCK AND VIRGIN SOIL TO BE FILLED AND CHISELED WITH STONE.

TYPICAL THRUST BLOCK BEHIND FITTINGS INSTALLATION
NOT TO SCALE



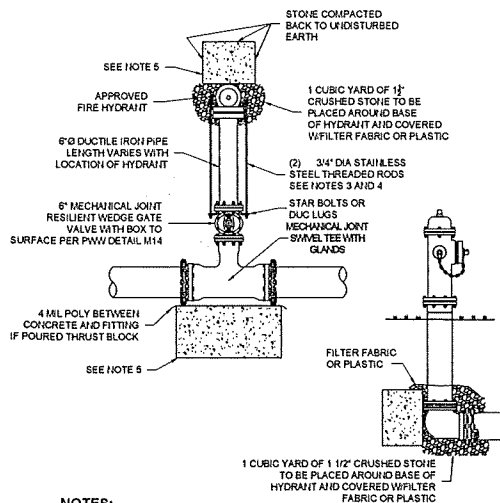
- NOTES:**
1. TOWN OF MILFORD PUBLIC WORKS RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
 2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1' STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
 3. ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1'-0" PIECE OF INSULATION CENTERED OVER SEAM.

STORM DRAIN / WATER MAIN INTERSECTION RUNS - ELEV. VIEW
NOT TO SCALE



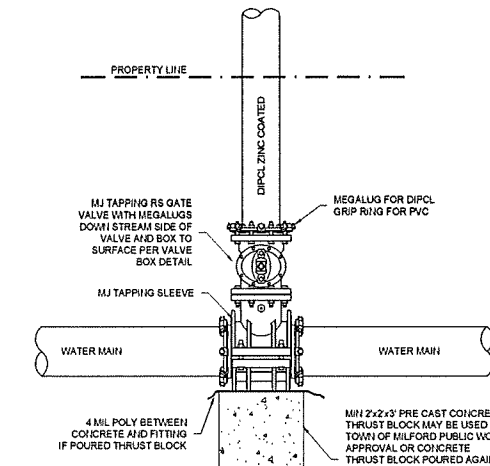
- NOTE:**
ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF MILFORD PUBLIC WORKS TECHNICAL SPECIFICATIONS.

TYPICAL VALVE BOX DETAIL
NOT TO SCALE



- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF MILFORD PUBLIC WORKS TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10' SUBSTITUTE MEGALUGS (OR GRIP RINGS) IN LIEU OF THREADED RODS.
 5. MIN 2'-0" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF MILFORD PUBLIC WORKS APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE THRUST BLOCK DETAIL.

TYPICAL HYDRANT INSTALLATION
NOT TO SCALE



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF MILFORD PUBLIC WORKS TECHNICAL SPECIFICATIONS.
 2. MIN 2'-0" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF MILFORD PUBLIC WORKS APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE THRUST BLOCK DETAIL.

TYPICAL LARGE SERVICE AND/OR TAPPING SLEEVE DETAIL
NOT TO SCALE

WATER NOTES:

1. REFERENCE TOWN OF MILFORD PUBLIC WORKS SPECIFICATIONS FOR INSTALLATION OF ALL WATER LINES.
2. ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 5'-0" OUTSIDE THE FACE OF BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
3. THRUST BLOCKS AND MEGALUG RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
4. MINIMUM COVER ON ALL WATER LINES IS 5'-0".
5. CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER.
6. INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH TOWN OF MILFORD PUBLIC WORKS, AND ALL INSPECTOR FEES SHALL BE PAID BY THE CONTRACTOR.
7. CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE TOWN OF MILFORD PUBLIC WORKS A COPY OF RESULTS. TOWN OF MILFORD PUBLIC WORKS SHALL BE ON-SITE TO WITNESS TEST.
8. ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM WITH TOWN OF MILFORD PUBLIC WORKS SPECIFICATIONS.
9. ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH TOWN OF MILFORD PUBLIC WORKS REQUIREMENTS.
10. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. DETECTOR WIRE OR METALLIC TAPE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14-GAUGE SOLID COPPER, SIMPLEX BV2001, OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIZED TAPE, GRIFFOLYTH COMPANY, INC. TERRATAPE OR EQUAL.
11. CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY-OPEN POSITION UPON COMPLETION OF PROJECT.
12. CONTRACTOR SHALL COORDINATE ALL WATER INTERRUPTIONS WITH THE TOWN OF MILFORD PUBLIC WORKS AND AFFECTED PROPERTY OWNERS.

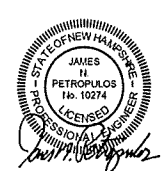
REVIEW ONLY
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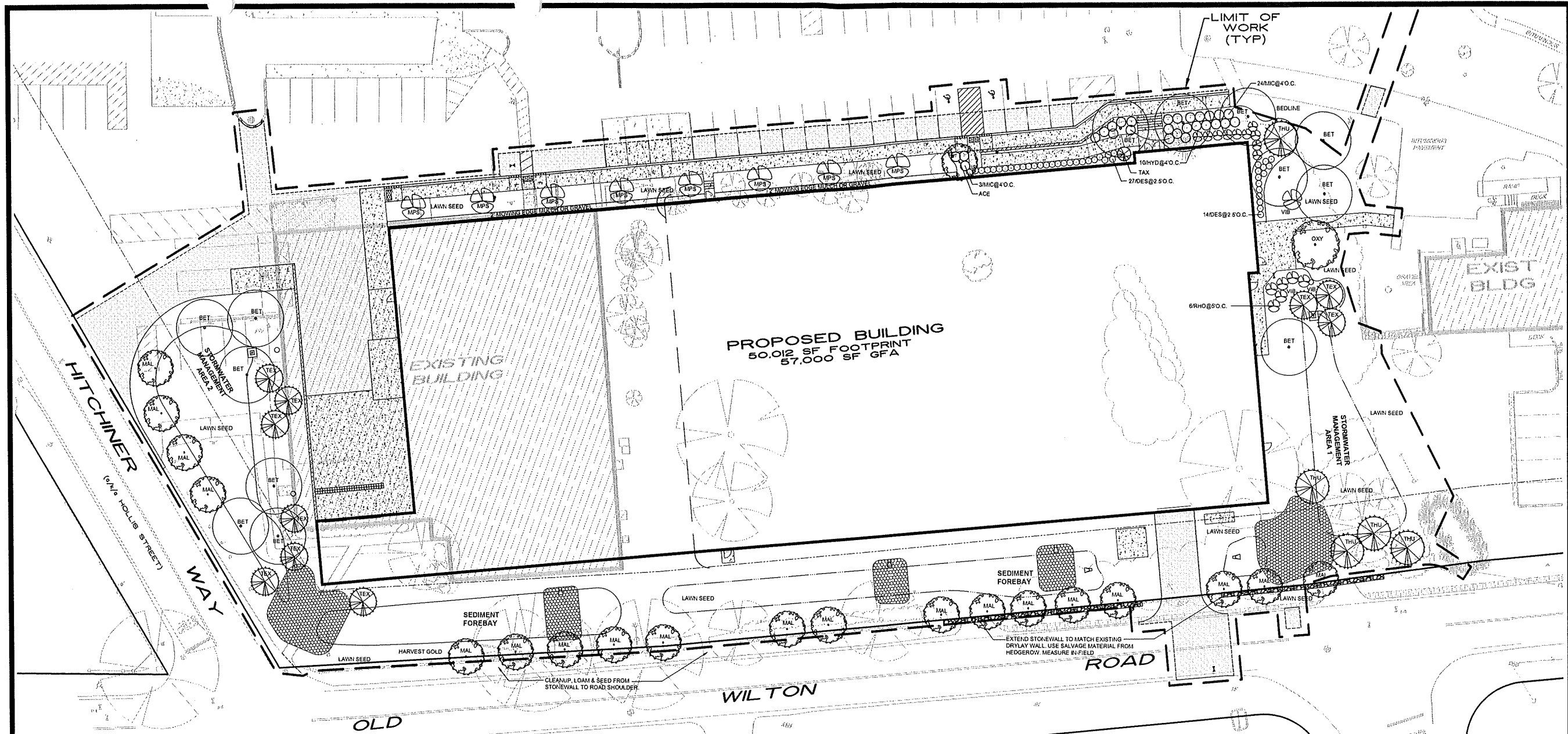
PREPARED FOR/RECORD OWNER:
HYDRA-TECH MANUFACTURING COMPANY, INC.
594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

DETAIL SHEET (MAP D2, LOT 13-6)
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

HSI Hayden Swanson, Inc.
Civil Engineer/Lead Surveyor
131 Middlebury Avenue
Newburyport, NH 03450
(603) 853-2537
www.haydenswanson.com

Scale: AS SHOWN
Date: JANUARY 2024
Sheet: 1109-AB
File Number: 18





PROPOSED BUILDING
 50,012 SF FOOTPRINT
 57,000 SF GFA

MATERIAL BID LIST

1/ACE	ACER GRISEUM (PAPERBARK MAPLE)	8-10' MULTI-STEM
13/BET	BETULA NIGRA (HERITAGE RIVER BIRCH)	10'-12' MULTI-STEM
27/DES	DESCHAMPSIA CESPITOSA (GOLDFAU TUFTED HAIR GRASS)	#2 GAL.
10/HYD	HYDRANGEA QUERCIFOLIA (MUNCKIN OAKLEAF HYDRANGEA)	#3 GAL.
19/MAL	MALUS SPECIES (GOLD HARVEST CRABAPPLE)	2'-2.5' CAL.
8/MPS	MALUS SPECIES (PINK SPIRES CRABAPPLE)	2'-2.5' CAL.
27/MIC	MICROBIOTA DECUSSATA (RUSSIAN CYPRESS)	#5 GAL.
1/OXY	OXYDENDRUM ARBOREUM (SOURWOOD)	2.5'-3' CAL.
1/TAX	TAXUS MEDIA (HICK'S YEW)	6-7' BB
9/TEX	THUJA PLICATA EXCELSA (EXCELSA WESTERN ARBORVITAE)	7-8' BB
6/RHO	RHOODOENDRON SPECIES (CHIONOIDES RHOODOENDRON)	#7 GAL.
5/THU	THUJA PLICATA (WESTERN GREEN GIANT ARBOTVITAE)	8-10' BB
1/VIB	VIBURNUM JUDDII (JUDD VIBURNUM)	2.5'-3' BB

MISCELLANEOUS:
 NEW STONEWALL TO MATCH EXISTING (F.F. DETERMINED IN THE FIELD)
 LAWN SEED TO MATCH SITE
 BARK MULCH BEDS AND SAUCERS TO MATCH SITE
 REMOVE ALL DEAD OR WEAK LIMBS, IN LARGE CALIPER TREES ALONG WILTON ROAD
 REMOVE ALL UNDERSTORY ALONG THE WILTON ROAD STONE HEDGEROW
 LOAM AND SEED AREA ALONG WILTON ROAD TO THE STONE HEDGEROW

- GENERAL NOTES:**
- MATERIAL SOURCE, CATALOG REFERENCE: MILLICAN'S NURSERY, CHICHESTER, N.H.
 - PLANT HYBRID SUBSTITUTIONS OR PLANT SIZE IS NOT PERMITTED WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. ANY INSTALLED MATERIALS NOT CONFORMING TO THE BID LIST, SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF PLANT MATERIALS FOR A ONE YEAR WARRANTY. PLANTS SHALL BE PROTECTED FROM DISEASE AND/OR INSECT INFESTATION.
 - DO NOT CREATE 'BEEHIVE' SAUCERS AROUND TREES (DETRIMENTAL TO THE HEALTH OF PLANT MATERIAL).
 - SHRUB BEDS ARE INTENDED TO CREATE A FULL COVER OF THE BED SURFACE. DO NOT SHEAR OR CLIP SHRUBS, DURING ANNUAL MAINTENANCE. ALL MATERIALS ARE TO GROW INTO ONE ANOTHER AS ONE MASS.

REVIEW ONLY
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NO.	DATE	REVISION	BY

SCALE: 1" = 20'
 0 20 40 60 80 FEET

PREPARED FOR/RECORD OWNER:
HITCHINER MANUFACTURING COMPANY, INC.
 594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

LANDSCAPE PLAN
 (MAP B2, LCF 1.3-1.6)
ADMINISTRATION BUILDING
 594 ELM STREET
 MILFORD, NEW HAMPSHIRE

PREPARED BY:
JOSEPH HOCHREIN
 PHONE (603) 461-8800 FAX (603) 461-8806
 85 Front Lane - Webster, NH 03582
 85 Front Lane - Webster, NH 03582

Scale: 1" = 20'
 1109-AB Def
 14 of 16
 18 JANUARY 2024

General Specifications

- The contractor shall at their expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making their proposal. They will be held responsible for errors in their proposal resulting from their failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, they shall be responsible for their repair and/or replacement at their expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price they shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect (L.A.) shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. L.A. must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12-25-12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs./1000 sf power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by L.A. is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with L.A.) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractor's expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, i.e. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% manure, & 30% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.

- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractor's expense prior to final approval. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is rood ballast (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5" dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

MATERIAL BID LIST

13ACE	ACER GRISEUM (PAPERBARK MAPLE)	8-10' MULTI-STEM
13BET	BETULA NIGRA (HERITAGE RIVER BIRCH)	10'-12' MULTI-STEM
27DES	DESCHAMPSIA CESPITOSA (GOLDAU TUFTED HAIR GRASS)	#2GAL.
10HYD	HYDRANGEA QUERCIFOLIA (MUNCHKIN OAKLEAF HYDRANGEA)	#3GAL.
19MAL	MALUS SPECIES (GOLD HARVEST CRABAPPLE)	2'-2.5' CAL.
8MPS	MALUS SPECIES (PINK SPIRES CRABAPPLE)	2'-2.5' CAL.
27MIC	MICROBIOTA DECUSATA (RUSSIAN CYPRESS)	#5GAL.
10XY	OXYDENDRUM ARBOREUM (SOURWOOD)	2.5'-3' CAL.
1/TAX	TAXUS MEDIA (HICKS YEW)	6-7' BB
9/TEX	THUJA PLICATA EXCELSA (EXCELSA WESTERN ARBORVITAE)	7-8' BB
6/RHO	RHOODENDRON SPECIES (CHIONOIDES RHOODENDRON)	#7GAL.
5/THU	THUJA PLICATA (WESTERN GREEN GIANT ARBOTVITAE)	8-10' BB
1/VIB	VIBURNUM JUDDII (JUDD VIBURNUM)	2.5'-3' BB

MISCELLANEOUS:

NEW STONEWALL TO MATCH EXISTING (F.F. DETERMINED IN THE FIELD)
LAWN SEED TO MATCH SITE

BARK MULCH BEDS AND SAUCERS TO MATCH SITE

REMOVE ALL DEAD OR WEAK LIMBS, IN LARGE CALIPER TREES ALONG WILTON ROAD

REMOVE ALL UNDERSTORY ALONG THE WILTON ROAD STONE HEDGEROW

LOAM AND SEED AREA ALONG WILTON ROAD TO THE STONE HEDGEROW

GENERAL NOTES:

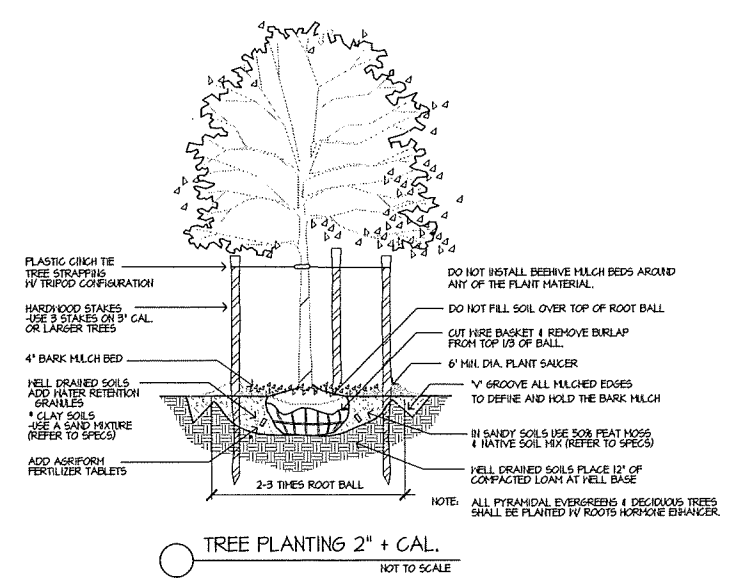
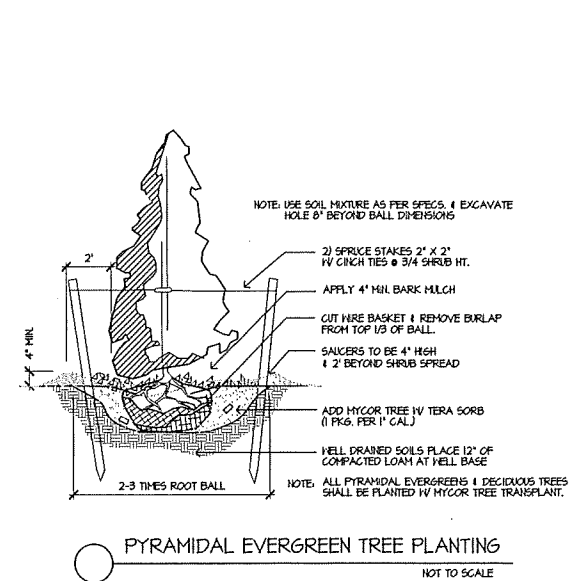
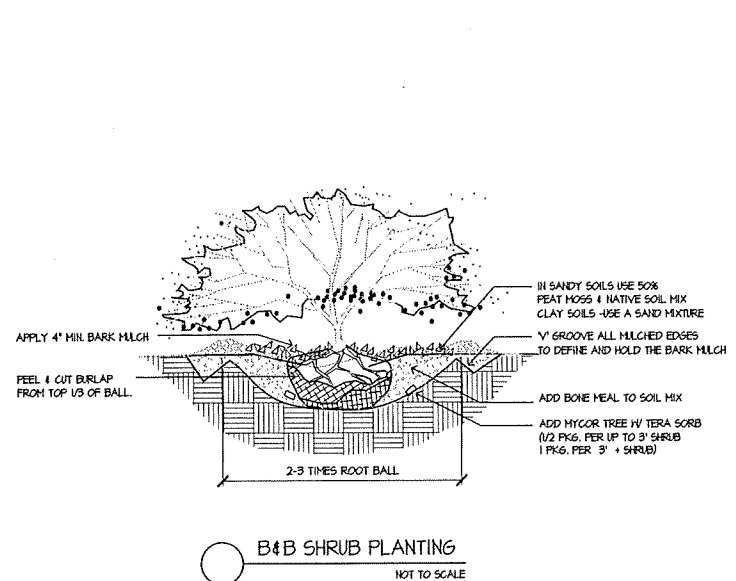
- MATERIAL SOURCE, CATALOG REFERENCE: MILICAN'S NURSERY, CHICHESTER, N.H.
- PLANT HYBRID SUBSTITUTIONS OR PLANT SIZE IS NOT PERMITTED WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. ANY INSTALLED MATERIALS NOT CONFORMING TO THE BID LIST, SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE OF PLANT MATERIALS FOR A ONE YEAR WARRANTY. PLANTS SHALL BE PROTECTED FROM DISEASE AND/OR INSECT INFESTATION.
- DO NOT CREATE 'BEEHIVE' SAUCERS AROUND TREES (DETRIMENTAL TO THE HEALTH OF PLANT MATERIAL).
- SHRUB BEDS ARE INTENDED TO CREATE A FULL COVER OF THE BED SURFACE. DO NOT SHEAR OR CLIP SHRUBS, DURING ANNUAL MAINTENANCE. ALL MATERIALS ARE TO GROW INTO ONE ANOTHER AS ONE MASS.

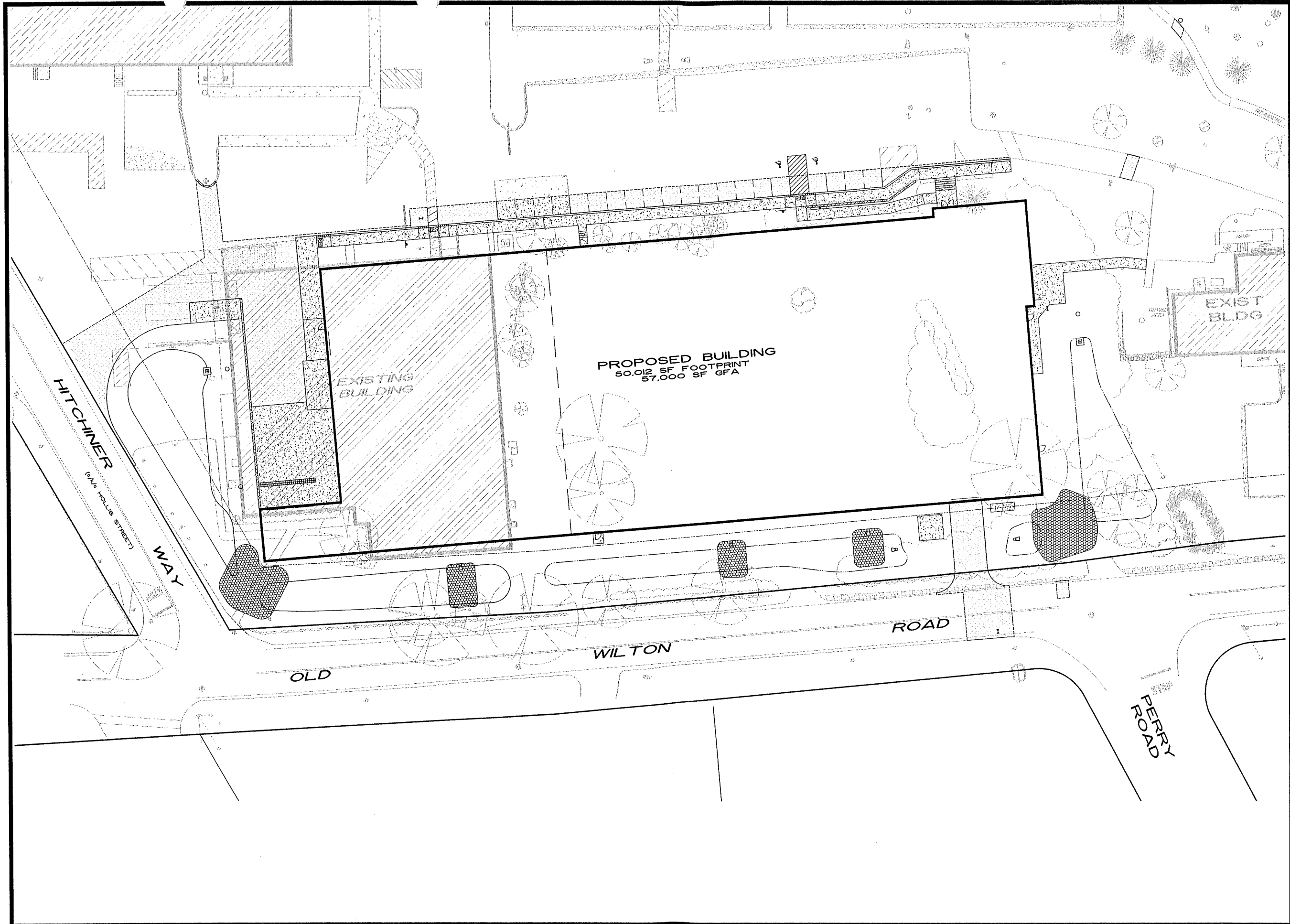
REVISION	DATE	BY

PREPARED FOR/RECORD OWNER:
HITCHCOCK MANUFACTURING COMPANY, INC.
594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 673-1100

DETAIL SHEET (MAP 02)
LANDSCAPE
ADMINISTRATION BUILDING
594 ELM STREET
MILFORD, NEW HAMPSHIRE

PREPARED BY:
JOSEPH HOCHREIN
PHONE (603) 648-6800 FAX (603) 648-6806
Landscape Architect
85 Frost Lane, Webster, NH 03303
DWG. NO. 1109-AB-1527 [DWG. LOC. J:\1000\1109\DWG\1109AB] Scale AS SHOWN
15 of 16 1109-AB-1527 18 JANUARY 2024





PROPOSED BUILDING
 50,012 SF FOOTPRINT
 57,000 SF GFA

EXISTING BUILDING

EXIST BLDG

HITCHINER WAY
 (N/A HOLIS STREET)

OLD WILTON ROAD

ROAD

PERRY ROAD

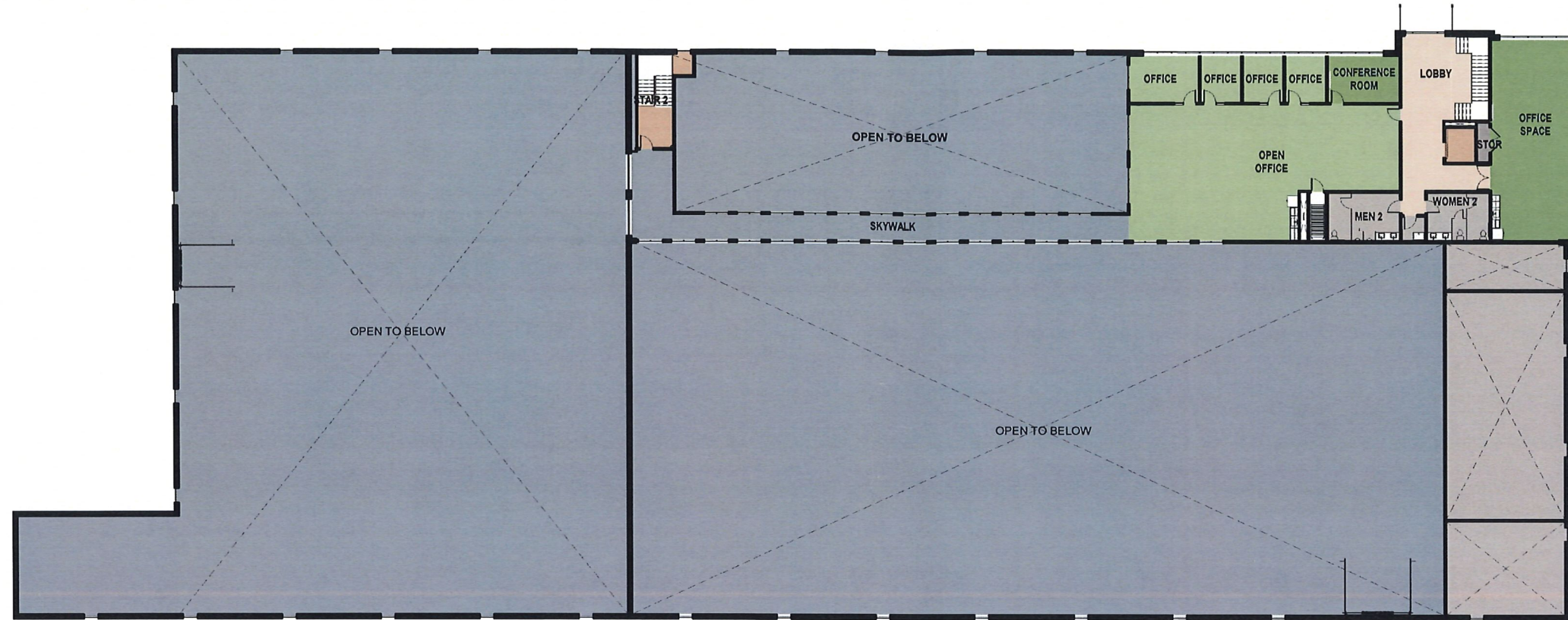
PHOTOMETRIC LIGHTING PLAN
 (MAP D2, LOT 13-5)
ADMINISTRATION BUILDING
 594 ELM STREET
 MILFORD, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
HITCHINER MANUFACTURING COMPANY, INC.
 594 ELM STREET MILFORD, NEW HAMPSHIRE 03055 (603) 873-1100

REVIEW ONLY
 NOT FOR CONSTRUCTION

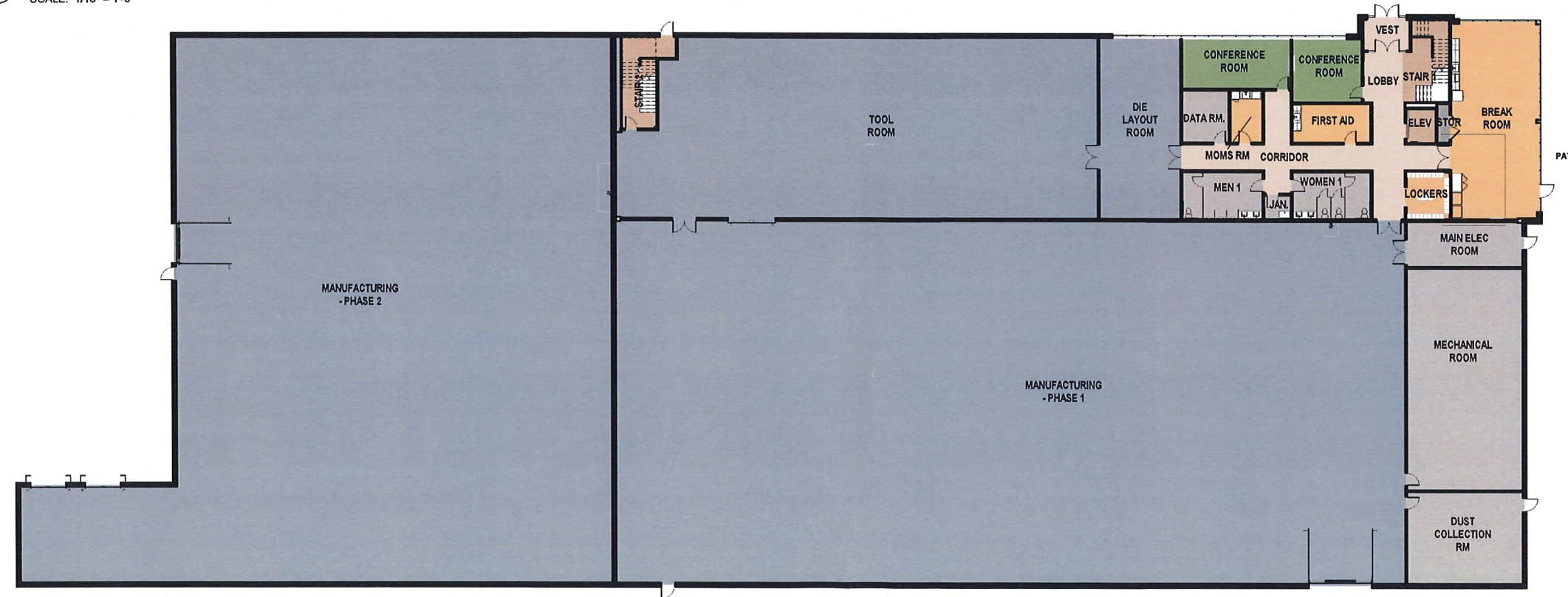
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FIELD BOOK: 1219, 1227 | DWG. LOC.: \\000\1109\1109AB
 DWG.: 1109-AB-SL21 | Scale: 1" = 20'
 16 of 16 | 1109-AB | 15 JANUARY 2024



PHASE 1:	
FIRST FLOOR	33,100 SF
SECOND FLOOR	6,990 SF
PHASE 2	
FIRST FLOOR	16,890 SF
TOTAL	56,980 SF

2 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

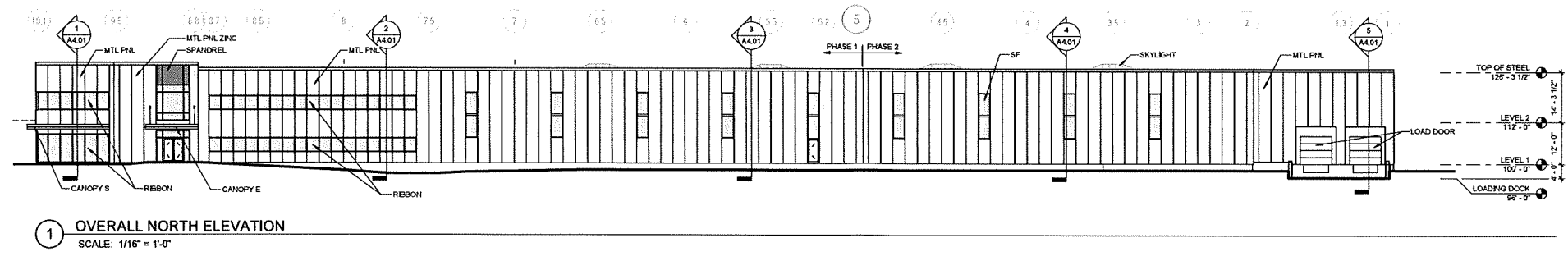
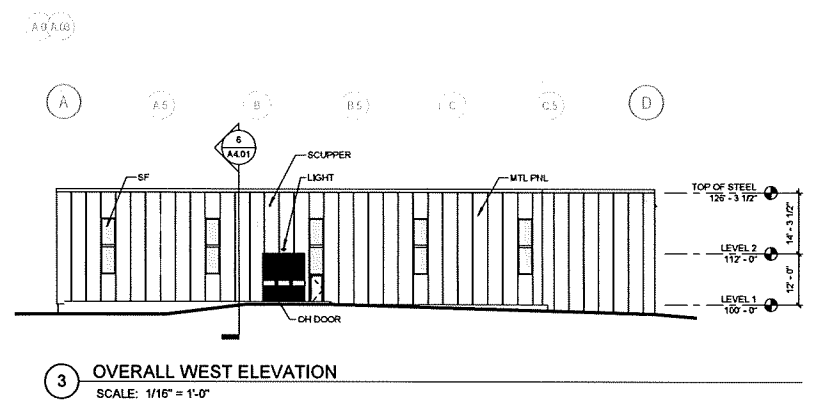
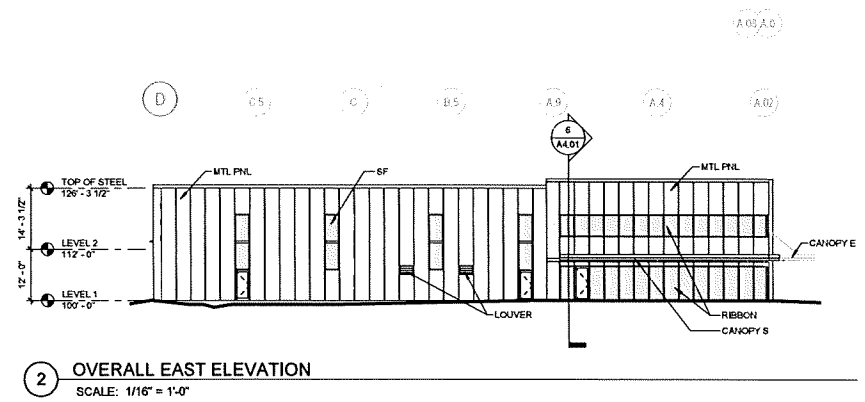
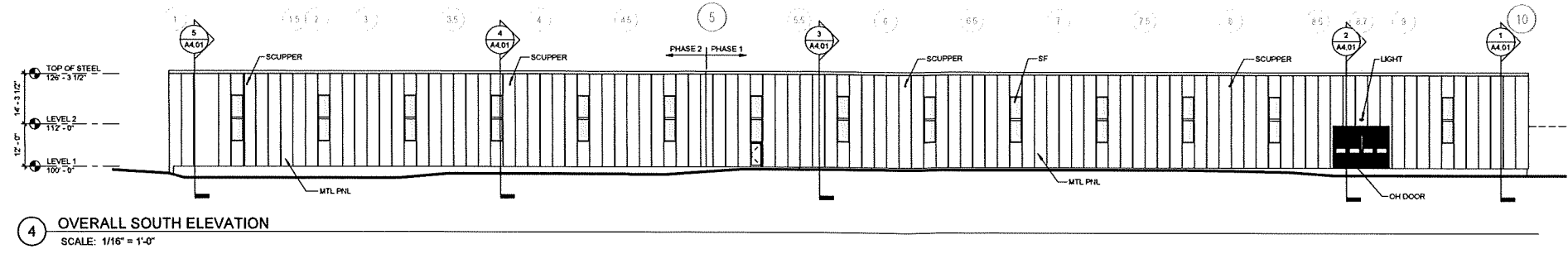


1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

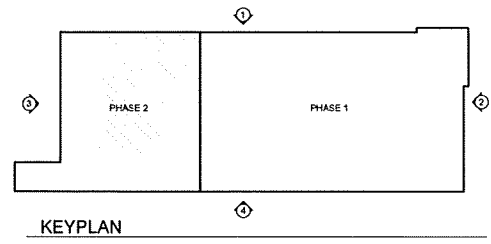
CONCEPTUAL FLOOR PLAN







KEYNOTES - EXTERIOR ELEVATION	
LABEL	DESCRIPTION
CANOPY E	ENTRY CANOPY
CANOPY S	SIDE CANOPY
LIGHT	EXTERIOR LIGHT
LOAD DOOR	OVERHEAD LOADING DOCK DOOR w/ DOCK SHELTER
LOUVER	VENTILATION LOUVER
MTL PNL	INSULATED METAL PANEL
MTL PNL ZINC	INSULATED METAL PANEL - WEATHERED ZINC
OH DOOR	OVERHEAD DOOR
RIBBON	RIBBON STOREFRONT, MULLIONS TO ALIGN w/ INSULATED METAL PANEL SEAMS
SCUPPER	SCUPPER
SF	STOREFRONT
SKYLIGHT	SKYLIGHT
SPANOREL	SPANOREL GLASS PANEL



PO BOX 4430
MANCHESTER NH 03108
603.623.8811
PROCONINC.COM

HITCHINER MANUFACTURING
594 ELM STREET, MILFORD, NH 03055

Date	Issue Description
02/17/23	PRELIMINARY PRICING
10/15/23	UPDATED PRICING
02/25/24	GAP

NOT FOR CONSTRUCTION

Architect: MAL
Drawn By: SFV
Project No.: 302216
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Drawing Sheet Title:
EXTERIOR ELEVATIONS

Drawing Sheet Number:
A3.01