



TOWN OF MILFORD, NH
OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055 TEL: (603)249-0620 WEB: WWW.MILFORD.NH.GOV

Date: November 10, 2022
To: Planning Board
From: Camille Pattison, NRPC Assistant Director
Subject: SP2022-08 Sooner Transportation LLC, for the property located at Tax Map 12, Lot 11, 754-756 Elm Street (Horseless Carriage Site). Public Hearing for a Major Site Plan Application to construct a two-story, 10,320 sf. auto sales and repair facility with associated parking, stormwater management/drainage, landscaping, and lighting improvements on the subject property located in the Commercial ‘C’ Zoning District and West Elm Overlay District.

BACKGROUND/PROPOSAL:

The applicant is before the Planning Board for a major site plan application to raze the existing Horseless Carriage building and construct a new 10,320 sf building with associated, parking, site and drainage improvements in the Commercial Zoning District. The property is also subject to the West Elm Overlay District, Groundwater Protection District and the Shoreland Protection Zone. Attached please find the site plan submittal.

This will be the second meeting for the application. The anticipated focus of this meeting will be for the applicant to provide a summary update on the recent discussions with NHDOT, revised site layout/design, location of the proposed building, internal circulation, and compliance with the West Elm Overlay District.

Attached, please find a revised submittal package, including the Elm Street Gateway District justification, revised waiver requests, revised site plan (revision date 11/2/22) and updated building concept, from the applicant’s engineer, Bedford Design Consultants.

EXISTING USE/CONDITIONS:

The proposed parcel, Tax Map 12, Lot 11 consists of approximately .889 acres (38,615 sq.ft.) with 171.77 linear feet of frontage on Elm Street. The property is located adjacent to two other car dealership/repair facilities, just north of the Pan Am Railway and south of the Souhegan River. The property is currently home to an existing car dealership and repair facility, with wetlands to the south and some limited tree coverage primarily at the rear of the lot. The existing facility has 3 garage doors with 8 bays inside, and the proposed facility will have 4 garage doors with 7 bays inside, including a paint booth.

A small wetland resource area has been delineated along the southern property line, but will not be impacted by the project. A proposed pond for roof water will be located in the southeastern corner of the lot.

LOT AREA:

Proposed Tax Map 12, Lot 11 = ±.889 acres (38,615 sq.ft.)

APPLICATION STATUS:

The application was accepted on August 16, 2022, and the applicant presented updated information at the September 20, 2022, and October 18th board meeting. The Board voted that the project posed no regional impact.

NOTICES:

Notices were sent to all property abutters.

WAIVERS:

~~1) Request for waivers from the Development Regulations, Section 6.05.4 to allow a reduction of required off~~

~~street parking spaces from 28 or 21 (depending on the calculation of bays vs. employees) to a proposed number of 19 spaces.~~

- ~~2) Request for waivers from Development Regulations, Section 6.08.5(B)1 and 6.08.7(A) from the required landscaping buffer for the east and north side of the property.~~

Additional waivers requested:

- 3) From the Development Regulations Section 6.05.6.E for parking within 10' of the Right of Way.
- 4) From the Development Regulations Section 6.05.6.E and Section 6.05.3.A.4 from accessible Parking Space Dimensions.
- 5) From the Zoning Ordinance, Section 6.07.6.E.5.a – Parking lots should be located on side or rear of buildings and Section 6.07.6.E.1.a – Proposed buildings shall maintain an appropriate street edge to adjacent structures for the location of the proposed building and parking.

Revised waivers requested:

- 1) **Request for waivers from the Development Regulations, Section 6.05.4 to allow a reduction of required off street parking spaces from 21 to a proposed number of 18 spaces.**
- 2) **Request for waivers from Development Regulations, Section 6.08.5(B)1 and 6.08.7(A) from the required landscaping buffer for the east, west and north and side of the property.**

ZONING DISTRICTS:

The proposed parcel lies within the Commercial Zoning District. This District is intended to be the area in which vehicular oriented business can occur. Pursuant to Section 5.05.01 of the Zoning Ordinance, motor vehicle sales and motor vehicles repairs are allowed.

The property also falls within the West Elm Street Gateway Overlay District. The intent of this District is to encourage economic development in the West Elm Street Gateway District by enhancing, preserving and protecting the natural, historic and cultural resources of the Town. The purpose of this Ordinance is to implement the Town of Milford's vision for the future as set forth in the Community Character Chapter of the Master Plan 2007 Update: Goal No. 2: Foster the traditional character of Milford's neighborhoods by encouraging a human scale of development that is similar in setbacks, size and height, and that is comfortable and safe for pedestrians and non-motorized vehicles while allowing for an efficient and safe roadway network.

The current configuration of the new facility will allow the property owner to maintain current operations during construction. However, upon review, the design, layout, and architecture of the building conflicts with the spirit/intent of the West Elm Street Gateway Overlay District, which aims to orient buildings with the roadway and towards the front of the lot, with parking shielded in the rear and to the side of the property in addition to appropriate building design.

The property falls within the Groundwater Protection District, with most of the lot falling within the Level 2 Area and a small portion to the northwest located within the Level 1 Area. The parcel must comply with the performance standards of Section 6.01.2 and the Shoreland Protection Zone in the Zoning Ordinance.

TRAFFIC AND ACCESS MANAGEMENT:

Access and egress from the retail facility will be from a 24' wide driveway curb cut on Elm Street, in the same location as the current entrance. This will be a consolidation of the existing 2 curb cuts. The driveway egress design allows for both east and west movement and a single lane access into the property. The project did not receive approval from NH DOT for drop off in the ROW and therefore will now unload in front of the building.

Anticipated versus existing peak traffic volume data is provided in a letter dated August 9, 2022 and provided to NH DOT.

PARKING:

The project proposes to provide 18 parking spaces for staff and customers with 40 spaces for display cars. The requirement is for a minimum of 28 or 21 spaces depending on the calculation of bays versus employees.

DRAINAGE/STORMWATER MANAGEMENT:

The stormwater and drainage design has been reviewed by the Town's engineering consultant. KV Partners has issued a letter dated October 13, 2022 stating that all previous comments were addressed and the project is now acceptable from an engineering perspective.

The November 2, 2022 revised plan set and submittal package has been provided to the Town's engineering consultant and is waiting feedback.

Of note, is the proposed installation of pervious paver infiltration and underground located in the middle of the display parking spaces.

UTILITIES:

The proposed retail establishment will access the Milford waste water system via the existing sewer line. The applicant has shown an additional water line from the street.

INTERDEPARTMENTAL REVIEWS:

Ambulance: No comments

Assessing: No comments.

Building Department: No comments.

Code Enforcement/ Health: No comments.

Conservation Commission: No Comments.

Environmental Programs/Stormwater: See attached October 13, 2022 Site Plan Drainage review by the Town Engineering Consultant, KV Partner stating that all comments have been addressed.

Fire Department:

1. The total square footage of the building is actually 10,320 as proposed. *Resolved*
2. The Life Safety Code occupancy classification is a Special-Purpose Industrial Occupancy and would need to comply with Chapter 40 of the LSC. – *Noted*
3. The Building Code occupancy classification is an S-1 storage occupancy. - *Noted*
4. An automatic fire detection and notification (fire alarm) system is required. – *Resolved Note17 on Cover Sheet*
5. An automatic sprinkler system is required for this building. I did note a proposed 6" fire service on the grading and utility plan, so I'm assuming that they're planning on providing one. – *Resolved Note17 on Cover Sheet*
6. Milford Fire Department requires a fire hydrant within 100' of fire department connections, which will require a private hydrant to be installed as part of the project. – *Applicant noted on the plans, a proposed hydrant within 100' of the Fire Department connection.*
7. The engineer must design the fire department access to accommodate our ladder truck weight, approach/departure angles, and turning radius. Specifications available from MFD upon request. – *The applicant has worked with the Fire Department to design an acceptable on site turn around area that will accommodate fire trucks. On November 4, 2022, the Milford Fire Department approved the plans entitled 'Sooner Milford Site Plan', with a revision date of November 2, 2022. If the design is not further modified, then these plans will be acceptable for the site portion of our building permit review, but if any changes are made Milford FD would need to review a new set of drawings as part of building permit review when that time comes.*
8. *Please note that MFD approval of site plans does not constitute issuance or approval of a building permit, nor does it address all fire and life safety code requirements for buildings constructed as part of the project.*
9. Fire lane markings will be required on the fire department access. – *Resolved and shown on sheet 11 dated November 2, 2022.*

Heritage Commission: No comments.

Police Department: No comments.

Public Works:

1. Project will require a NH DOT and Driveway Permit. – *Noted on Page 1 Note 11*

Water/Sewer Utilities:

1. The service needs to be from the main in the street, not stubbed off the fire line. The domestic should be 1 inch CTS running 18 inches from the 6-inch fire line. Please revise plan accordingly. *Resolved*
2. The Sewer once it reaches the Town right of way must turn from 4 inch to 6-inch SDR 35. Please revise plan accordingly. *Resolved*
3. The Water line out in the road is a 12 inch, not 8 inches. Please revise plan accordingly. *Resolved*

Community Development / Planning:

1. A discrepancy appears on the plan regarding the lot size. This needs to be addressed and made consistent. *Resolved*
2. Ensure that all plantings do not impact sight distance for access/egress along Wilton Road. *Resolved*
3. The current configuration of the new facility will allow the property owner to maintain current operations during construction, however is not meeting the spirit of the West Elm Street Gateway Overlay District, which aims to orient buildings with the roadway and towards the front of the lot, with parking shielded in the rear and to the side of the property. ***Waiver has been requested.***
4. The property falls within the Groundwater Protection District, with most of the lot falling within the Level 2 Area and a small portion to the Northwest lies within the Level 1 Area. The parcel must comply with the performance standards of Section 6.01.2 and the Shoreland Protection Zone. The applicant will need to identify what chemicals and materials will be stored on-site. ***Unresolved***
5. No additional traffic related information has been submitted as part of this site plan, and anticipated versus existing peak traffic volumes should be reviewed. *See letter dated August 9, 2022.*
6. Add a note to the plan indicating that in the event the proposed snow removal areas are not sufficient, snow will be relocated off-site. *Resolved*
7. Please amend the note saying demolition will be completed under the rules of the town of Manchester. – *Resolved*
8. Sheet 1, Note 9 – Please update the site plan to include the existing and resulting open space calculations in the *Dimensional Regulations: Commercial* table. *Resolved*
9. Please revise site plan to include all proposed signage for the project. *Resolved*
10. Sheets 1 and 10 – The site plan shows the proposed location of the dumpster and pad encircled by an 8’ stockade fence within the 15-foot westerly side dimensional setback. The proposed 8’ stockade fence and concrete pad are defined as structures in the Town’s Zoning Ordinance and such, would require a Special Exception by the Board of Adjustment for relief of this requirement. The alternative would be amending the plan and relocate the dumpster outside of the dimensional setback. *Resolved*
11. Sheet 1 – Further as stated in Section 6.05.6.E, all off-street parking and loading or unloading spaces shall be at least ten feet (10’) from any public street right-of-way and shall be separated from such right-of-way by a granite curb and landscaping as required in 6.08 LANDSCAPING STANDARDS. The proposal require a waiver of these requirements.

*The loading area has been relocated in front of the building, NH DOT requested that the existing island be extended to the property line. The display area is entirely located on the lot, but within the 10’ setback with no landscaping buffer. **Would the NH DOT be amenable to extending the island to the east entrance in the***

same shape as the west entrance. Also will NH DOT allow for some trees to be located within the ROW south of the existed paved island.

12. Sheet 1 – The plan shows display parking space partially located off the property and within the State right-of-way. As stated in the Zoning Ordinance, Section 6.05.6.E, Parking and loading spaces shall be arranged so that cars will not back into public roads. The plan will need to be amended to relocate said parking spaces within the subject property at least 10 feet from the Elm Street public right-of-way. ***Now located within the site, but still requires a Waiver from Development Regulations Section 6.05.6.E for parking within 10' of the Right of Way***
13. Sheet 1 - The applicant should explain the internal circulation, access/egress patterns for the 40 display vehicles. At a minimum, the plan should be revised to include the appropriate aisle widths between the rows of display vehicle parking. *One row of cars has been removed and a 14' aisle added. Applicant has provided an internal circulation pattern for trailer trucks. Resolved*
14. Sheet 1 – Staff questions if the adequate snow storage areas have been provided. A note should be added to the plan stating that snow shall be removed to an offsite location using best management practices. *Resolved see not 16 on Sheet 1.*
15. Sheets 1 and 6 - Pursuant to the Zoning Ordinance, Section 6.07.6.E.1.a, a new structure shall maintain an appropriate street edge in relationship to adjacent structures. The location of the proposed building is set within the rear section of the property, which conflicts with buildings located to the east and west. ***Waiver has been requested from the Zoning Ordinance Section 6.07.6.E.1.a – Proposed buildings shall maintain an appropriate street edge to adjacent structures for the location of the proposed building and parking.***
16. Sheets 1 and 6 - Pursuant to the Zoning Ordinance, Section 6.07.6.E.2.b, the proposed building should enhance the definition of each floor of the building through terracing, material changes, articulated structural elements, changes in materials and horizontal trim bands. The applicant should explain how the proposed building complies with this section. ***Revised Architectural Plans Submitted on 11/3/22.***
17. Sheets 1 and 6 – Please explain how the proposed building architectural features and materials comply with the Zoning Ordinance, Section 6.07.6.E.3. ***Revised Architectural Plans Submitted on 11/3/22.***
18. Sheets 1 and 6 – Pursuant to the Zoning Ordinance, Section 6.07.6.E.4.a, the proposed building design should avoid blank walls at ground-floor levels through the use of windows, trellises, material changes, arcades, or other features to increase visual interest. The applicant should be prepared to discuss how the proposed building complies with the section. ***Revised Architectural Plans Submitted on 11/3/22.***
19. Sheets 1 and 6 - Pursuant to the Zoning Ordinance, Section 6.07.6.E.5.a, parking lots should be located to the rear or side of a building whenever possible. The proposed parking area is located along the front of the property. The applicant should be prepared to discuss the alternatives considered. ***Letter dated November 2, 2022 identifies hardships in achieving this. Waiver requested from the Zoning Ordinance, Section 6.07.6.E.5.a – Parking lots should be located on side or rear of buildings.***

Site Walk on 9/6/22

The Planning Board conducted a site walk on 9/6/22 with the applicant and their engineering team. The following issues and potential solutions were discussed:

1. DOT ROW – The NH Department of Transportation will not approve a loading zone for the property in the existing DOT ROW. Therefore, the applicant needs to present an internal circulation plan for the site. This plan shall indicate the largest size vehicle anticipated and the maneuverability of said vehicle through the property, as well as loading areas. *Resolved*
2. Access into the property is limited, and currently shown as one entrance from Elm Street with an access to the adjacent property to the east. The applicant needs to explore options to improve access and overall maneuverability and internal circulation through the site. *Resolved*
3. Telephone Pole with Associated Lighting – The existing telephone pole with associated lighting to both the proposed site and property to the east could be relocated with new lighting installed. Said lighting could be designed and located to be mutually beneficial for both properties. This would create the potential for another

access point in this location.

20. Location of Proposed Building – The applicant has expressed the desire to locate the building at the rear of the property to maintain operations in the existing building during construction. However, a different building location, such as parallel to the western property line, would move the building closer to the road, in keeping with the performance measures of the 6.07.6.E.1 Building Orientation - New structures shall orient their main entrance or storefront to a public street. The applicant should be prepared to discuss alternative site layouts and designs that are more in compliance with the West Elm Street Gateway Overlay District. **Letter dated November 2, 2022 identifies hardships in achieving this. Waiver requested from the Zoning Ordinance, Section 6.07.6.E.5.a – Parking lots should be located on side or rear of buildings.**
4. Feasibility of Easement on Adjacent Property – Due to the limited size of the site and the high percentage of the site dedicated to parked cars, the applicant should coordinate with adjacent properties to determine if a mutually beneficial easement could be developed to assist both properties with vehicle loading and unloading. **The applicant is working towards a lease to own agreement for the adjacent property to the east. A note should be added to the plan stating “If future ownership is obtained on Map 12 Lot 10, then the owner must submit a revised site plan to revisit the potential merging of the uses on both individual lots.”**
5. Clean Up – the site needs to be cleaned up including removal of the storage units at the rear of the property. *Noted on Sheet 3 Demolition and Erosion Sheet Plan. Resolved*

STAFF RECOMMENDATIONS:

The applicant should be prepared to address the comments raised by the Planning Board, Conservation Commission, Heritage Commission, Town Consultants, Staff, and public pertaining to the Site Plan. The Planning Board will need to determine if the proposed site development meets the purpose and intent of the overlay. Once the Board is satisfied with the final submittal information and all remaining conditions have been resolved or identified to their satisfaction, staff recommends approval subject to revising the plan per staff and Board comments.

Aerial Photographs of Map 12, Lot 11

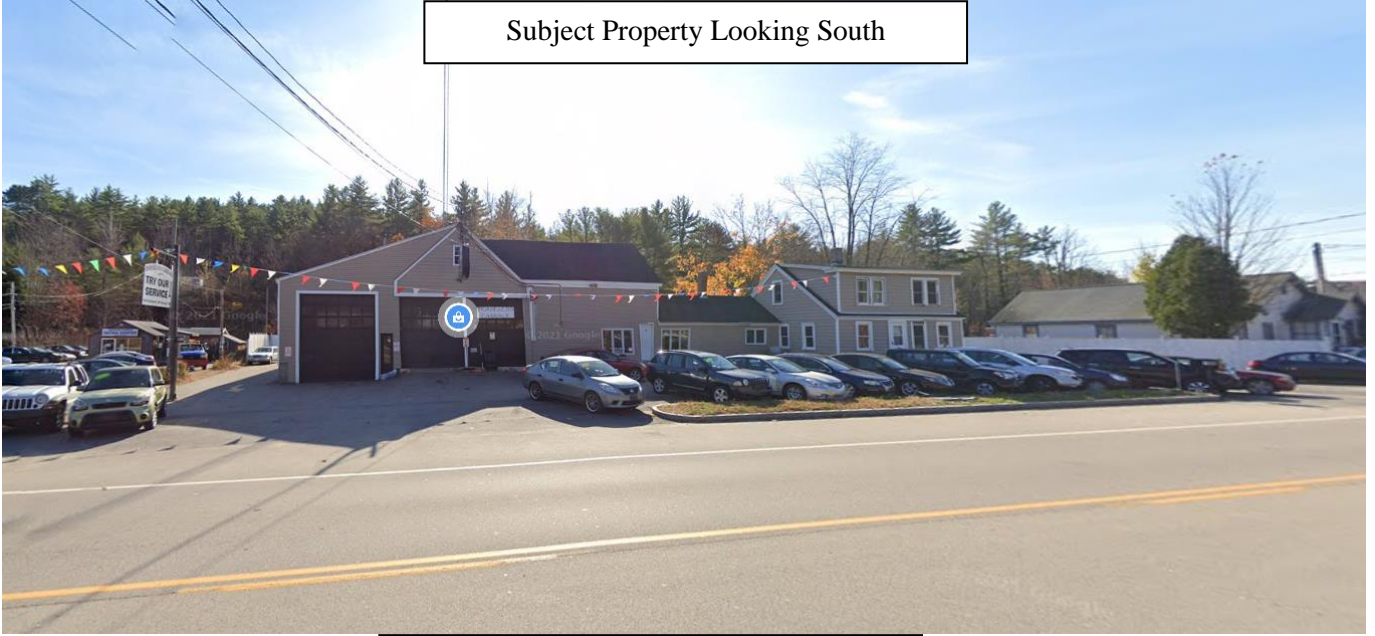




Street Photographs of Map 12, Lot 11



Subject Property Looking South



Subject Property Looking Southeast



November 8, 2022

Camille Pattison, NRPC Planning Consultant
Town of Milford
1 Union Square
Milford, NH 03055

**Re: Sooner Milford Site Plan (Tax Map 12, Lot 11) – 754 and 756 Elm Street
Site Plan Drainage Review**

Dear Ms. Pattison:

We reviewed the revised twelve-sheet plan set dated November 2, 2022 and prepared by Bedford Design Consultants, Inc. in accordance with our agreement with the Town. Based on that review and in consideration of the proposed revision, we find that the project is acceptable from an engineering perspective.

If you have any questions or need any additional information, please feel free to contact me at 603-413-6650 or on my cell phone at 603-731-1562 or by email at MVignale@kvpllc.com.

Sincerely,

KV Partners LLC



Michael S. Vignale, P.E.
Principal Engineer

From: [Riley Stanchina](#)
To: [Planning Consult](#); [Katie Weiss](#)
Cc: [Lincoln Daley](#); [Darlene Bouffard](#)
Subject: RE: Sooner Submittal
Date: Friday, November 4, 2022 1:47:40 PM
Attachments: [1667-01-Rev C-reduced MFD Approved.pdf](#)

Hi Camille,

I have reviewed the revised plans and they are approved by MFD. If the design is not further modified, then these plans will be acceptable for the site portion of our building permit review, but if any changes are made we would need to review a new set of drawings as part of building permit review when that time comes.

Please note that MFD approval of site plans does not constitute issuance or approval of a building permit, nor does it address all fire and life safety code requirements for buildings constructed as part of the project.

Also, when is the planning board meeting for this?

Be safe,

Riley J. Stanchina, CFEI
Deputy Chief
Milford Fire Department

39 School St.
Milford, NH 03055
603-249-0680 Station
rstanchina@milford.nh.gov

The Right to Know Law (RSA 91-A) provides that Town of Milford email communications regarding the business of the Town of Milford are governmental records which may be available to the public upon request. Therefore, this email communication may be subject to public disclosure.

From: Planning Consult <planningconsult@milford.nh.gov>
Sent: Thursday, November 3, 2022 12:50 PM
To: Riley Stanchina <rstanchina@milford.nh.gov>; Katie Weiss <katiew@BedfordDesign.com>
Cc: Lincoln Daley <ldaley@milford.nh.gov>; Darlene Bouffard <dbouffard@milford.nh.gov>
Subject: FW: Sooner Submittal

Hello Riley,

Attached is the revised submittal from Bedford Design Consultants, regarding the Sooner site plan at 754-756 Elm Street. Could you please review and confirm that the revised plans satisfy the

requirements of the Fire Department for circulation, signage, etc.

Thank you,
Camille

Camille Pattison
NRPC Planning Consultant
Town of Milford
planningconsult@milford.nh.gov
603-249-0620

From: Katie Weiss
Sent: Thursday, November 3, 2022 11:20 AM
To: camillep@nahuarpc.org
Cc: Lincoln Daley <ldaley@milford.nh.gov>; Robert Baskerville <bobb@bedforddesign.com>; Jerry Johnson <jerryjtulsa@yahoo.com>
Subject: Sooner Submittal

Hi Camille,

Barbara dropped off our submittal last night. Attached are PDFs of everything.

I have also attached an architectural drawing. The door color needs to be changed, which he is doing, but it has the updates which were discussed. Once he has the final architectural plans, I will forward them off to you. I ended up just removing the old elevations from my plan set for now, I will put them back later.

Thanks,
Katie

Katherine Weiss, PLA, ASLA
Landscape Architect & Project Manager

603-622-5533
katiew@bedforddesign.com

592 Harvey Road
Manchester, NH 03103

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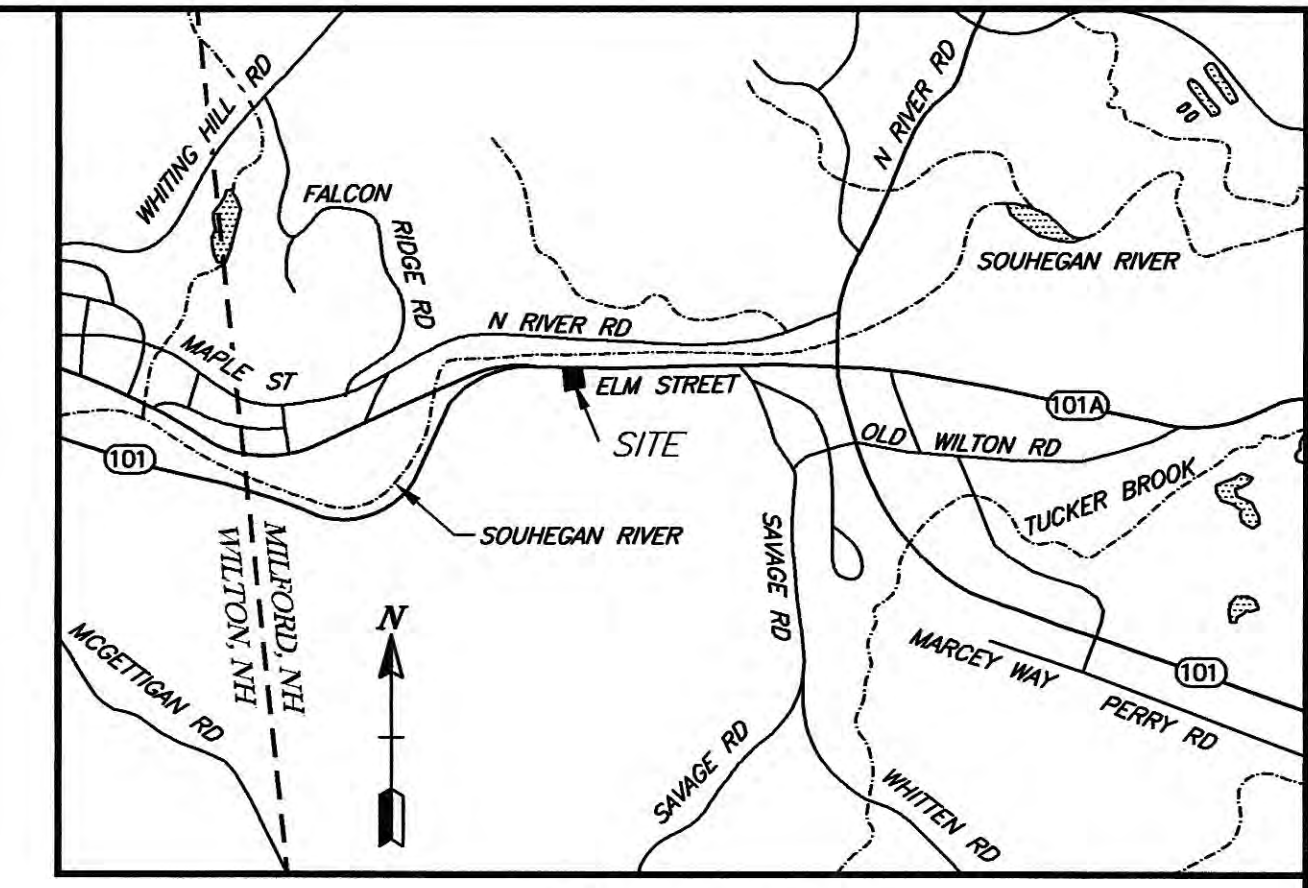
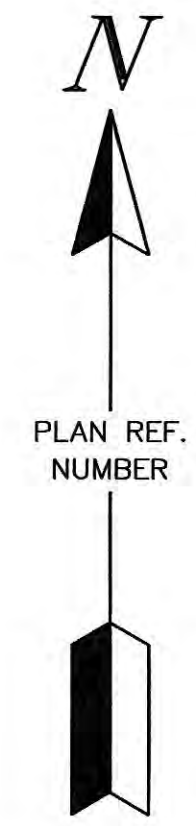


SOONER MILFORD SITE PLAN

754 & 756 ELM ST MILFORD, NEW HAMPSHIRE

TAX MAP 6 LOT 17
RIVER BED TRUST
DAWN J. ARNSTEIN, TRUSTEE
P.O. BOX 95
WILTON, NH 03086-0095
BOOK 5167 PAGE 1545

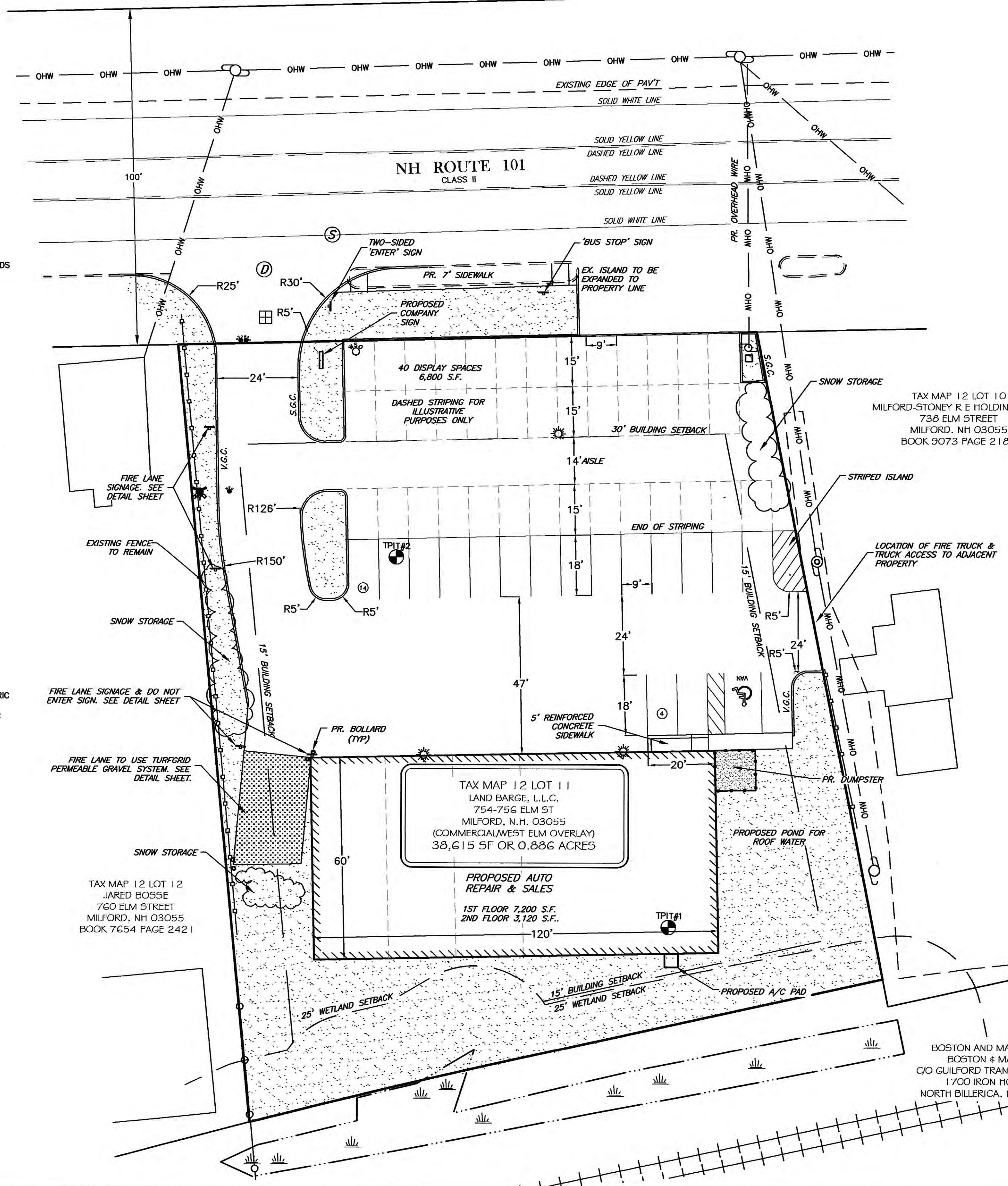
TAX MAP 12 LOT 10-1
STATE OF NEW HAMPSHIRE
P.O. BOX 483
CONCORD, NH 03302-0483
BOOK 1307 PAGE 0182



LOCUS MAP
(1" = 2000')

LEGEND

- 290 PROPOSED CONTOUR
- 290 EXISTING CONTOUR
- 430.3 PROPOSED SPOT GRADE
- 282.6x EXISTING SPOT GRADE
- LOT LINE
- SETBACK LINE
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND SYMBOL
- WETLAND BUFFER
- EXISTING ROADWAY
- PROPOSED CURBING
- EXISTING CATCH BASIN
- PROPOSED RIP RAP
- PROPOSED BUILDING
- PROPOSED GRASS
- PROPOSED PERVIOUS PAVERS
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED LIGHT POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- # OF PARKING SPACES
- UD PROPOSED UNDERDRAIN
- GAS PROPOSED GAS LINE
- GAS EXISTING GAS LINE
- W PROPOSED WATER LINE
- W EXISTING WATER LINE
- UGE PROPOSED UNDERGROUND ELECTRIC
- E EXISTING UNDERGROUND ELECTRIC
- S PROPOSED SEWER LINE
- S EXISTING SEWER LINE
- D PROPOSED DRAIN LINE
- D EXISTING DRAIN LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- REBAR FOUND
- STONE BOUND FOUND
- REBAR TO BE SET
- GRANITE BOUND TO BE SET
- IRON PIPE FOUND
- BENCHMARK SET
- WELL
- MAILBOX
- STREET ADDRESS
- SCS SOIL LINE
- EXISTING WATER SHUTOFF
- PROPOSED WATER SHUTOFF
- TEST PIT
- ABUTTING PROPERTY LINE
- OHW EX. OVERHEAD WIRES
- OHW PR. OVERHEAD WIRES
- PR. BOLLARD



NOTES:

1. OWNER OF RECORD:
TAX MAP 12 LOT 11
LAND BARGE, LLC
754-756 ELM ST
MILFORD, NH 03055
BOOK: 8664 PAGE: 2557
2. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED AUTO REPAIR AND AUTO SALES SHOP WITH ACCOMPANYING PARKING AND CIRCULATION AND OUTDOOR DISPLAY.
3. THE EXISTING LOT IS AN AUTO REPAIR AND SALES SHOP WITH ASSOCIATED PARKING CIRCULATION AND STORAGE. THE FRONT 1/3 OF THE PROPERTY ARE PAVED. BEHIND THE BACK FENCE IS GRASS. THE MAJORITY OF IMPROVEMENTS ARE TO BE REMOVED. SEE THE DEMOLITION PLAN.
4. EXISTING DRAINAGE INCLUDES A CATCH BASIN ON ROUTE 101 AND A WETLAND SWALE AT THE BACK OF THE PROPERTY. THE PROPOSED DRAINAGE INCLUDES AN ABOVE GROUND STORMWATER BASIN AND PERMEABLE PAVERS AND THE EXISTING DRAINAGE STRUCTURES. THE SITE IS FLAT AND ALL WATER EVENTUALLY REACHES ROUTE 101. THE SWALE AT THE BACK OF PROPERTY FLOWS ONTO THE ADJACENT PROPERTY AND TO ROUTE 101.
5. TOTAL PARCEL AREA = 38,615 SQ. FT. OR 0.886 ACRES.
6. ZONED: COMMERCIAL & WEST ELM OVERLAY DISTRICT. THE PARCEL ABUTS THE INDUSTRIAL ZONE. IT IS IN THE GROUNDWATER PROTECTION DISTRICT AND THE SHORELAND PROTECTION ZONE.
7. THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP: HILLSBOROUGH COUNTY, MAP NUMBER 33011C04540, EFFECTIVE DATE SEPTEMBER 25, 2009.
8. THE SITE IS LOCATED IN THE LEVEL II PROTECTION AREA AS SHOWN ON THE MAP TITLED 'GROUNDWATER PROTECTION AREA: MILFORD, NH' PREPARED BY NASHUA REGIONAL PLANNING COMMISSION, PRINTED 10/24/02.
9. DIMENSIONAL REGULATIONS: COMMERCIAL

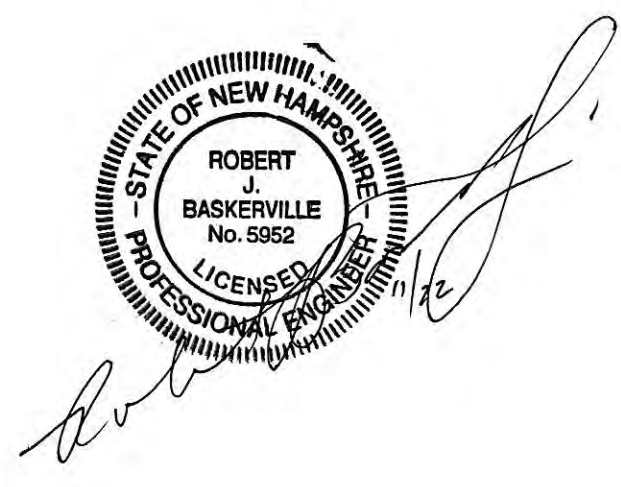
	REQ.	EX.	PR.
MIN. LOT SIZE	20,000 S.F.	38,615 S.F.	38,615 S.F.
MIN. FRONTAGE	150'	172'	172'
FRONT SETBACK	30'	30'	30'
SIDE/REAR SETBACK	15'	15'	15'
OPEN SPACE	30%	32% (12,284 S.F.)	30% (11,350 S.F.)
WETLAND NON-DIST.	25'	-	25'
10. PARKING:
9'x18' SPACES WITH 24' ACCESS AISLES.
AUTO REPAIR/AUTO DEALER:
4 SPACES PER BAY = 4 X 7 = 28 SPACES
1 SPACE/EMPLOYEE + 1 SPACES PER 1,000 S.F.
= 10 EMPLOYEES + 10.8 PER S.F.
= 21 SPACES REQUIRED
= 18 SPACES PROPOSED (SEE WAIVER REQUEST BELOW)
11. THIS PROJECT REQUIRES THE FOLLOWING PERMITS:
NHDES SHORELAND PERMIT
NHDES SEWER DISCHARGE PERMIT
TOWN OF MILFORD STORMWATER PERMIT
NH DOT DRIVEWAY PERMIT
12. WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
13. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
14. THIS PROJECT MAY BE TO THE TOWN OF MILFORD IMPACT FEES.
15. WAIVERS ARE REQUESTED FOR THE NUMBER OF REQUIRED PARKING SPACES IN SECTION 6.05.4 TABLE OF OFF-STREET PARKING, FROM THE PERIPHERY LANDSCAPE STRIP SECTION 6.08.5(B)1 & 6.08.7(A)1, AND FROM THE ACCESSIBLE PARKING LENGTH SECTION 6.05.3(A)4 & 6.05.5(E), AS WELL AS WAIVERS FROM THE ZONING ORDINANCE SECTION 6.07.E.3.A. PARKING LOTS SHOULD BE LOCATED ON THE SIDE OR REAR OF BUILDINGS AND SECTION 6.07.B.6.7.A. PROPOSED BUILDINGS SHALL MAINTAIN AN APPROPRIATE STREET EDGE TO ADJACENT STRUCTURES.
16. IN THE EVENT THE PROPOSED SNOW REMOVAL AREAS ARE NOT SUFFICIENT, SNOW SHALL BE RELOCATED OFF SITE USING BEST MANAGEMENT PRACTICES. ALL SNOW REMOVAL SHALL BE DONE BY A GREEN SNOW PRO CERTIFIED COMPANY.
17. THIS SITE PLAN REQUIRES AN AUTOMATIC FIRE ALARM SYSTEM AS WELL AS AN AUTOMATIC SPRINKLER SYSTEM. THE FIRE LANE IS LOCATED ALONG THE FRONT ENTRANCE DRIVE. APPROPRIATE SIGNAGE SHALL BE INSTALLED PER THE PLANS. THE FIRE TRUCK TURNAROUND SHALL REMAIN FREE OF OBSTRUCTIONS.
18. THE LOADING AREA SHALL BE ALONG THE FRONT OF BUILDING. DELIVERY TRUCKS SHALL BE LIMITED TO FLATED TRUCKS. ALL DELIVERIES SHALL BE SCHEDULED SO THAT EXISTING CARS CAN BE RELOCATED FOR EASE OF EGRESS.
19. DISPLAY PARKING SPACES MAY NOT BACK OUT INTO THE MAIN ROAD. THIS AREA IS TO REMAIN OPEN TO ALLOW EGRESS OF THE FLATED TRUCKS.

MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

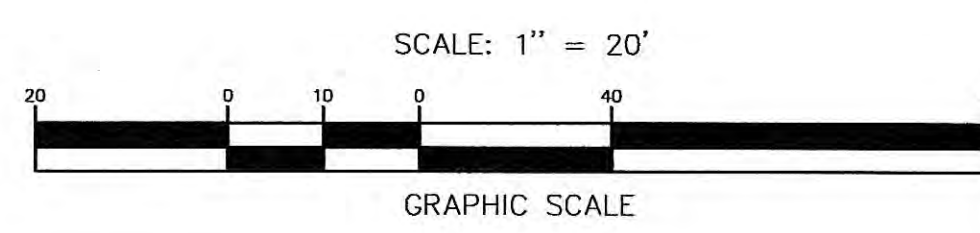
DATE: 11/04/2022

APPROVAL OF THIS DRAWING DOES NOT
RELIEVE THE CONTRACTOR OF THE
RESPONSIBILITY FOR COMPLIANCE WITH
APPLICABLE CODES AND STANDARDS.



OWNER'S SIGNATURE
NAME _____ DATE _____

APPROVED BY THE TOWN OF MILFORD PLANNING BOARD
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____



DATE	DESCRIPTION	BY	REV.
11-2-22	REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A

TAX MAP 12 LOT 11
OVERVIEW & SITE PLAN
SOONER-MILFORD
 LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
 OWNER: LAND BARGE, LLC
 754-756 ELM STREET
 MILFORD, NH 03055
 APPLICANT: SOONER TRANSPORTATION LLC
 3 EXECUTIVE PARK DRIVE, SUITE 2016
 BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 1 OF 12

DESIGN: KAW	DRAWN: KAW	CHECKED: RJB	FB: 580	PG: 60	1667-01
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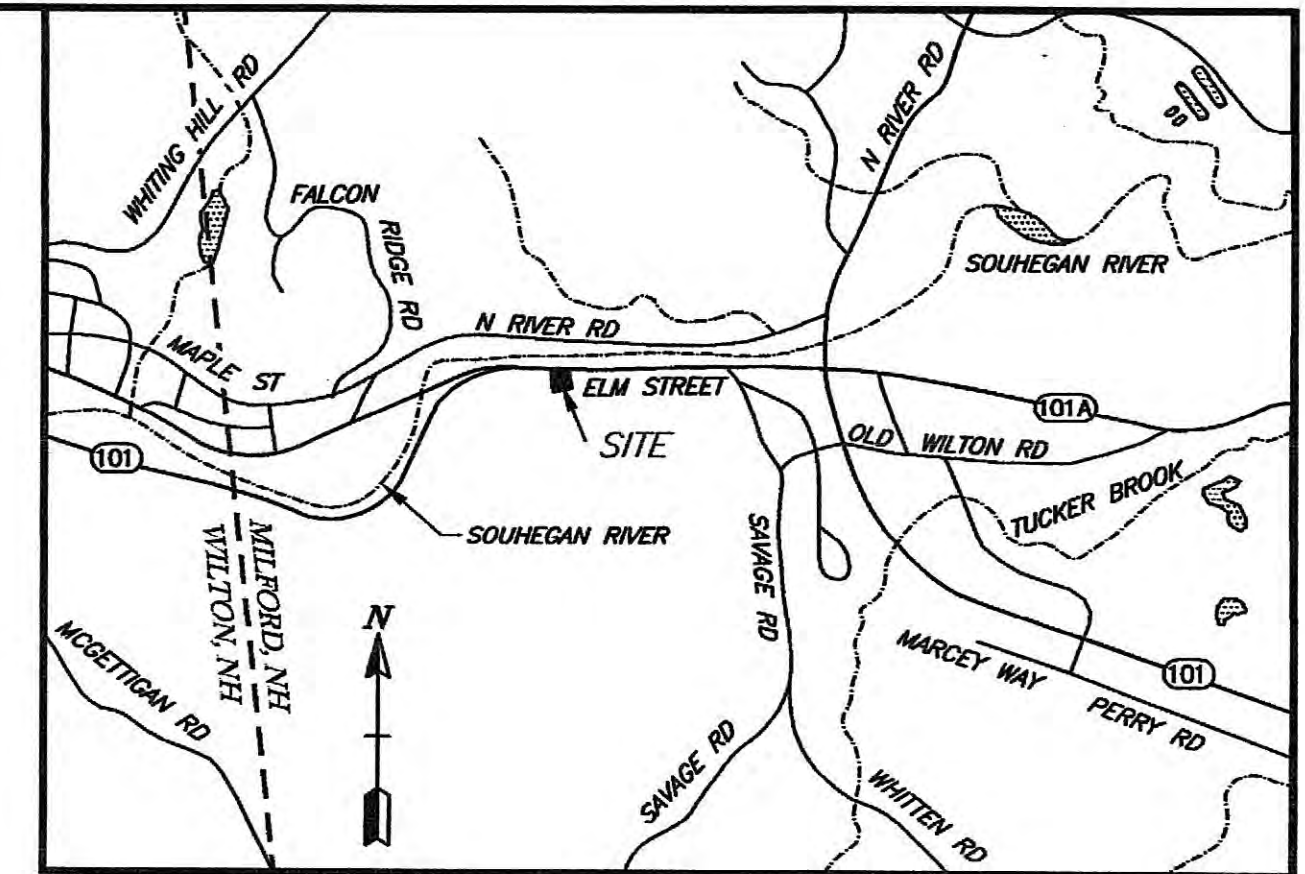
Bedford Design Consultants Inc.
 ENGINEERS AND SURVEYORS
 592 Harvey Road, Manchester, NH 03103
 Telephone: (603) 622-5533
 www.bedforddesign.com

PLAN REFERENCES:

- "PLAN OF LAND PETER D. HARDWICK MILFORD NH" DATED APRIL 25, 1978, PREPARED BY THOMAS F. MORAN, INC. HCRD PLAN #11135.
- "BOUNDARY PLAN OF LAND TAX MAP PARCELS 7-33-3, 11-12 & 12-1 HILLSBOROUGH MILLS MILFORD, NH" DATED JUNE 11, 1980, PREPARED BY THOMAS F. MORAN, INC. HCRD PLAN #13775.
- "PLAN OF LAND ELM STREET-ROUTE 101 MILFORD, N.H. SURVEYED FOR HOWARD R. GREENE, JR. DATED MAY 1975, PREPARED BY ROBERT NOLTE AND ASSOCIATES, HCRD PLAN #18469.
- "PLAT OF MARY E. PARKER LAND MILFORD, NH" DATED FEBRUARY 1982, PREPARED BY ROBERT L. TODD, HCRD PLAN #26162.
- "LOT LINE ADJUSTMENT PLAN OF LAND LOTS 11-11 & 12-15 GRANITE BANK MILFORD, NEW HAMPSHIRE" DATED APRIL 26, 1999, LAST REVISED MAY 14TH, 1999, PREPARED BY MANADNOCK SURVEY, INC. HCRD PLAN #29874.
- "RIGHT-OF-WAY AND TRACK MAP, WILTON R.R. CO., OPERATED BY THE BOSTON AND MAINE R.R. STATION 733+40 TO STATION 786+20". SCALE: 1"=100'-FT., DATED JUNE 30, 1914, PREPARED BY THE OFFICE OF VALUATION ENGINEER IN BOSTON, MA, ON FILE AT NHDOT, BUREAU OF RAIL & TRANSIT.
- "STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT NO. F 233(11), NH PROJ. NO. P-2051-A, ON FILE AT NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

TAX MAP 6 LOT 17
RIVER BED TRUST
DAWN J. ARNSTEIN, TRUSTEE
P.O. BOX 95
WILTON, NH 03086-0095
BOOK 5167 PAGE 1545

TAX MAP 12 LOT 10-1
STATE OF NEW HAMPSHIRE
P.O. BOX 483
CONCORD, NH 03302-0483
BOOK 1307 PAGE 0182



NOTES: LOCUS MAP
1" = 2000'

- OWNER OF RECORD:
TAX MAP 12 LOT 11
LAND BARGE, LLC
754-756 ELM ST
MILFORD, NH 03055
BOOK: 8664 PAGE: 2557
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 12 LOT 11.
 - TOTAL PARCEL AREA = 38,615 SQ. FT. OR 0.886 ACRES
 - ZONE: COMMERCIAL (C) & WEST ELM STREET OVERLAY DISTRICT
- | DIMENSIONAL REQUIREMENTS | REQUIRED |
|--------------------------|-----------|
| MINIMUM LOT SIZE | 20,000 SF |
| MINIMUM FRONTAGE | 150' |
| FRONT BUILDING SETBACK | 30' |
| SIDE SETBACK | 15' |
| REAR SETBACK | 15' |
| WETLAND BUFFER | 25' |
- THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0454D, EFFECTIVE DATE SEPTEMBER 25, 2009.
 - THE SITE IS ENTIRELY WITHIN THE LEVEL II PROTECTION AREA AS SHOWN ON THE MAP TITLED "GROUNDWATER PROTECTION AREA: MILFORD, NH", PREPARED BY NASHUA REGIONAL PLANNING COMMISSION, PRINTED 10/24/02.
 - THE SITE IS IN THE SHORELAND PROTECTION AREA.

SOILS LEGEND

MAP UNIT SYMBOL	MAP UNIT NAME	% SLOPES
HsA	HINCKLEY LOAMY SAND	0-3%
HsC	HINCKLEY LOAMY SAND	8-15%
HsD	HINCKLEY LOAMY SAND	15-35%

WETLAND CERTIFICATION

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON APRIL 15, 2022 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

SURVEYOR CERTIFICATION

"I HEREBY CERTIFY THAT THIS MAP AND SURVEY HAS BEEN MADE UNDER MY SUPERVISION. THE DATE OF THE SURVEY WAS 4.22.22."

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

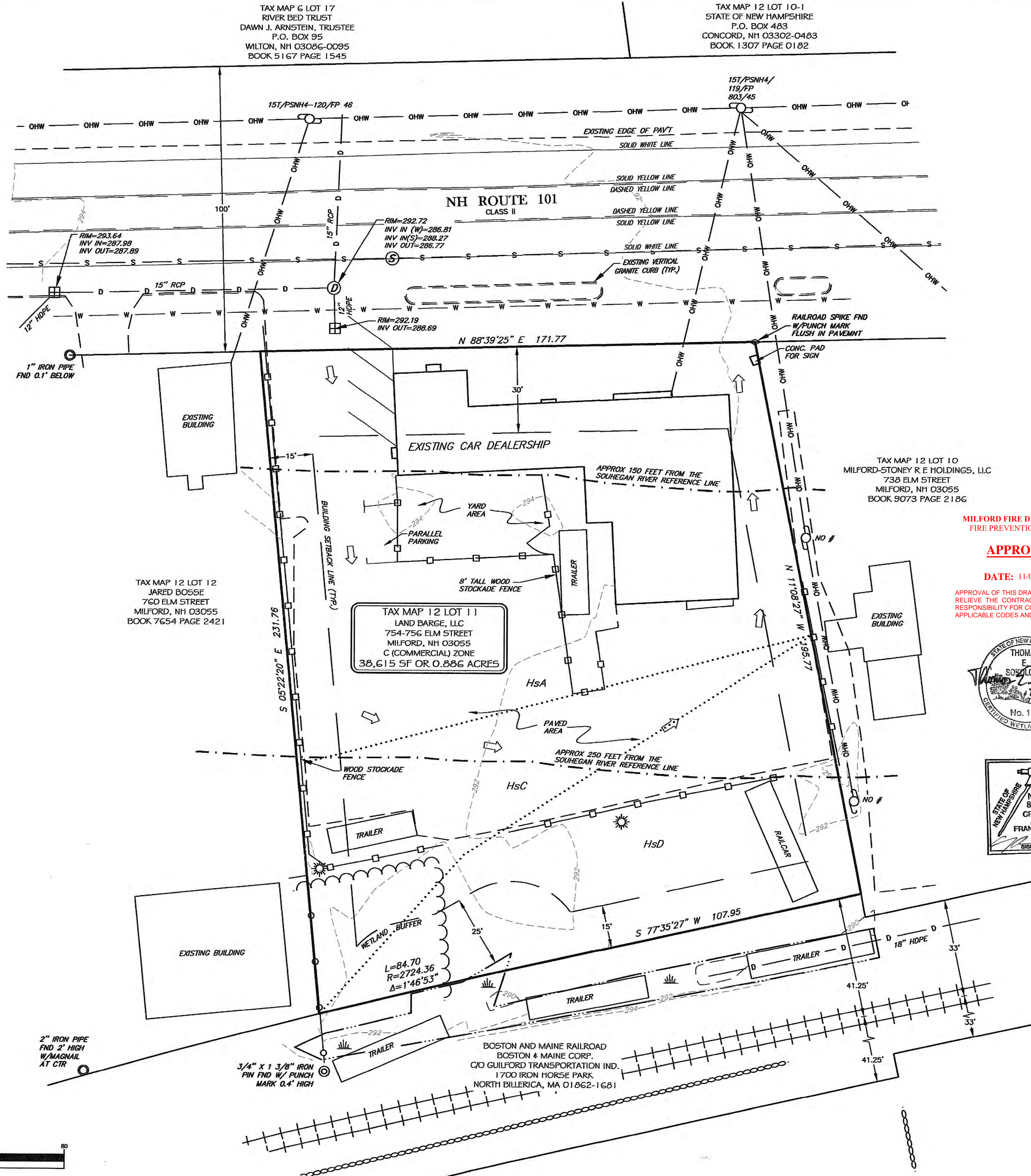
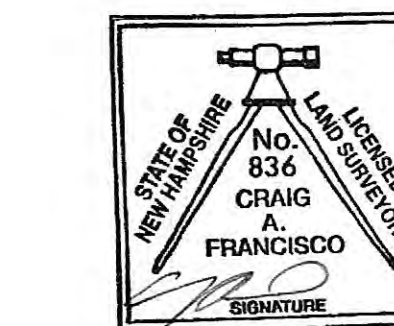
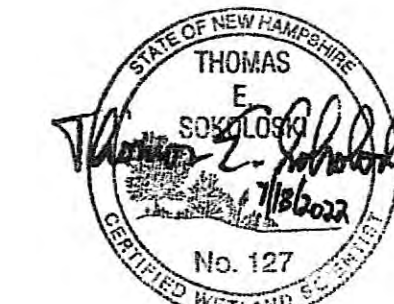
Thomas E. Sokoloski
THOMAS E. SOKOLOSKI
LICENSED LAND SURVEYOR
DATE: 4.22.22

MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

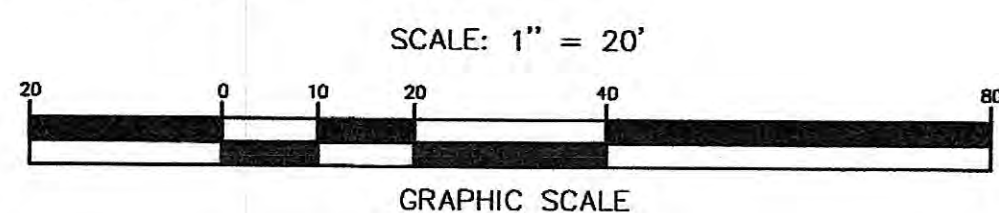
DATE: 11/04/2022

APPROVAL OF THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



LEGEND:

- SIGN
- MAILBOX
- EXISTING HYDRANT
- IRON PIPE FOUND
- ROAD ARROWS
- UTILITY POLE
- EXISTING SEWER MANHOLE
- WATER SHUTOFF
- REBAR FOUND
- RAILROAD SPIKE FOUND
- DRAIN MANHOLE
- WETLAND SYMBOL
- STONE BOUND FOUND
- EXISTING LIGHT POLE
- EXISTING CATCH BASIN
- BOUNDARY LINE
- ABUTTING PROPERTY LINE
- SETBACK LINE
- EXISTING ROAD/DRIVEWAY
- EXISTING VERTICAL GRANITE CURB
- EXISTING CONTOUR
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING STONE WALL
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND BUFFER
- DRAIN LINE
- CHAINLINK FENCE
- WOODEN STOCKADE FENCE
- OVERHEAD WIRE
- EXISTING RAILROAD
- SOUHEGAN RIVER REFERENCE LINE
- NRCS WEB SOILS



DATE	DESCRIPTION	BY	REV.

TAX MAP 12 LOT 11
EXISTING CONDITIONS PLAN
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055	APPLICANT: SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 2016 BEDFORD, NH 03110
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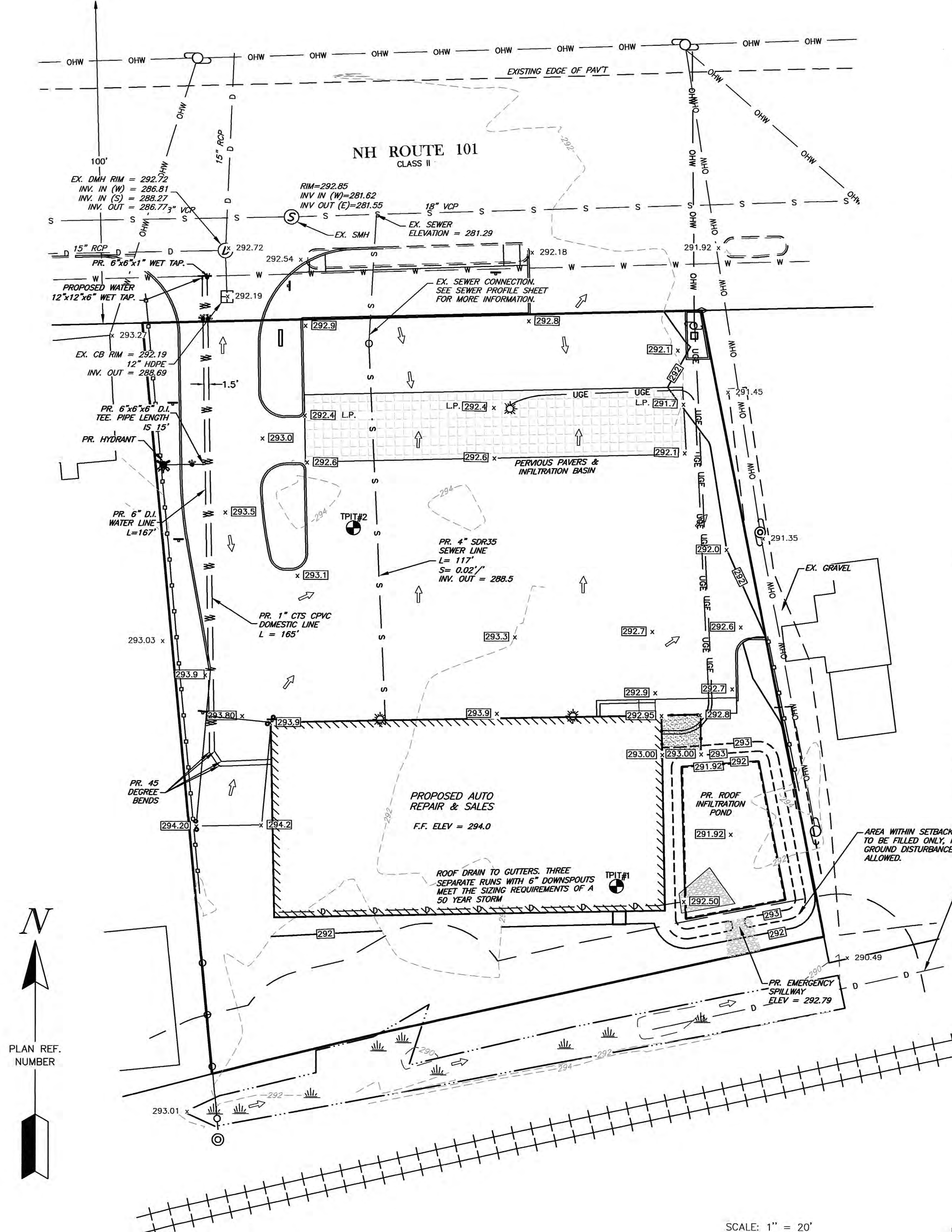
SCALE: 1" = 20' APRIL 25, 2022 SHEET 2 OF 9

DESIGN: C.A.F.	DRAWN: K.M.B.	CHECKED: C.A.F.	FB: 580	PG: 60	1667-01
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592 Harvey Road, Manchester, NH 03103
Telephone: (603) 622-5533
www.bedforddesign.com

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- LOT LINE
- SETBACK LINE
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND SYMBOL
- WETLAND BUFFER
- EXISTING ROADWAY
- PROPOSED CURBING
- EXISTING CATCH BASIN
- PROPOSED RIP RAP
- PROPOSED BUILDING
- PROPOSED GRASS
- PROPOSED PERVIOUS PAVERS
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED LIGHT POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- # OF PARKING SPACES
- PROPOSED UNDERDRAIN
- PROPOSED GAS LINE
- EXISTING GAS LINE
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED SEWER LINE
- EXISTING SEWER LINE
- PROPOSED DRAIN LINE
- EXISTING DRAIN LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- REBAR FOUND
- STONE BOUND FOUND
- REBAR TO BE SET
- GRANITE BOUND TO BE SET
- IRON PIPE FOUND
- BENCHMARK SET
- WELL
- MAILBOX
- STREET ADDRESS
- SCS SOIL LINE
- EXISTING WATER SHUTOFF
- PROPOSED WATER SHUTOFF
- TEST PIT
- ABUTTING PROPERTY LINE
- EX. OVERHEAD WIRES
- PR. OVERHEAD WIRES
- PR. BOLLARD

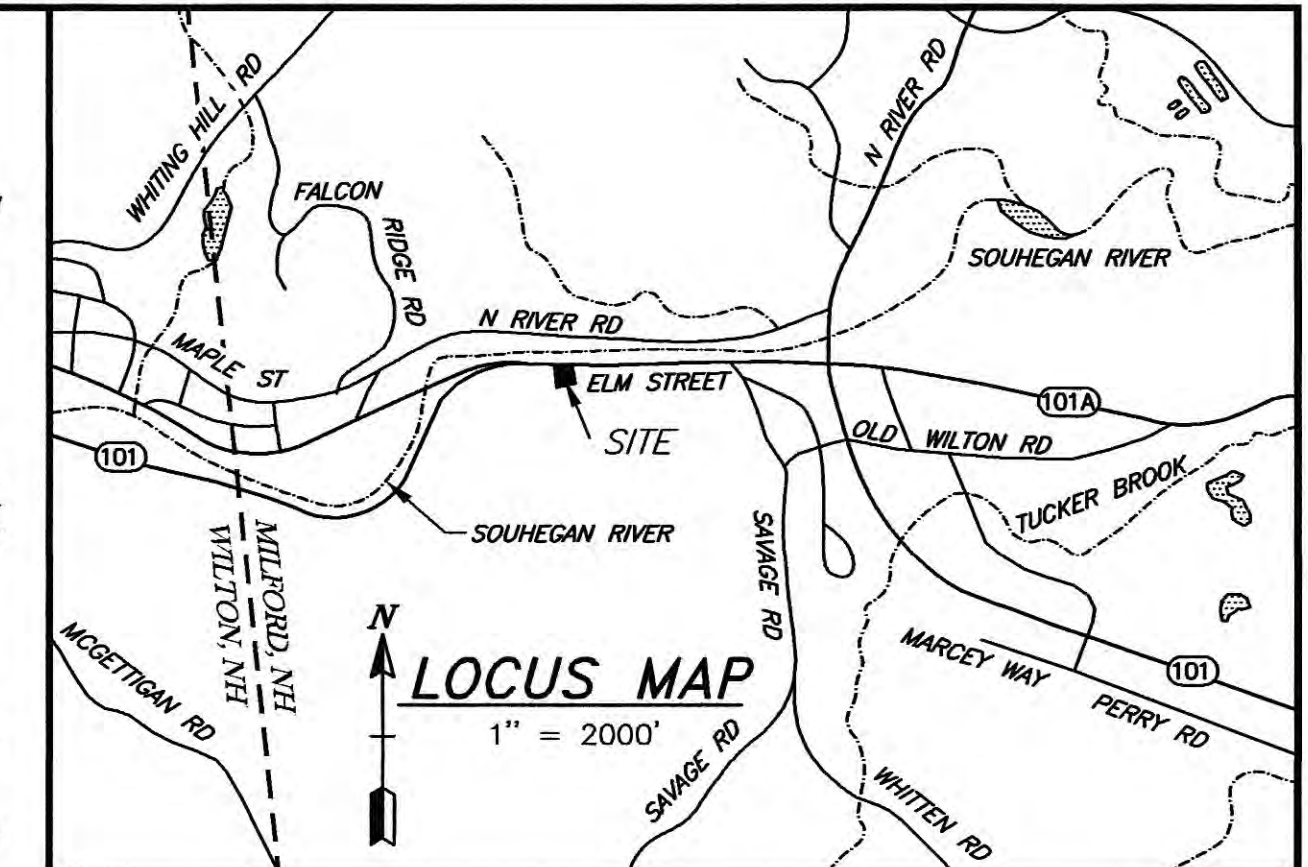


GRADING AND DRAINAGE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
5. REFER TO UTILITY SHEETS FOR DRAINAGE RIMS, INVERTS & PIPE SLOPES.
6. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
8. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
9. THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
10. CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
11. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, PONDS, AND SWALES PRIOR TO DIRECTING RUNOFF TO THEM.
13. ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHALL BE OUTFITTED WITH STONE INLET PROTECTION OR SILT SACKS (SEE DETAILS SHEETS).
14. ALL CATCH BASIN SUMPS SHALL BE KEPT CLEAN DURING CONSTRUCTION. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
15. THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
17. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.
18. ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LOCAL CITY/TOWN POLICE DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
19. ADJUST ALL MANHOLES, CATCH BASIN, CURB BOXES, ETC. WITHIN THE LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
20. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE.
21. CONTRACTOR TO PROVIDE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
22. ALL ELEVATIONS SHOWN AT THE CURB ARE TO THE BOTTOM OF THE CURB UNLESS OTHERWISE NOTED.
23. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6 INCHES. WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
24. THE FINISHED GRADE AT THE BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH THE PAVEMENT, WITH A TOLERANCE OF PLUS OR MINUS 1/4".

UTILITY NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE UTILITY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
5. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
6. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
7. ALL ROOF DRAINS FROM BUILDING SHALL BE CONSTRUCTED TO WITHIN 5' OF THE OUTSIDE BUILDING LIMITS AS SHOWN ON THE PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
8. ALL DRAINAGE AND SANITARY SEWER STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASIN SHALL HAVE 3" DEEP SUMPS WITH HOODS, UNLESS OTHERWISE NOTED.
9. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY H-29 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
10. NO FOUNDATION DRAINS, ROOF DRAINS, FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL SEWER.
11. OPERATION AND MAINTENANCE OF THE SEWER SERVICE SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
12. THE MINIMUM SEWER TRENCH WIDTH SHALL BE AT LEAST 2 TIMES OUTER DIAMETER OF THE PIPE.
13. THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF SALEM PUBLIC WORKS AND ENGINEERING PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9 A.M. AND 4:30 P.M., MONDAY - FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCED NOTICE.
14. THE SEWER SERVICE MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED WITH AUTHORIZED TOWN OF SALEM PUBLIC WORKS AND/OR ENGINEERING DEPARTMENT PERSONNEL PRESENT ON SITE AS A WITNESS.
15. SEWER MAINS TO BE 8" SDR 35 PVC MEETING ASTM D3034 OR APPROVED EQUIVALENT. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SEWER CONSTRUCTION SPECIFICATIONS AND THE TOWN OF SALEM DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
16. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED.
17. WATER MAINS TO BE 8" CLASS 52 CEMENT LINED DUCTILE IRON PIPE OR APPROVED EQUIVALENT. WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF SALEM DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
18. GAS LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH UNILIT UTILITIES SPECIFICATIONS.
19. ANY FIELD UTILITY ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE OWNER PRIOR TO INSTALLATION.
20. ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY COMPANY SPECIFICATIONS.
21. ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY THE SPECIFIC UTILITY COMPANY AND THE LOCAL DEPARTMENT OF PUBLIC WORKS.
22. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS WITH THE ARCHITECTURAL PLANS.

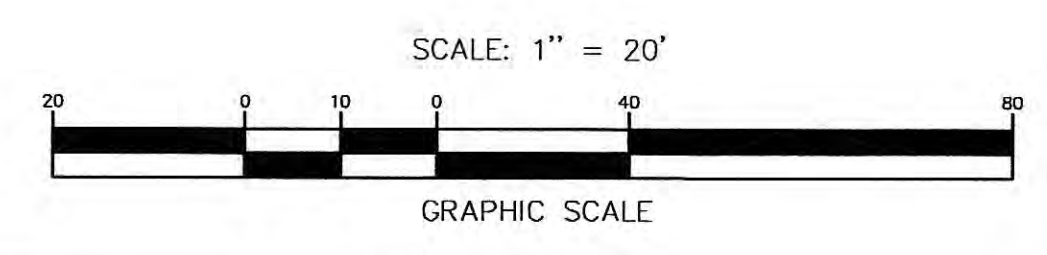
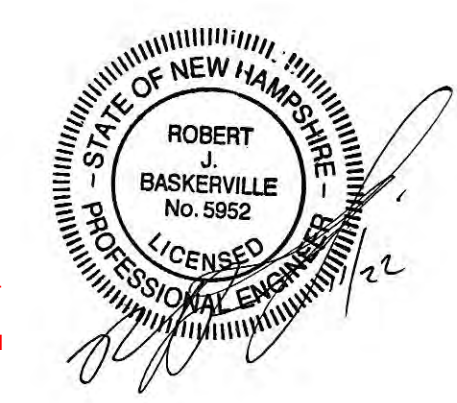


MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

DATE: 11/04/2022

APPROVAL OF THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



TAX MAP 12 LOT 11

GRADING & UTILITIES PLAN
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 2016
BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 4 OF 12

DESIGN: KAW	DRAWN: KAW	CHECKED: RUB	FB: 580	PG: 60	1667-01
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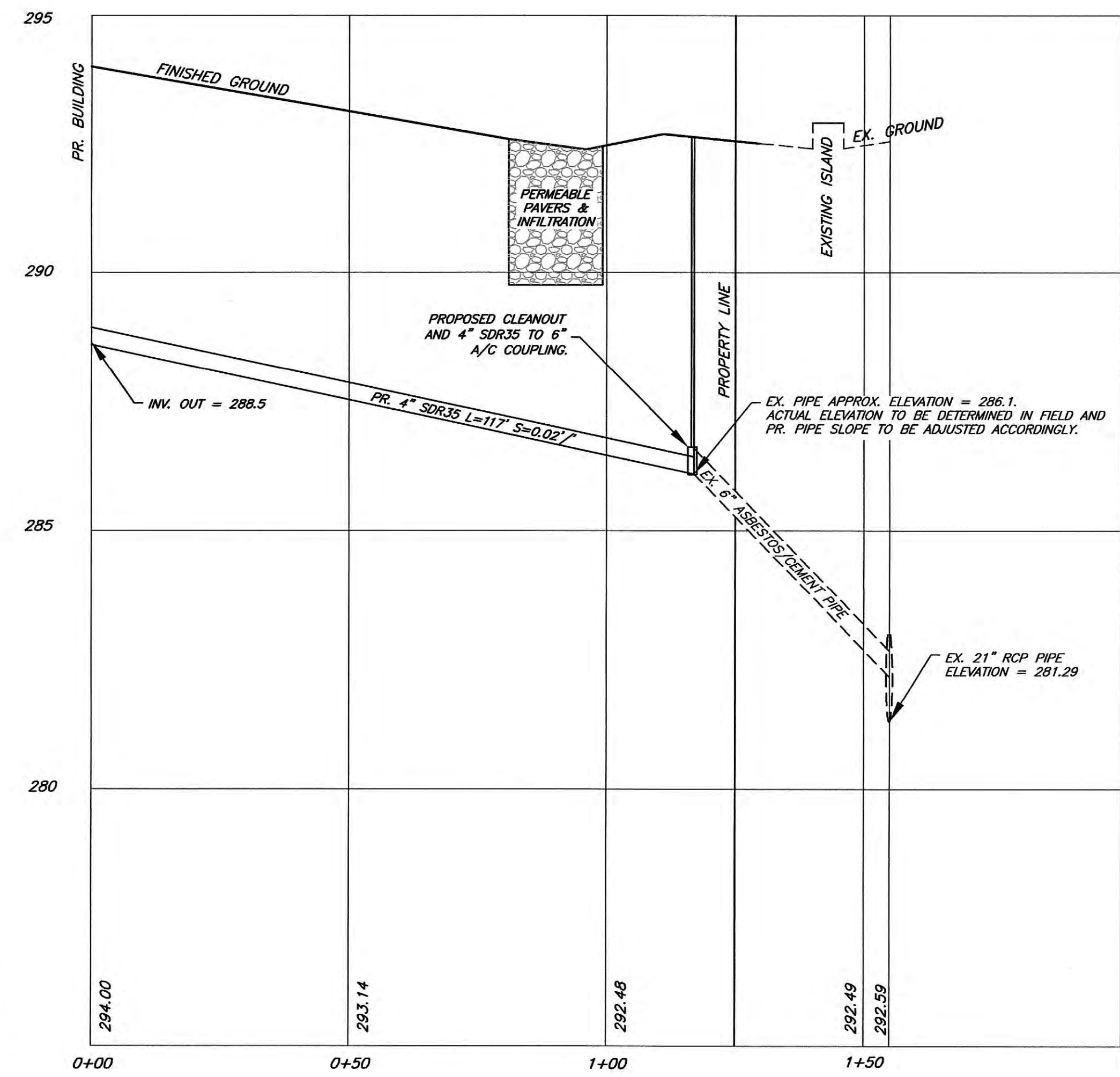
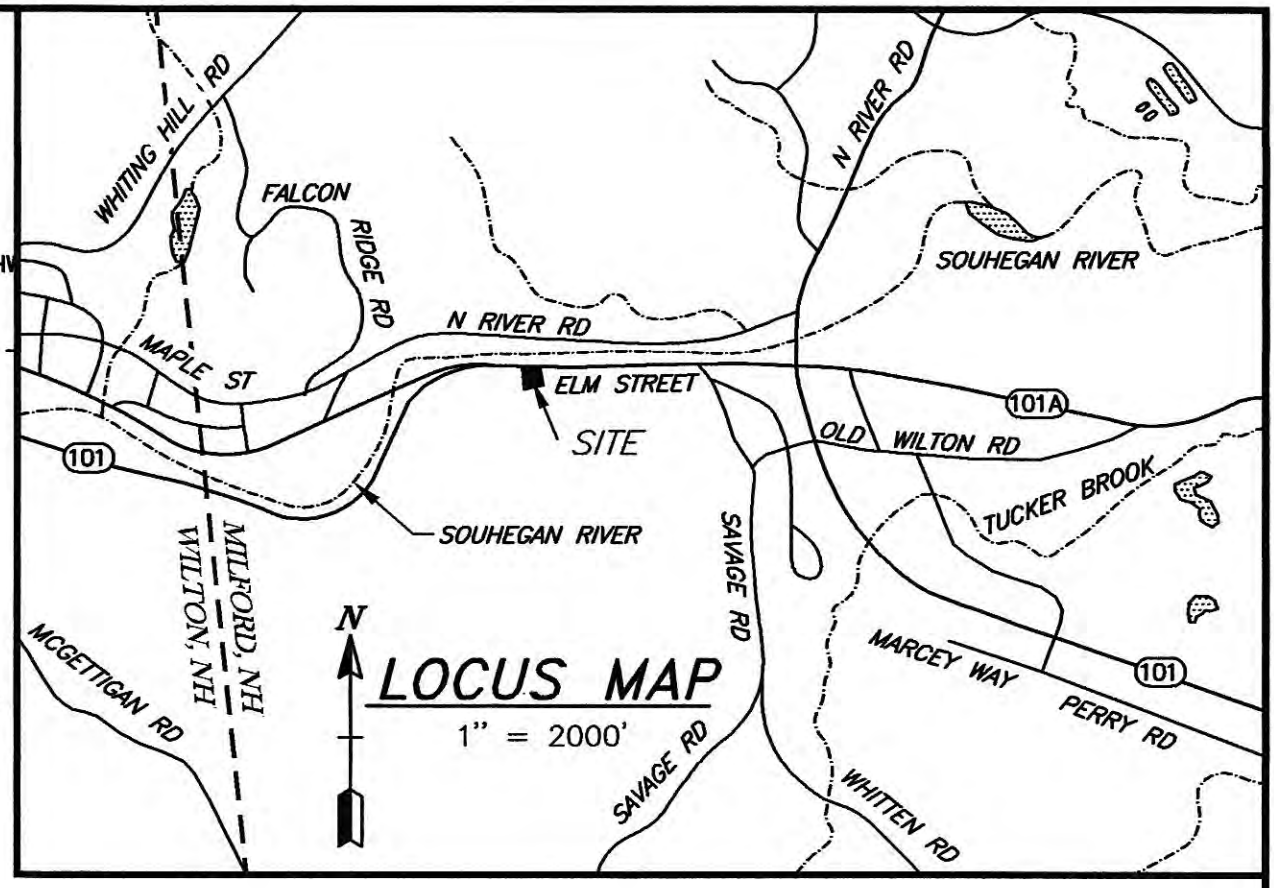
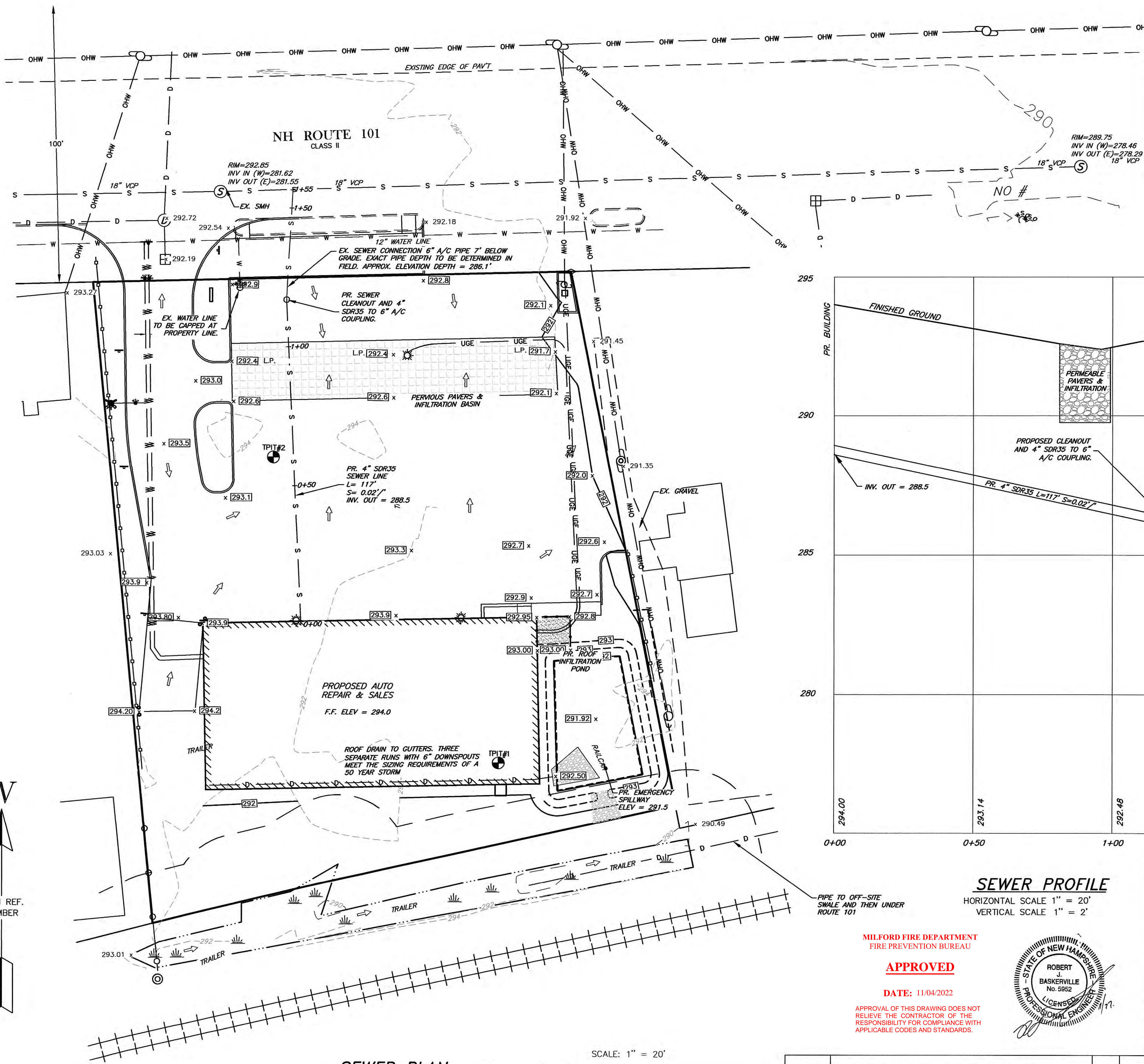
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NO.	DATE	DESCRIPTION	BY	REV.
11-2-22		REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22		REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22		ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- LOT LINE
- SETBACK LINE
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND SYMBOL
- WETLAND BUFFER
- EXISTING ROADWAY
- PROPOSED CURBING
- EXISTING CATCH BASIN
- PROPOSED RIP RAP
- PROPOSED BUILDING
- PROPOSED GRASS
- PROPOSED PERVIOUS PAVERS
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED LIGHT POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- # OF PARKING SPACES
- PROPOSED UNDERDRAIN
- PROPOSED GAS LINE
- EXISTING GAS LINE
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED SEWER LINE
- EXISTING SEWER LINE
- PROPOSED DRAIN LINE
- EXISTING DRAIN LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- REBAR FOUND
- STONE BOUND FOUND
- REBAR TO BE SET
- GRANITE BOUND TO BE SET
- IRON PIPE FOUND
- BENCHMARK SET
- WELL
- MAILBOX
- STREET ADDRESS
- SCS SOIL LINE
- EXISTING WATER SHUTOFF
- PROPOSED WATER SHUTOFF
- TEST PIT
- ABUTTING PROPERTY LINE
- EX. OVERHEAD WIRES
- PR. OVERHEAD WIRES



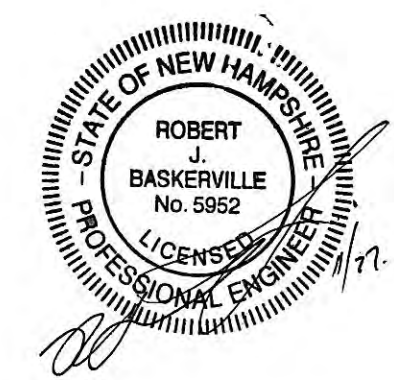
SEWER PROFILE
 HORIZONTAL SCALE 1" = 20'
 VERTICAL SCALE 1" = 2'

MILFORD FIRE DEPARTMENT
 FIRE PREVENTION BUREAU

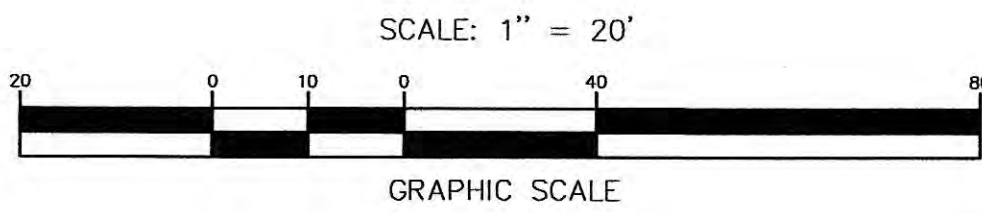
APPROVED

DATE: 11/04/2022

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SEWER PLAN
 1" = 20'



TAX MAP 12 LOT 11
SEWER PLAN AND PROFILE
SOONER-MILFORD
 LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
 OWNER: LAND BARGE, LLC
 754-756 ELM STREET
 MILFORD, NH 03055
 APPLICANT: SOONER TRANSPORTATION LLC
 3 EXECUTIVE PARK DRIVE, SUITE 201G
 BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 5 OF 12

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
KAW	KAW	RJB	580	60	1667-01

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DATE	DESCRIPTION	BY	REV.
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10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A



LEGEND

- 290 — PROPOSED CONTOUR
- 290 — EXISTING CONTOUR
- 430.3 — PROPOSED SPOT GRADE
- 282.6x — EXISTING SPOT GRADE
- — LOT LINE
- — SETBACK LINE
- — EDGE OF JURISDICTIONAL WETLANDS
- — WETLAND SYMBOL
- — WETLAND BUFFER
- — EXISTING ROADWAY
- — PROPOSED CURBING
- — EXISTING CATCH BASIN
- — PROPOSED RIP RAP
- — PROPOSED BUILDING
- — PROPOSED GRASS
- — PROPOSED PERVIOUS PAVERS
- — EXISTING GATE VALVE
- — PROPOSED GATE VALVE
- — PROPOSED LIGHT POLE
- — SEWER MANHOLE
- — DRAIN MANHOLE
- — #OF PARKING SPACES
- — PROPOSED UNDERDRAIN
- — GAS — PROPOSED GAS LINE
- — GAS — EXISTING GAS LINE
- — W — PROPOSED WATER LINE
- — W — EXISTING WATER LINE
- — UGE — PROPOSED UNDERGROUND ELECTRIC
- — E — EXISTING UNDERGROUND ELECTRIC
- — S — PROPOSED SEWER LINE
- — S — EXISTING SEWER LINE
- — D — PROPOSED DRAIN LINE
- — D — EXISTING DRAIN LINE
- — UT — EXISTING UTILITY POLE
- — GW — EXISTING GUY WIRE
- — RF — REBAR FOUND
- — SB — STONE BOUND FOUND
- — RS — REBAR TO BE SET
- — GB — GRANITE BOUND TO BE SET
- — IP — IRON PIPE FOUND
- — BS — BENCHMARK SET
- — W — WELL
- — MB — MAILBOX
- — SA — STREET ADDRESS
- — SL — SCS SOIL LINE
- — WS — EXISTING WATER SHUTOFF
- — WPS — PROPOSED WATER SHUTOFF
- — TP — TEST PIT
- — AP — ABUTTING PROPERTY LINE
- — OHW — EX. OVERHEAD WIRES
- — OHW — PR. OVERHEAD WIRES

LANDSCAPE NOTES:

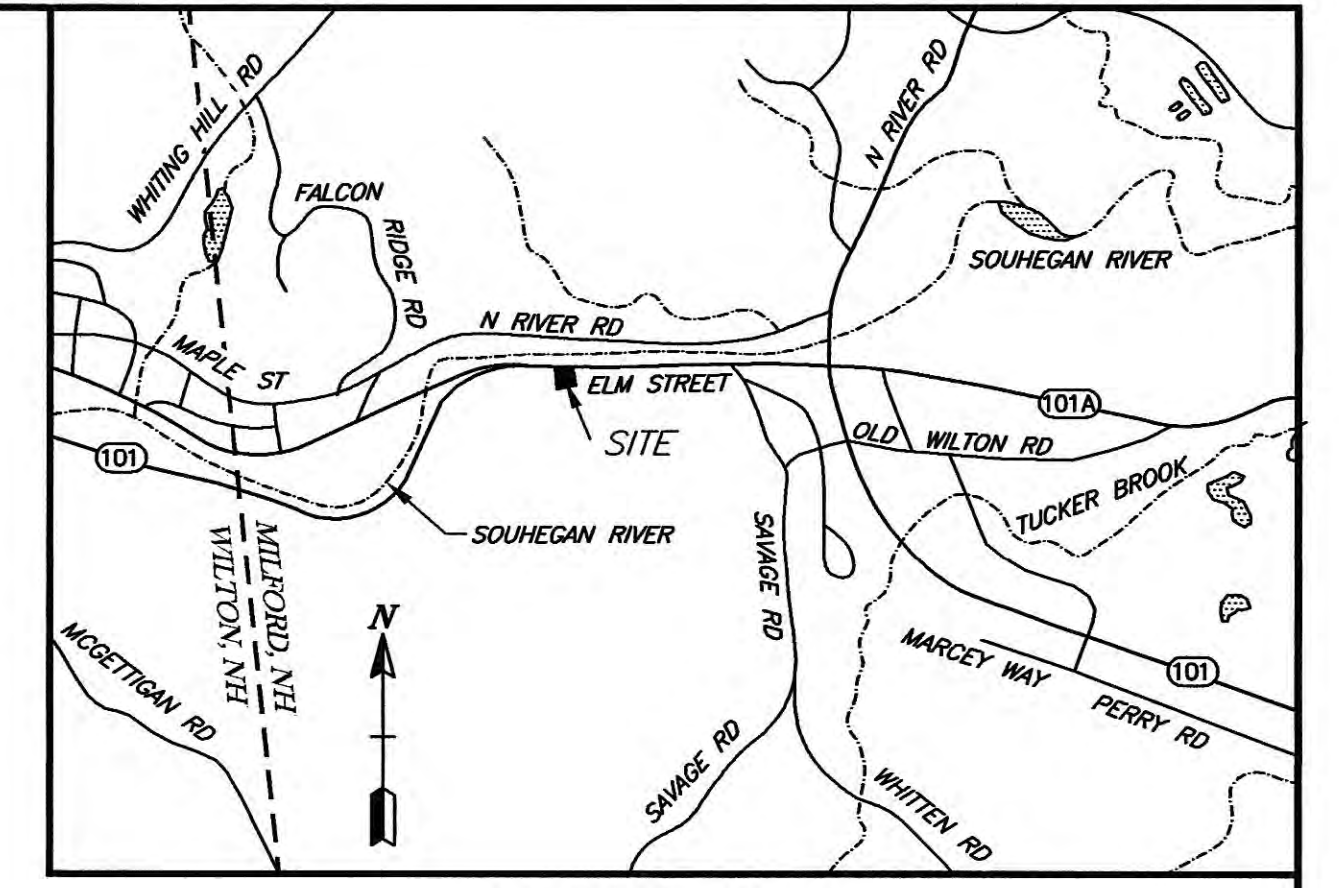
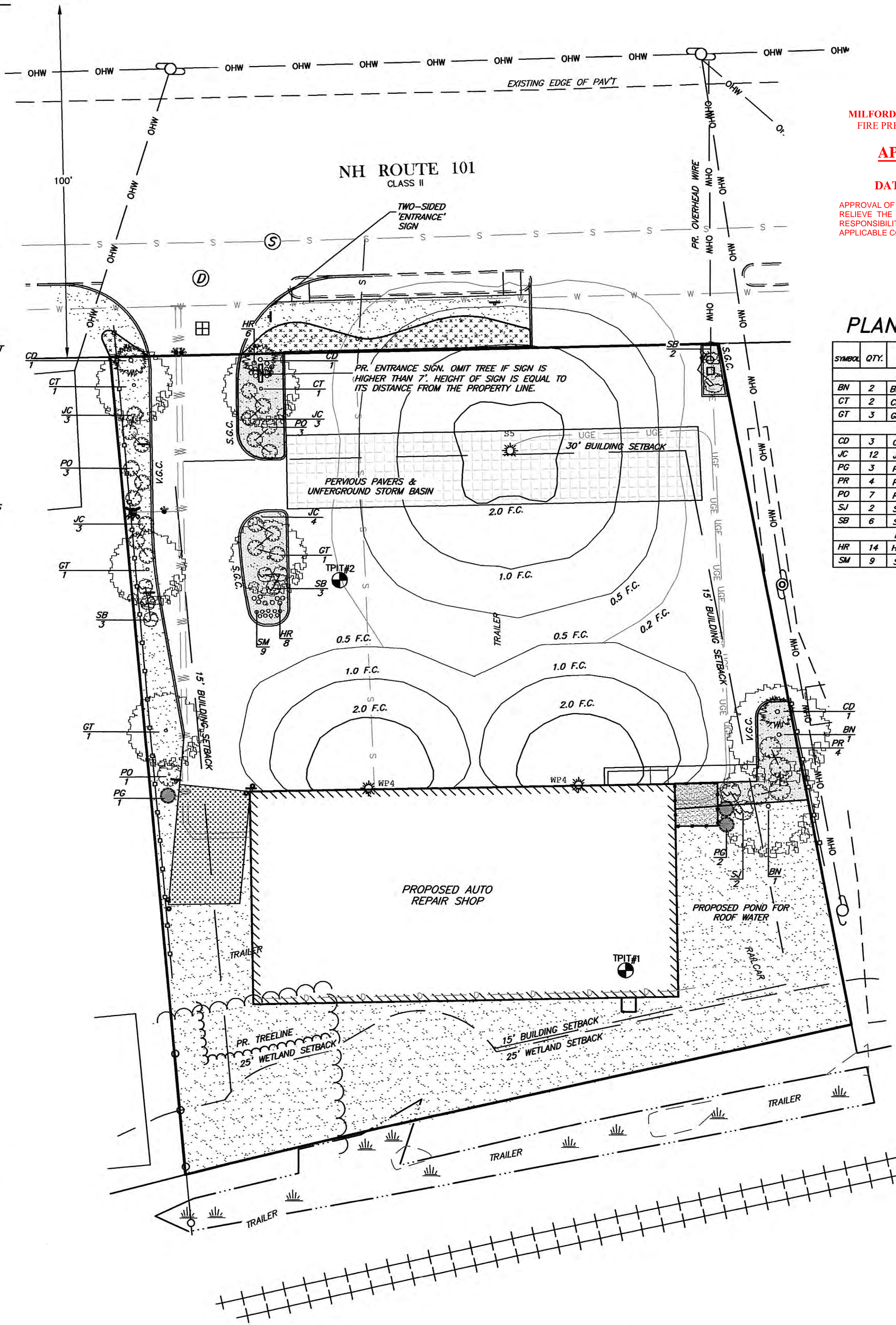
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LANDSCAPE ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. CONTRACTOR TO MARK ALL UNDERGROUND UTILITIES ON THE GROUND PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS TO REVIEW TREE LOCATIONS WITH LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVES PRIOR TO ORDERING AND INSTALLING TREES.
4. FOR PLANTING DETAILS SEE THE PLANTING DETAIL SHEET.
5. IRRIGATION SHALL BE PROVIDED AT THE OWNERS DISCRETION.
6. ALL PLANTS CAN BE FOUND AT MILLICAN NURSERIES.
7. NO SUBSTITUTIONS MAY BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.

LANDSCAPE MAINTENANCE & REPLACEMENT:

1. PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2014.
2. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL BE IN ACCORDANCE WITH THE NATIONAL ASSOCIATION OF LANDSCAPE PROFESSIONALS' INSTALLATION AND MAINTENANCE TRAINING MANUALS.
3. DEAD AND/OR DYING PLANT MATERIALS SHOULD BE REPLACED REGULARLY TO MAINTAIN ORIGINAL DESIGN COUNTS AND LOCATIONS.
4. PLEASE SEE THE TOWN OF MILFORD SITE PLAN REGULATIONS FOR A FULL LIST OF PLANTING REQUIREMENTS.

LANDSCAPE BUFFERS & CALCULATIONS:

1. ALONG THE PERIPHERY OF THE PROPERTY THERE SHALL BE A 10' LANDSCAPE BUFFER 6' FEET IN HEIGHT TO SCREEN ADJACENT PROPERTIES. WE HAVE REQUESTED A WAIVER FROM THIS REQUIREMENT FOR THE EAST AND NORTH SIDE OF THE PROPERTY.
 - 420' OF PERIPHERY BUFFER STRIP
 - 1 TREE / 30 FEET = 14 TREES REQUIRED
 - = 5 TREES PROPOSED (WAIVER REQUESTED)
2. PERIPHERY LANDSCAPING
 - 1 TREE PER 30' OF LANDSCAPE STRIP WILL BE PROVIDED.
3. LANDSCAPE ALONG BUILDING FRONTS
 - 1 SHRUB FOR EVERY 5' OF BUILDING FRONTAGE
 - 120' BUILDING / 5' = 24 SHRUBS REQUIRED
 - = 24 SHRUBS PROPOSED (LOCATED IN PERIPHERY BUFFER)
4. PARKING LOT LANDSCAPING SHALL BE 5% OF PARKING AREA WITH 1 TREE PER 15 PARKING SPACES REQUIRED.
 - CALCULATIONS: PARKING AREA IS 10,000 S.F.
 - 5% OF PARKING AREA = 500 S.F. REQUIRED
 - = 815 S.F. PROPOSED.
 - 1 TREE / 15 SPACES = 2 TREES REQUIRED
 - 21 REQ. SPACES = 2 TREES PROPOSED



MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

DATE: 11/04/2022

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APPLICABLE CODES AND STANDARDS.

PLANT SCHEDULE

SYMBOL	QTY.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
DECIDUOUS TREES					
BN	2	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	40'-60"H x 20'-30"W	2" CALIPER
CT	2	CRATAEGUS CRUSGALLI INERMIS 'CRUSADER'	CRUSADER THORNLESS HAWTHORN	10'-15"H x 15'-20"W	2" CALIPER
GT	3	GLEDITSIA T.L. 'STREET KEEPER'	STREET KEEPER HONEYLOCUST	30'-40"H x 15'-20"W	2" CALIPER
DECIDUOUS & EVERGREEN SHRUBS					
CD	3	COTONEASTER DAMIERI 'SALICIFOLIUS 'REPENS'	CREeping WILLOWLEAF COTONEASTER	12"-24"H x 6"-8"W	#2 CONTAINER
JC	12	JUNIPERUS CHINENSIS 'DAUB'S FROSTED'	DAUB'S FROSTED JUNIPER	12"-24"H x 5"-6"W	#3 CONTAINER
PG	3	PICEA GLAUCA 'CONICA'	CONICA SPRUCE	8"-10"H x 4"-5"W	#10 CONTAINER
PR	4	PICEA GLAUCA 'RAINBOW'S END'	RAINBOW'S END SPRUCE	6"-8"H x 3"-4"W	#5 CONTAINER
PO	7	PICEA ORIENTALIS 'BUGMAN'S GEM'	BERGMAN'S GEM ORIENTAL SPRUCE	2"-3"H x 4"-5"W	#3 CONTAINER
SJ	2	SPIRAEA JAPONICA 'SHIBORI'	SHIBORI SPIREA	2"-3"H x 3"-4"W	#3 CONTAINER
SB	6	SYRINGA 'BLOOMERANG DWARF PINK'	BLOOMERANG DARK PINK LILAC	2"-3" H&W	#7 CONTAINER
PERENNIALS					
HR	14	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14" H&W	#1 CONTAINER
SM	9	SALVIA 'BLUE MARVEL'	BLUE MARVEL SAGE	12" H&W	#2 CONTAINER

LEGEND

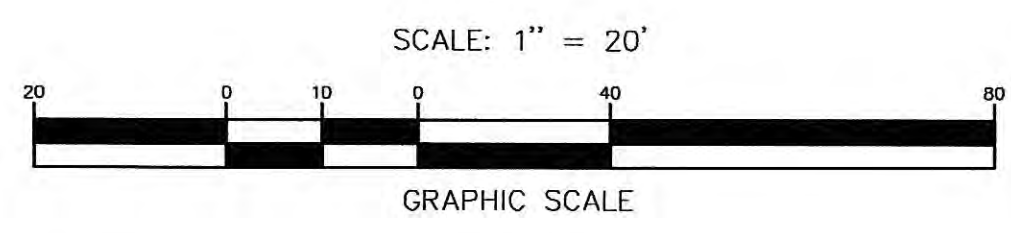
- PR. PERENNIAL GARDEN
- PR. MULCHED AREAS
- PR. GRASSED AREAS



PERENNIAL GARDEN PLANTINGS

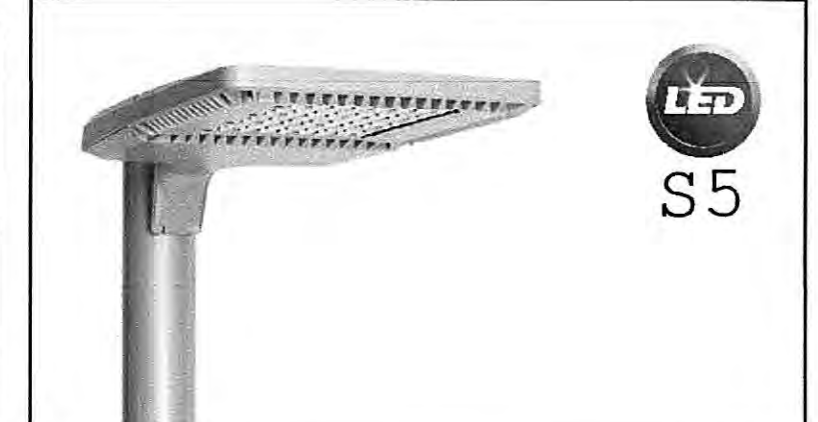
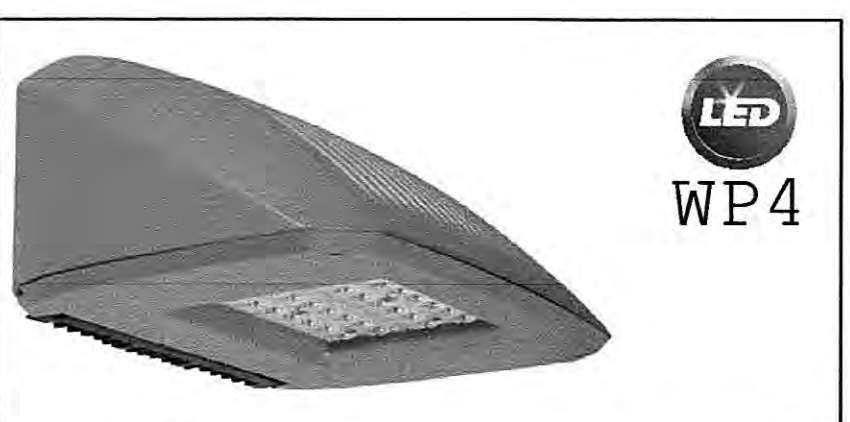
QTY.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
20	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14" H&W	#1 CONTAINER
20	SALVIA 'BLUE MARVEL'	BLUE MARVEL SAGE	12" H&W	#2 CONTAINER
20	ECHINACEA 'SUNSEEKERS SALMON'	SUNSEEKERS SALMON CONEFLOWER	18" H&W	#1 CONTAINER
20	MONARDA 'PETITE DELIGHT'	PETITE DELIGHT BEE BALM	18" H&W	#1 CONTAINER
20	SEDUM 'TURQUOISE TAILS'	TURQUOISE TAILS STONECROP	12" H&W	#1 CONTAINER

PERENNIALS ARE TO BE PLANTED IN GROUPS OF 3 TO 5 AND SPACED 12" TO 18" ON CENTER DEPENDING ON THEIR MATURE SIZE IN THE TABLE INDICATED ABOVE.



LIGHTING NOTES

WALL MOUNTED LIGHT HEIGHT IS 15 FEET AND POLE HEIGHT IS 20'. BOTH UNITS ARE IMA DARK SKY COMPLIANT.



Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
2	WP4	SINGLE	6076	52	0.950	B1-U0-G2	GARDCO 121-32L-530-WW-G4-4-UNV-FINISH / WALL MOUNTED @ 15FT APG TO BOF
1	S5	4 @ 90 DEGREES	7284	55.7	0.850	B3-U0-G2	GARDCO ECF-S-32L-530-WW-G2-AR-5W-UNV-FINISH / MOUNTED TO SSS-20-X-X-D4-FINISH

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
KAW	KAW	RJB	580	60	1667-01

TAX MAP 12 LOT 11

LIGHTING, & LANDSCAPE PLAN
SOONER-MILFORD

LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055

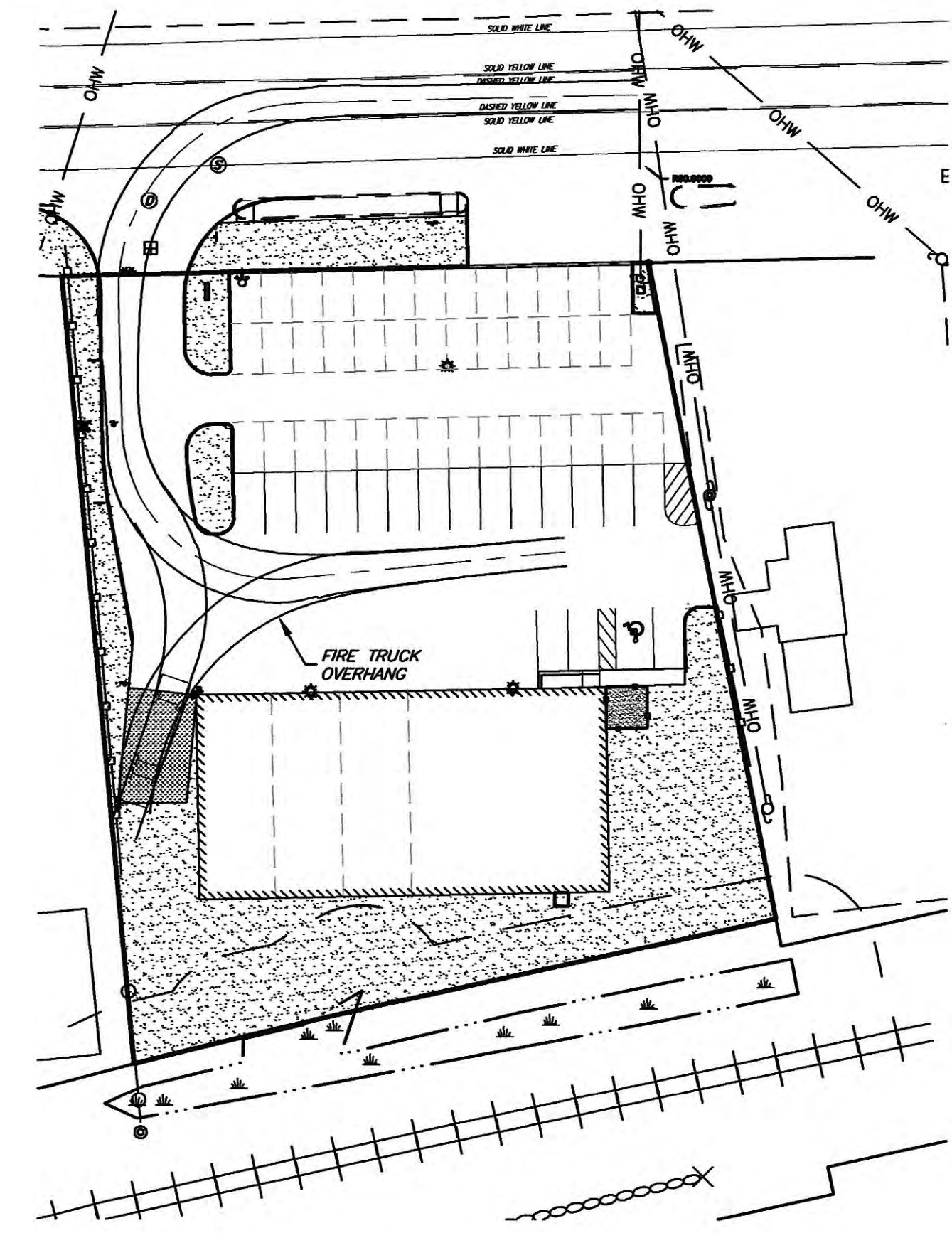
APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 201G
BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 6 OF 12

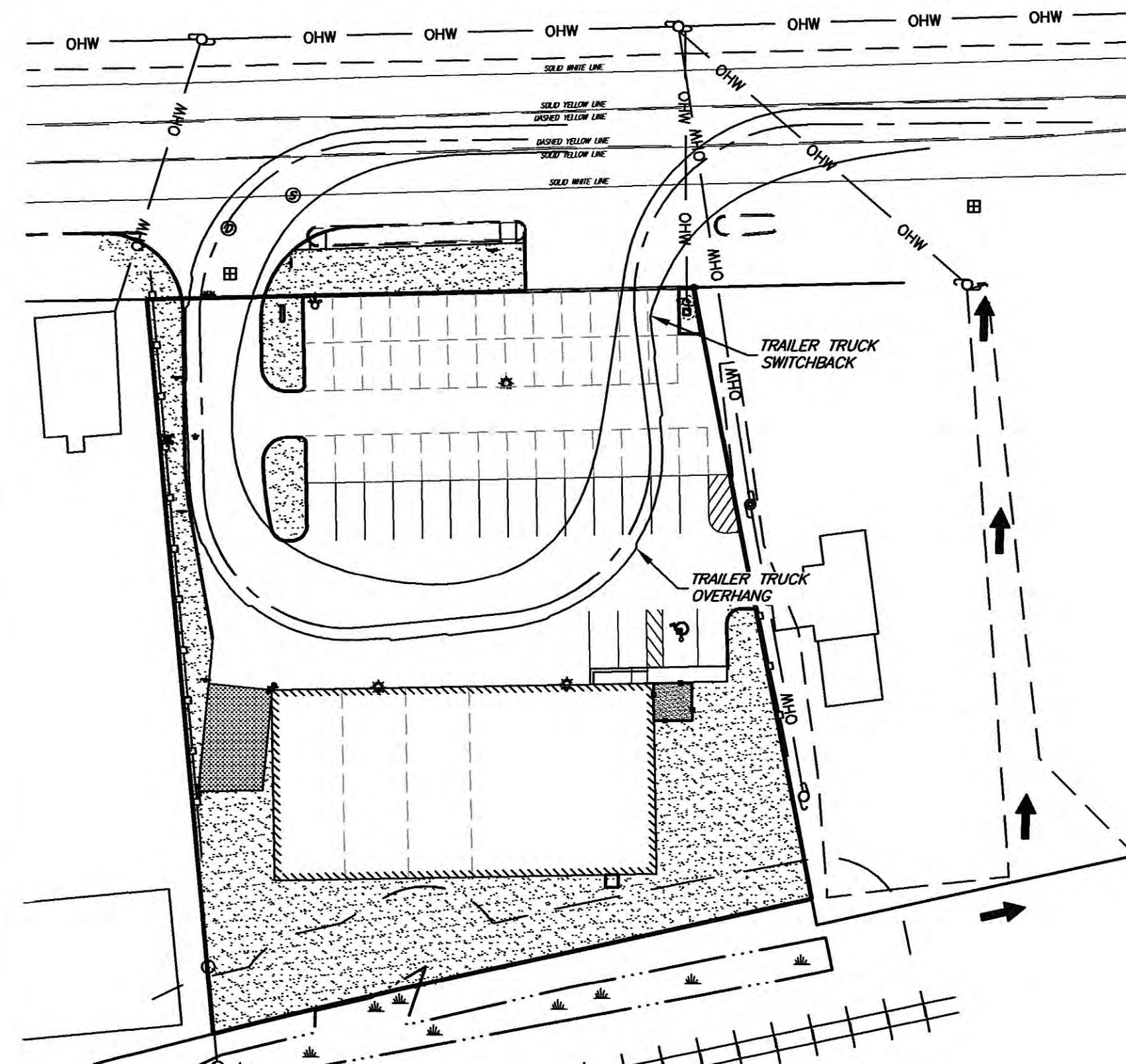
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ARCHITECTURAL PLANS TO BE
SUBMITTED SEPARATELY FOR REVIEW



FIRE TRUCK TURNING PLAN
SCALE = 1" = 40'



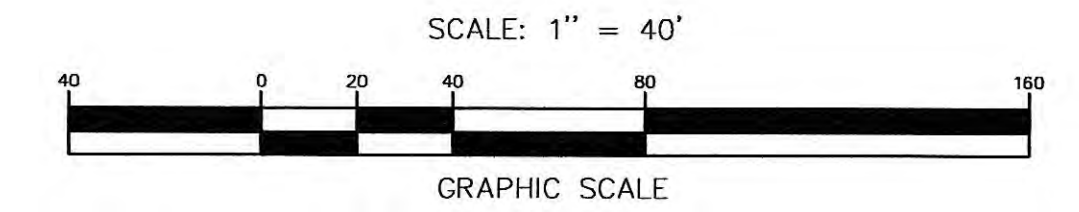
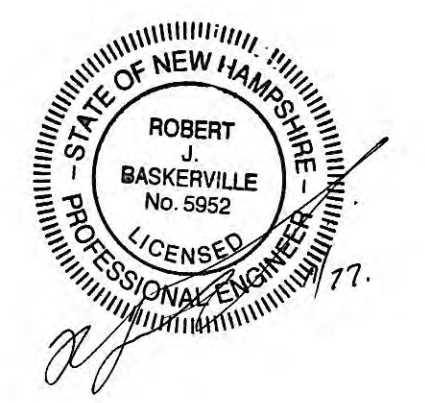
TRAILER TURNING PLAN
SCALE = 1" = 40'

MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

DATE: 11/04/2022

APPROVAL OF THIS DRAWING DOES NOT
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RESPONSIBILITY FOR COMPLIANCE WITH
APPLICABLE CODES AND STANDARDS.



TAX MAP 12 LOT 11
ARCHITECTURAL & TRUCK TURNING PLAN
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055
APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 201G
BEDFORD, NH 03110

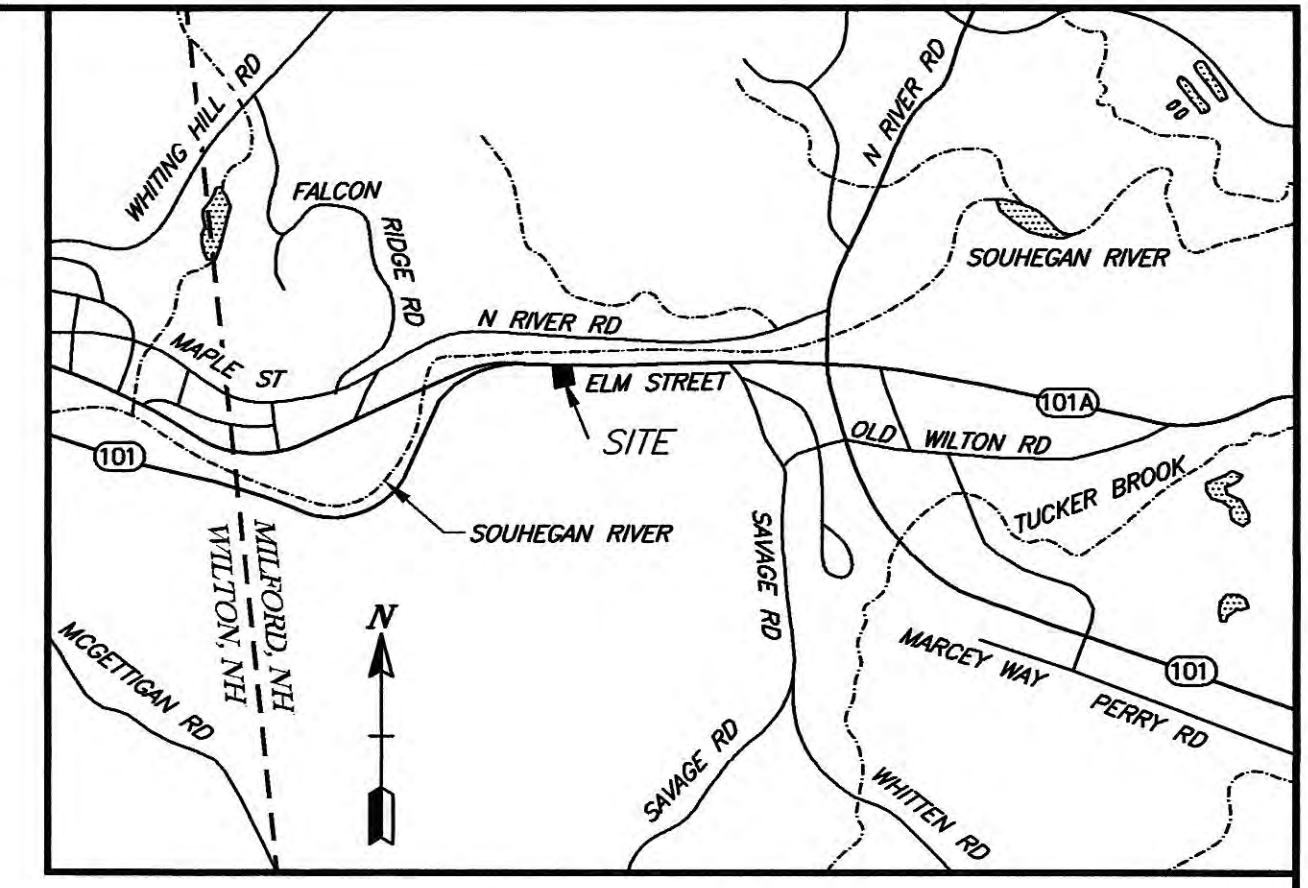
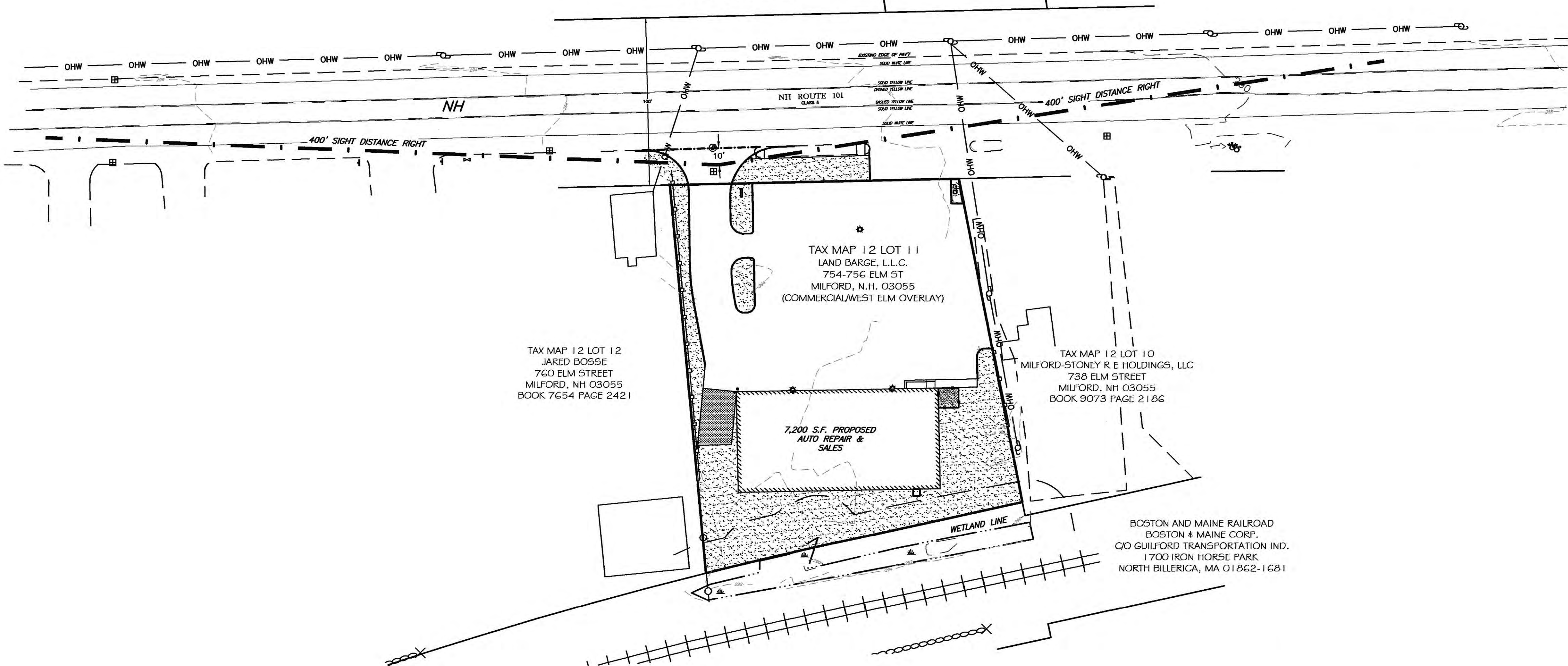
SCALE: AS NOTED	APRIL 25, 2022	SHEET 7 OF 12
DESIGN: KAW	DRAWN: KAW	CHECKED: RJB
		FB: 580
		PG: 60
		1667-01

DATE	DESCRIPTION	BY	REV.
11-2-22	REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A

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TAX MAP 6 LOT 17
RIVER BED TRUST
DAWN J. ARNSTEIN, TRUSTEE
P.O. BOX 95
WILTON, NH 03086-0095
BOOK 5167 PAGE 1545

TAX MAP 12 LOT 10-1
STATE OF NEW HAMPSHIRE
P.O. BOX 483
CONCORD, NH 03302-0483
BOOK 1307 PAGE 0182

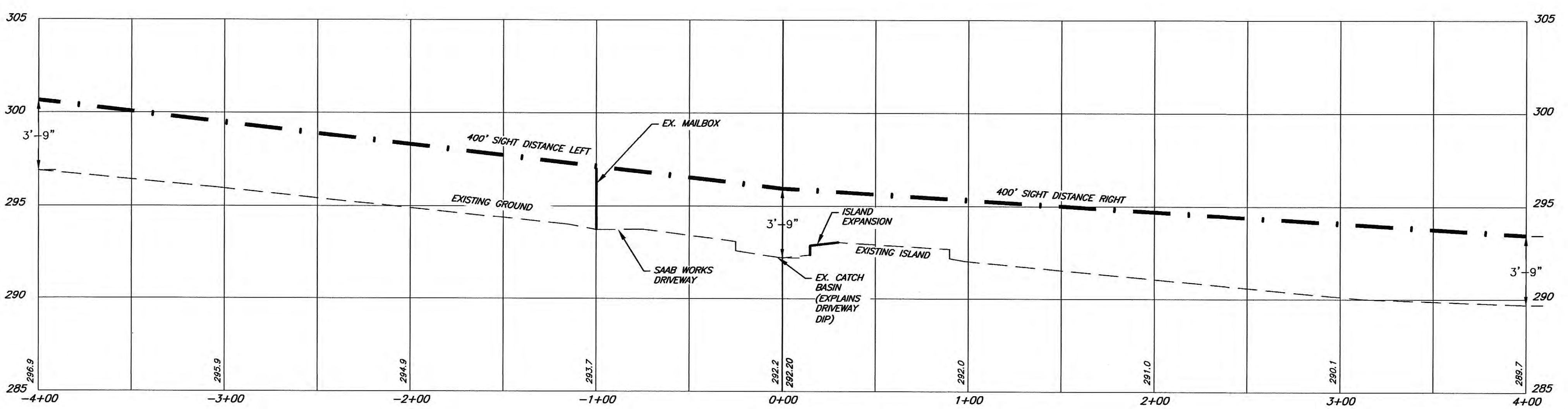


NOTES:

1. OWNER OF RECORD:
TAX MAP 12 LOT 11
LAND BARGE, LLC
754-756 ELM ST
MILFORD, NH 03055
BOOK: 8864 PAGE: 2557

2. THE PURPOSE OF THIS PLAN IS TO SHOW THE SIGHT DISTANCE FOR THE UPDATED DRIVEWAY ON ROUTE 101/ ELM ST IN MILFORD.

SIGHT DISTANCE PLAN
1" = 40'



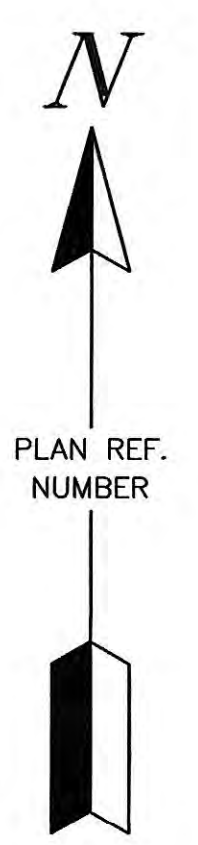
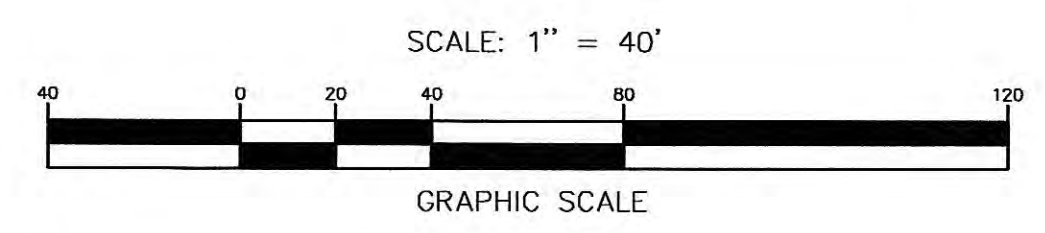
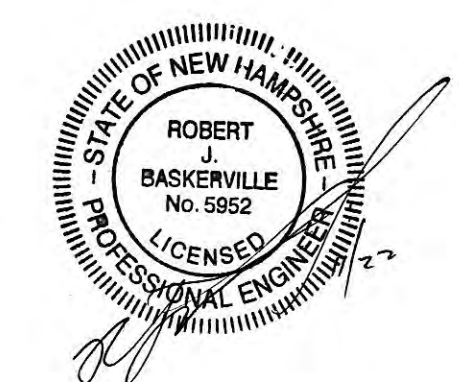
SIGHT DISTANCE PROFILE
HORIZONTAL SCALE 1" = 40'
VERTICAL SCALE 1" = 4'

MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

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TAX MAP 12 LOT 11

SIGHT DISTANCE PLAN
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 201G
BEDFORD, NH 03110

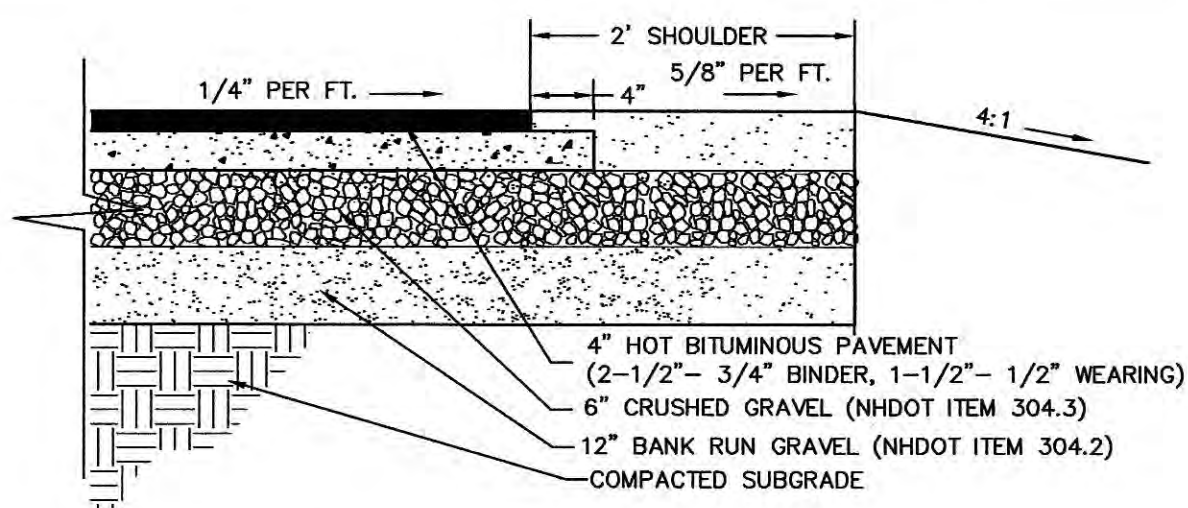
SCALE: 1" = 40' APRIL 25, 2022 SHEET 8 OF 12

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
KAW	KAW	RJB	580	60	1667-01

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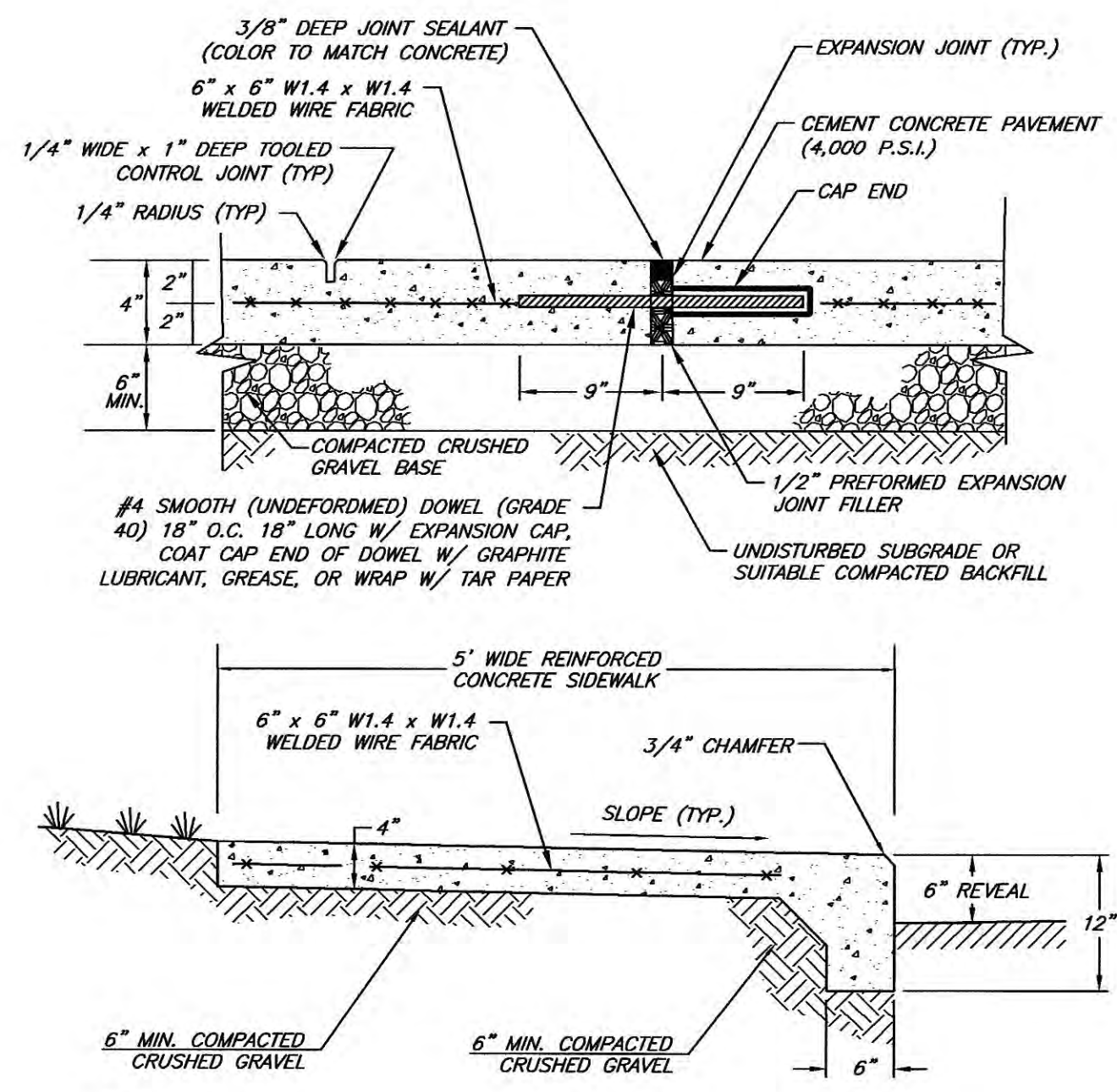




NOTES:
 1. SECTION NUMBERS REFER TO APPROPRIATE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
 2. SECTION 410 (TACK COAT) WILL APPLY IF MORE THAN 180 CALENDAR DAYS ELAPSE BETWEEN PLACEMENT OF BINDER COARSE AND WEARING COARSE.
 3. PAVEMENT SECTION SHALL CONFORM TO LATEST NHDOT MANUAL AND TOWN OF AUBURN SITE PLAN REGULATIONS.

PAVEMENT DETAIL

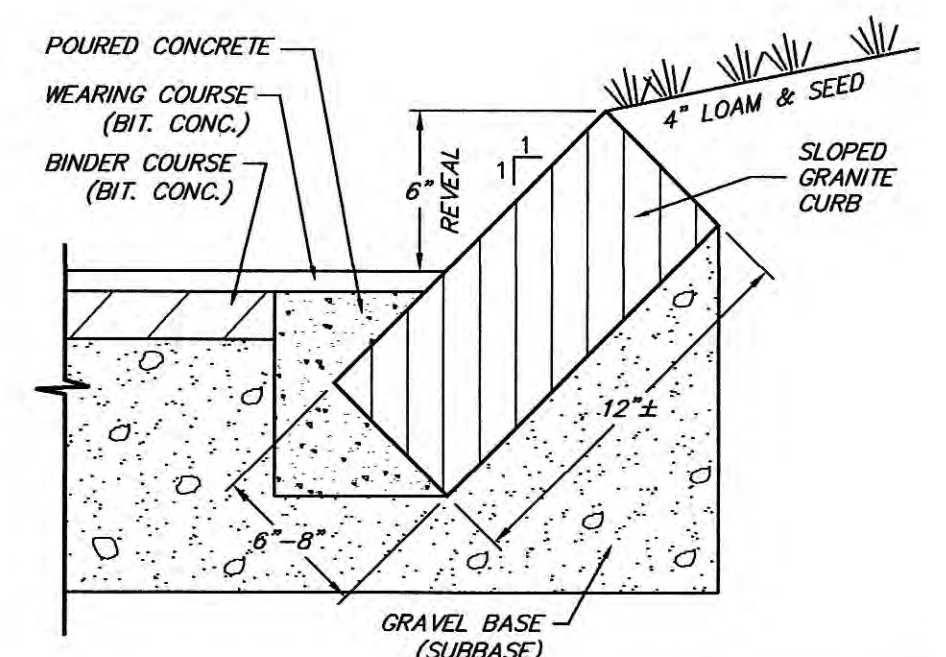
NOT TO SCALE



NOTES:
 1. CROSS SLOPE OF SIDEWALK TO BE AS SPECIFIED ON THE PLAN.
 2. MAINTAIN 2\"/>

REINFORCED CONCRETE SIDEWALK DETAIL

NOT TO SCALE

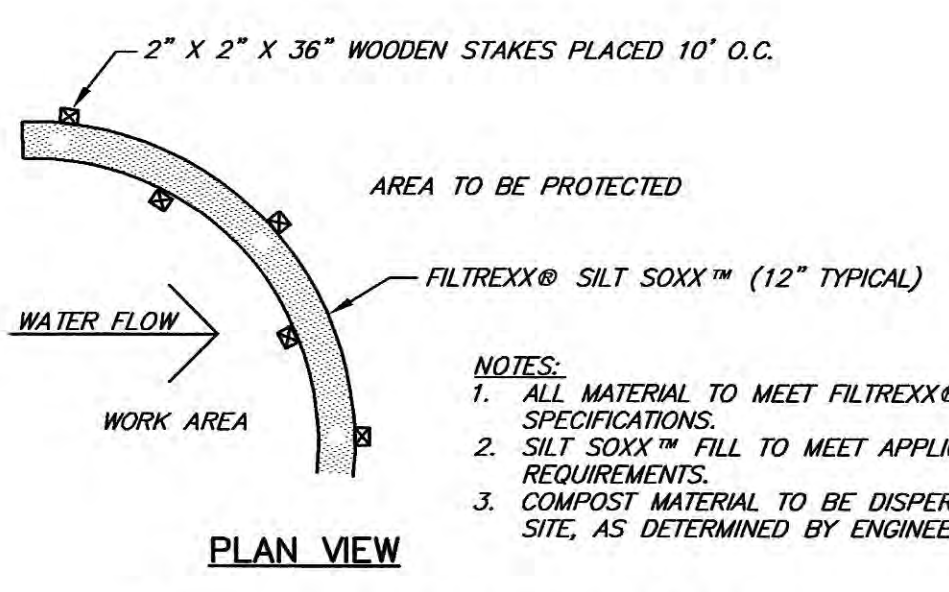
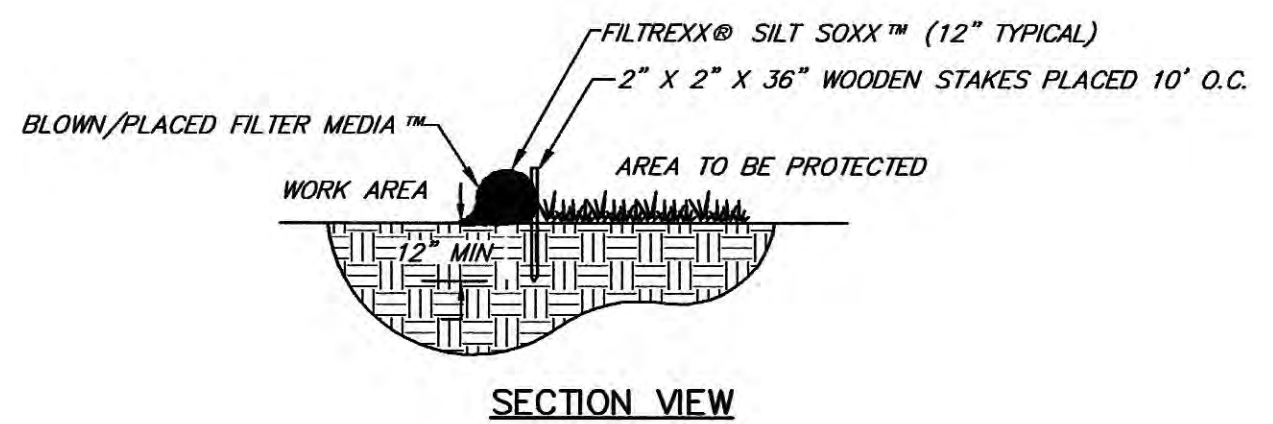


NOTES:
 MINIMUM LENGTH OF STRAIGHT CURB STONES = 1'
 MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
 MINIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVE = SEE CHART
 ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH

SLOPED GRANITE CURB DETAIL

NOT TO SCALE

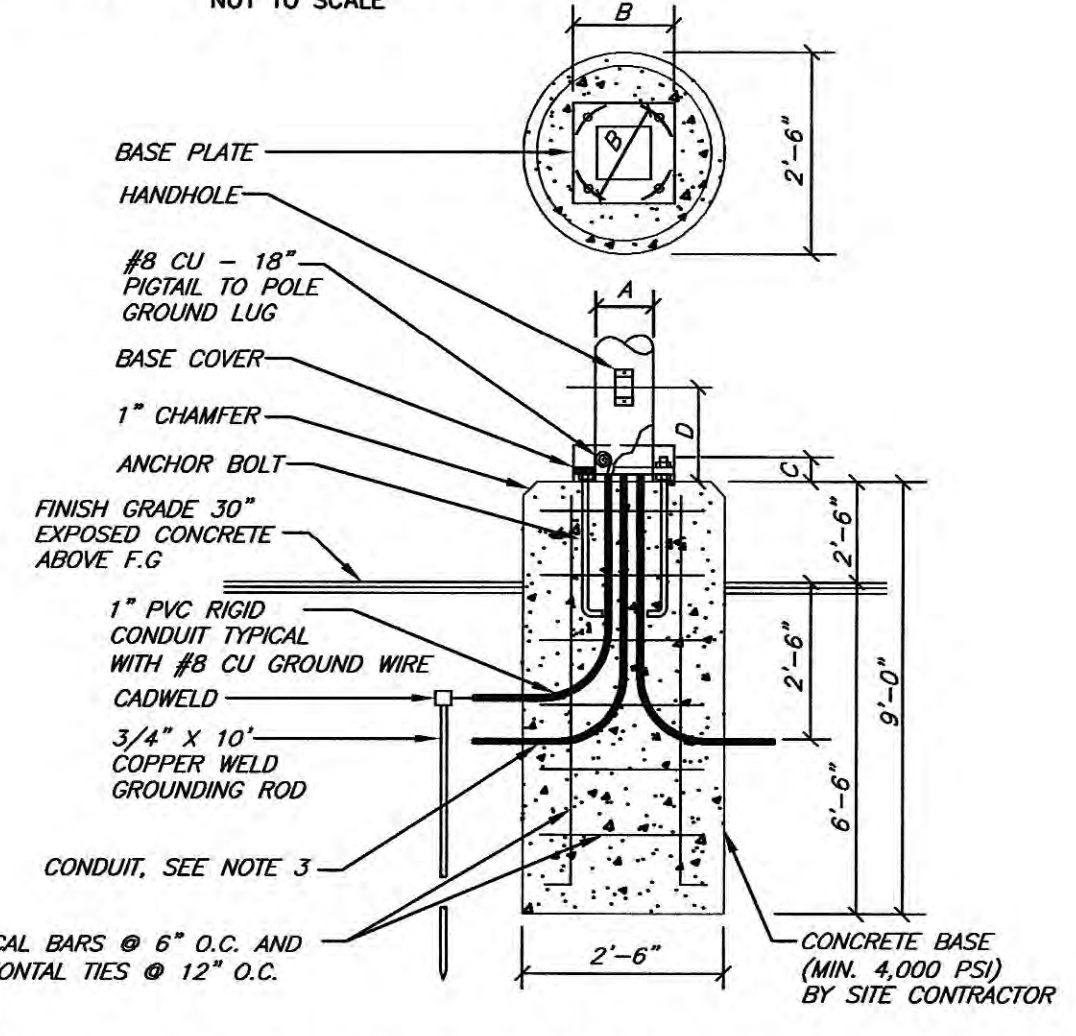
RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
< 2	USE CURVED CURB
2 - 15	USE RADIAL JOINTS
16 - 28	1'-6"
29 - 41	2'
42 - 55	3'
56 - 68	4'
69 - 82	5'
83 - 96	6'
97 - 110	7'
OVER 110	8'



FILTREXX SILT SOXX DETAIL

NOT TO SCALE

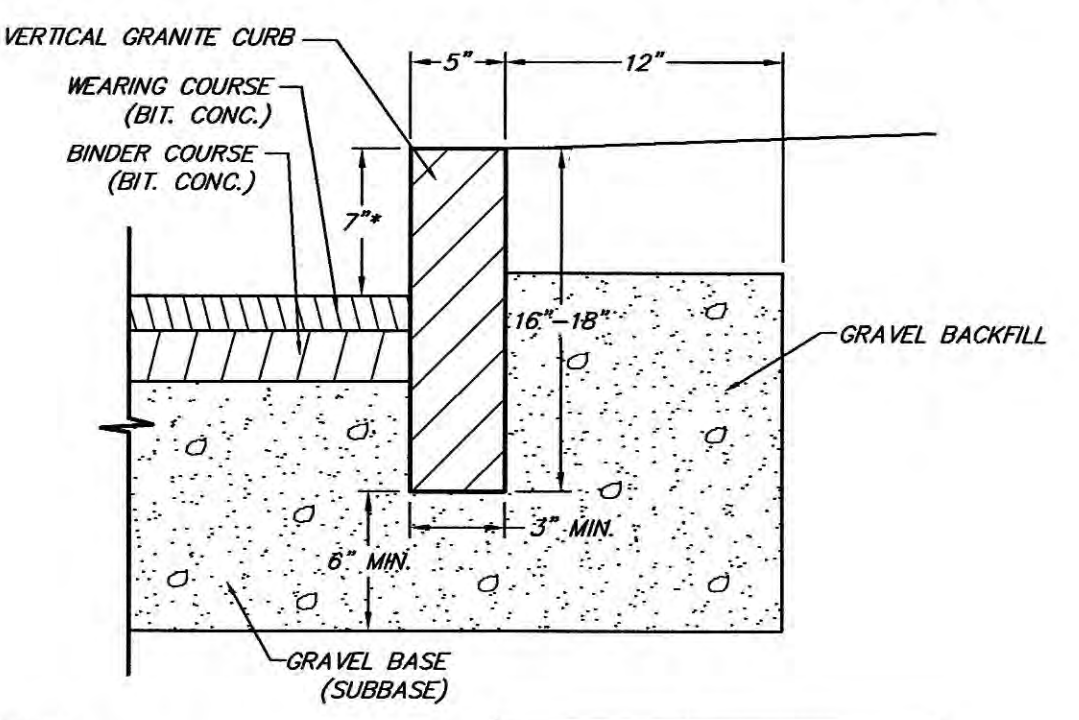
NOTES:
 1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. SILT SOXX FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



NOTES:
 1. REFER TO LIGHT POLE MANUFACTURER FOR A, B, C AND D DIMENSIONS AND ANCHOR BOLT SIZE.
 2. SEE ELECTRICAL SITE PLAN FOR CONDUITS AT EACH LOCATION.
 3. ALL CONDUIT INSIDE OF CONCRETE POLE BASES SHALL BE GALVANIZED RIGID STEEL AND ALL ELBOWS SHALL BE A MIN. 36\"/>

LIGHT POLE BASE DETAIL

NOT TO SCALE

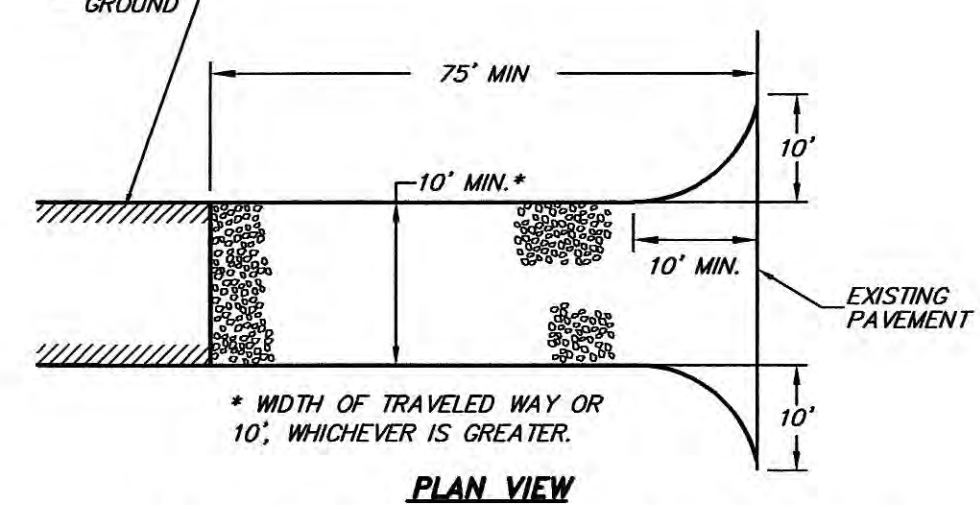
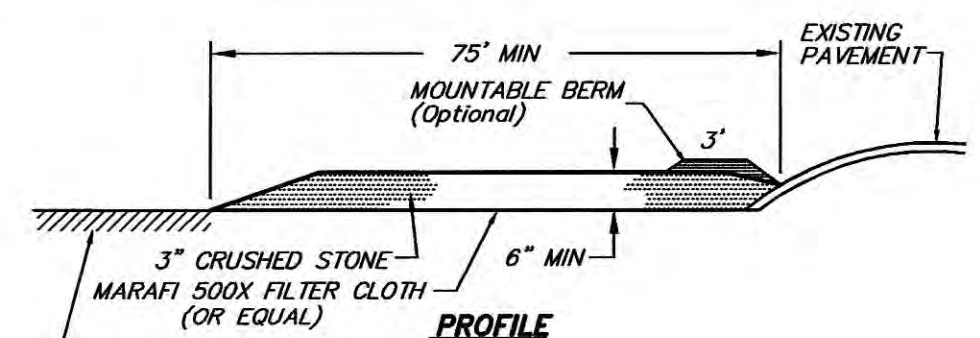


NOTES:
 MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 MINIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVE = SEE CHART
 ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
 * 2\"/>

VERTICAL GRANITE CURB DETAIL

NOT TO SCALE

RADIUS	MAXIMUM LENGTH
< 21'	USE CURVED CURB
21'	3'
22' - 28'	4'
29' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
OVER 60'	10'

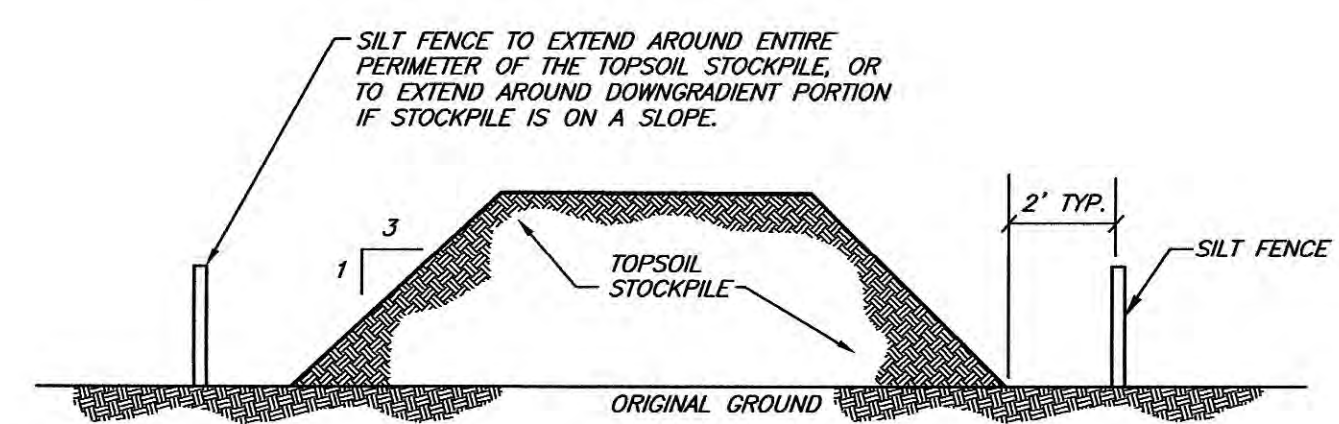


STABILIZED CONSTRUCTION EXIT:

NOT TO SCALE

MAINTENANCE NOTES:
 MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
 IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

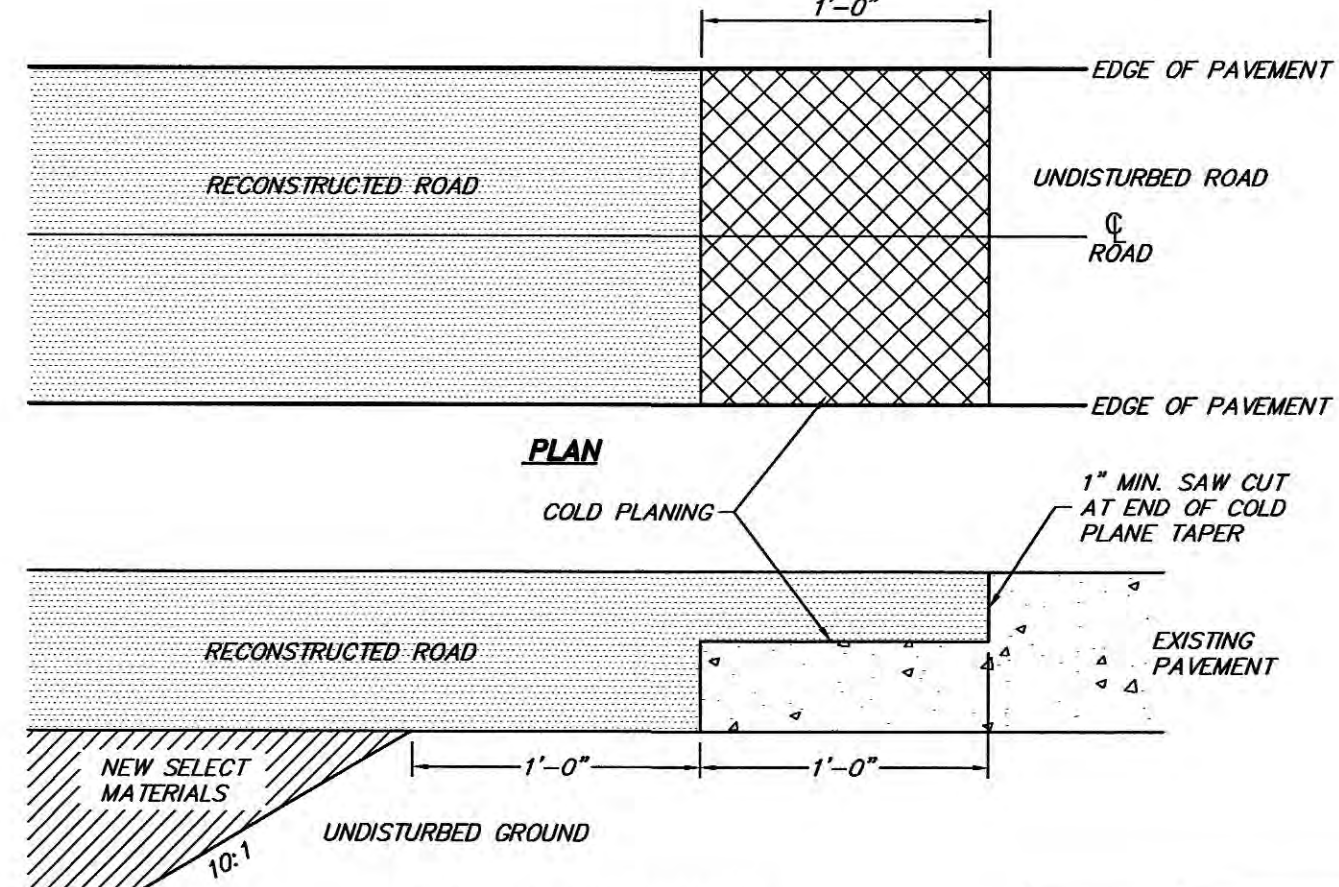
CONSTRUCTION SPECIFICATION
 (A) THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE;
 (B) THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE;
 (C) THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER;
 (D) THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY;
 (E) THE PAD SHALL BE AT LEAST 6 INCHES THICK;
 (F) A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD; AND
 (G) THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
 (H) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.



NOTES:
 1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
 2. REFERENCE IS MADE TO SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
 3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR SEEDING WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
 4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAINFALL EVENTS IN EXCESS OF 0.5 INCHES. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 5. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
 6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE TOWN.

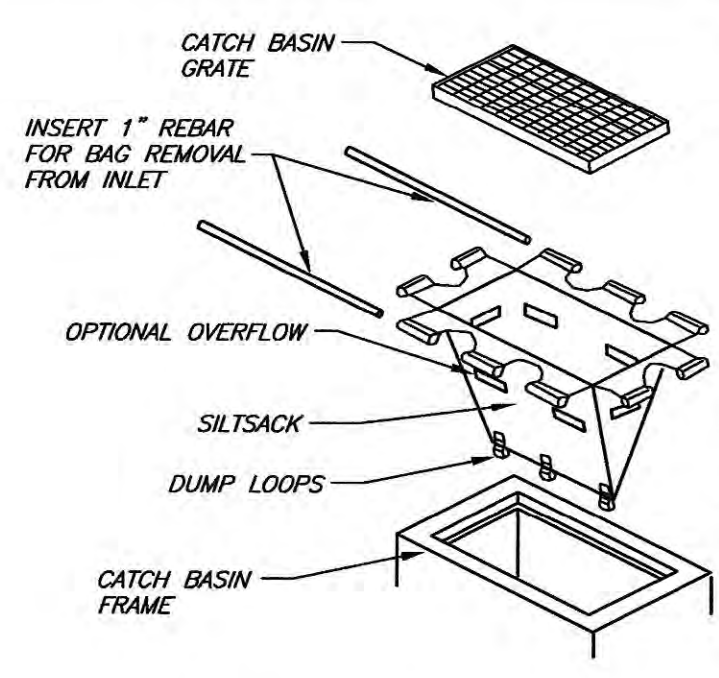
TEMPORARY STOCKPILE DETAIL

NOT TO SCALE



PAVEMENT CONNECTION

NOT TO SCALE

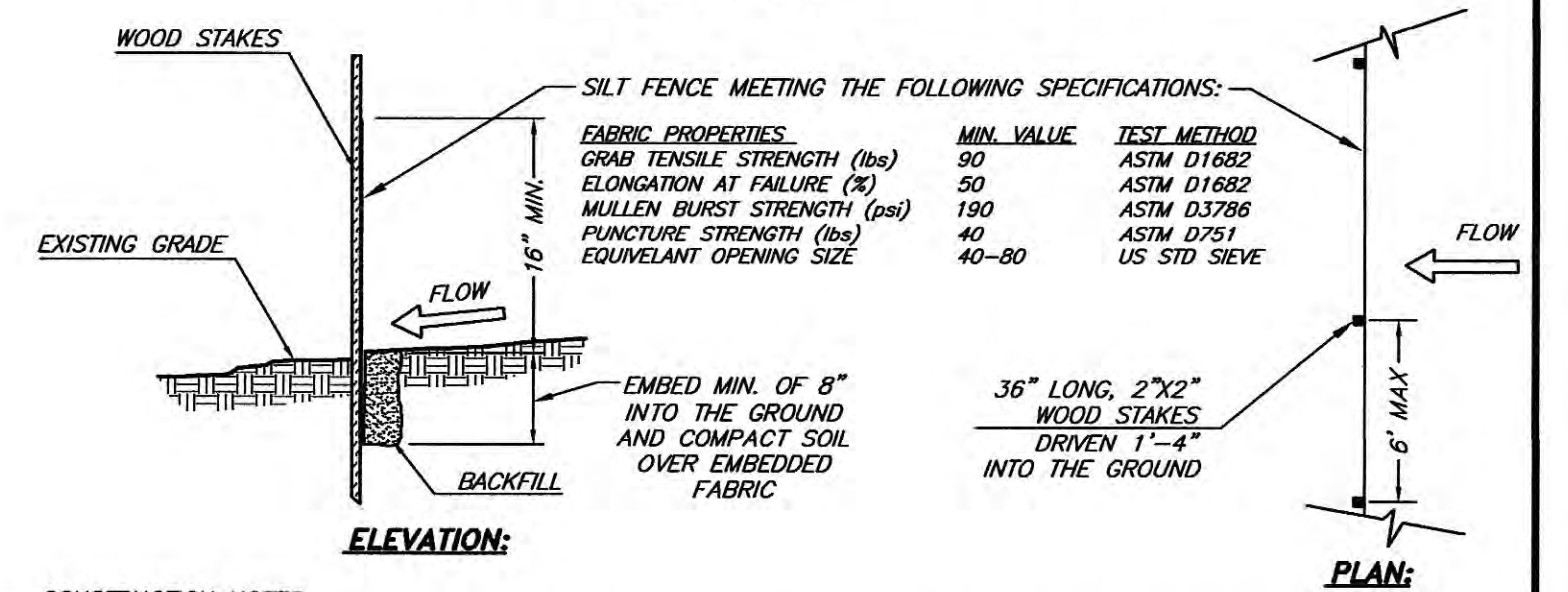


NOTES:
 1. INLET BASKETS SHALL BE USED ON ALL CATCH BASINS DURING CONSTRUCTION. INLET BASKETS SHALL BE SILTSACK OR APPROVED EQUAL.
 2. THE FILTER FABRIC SHALL BE A WOVEN POLYPROPYLENE GEO-TEXTILE FABRIC MEETING THE FOLLOWING SPECIFICATIONS:
 GRAB TENSILE STRENGTH: 300 LBS. MINIMUM (ASTM D-4632)
 GRAB ELONGATION: 20% MINIMUM (ASTM D-4632)
 PUNCTURE: 120 LBS. MINIMUM (ASTM D-4633)
 TRAPEZOID TEAR STRENGTH: 120 LBS. MINIMUM (ASTM D-4533)
 MULLEN BURST STRENGTH: MINIMUM 800 PSI (ASTM D-3786)
 3. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 40 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 40 GPM/SQ. FT.
 4. THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
 5. INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION.

INSTALLATION AND MAINTENANCE NOTES:
 TO INSTALL THE SILTSACK®, IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
 THE SILTSACK® IS FULL AND SHOULD BE EMPTIED WHEN THE YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.
 TO REMOVE THE SILTSACK®, TAKE TWO PIECES OF 1\"/>

INLET SEDIMENT FILTER BASKET

NOT TO SCALE



CONSTRUCTION NOTES:
 A. FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE FENCE.
 B. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1/4-ACRE PER 100 LINEAR FEET OF FENCE.
 C. THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE FENCE SHALL BE 100 FEET;
 D. THE MAXIMUM SLOPE OF THE AREA ABOVE THE FENCE SHALL BE 2:1;
 E. FENCES SHALL BE INSTALLED AS FOLLOWS:
 1. FENCES SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;
 2. THE ENDS OF THE FENCE SHALL BE FLARED UP-SLOPE;
 3. THE BASE OF THE FENCE SHALL BE:
 a. FOLDED SUCH THAT NOT LESS THAN 4 INCHES OF THE FENCE IS PLACED ALONG THE BOTTOM OF A TRENCH THAT IS EXCAVATED AT LEAST 4 INCHES DEEP INTO THE GROUND, WITH THE SOIL COMPACTED OVER THE EMBEDDED FABRIC; OR
 b. IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, EMBEDDED IN A MINIMUM THICKNESS OF 8 INCHES OF 1/2-INCH STONE;
 4. SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS; AND
 5. ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED TO A SUPPORT POST;
 F. FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY; AND
 G. SEDIMENT THAT ACCUMULATES AT THE FENCE SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE SEDIMENT FROM REACHING ONE-THIRD THE HEIGHT OF THE FENCE.
 H. INSTALL FENCE PER MANUFACTURER'S SPECIFICATIONS.
 I. IF THE FABRIC ON THE SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE LIFE OF THE FENCE, THE FABRIC SHALL BE PROMPTLY REPLACED.
 J. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.

SILT FENCE DETAIL:

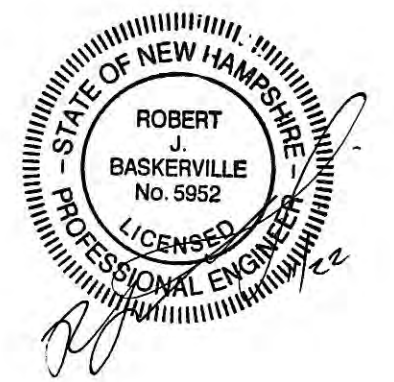
NOT TO SCALE

MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

DATE: 11/04/2022

APPROVAL OF THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



TAX MAP 12 LOT 11
DETAIL SHEET 2
SOONER-MILFORD
 LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
 OWNER: LAND BARGE, LLC
 754-756 ELM STREET
 MILFORD, NH 03055
 APPLICANT: SOONER TRANSPORTATION LLC
 3 EXECUTIVE PARK DRIVE, SUITE 2016
 BEDFORD, NH 03110

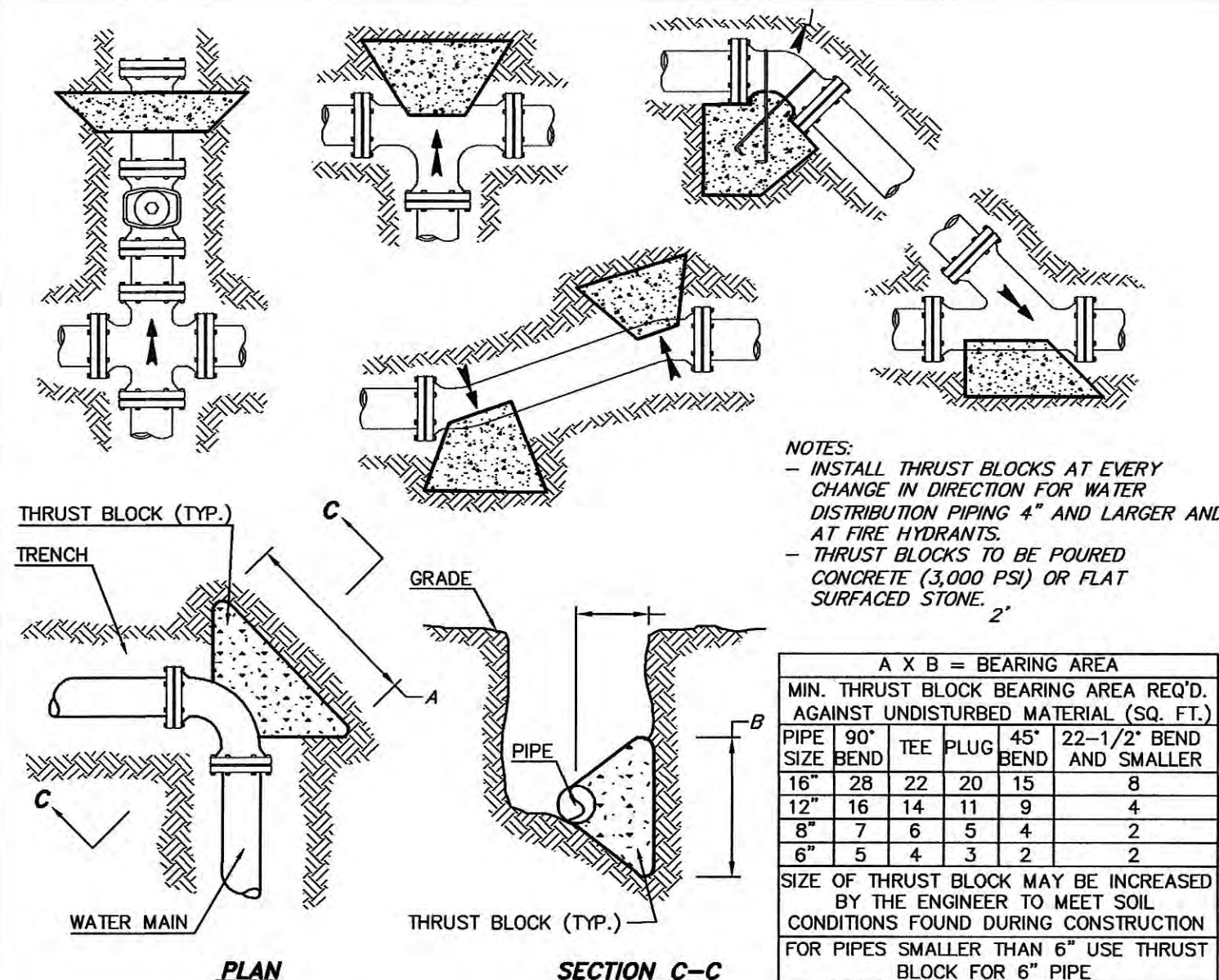
SCALE: 1" = 20' APRIL 25, 2022 SHEET 10 OF 12

DESIGN: KAW	DRAWN: KAW	CHECKED: RJB	FB: 580	PG: 60	1667-01
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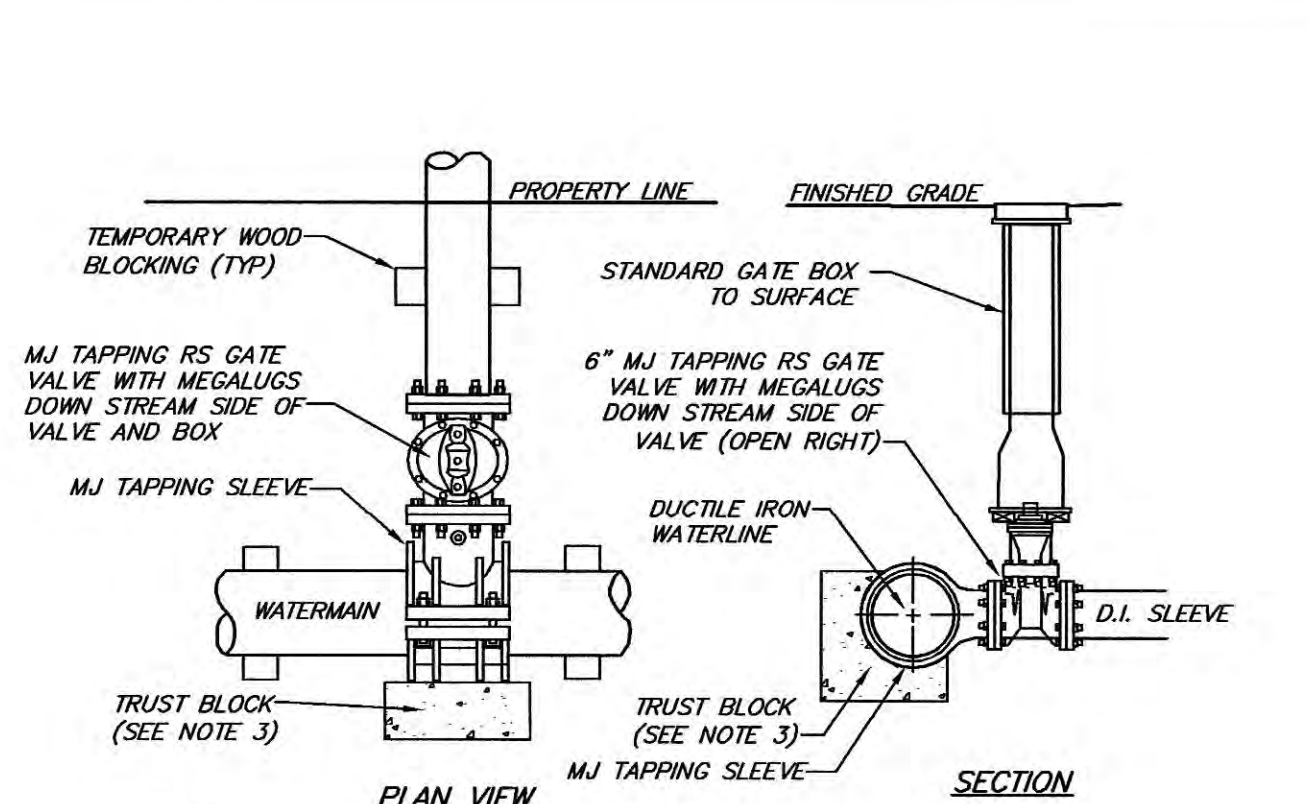
Bedford Design Consultants
 ENGINEERS AND SURVEYORS
 592 Harvey Road, Manchester, NH 03103
 Telephone: (603) 622-5533
 www.bedforddesign.com

11-2-22	REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A
DATE	DESCRIPTION	BY	REV.

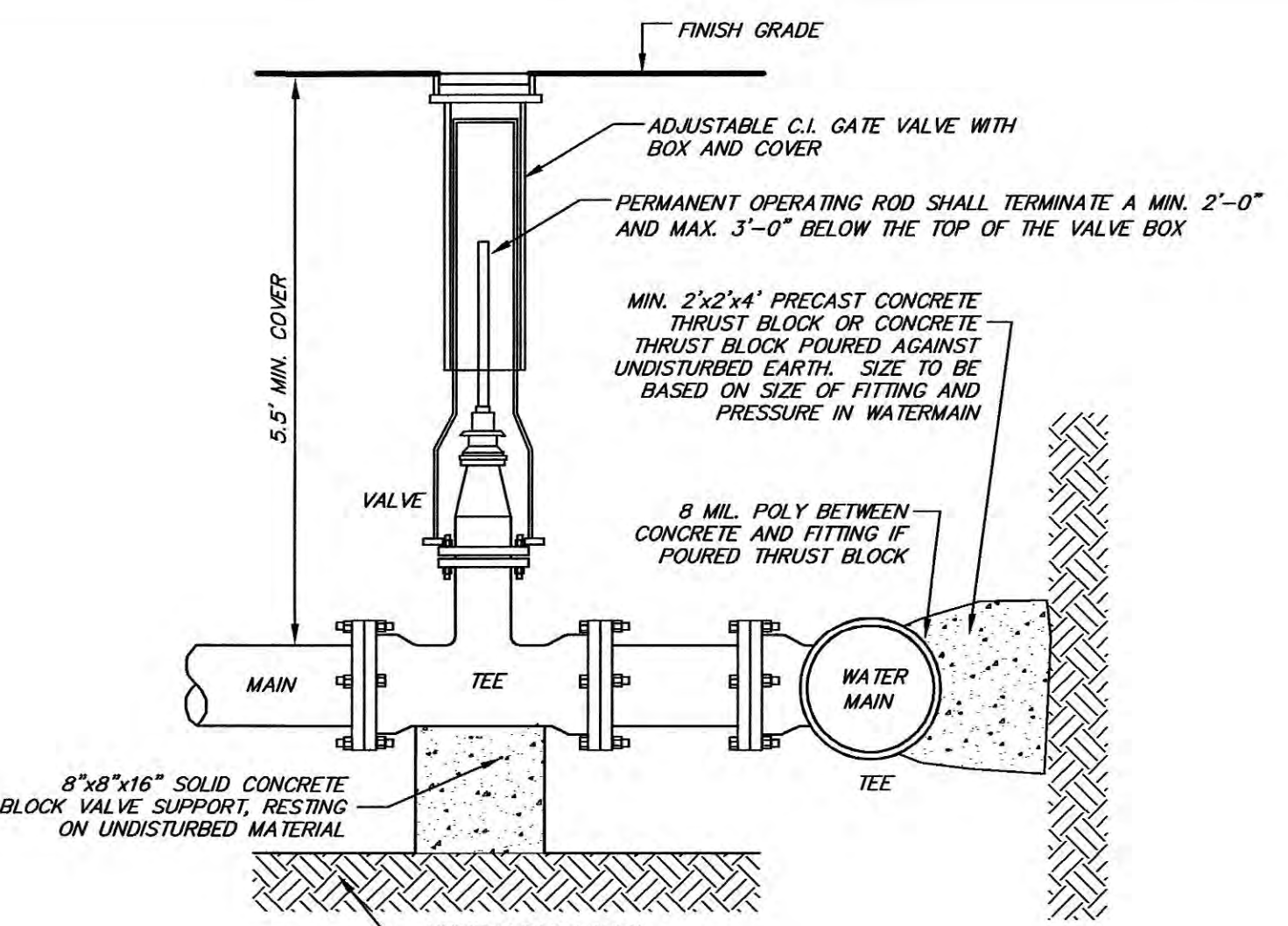




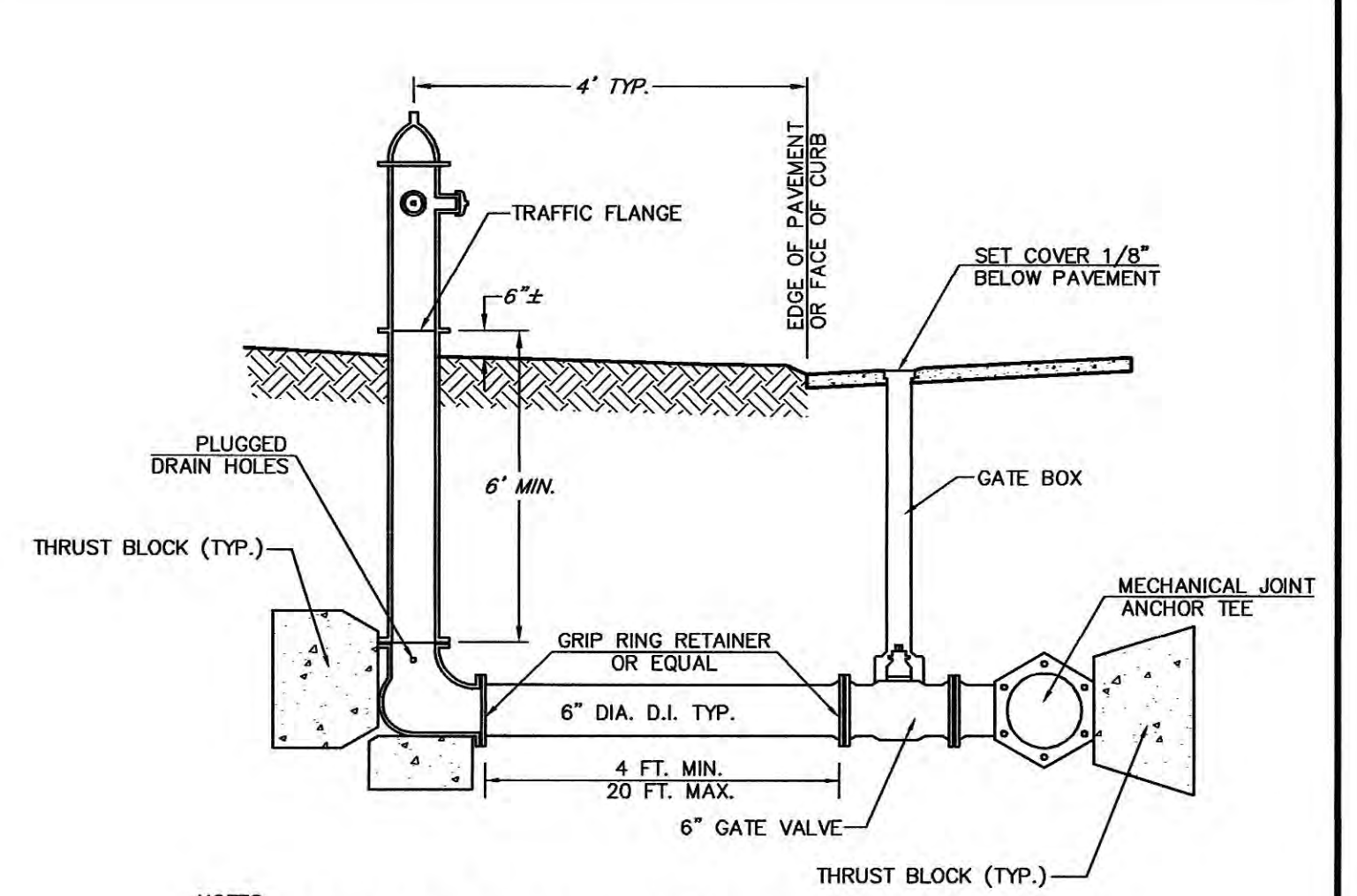
TYPICAL THRUST BLOCK DETAIL
NOT TO SCALE



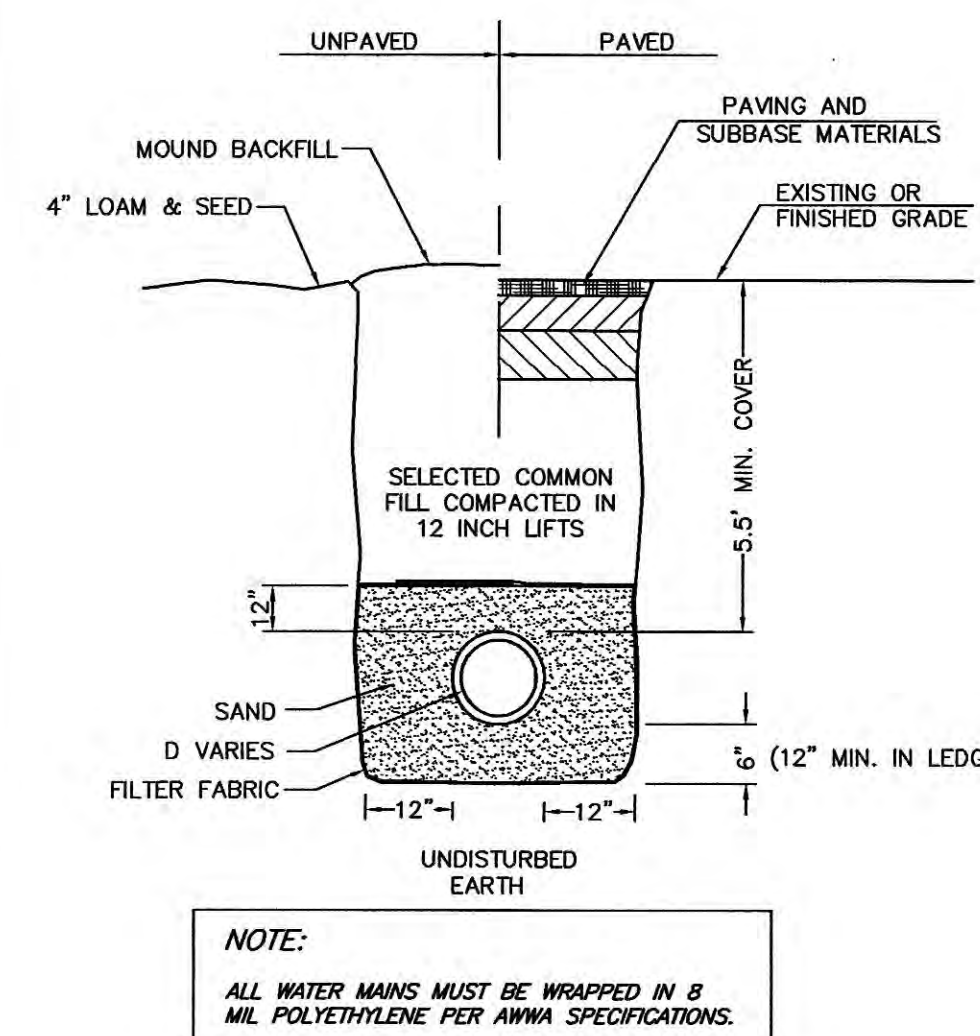
WET TAP TEE INSTALLATION
NOT TO SCALE



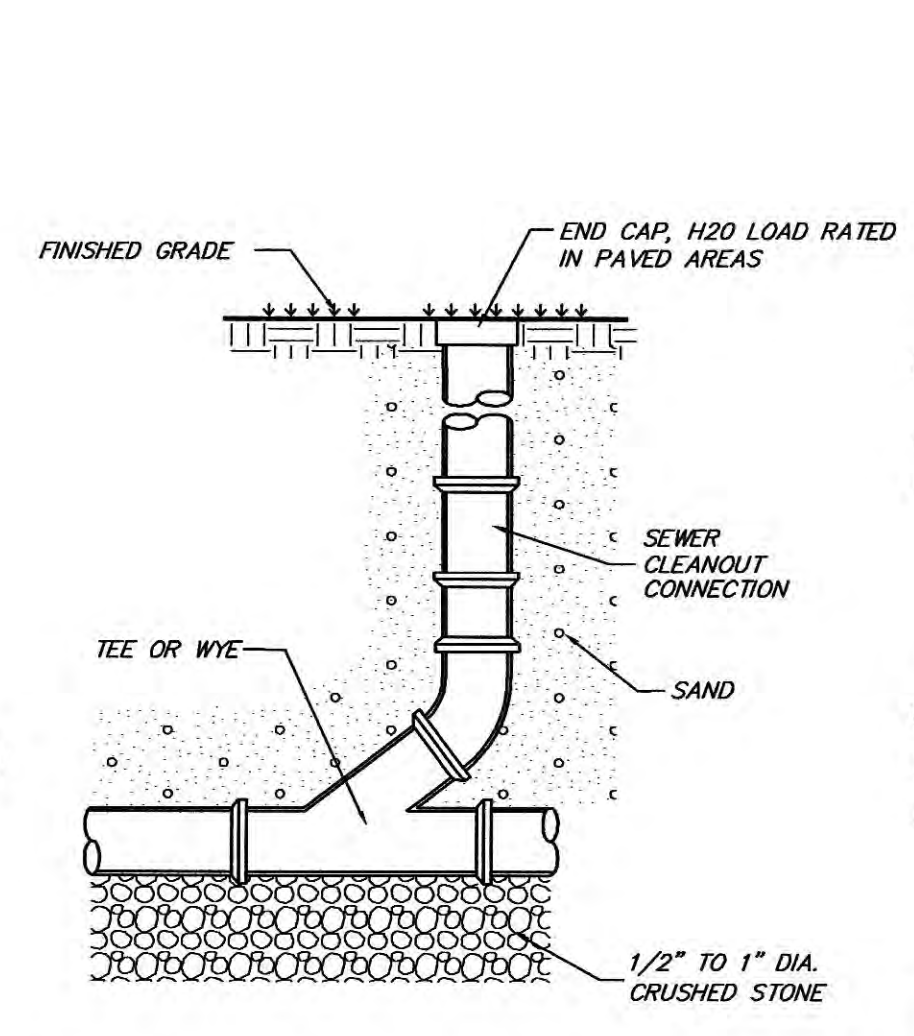
STANDARD GATE VALVE
NOT TO SCALE



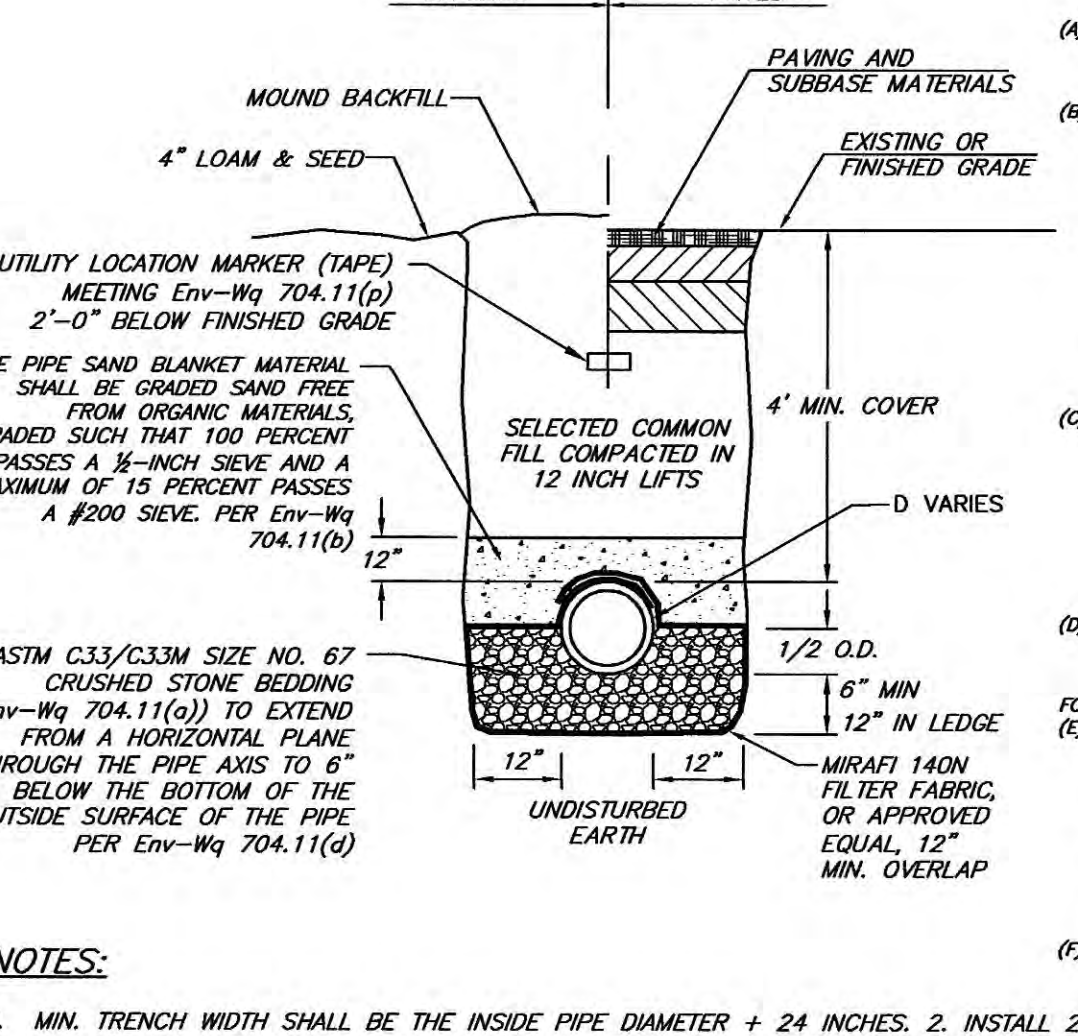
FIRE HYDRANT DETAIL:
NOT TO SCALE



WATER MAIN TRENCH DETAIL
NOT TO SCALE



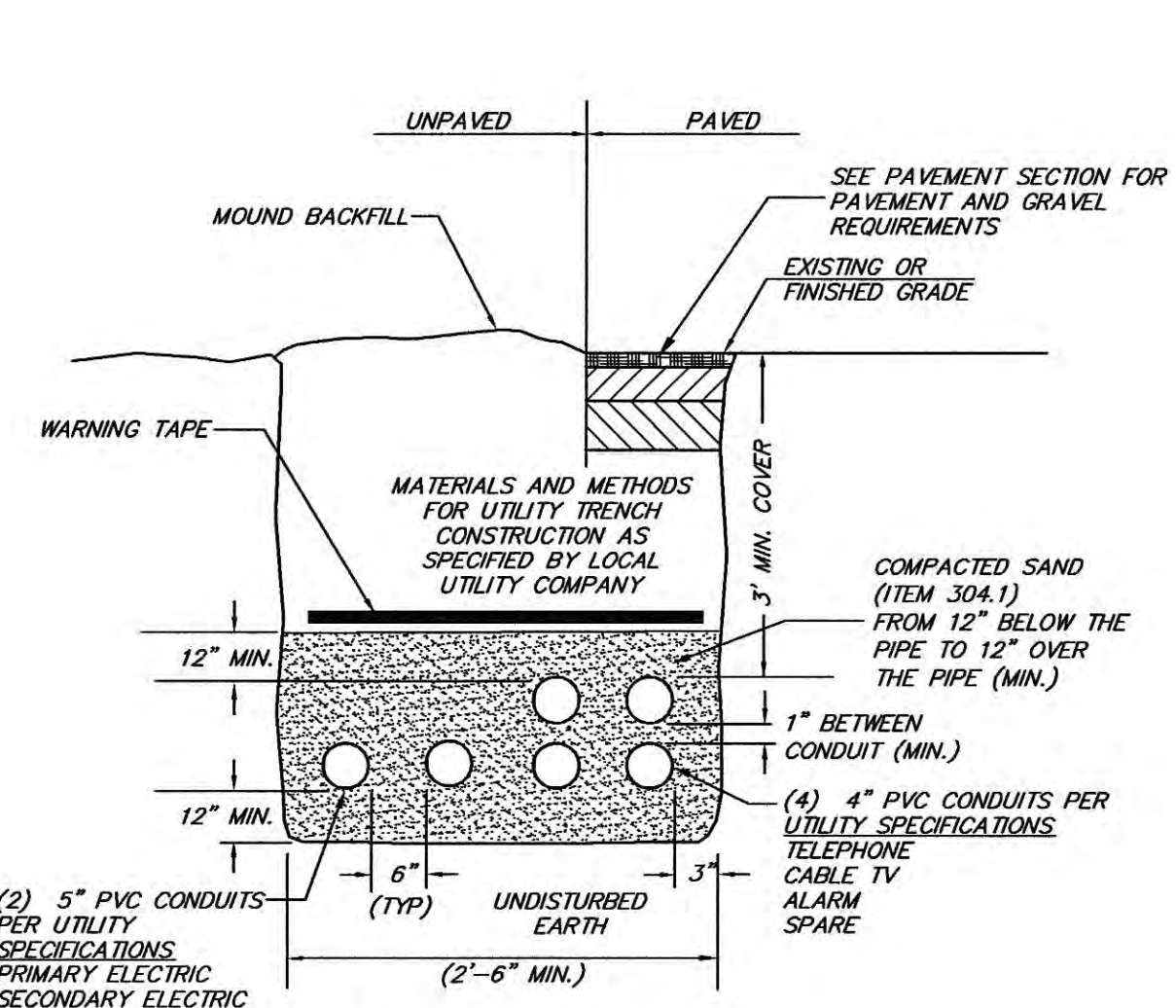
SEWER CLEANOUT DETAIL
NOT TO SCALE



SEWER MAIN TRENCH DETAIL
NOT TO SCALE

GRAVITY SEWER PIPE TESTING PER ENR-W9 704.6

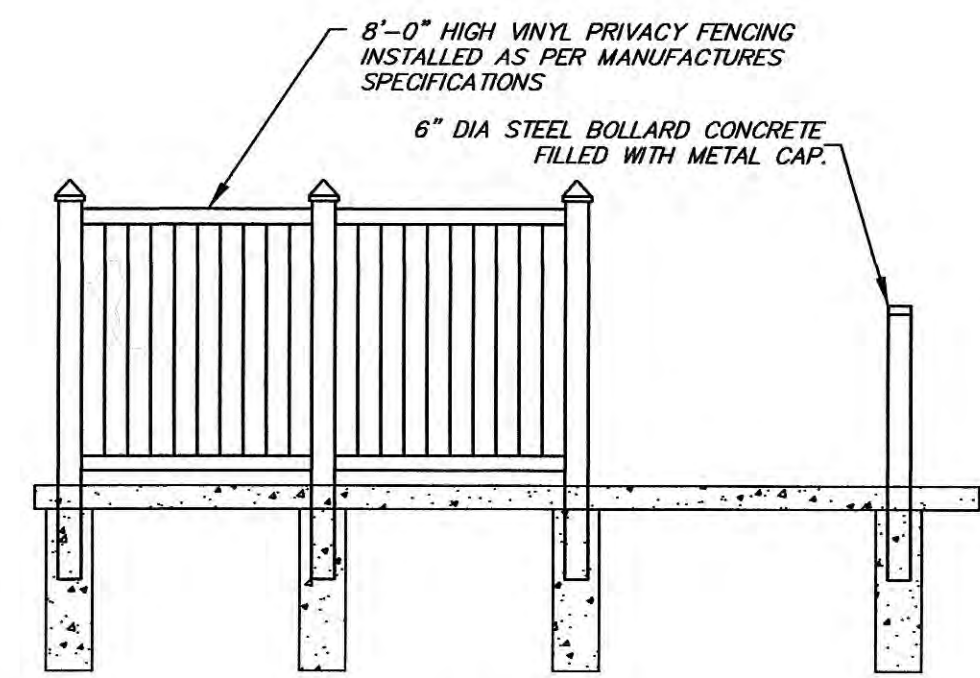
(A) ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
(B) LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH THE FOLLOWING TESTING STANDARDS IN EFFECT AT THE TIME THE TEST IS CONDUCTED:
(1) ASTM F1417 "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE". AVAILABLE AS NOTED IN APPENDIX D.
(2) UN-BELL PVC PIPE ASSOCIATION UN-4-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE". AVAILABLE AS NOTED IN APPENDIX D.
(3) ALL NEW GRAVITY SEWERS SHALL BE:
(1) CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER; AND
(2) TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
(C) ALL PLASTIC SEWER PIPE SHALL BE VISUALLY INSPECTED AND DEFLECTION TESTED NOT LESS THAN 30 DAYS NOW MORE THAN 90 DAYS FOLLOWING INSTALLATION.
(D) THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% PERCENT OF AVERAGE INSIDE DIAMETER. A PROBE END OF MANHOLE WITH A DIAMETER OF AT LEAST 55% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
(E) PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212



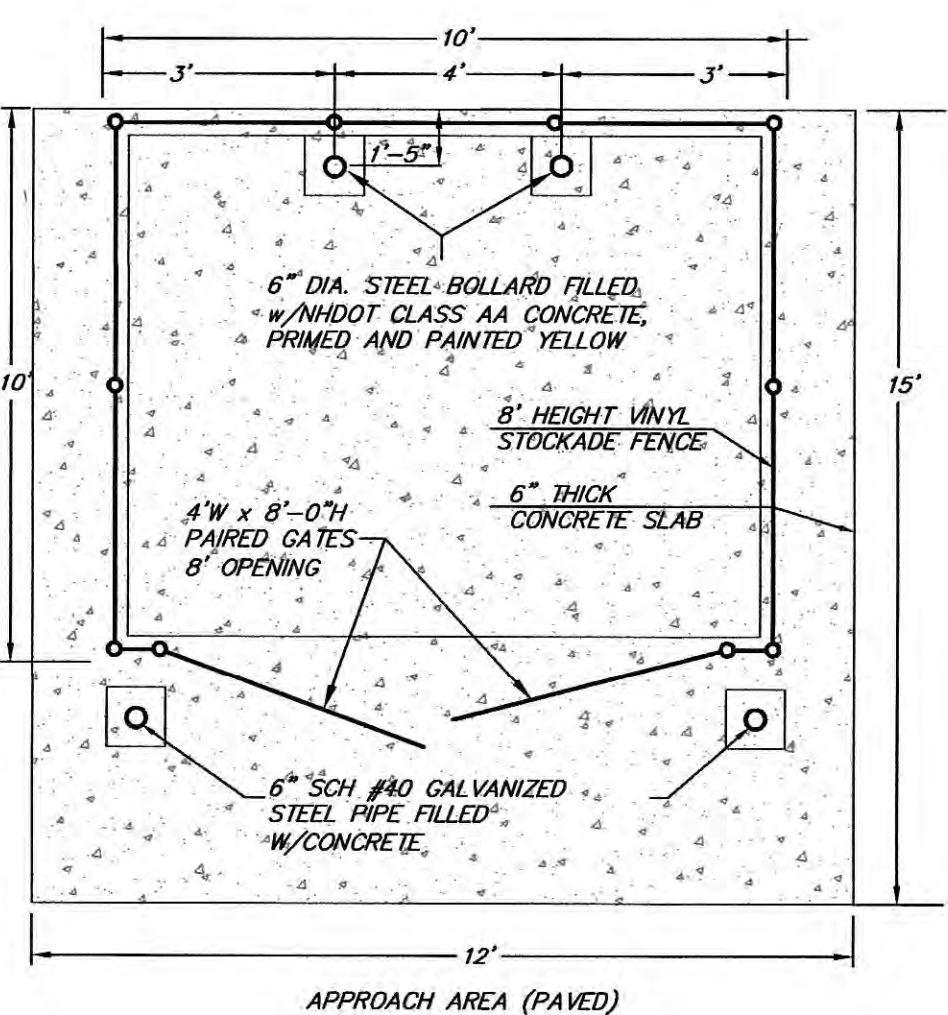
UTILITY TRENCH DETAIL
NOT TO SCALE



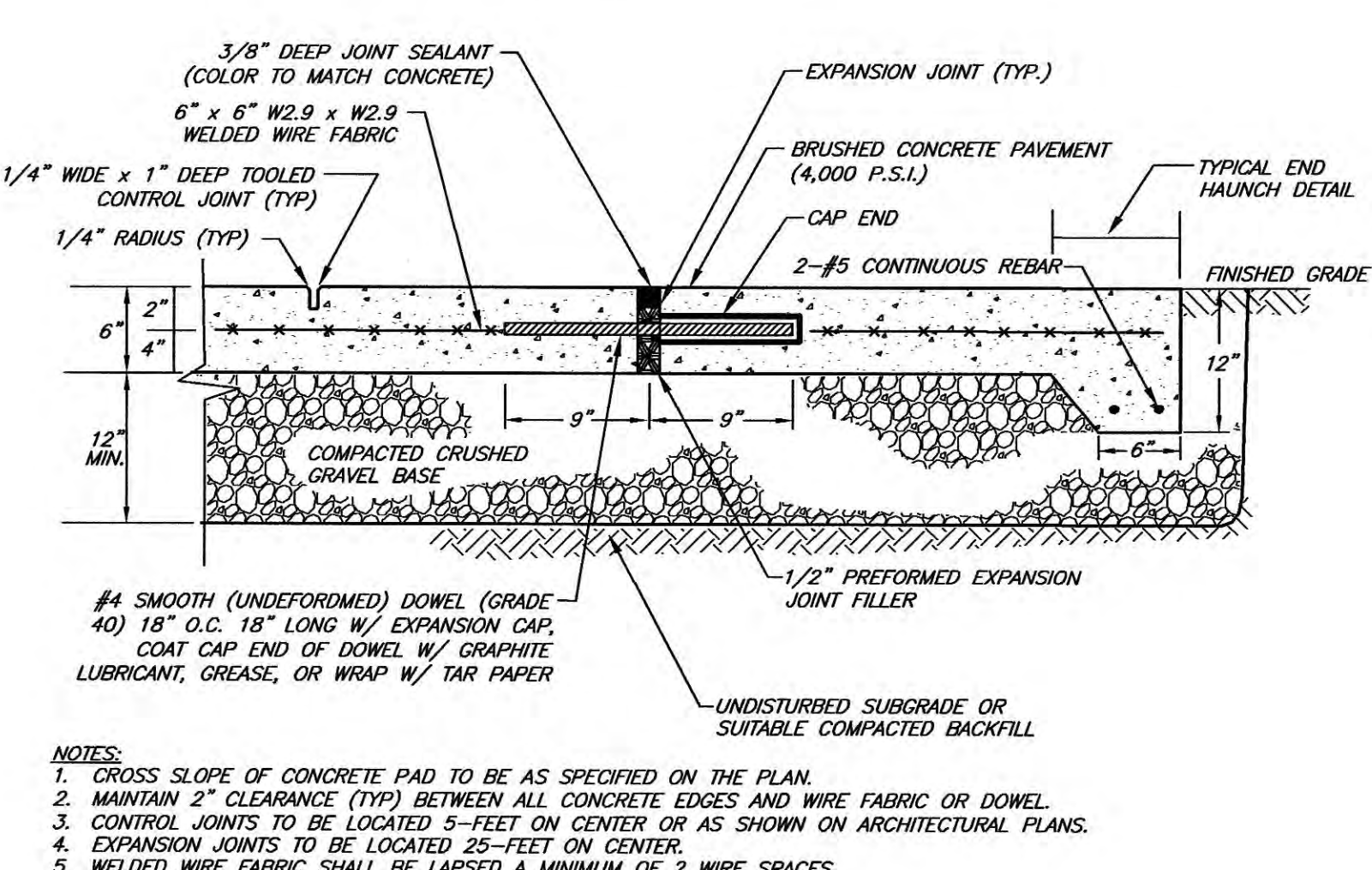
**MILFORD, NH
FIRE LANE SIGN DETAIL**
NOT TO SCALE



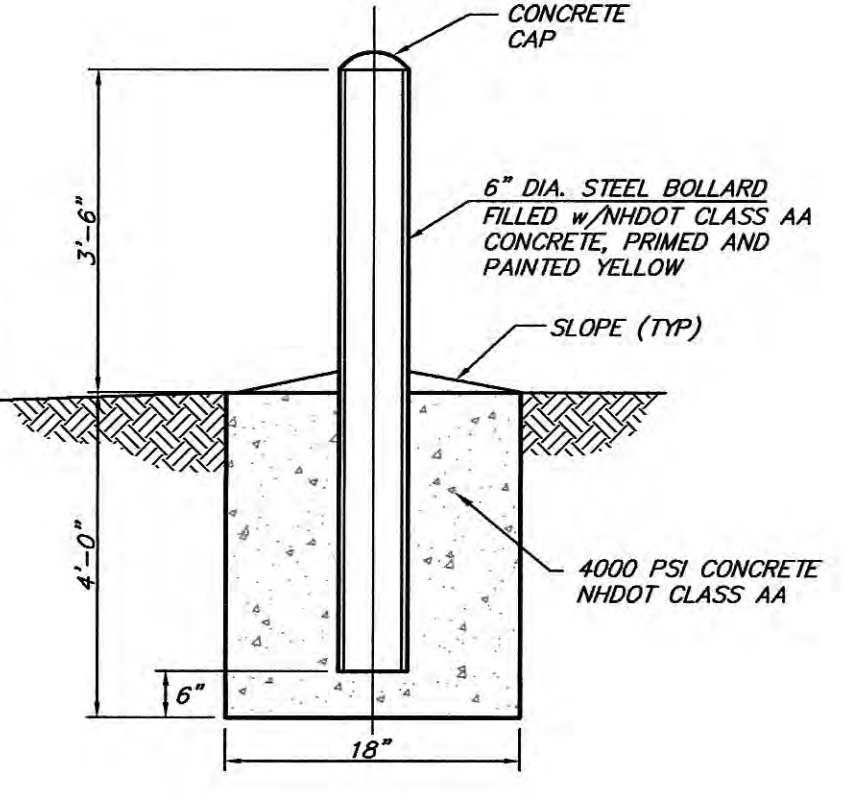
TYPICAL FENCE DETAIL FOR DUMPSTER PAD
NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



HEAVY DUTY REINFORCED CONCRETE PAD DETAIL FOR DUMPSTER
NOT TO SCALE



TYPICAL BOLLARD DETAIL
NOT TO SCALE

TAX MAP 12 LOT 11

**DETAIL SHEET 3
SOONER-MILFORD**

LOCATED AT:
**754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055**

OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 201G
BEDFORD, NH 03110

SCALE: 1" = 20'
DESIGN: KAW
DRAWN: KAW
CHECKED: RJB
FB: 580
PG: 60
1667-01

APRIL 25, 2022
SHEET 11 OF 12

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www.bedforddesign.com

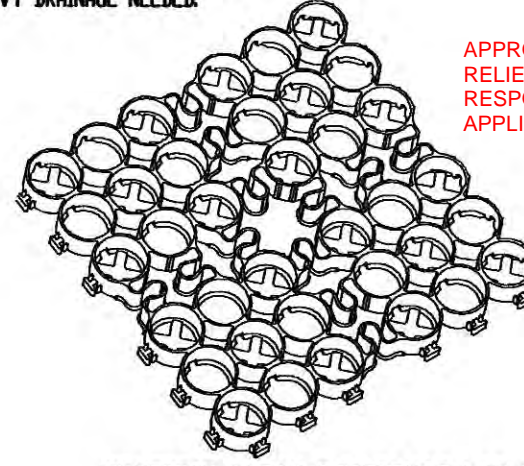
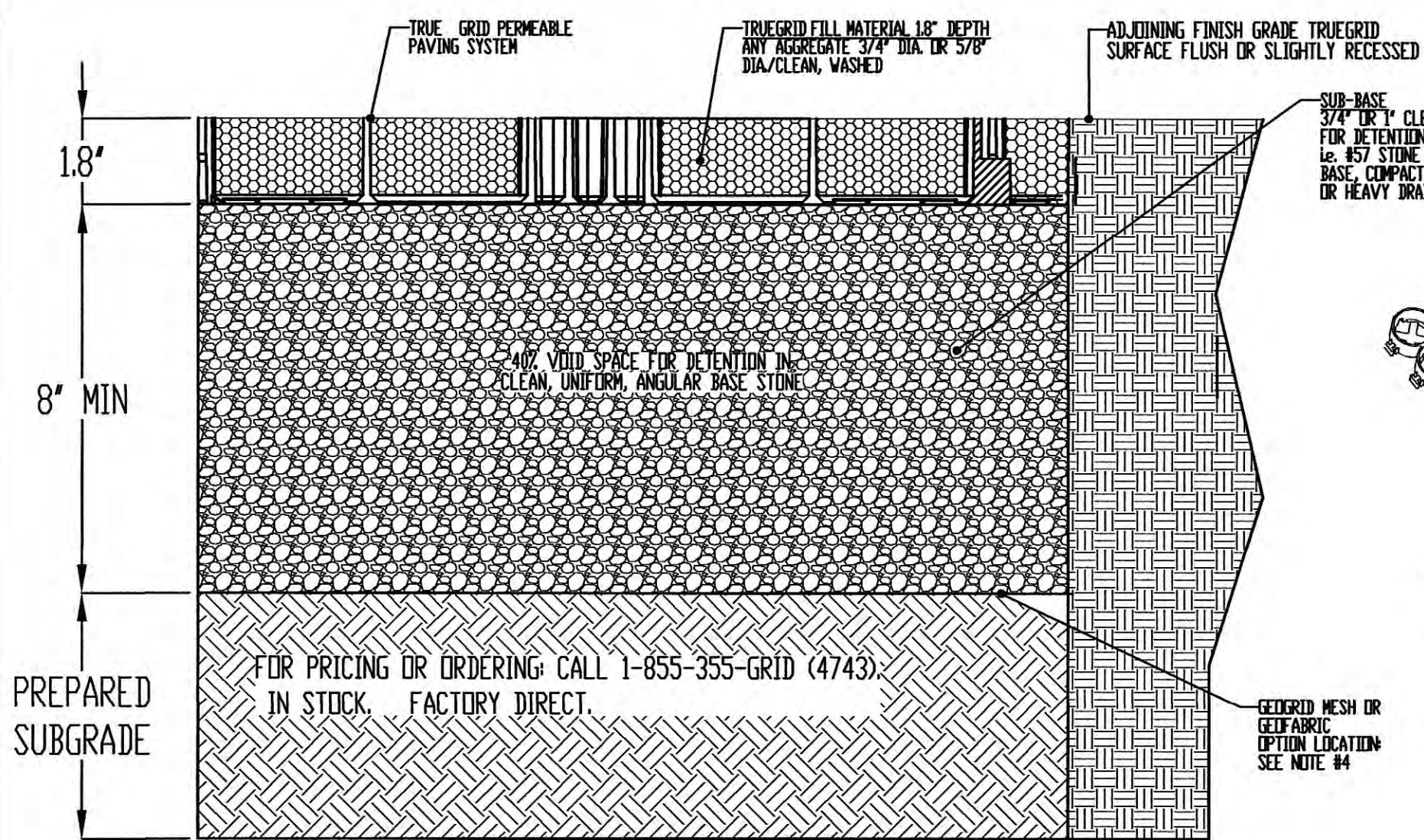


MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

DATE: 11/04/2022

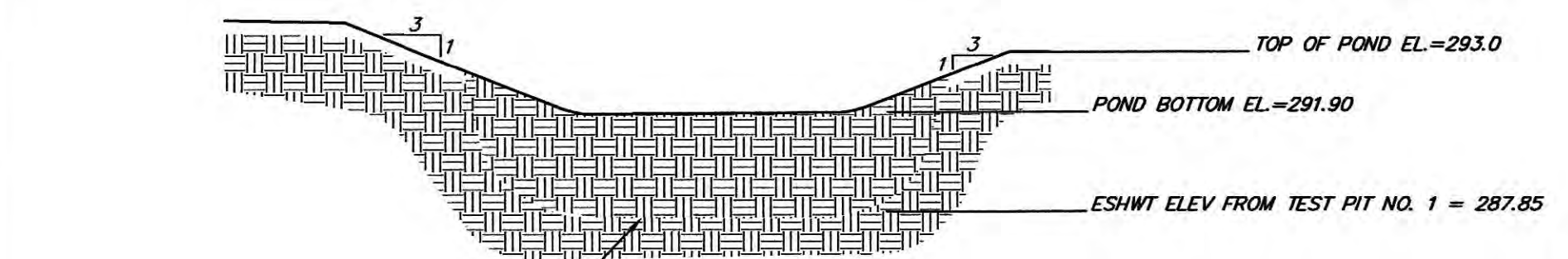
APPROVAL OF THIS DRAWING DOES NOT
RELIEVE THE CONTRACTOR OF THE
RESPONSIBILITY FOR COMPLIANCE WITH
APPLICABLE CODES AND STANDARDS.



TRUE GRID BLOCK REFERENCE VIEW
PREASSEMBLED & DELIVERED IN 4' X 4' SHEET. REORDERED
AS NEEDED. EXTRA TILING OR ACCESSORIES REQUIRED.

**TRUE GRID PRO PLUS
GRAVEL FIRE LANE**
NOT TO SCALE

- SUB-BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
- TRUE GRID PRO PLUS PRODUCTS DESIGNED FOR LOAD CAPACITIES OF 120,000 LBS PER SQ. FT. TRUE GRID PRODUCTS STRENGTHEN WITH FILL MATERIAL.
- TRUE GRID PRO PLUS PRODUCTS ARE SUFFICIENTLY RATED FOR H-20 /HS-20 LOADING AND GREATER.
- GEOGRID MESH OR GEOFABRIC MAY BE REQUIRED BETWEEN SUB-GRADE & SUB-BASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.
- INCREASE SUB-BASE DEPTH FOR INCREASED STORM WATER DETENTION.
- NO STAKING NECESSARY WITH TRUE GRID PRO PLUS WHEN SLOPE IS BELOW 10 DEGREES. ASSESS PROJECT, AS NEEDED.
- FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS AND LOAD REQUIREMENTS.
- THIS CROSS SECTION IS FOR INFORMATION ONLY.

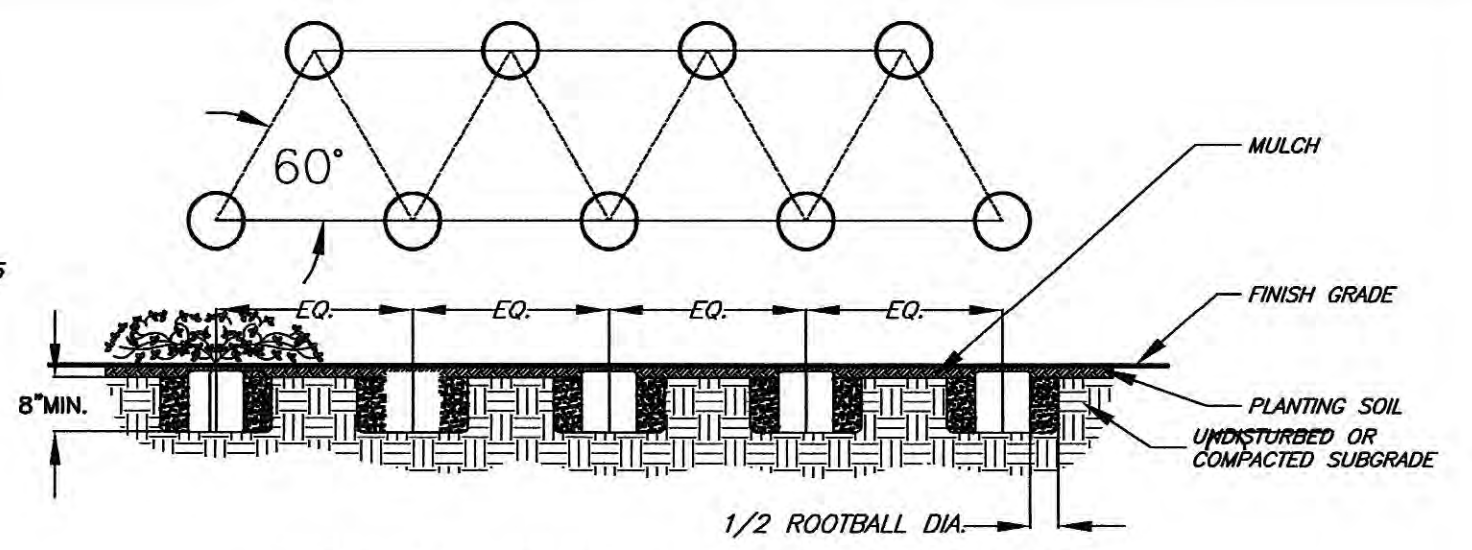


- BASIN NOTES:**
- DURING CONSTRUCTION DO NOT RUN HEAVY MACHINERY OVER INFILTRATION SITES. COMPACTION WILL CAUSE THEM TO BECOME INEFFECTIVE. ONCE THE BOTTOM LEVEL OF BASIN IS EXCAVATED, TILL THE SOIL WITH A ROTARY TILLER TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS BY LEVELING DRAG.
 - BASINS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN PLANTED AND IT'S CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - SLOPES SHALL BE PROTECTED WITH JUTE MATTING.

INFILTRATION BASIN
NOT TO SCALE

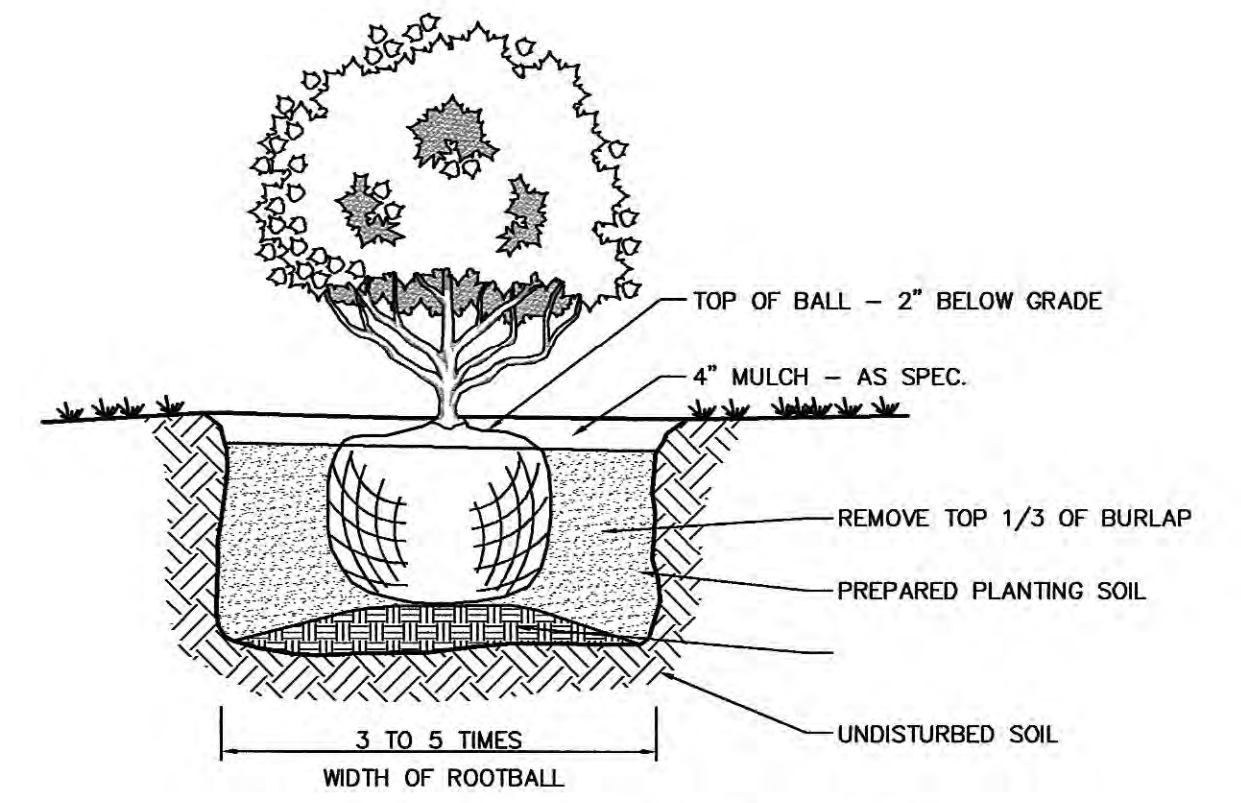
BEST MANAGEMENT PRACTICES FOR INFILTRATION BASINS

- REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
- REMOVAL OF ACCUMULATED SEDIMENT.
- INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
- INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN TWICE ANNUALLY.
- PERIODIC MOWING OF EMBANKMENTS.
- REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS.
- INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS.
- IF INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

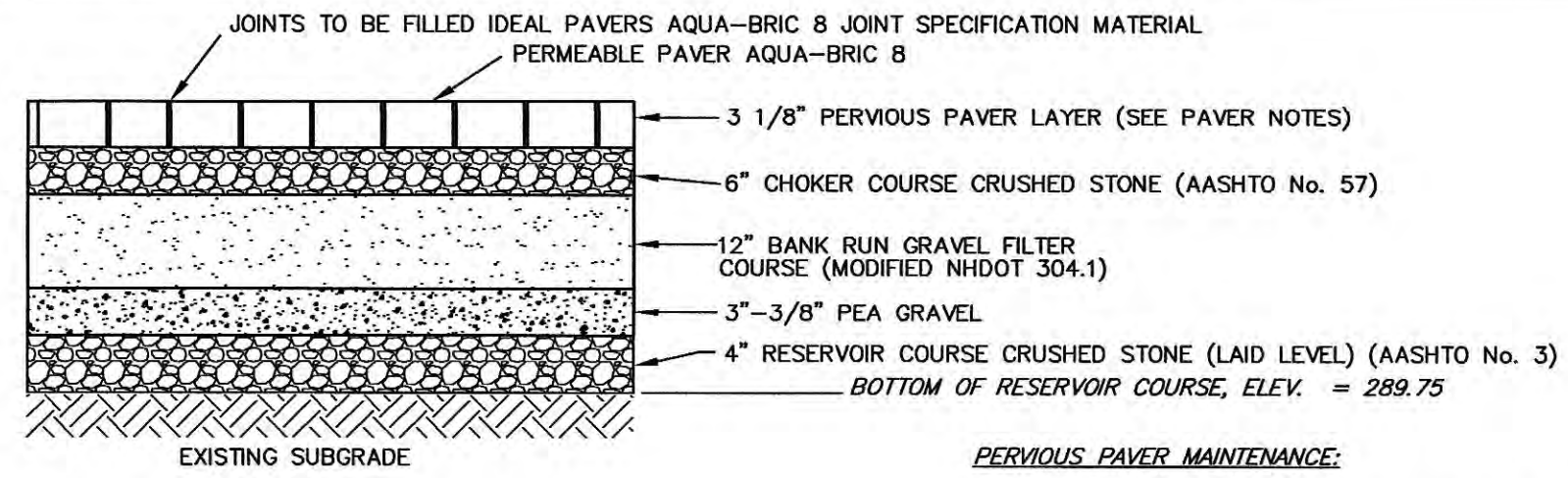


**TYPICAL GROUNDCOVER/PERENNIAL
PLANTING DETAIL**
NOT TO SCALE

NOTE:
SPACING SHALL BE THE
PLANT'S MATURE WIDTH
ON CENTER



SHRUB PLANTING DETAIL
NOT TO SCALE



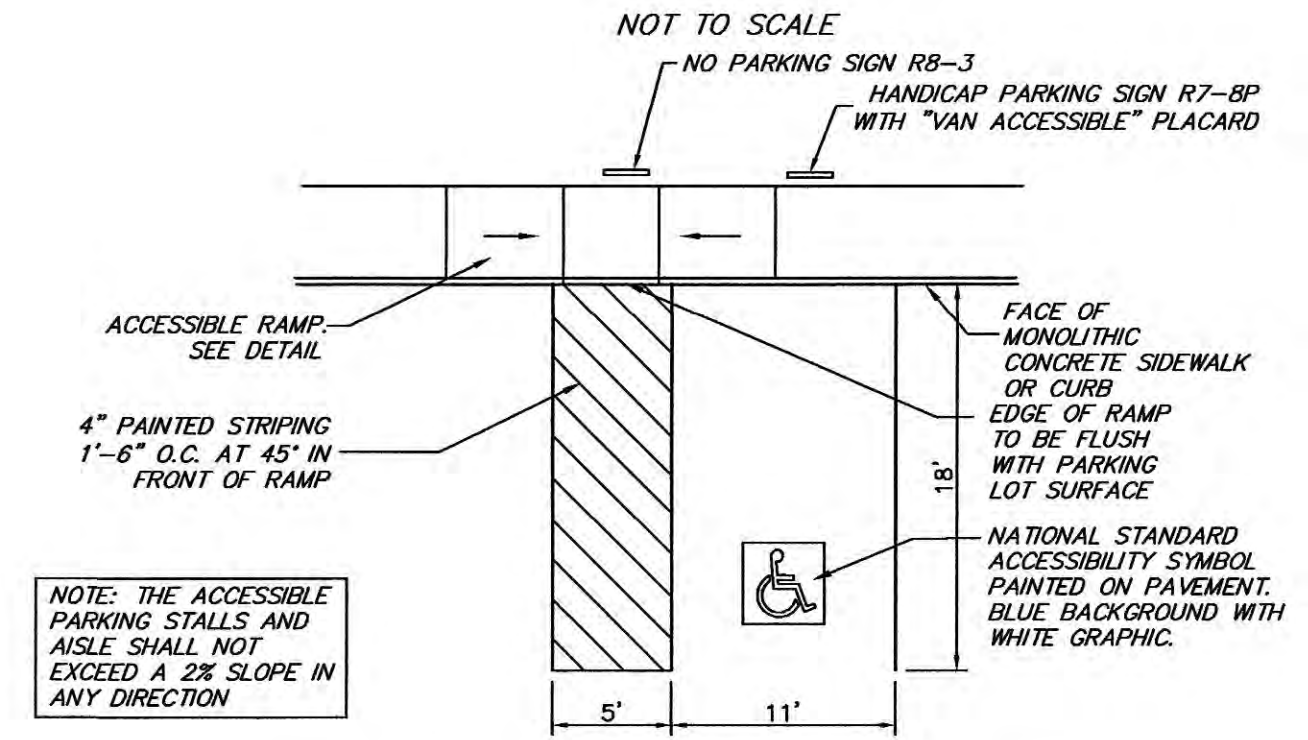
BEST MANAGEMENT PRACTICES FOR PERMEABLE PAVERS

- NO WINTER SANDING OF PERMEABLE PAVEMENT IS PERMITTED.
- MINIMIZE APPLICATIONS OF SALT FOR ICE CONTROL.
- NEVER SEAL OR REPAVE PERMEABLE PAVERS.
- IF A PAVER BECOMES DAMAGED IT CAN BE REPLACED AND THE NEW PAVER RESET.
- INSPECT ANNUALLY FOR DETERIORATION OR SPALLING.
- MONITOR PERIODICALLY TO ENSURE THAT PAVER SURFACE DRAINS EFFECTIVELY AFTER STORMS.
- FOR INTERLOCKING PAVERS, PERIODICALLY ADD JOINT MATERIAL TO REPLACE LOST MATERIAL.
- MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF PAVER SURFACE, AND POSSIBLY FILTER COURSE AND SUB-BASE MATERIAL.

PAVER NOTES:
PAVERS SHALL BE PAVERS BY IDEAL AQUA-BRIC 8 FOR HEAVY LOADS IN 'QUARRY BLEND'. THE PATTERN MAY BE HERRINGBONE OR RUNNING BOND AT THE DISCRETION OF THE OWNER. PAVERS ARE TO BE INSTALLED PER MANUFACTURER'S INSTALLATION GUIDE.

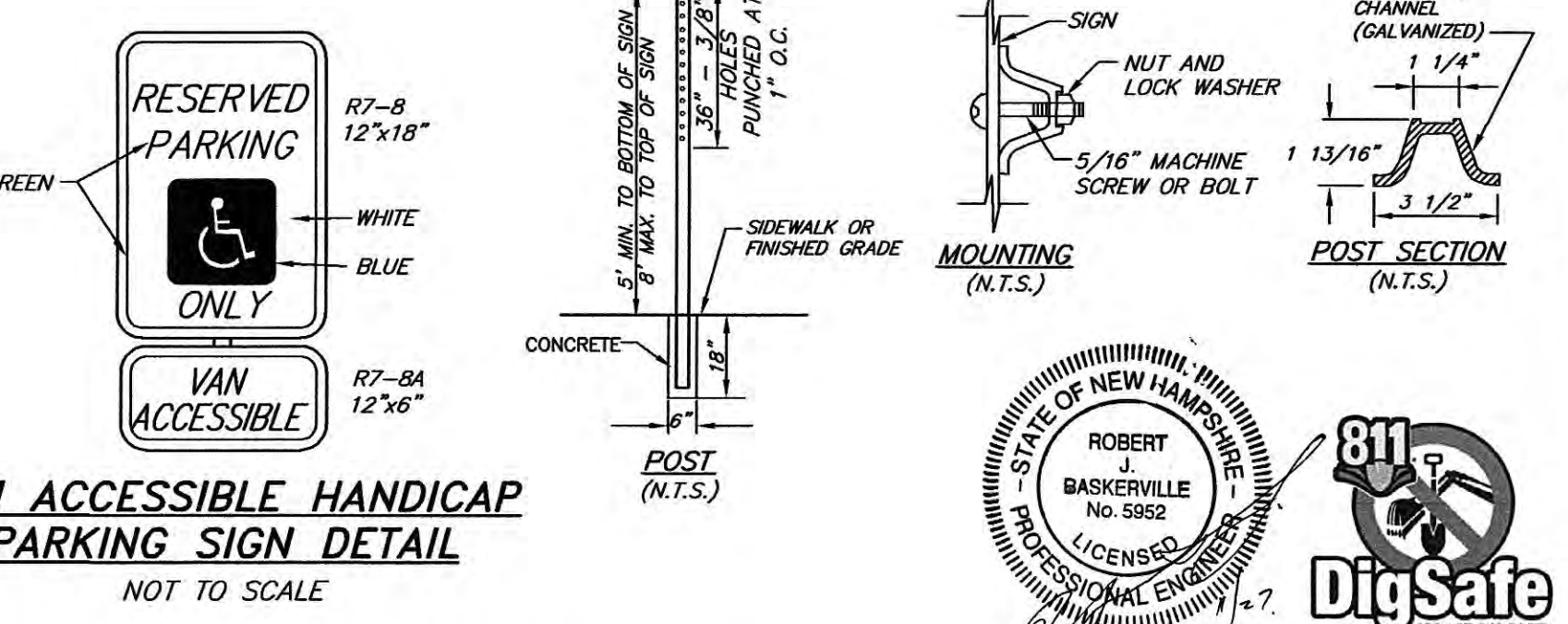
- PERVIOUS PAVEMENT MAINTENANCE:**
- INSPECT ANNUALLY FOR DETERIORATION OR BREAKAGE
 - MONITOR PERIODICALLY TO ENSURE THAT THE SURFACE DRAINS EFFECTIVELY AFTER STORMS
 - CLEAN PERIODICALLY (2-4 TIMES PER YEAR) TO REMOVE SEDIMENT AND ORGANIC DEBRIS ON THE SURFACE.
 - INSPECT ADJACENT VEGETATED AREAS (2-4 TIMES PER YEAR) FOR SIGNS OF EROSION AND RUN-ION TO THE POROUS PAVERS
 - MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF THE SURFACE AND POSSIBLY FILTER COURSE AND SUB-BAS COURSE

**TYPICAL CROSS SECTION
FOR PERVIOUS PAVERS
FOR HIGH PERMEABILITY SUB SOILS**
NOT TO SCALE

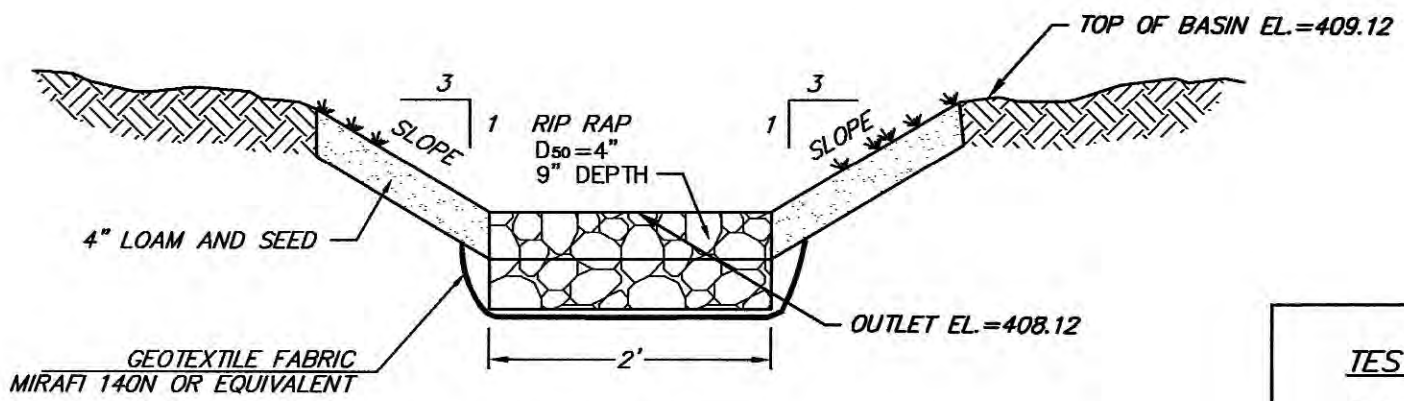


ACCESSIBLE PARKING SPACES
NOT TO SCALE

NOTE: THE ACCESSIBLE PARKING STALLS AND AISLE SHALL NOT EXCEED A 2% SLOPE IN ANY DIRECTION



**VAN ACCESSIBLE HANDICAP
PARKING SIGN DETAIL**
NOT TO SCALE



OUTLET SPILLWAY DETAIL
NOT TO SCALE

- NOTES:**
- WIDTH OF SPILLWAY AND/OR WIDTH OF RIPRAP AS SPECIFIED ON THE PLANS.
 - REFER TO THE MAINTENANCE AND CONSTRUCTION NOTES FOR ROCK RIP-RAP FOR ADDITIONAL DETAILS.

MAINTENANCE

ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLODGE THE ROCK RIPRAP. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIPRAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.

CONSTRUCTION SPECIFICATIONS

- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC OR RIPRAP SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, VEGETATION, AND DEBRIS AND PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE ROCK AND/OR GRAVEL USED FOR FILTER AND RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP BY PLACING A CUSHION OF SAND AND GRAVEL OVER THE FABRIC. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT PREVENT DISPLACEMENT OF THE UNDERLYING MATERIALS. HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE TO ANY PERMANENT STRUCTURES.
- STONES FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIPRAP.
- VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

TEST PIT NO. 1
TEST PIT ELEVATION = 280.60

0"-10" FILL 10 YR 5/1, FINE LOAMY SAND, GRANULAR, FRIABLE
10"-33" 10 YR 6/6, FINE LOAMY SAND, FINE GRANULAR, FRIABLE
33"-38" SOLID MOTTLING 5 YR 4/4, FINE LOAMY SAND, FINE GRANULAR, FRIABLE SLIGHTLY FIRM @ BOTTOM
38"-60" 10 YR 6/6, LOAMY SAND, GRAVELLY, GRANULAR, FRIABLE

WATER @ 72"
ESHWT @ 33" (ELEV 287.85)
RESTRICTIVE LAYER @ 38"

TEST PIT NO. 2
TEST PIT ELEVATION = 283.00

0"-14" A HORIZON 10 YR 4/3 FINE SANDY LOAM, MASSIVE, FRIABLE
14"-24" B HORIZON 10 YR 6/6 FINE LOAMY SAND, WEAK FINE GRANULAR, FRIABLE
24"-28" BURIED A HORIZON 10 YR 5/4 LOAMY SAND, GRANULAR, FRIABLE
28"-76" 10 YR 6/6 FINE LOAMY SAND, WEAK FINE GRANULAR, FRIABLE

WATER NONE OBSERVED @ 60"
ESHWT NONE OBSERVED @ 60" (ELEV 288.00)

TEST PIT INFORMATION
TEST PITS WERE PERFORMED ON 8-1-22 BY RAY CRITCH

TAX MAP 12 LOT 11

**DETAIL SHEET 4
SOONER-MILFORD**

LOCATED AT:
**754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055**

OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 1016
BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 12 OF 12

DESIGN: KAW	DRAWN: KAW	CHECKED: RJB	FB: 580	PG: 60	1667-01
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NO.	DATE	DESCRIPTION	BY	REV.
11-2-22		REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22		REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22		ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A
		DATE		

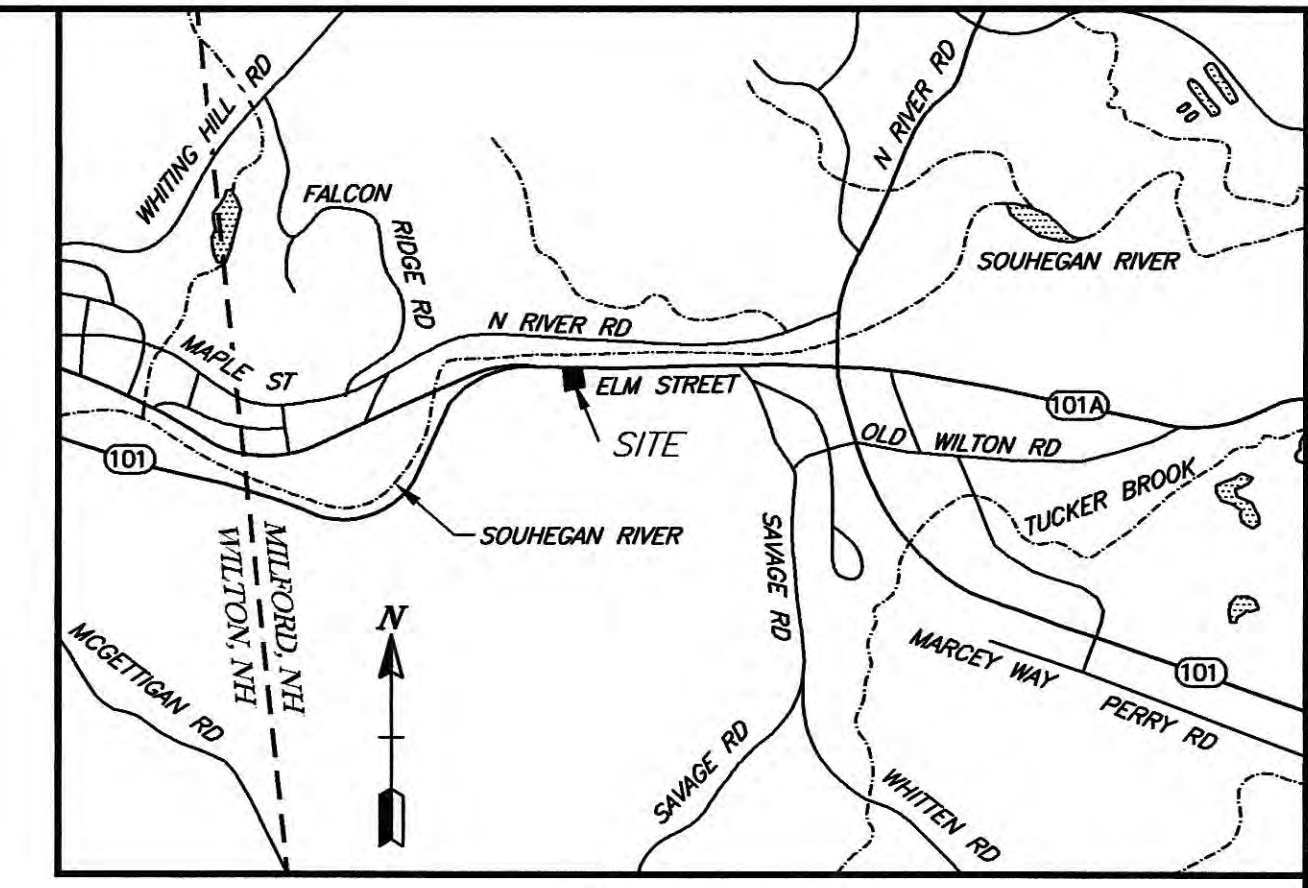
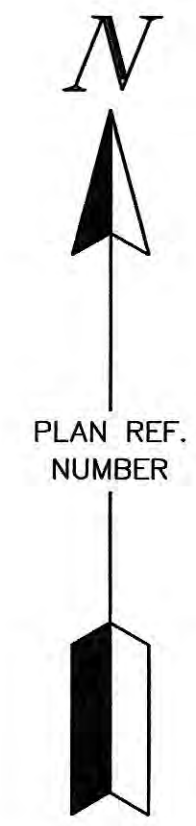


SOONER MILFORD SITE PLAN

754 & 756 ELM ST MILFORD, NEW HAMPSHIRE

TAX MAP 6 LOT 17
RIVER BED TRUST
DAWN J. ARNSTEIN, TRUSTEE
P.O. BOX 95
WILTON, NH 03086-0095
BOOK 5167 PAGE 1545

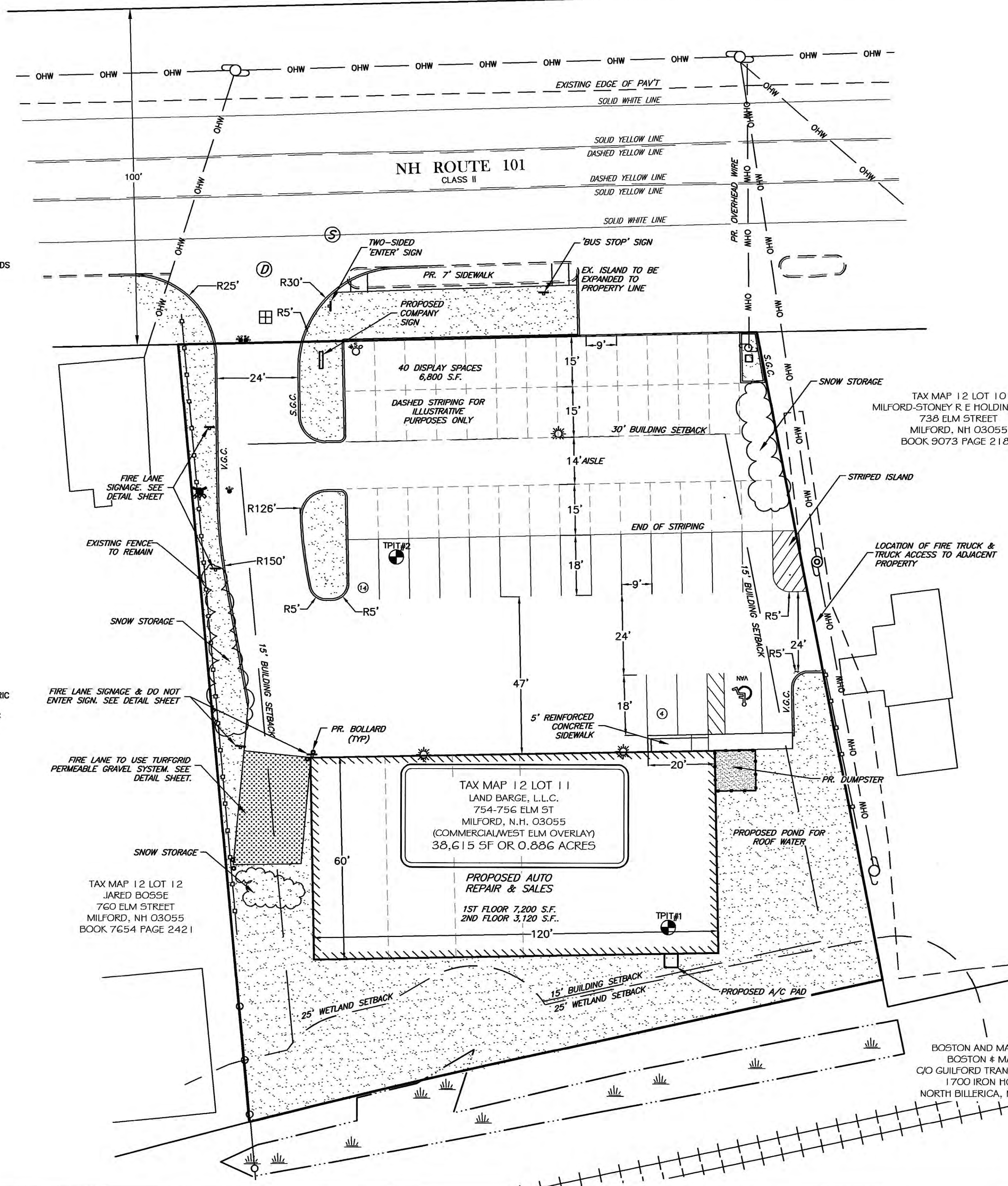
TAX MAP 12 LOT 10-1
STATE OF NEW HAMPSHIRE
P.O. BOX 483
CONCORD, NH 03302-0483
BOOK 1307 PAGE 0182



LOCUS MAP
(1" = 2000')

LEGEND

- 290 PROPOSED CONTOUR
- 290 EXISTING CONTOUR
- 430.3 PROPOSED SPOT GRADE
- 282.6x EXISTING SPOT GRADE
- LOT LINE
- SETBACK LINE
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND SYMBOL
- WETLAND BUFFER
- EXISTING ROADWAY
- PROPOSED CURBING
- EXISTING CATCH BASIN
- PROPOSED RIP RAP
- PROPOSED BUILDING
- PROPOSED GRASS
- PROPOSED PERVIOUS PAVERS
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- PROPOSED LIGHT POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- # OF PARKING SPACES
- UD PROPOSED UNDERDRAIN
- GAS PROPOSED GAS LINE
- GAS EXISTING GAS LINE
- W PROPOSED WATER LINE
- W EXISTING WATER LINE
- UGE PROPOSED UNDERGROUND ELECTRIC
- E EXISTING UNDERGROUND ELECTRIC
- S PROPOSED SEWER LINE
- S EXISTING SEWER LINE
- D PROPOSED DRAIN LINE
- D EXISTING DRAIN LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- REBAR FOUND
- STONE BOUND FOUND
- REBAR TO BE SET
- GRANITE BOUND TO BE SET
- IRON PIPE FOUND
- BENCHMARK SET
- WELL
- MAILBOX
- STREET ADDRESS
- SCS SOIL LINE
- EXISTING WATER SHUTOFF
- PROPOSED WATER SHUTOFF
- TEST PIT
- ABUTTING PROPERTY LINE
- OHW EX. OVERHEAD WIRES
- OHW PR. OVERHEAD WIRES
- PR. BOLLARD



NOTES:

1. OWNER OF RECORD:
TAX MAP 12 LOT 11
LAND BARGE, LLC
754-756 ELM ST
MILFORD, NH 03055
BOOK: 8664 PAGE: 2557
2. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED AUTO REPAIR AND AUTO SALES SHOP WITH ACCOMPANYING PARKING AND CIRCULATION AND OUTDOOR DISPLAY.
3. THE EXISTING LOT IS AN AUTO REPAIR AND SALES SHOP WITH ASSOCIATED PARKING CIRCULATION AND STORAGE. THE FRONT 1/3 OF THE PROPERTY ARE PAVED. BEHIND THE BACK FENCE IS GRASS. THE MAJORITY OF IMPROVEMENTS ARE TO BE REMOVED. SEE THE DEMOLITION PLAN.
4. EXISTING DRAINAGE INCLUDES A CATCH BASIN ON ROUTE 101 AND A WETLAND SWALE AT THE BACK OF THE PROPERTY. THE PROPOSED DRAINAGE INCLUDES AN ABOVE GROUND STORMWATER BASIN AND PERMEABLE PAVERS AND THE EXISTING DRAINAGE STRUCTURES. THE SITE IS FLAT AND ALL WATER EVENTUALLY REACHES ROUTE 101. THE SWALE AT THE BACK OF PROPERTY FLOWS ONTO THE ADJACENT PROPERTY AND TO ROUTE 101.
5. TOTAL PARCEL AREA = 38,615 SQ. FT. OR 0.886 ACRES.
6. ZONED: COMMERCIAL & WEST ELM OVERLAY DISTRICT. THE PARCEL ABUTS THE INDUSTRIAL ZONE. IT IS IN THE GROUNDWATER PROTECTION DISTRICT AND THE SHORELAND PROTECTION ZONE.
7. THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP: HILLSBOROUGH COUNTY, MAP NUMBER 33011C04540, EFFECTIVE DATE SEPTEMBER 25, 2009.
8. THE SITE IS LOCATED IN THE LEVEL II PROTECTION AREA AS SHOWN ON THE MAP TITLED 'GROUNDWATER PROTECTION AREA: MILFORD, NH' PREPARED BY NASHUA REGIONAL PLANNING COMMISSION, PRINTED 10/24/02.
9. DIMENSIONAL REGULATIONS: COMMERCIAL

REQ.	EX.	PR.
MIN. LOT SIZE	20,000 S.F.	38,615 S.F.
MIN. FRONTAGE	150'	172'
FRONT SETBACK	30'	30'
SIDE/REAR SETBACK	15'	15'
OPEN SPACE	30%	32% (12,284 S.F.)
WETLAND NON-DIST.	25'	25'
10. PARKING:
9'x18' SPACES WITH 24' ACCESS AISLES.
AUTO REPAIR/AUTO DEALER:
4 SPACES PER BAY = 4 X 7 = 28 SPACES
1 SPACE/EMPLOYEE + 1 SPACES PER 1,000 S.F.
= 10 EMPLOYEES + 10.8 PER S.F.
= 21 SPACES REQUIRED
= 18 SPACES PROPOSED (SEE WAIVER REQUEST BELOW)
11. THIS PROJECT REQUIRES THE FOLLOWING PERMITS:
NHDES SHORELAND PERMIT
NHDES SEWER DISCHARGE PERMIT
TOWN OF MILFORD STORMWATER PERMIT
NHOT DRIVEWAY PERMIT
12. WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
13. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
14. THIS PROJECT MAY BE TO THE TOWN OF MILFORD IMPACT FEES.
15. WAIVERS ARE REQUESTED FOR THE NUMBER OF REQUIRED PARKING SPACES IN SECTION 6.05.4 TABLE OF OFF-STREET PARKING, FROM THE PERIPHERY LANDSCAPE STRIP SECTION 6.08.5(B)1 & 6.08.7(A)1, AND FROM THE ACCESSIBLE PARKING LENGTH SECTION 6.05.3(A)4 & 6.05.5(E), AS WELL AS WAIVERS FROM THE ZONING ORDINANCE SECTION 6.07.E.3.A. PARKING LOTS SHOULD BE LOCATED ON THE SIDE OR REAR OF BUILDINGS AND SECTION 6.07.B.6.7.A. PROPOSED BUILDINGS SHALL MAINTAIN AN APPROPRIATE STREET EDGE TO ADJACENT STRUCTURES.
16. IN THE EVENT THE PROPOSED SNOW REMOVAL AREAS ARE NOT SUFFICIENT, SNOW SHALL BE RELOCATED OFF SITE USING BEST MANAGEMENT PRACTICES. ALL SNOW REMOVAL SHALL BE DONE BY A GREEN SNOW PRO CERTIFIED COMPANY.
17. THIS SITE PLAN REQUIRES AN AUTOMATIC FIRE ALARM SYSTEM AS WELL AS AN AUTOMATIC SPRINKLER SYSTEM. THE FIRE LANE IS LOCATED ALONG THE FRONT ENTRANCE DRIVE. APPROPRIATE SIGNAGE SHALL BE INSTALLED PER THE PLANS. THE FIRE TRUCK TURNAROUND SHALL REMAIN FREE OF OBSTRUCTIONS.
18. THE LOADING AREA SHALL BE ALONG THE FRONT OF BUILDING. DELIVERY TRUCKS SHALL BE LIMITED TO FLATED TRUCKS. ALL DELIVERIES SHALL BE SCHEDULED SO THAT EXISTING CARS CAN BE RELOCATED FOR EASE OF EGRESS.
19. DISPLAY PARKING SPACES MAY NOT BACK OUT INTO THE MAIN ROAD. THIS AREA IS TO REMAIN OPEN TO ALLOW EGRESS OF THE FLATED TRUCKS.

PLAN INDEX	SHEET NO
OVERVIEW & SITE PLAN SHEET	1
EXISTING CONDITIONS PLAN	2
DEMOLITION & EROSION CONTROL PLAN	3
GRADING, UTILITY PLAN	4
SEWER PROFILE PLAN	5
LIGHTING, & LANDSCAPE PLAN	6
ARCHITECTURAL & TRUCK TURNING PLANS	7
SIGHT DISTANCE PLAN	8
CONSTRUCTION DETAILS	9-12



OWNER'S SIGNATURE
NAME _____ DATE _____

APPROVED BY THE TOWN OF MILFORD PLANNING BOARD
SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

TAX MAP 12 LOT 11
OVERVIEW & SITE PLAN
SOONER-MILFORD
 LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
 OWNER: LAND BARGE, LLC
 754-756 ELM STREET
 MILFORD, NH 03055
 APPLICANT: SOONER TRANSPORTATION LLC
 3 EXECUTIVE PARK DRIVE, SUITE 2016
 BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 1 OF 12

DESIGN: KAW	DRAWN: KAW	CHECKED: RJB	FB: 580	PG: 60	1667-01
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 Telephone: (603) 622-5533
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SCALE: 1" = 20'
GRAPHIC SCALE

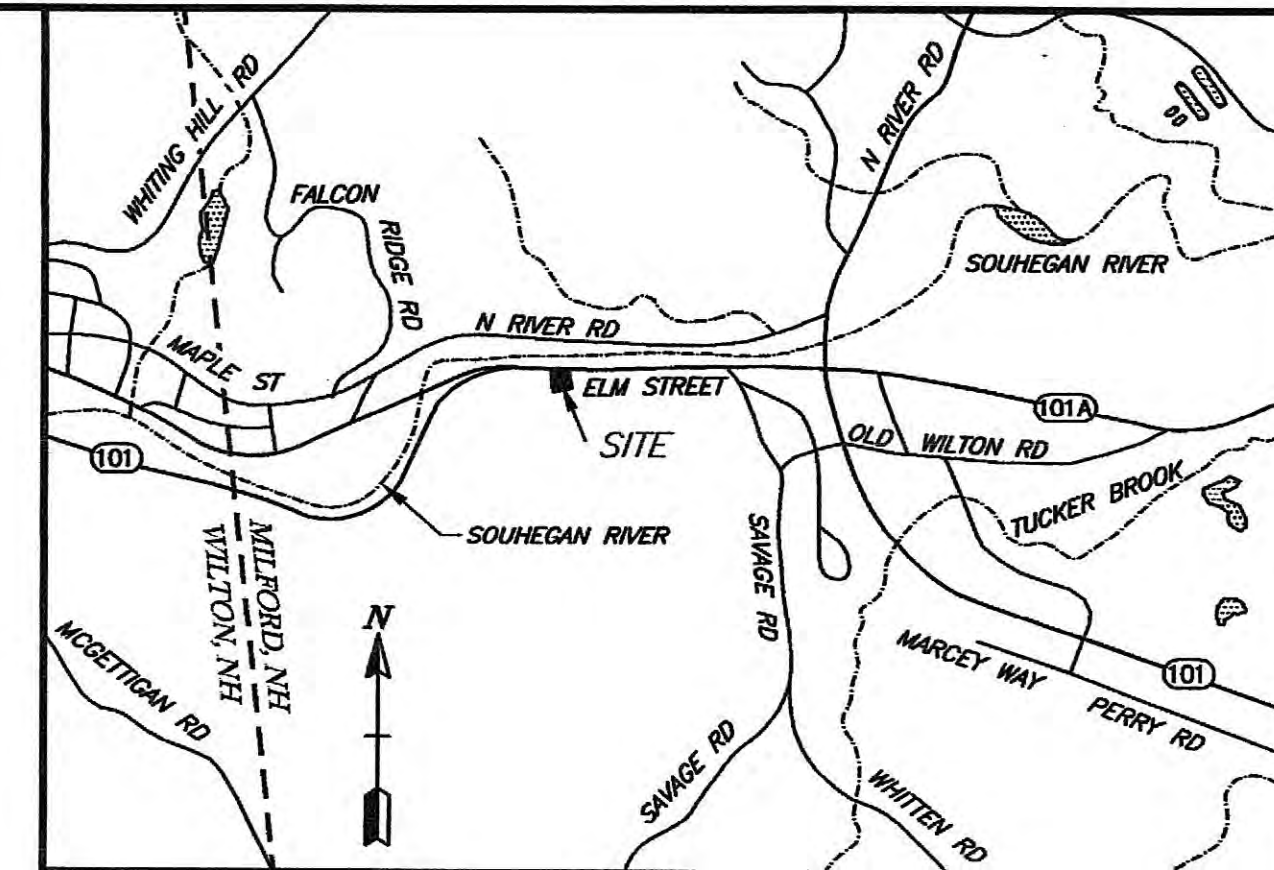
DATE	DESCRIPTION	BY	REV.
11-2-22	REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A

PLAN REFERENCES:

- "PLAN OF LAND PETER D. HARDWICK MILFORD NH" DATED APRIL 25, 1978, PREPARED BY THOMAS F. MORAN, INC. HCRD PLAN #11135.
- "BOUNDARY PLAN OF LAND TAX MAP PARCELS 7-33-3, 11-12 & 12-1 HILLSBOROUGH MILLS MILFORD, NH" DATED JUNE 11, 1980, PREPARED BY THOMAS F. MORAN, INC. HCRD PLAN #13775.
- "PLAN OF LAND ELM STREET-ROUTE 101 MILFORD, N.H. SURVEYED FOR HOWARD R. GREENE, JR. DATED MAY 1975, PREPARED BY ROBERT NOLTE AND ASSOCIATES, HCRD PLAN #18469.
- "PLAT OF MARY E. PARKER LAND MILFORD, NH" DATED FEBRUARY 1982, PREPARED BY ROBERT L. TODD, HCRD PLAN #26162.
- "LOT LINE ADJUSTMENT PLAN OF LAND LOTS 11-11 & 12-15 GRANITE BANK MILFORD, NEW HAMPSHIRE" DATED APRIL 26, 1999, LAST REVISED MAY 14TH, 1999, PREPARED BY MANADNOCK SURVEY, INC. HCRD PLAN #29874.
- "RIGHT-OF-WAY AND TRACK MAP, WILTON R.R. CO., OPERATED BY THE BOSTON AND MAINE R.R. STATION 733+40 TO STATION 786+20". SCALE: 1"=100'-FT., DATED JUNE 30, 1914, PREPARED BY THE OFFICE OF VALUATION ENGINEER IN BOSTON, MA, ON FILE AT NHDOT, BUREAU OF RAIL & TRANSIT.
- "STATE OF NEW HAMPSHIRE, DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT NO. F 233(11), NH PROJ. NO. P-2051-A, ON FILE AT NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

TAX MAP 6 LOT 17
RIVER BED TRUST
DAWN J. ARNSTEIN, TRUSTEE
P.O. BOX 95
WILTON, NH 03086-0095
BOOK 5167 PAGE 1545

TAX MAP 12 LOT 10-1
STATE OF NEW HAMPSHIRE
P.O. BOX 483
CONCORD, NH 03302-0483
BOOK 1307 PAGE 0182



NOTES: LOCUS MAP
1" = 2000'

- OWNER OF RECORD:
TAX MAP 12 LOT 11
LAND BARGE, LLC
754-756 ELM ST
MILFORD, NH 03055
BOOK: 8664 PAGE: 2557
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 12 LOT 11.
 - TOTAL PARCEL AREA = 38,615 SQ. FT. OR 0.886 ACRES
 - ZONE: COMMERCIAL (C) & WEST ELM STREET OVERLAY DISTRICT
- | DIMENSIONAL REQUIREMENTS | | REQUIRED |
|--------------------------|--|-----------|
| MINIMUM LOT SIZE | | 20,000 SF |
| MINIMUM FRONTAGE | | 150' |
| FRONT BUILDING SETBACK | | 30' |
| SIDE SETBACK | | 15' |
| REAR SETBACK | | 15' |
| WETLAND BUFFER | | 25' |
- THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0454D, EFFECTIVE DATE SEPTEMBER 25, 2009.
 - THE SITE IS ENTIRELY WITHIN THE LEVEL II PROTECTION AREA AS SHOWN ON THE MAP TITLED "GROUNDWATER PROTECTION AREA: MILFORD, NH", PREPARED BY NASHUA REGIONAL PLANNING COMMISSION, PRINTED 10/24/02.
 - THE SITE IS IN THE SHORELAND PROTECTION AREA.

SOILS LEGEND

MAP UNIT SYMBOL	MAP UNIT NAME	% SLOPES
HsA	HINCKLEY LOAMY SAND	0-3%
HsC	HINCKLEY LOAMY SAND	8-15%
HsD	HINCKLEY LOAMY SAND	15-35%

WETLAND CERTIFICATION

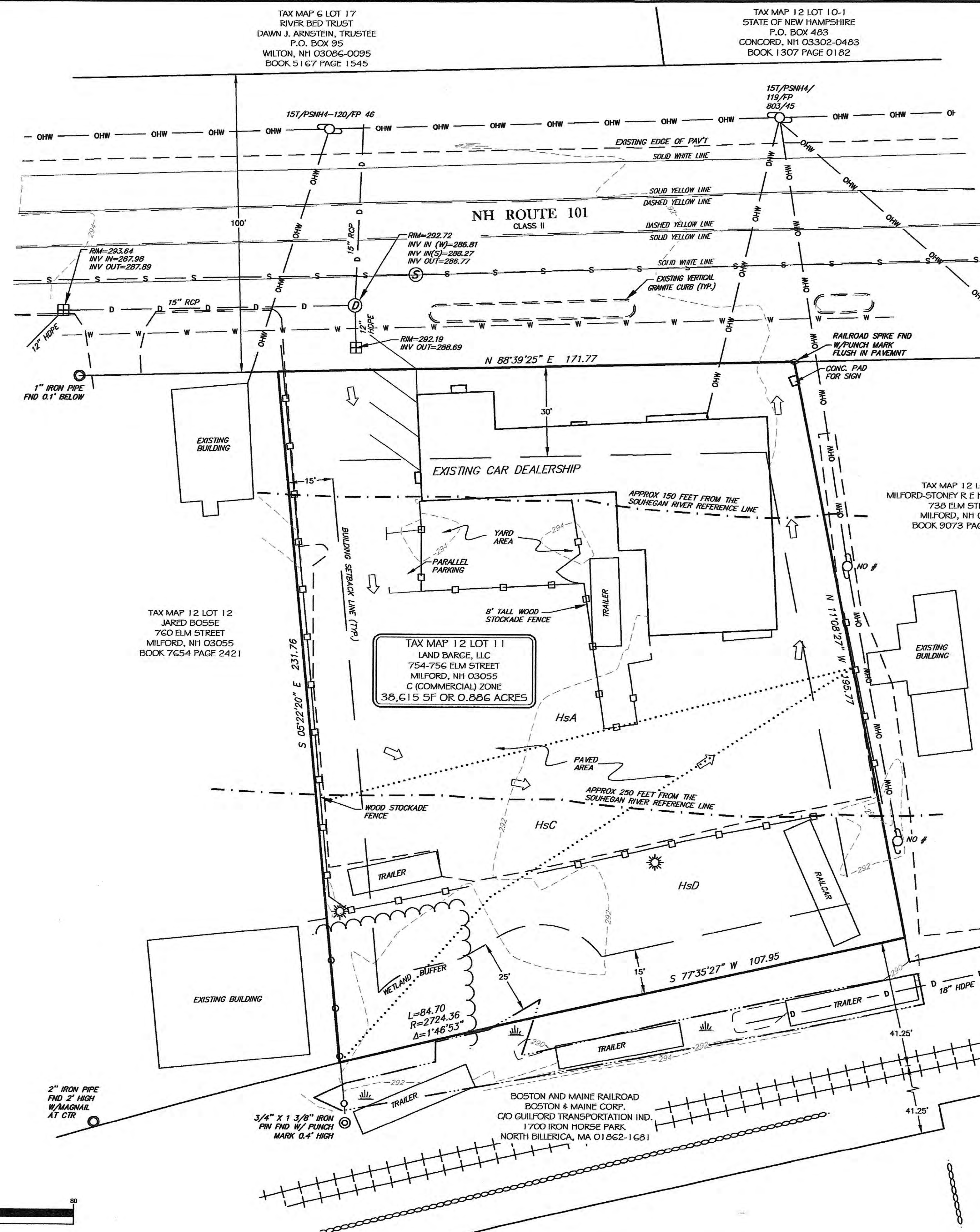
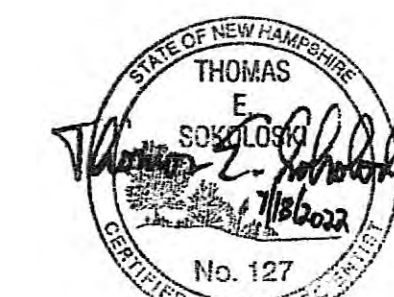
THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON APRIL 15, 2022 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

SURVEYOR CERTIFICATION

"I HEREBY CERTIFY THAT THIS MAP AND SURVEY HAS BEEN MADE UNDER MY SUPERVISION. THE DATE OF THE SURVEY WAS 4.22.22."

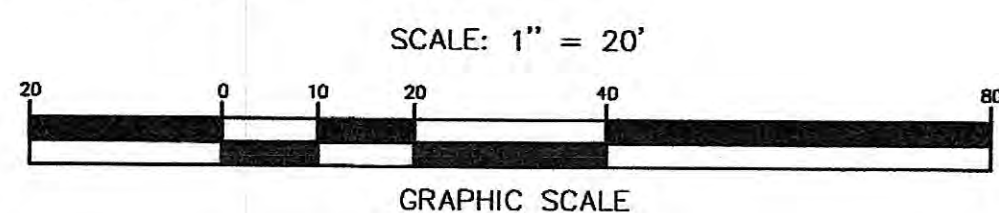
"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

Thomas E. Sokoloski
LICENSED LAND SURVEYOR DATE 4.22.22



LEGEND:

- SIGN
- MAILBOX
- EXISTING HYDRANT
- IRON PIPE FOUND
- ROAD ARROWS
- UTILITY POLE
- EXISTING SEWER MANHOLE
- WATER SHUTOFF
- REBAR FOUND
- RAILROAD SPIKE FOUND
- DRAIN MANHOLE
- WETLAND SYMBOL
- STONE BOUND FOUND
- EXISTING LIGHT POLE
- EXISTING CATCH BASIN
- BOUNDARY LINE
- ABUTTING PROPERTY LINE
- SETBACK LINE
- EXISTING ROAD/DRIVEWAY
- EXISTING VERTICAL GRANITE CURB
- EXISTING CONTOUR
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING STONE WALL
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND BUFFER
- DRAIN LINE
- CHAINLINK FENCE
- WOODEN STOCKADE FENCE
- OVERHEAD WIRE
- EXISTING RAILROAD
- SOUHEGAN RIVER REFERENCE LINE
- NRCS WEB SOILS



DATE	DESCRIPTION	BY	REV.

TAX MAP 12 LOT 11
EXISTING CONDITIONS PLAN
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER:
LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055

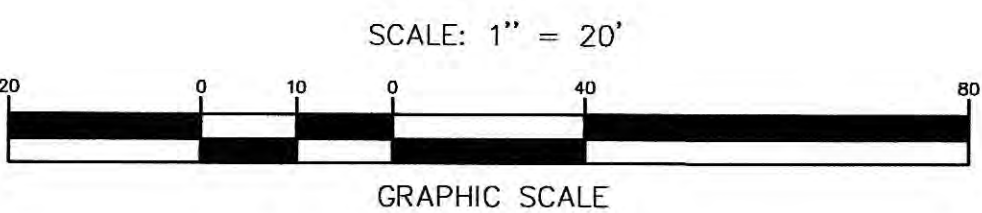
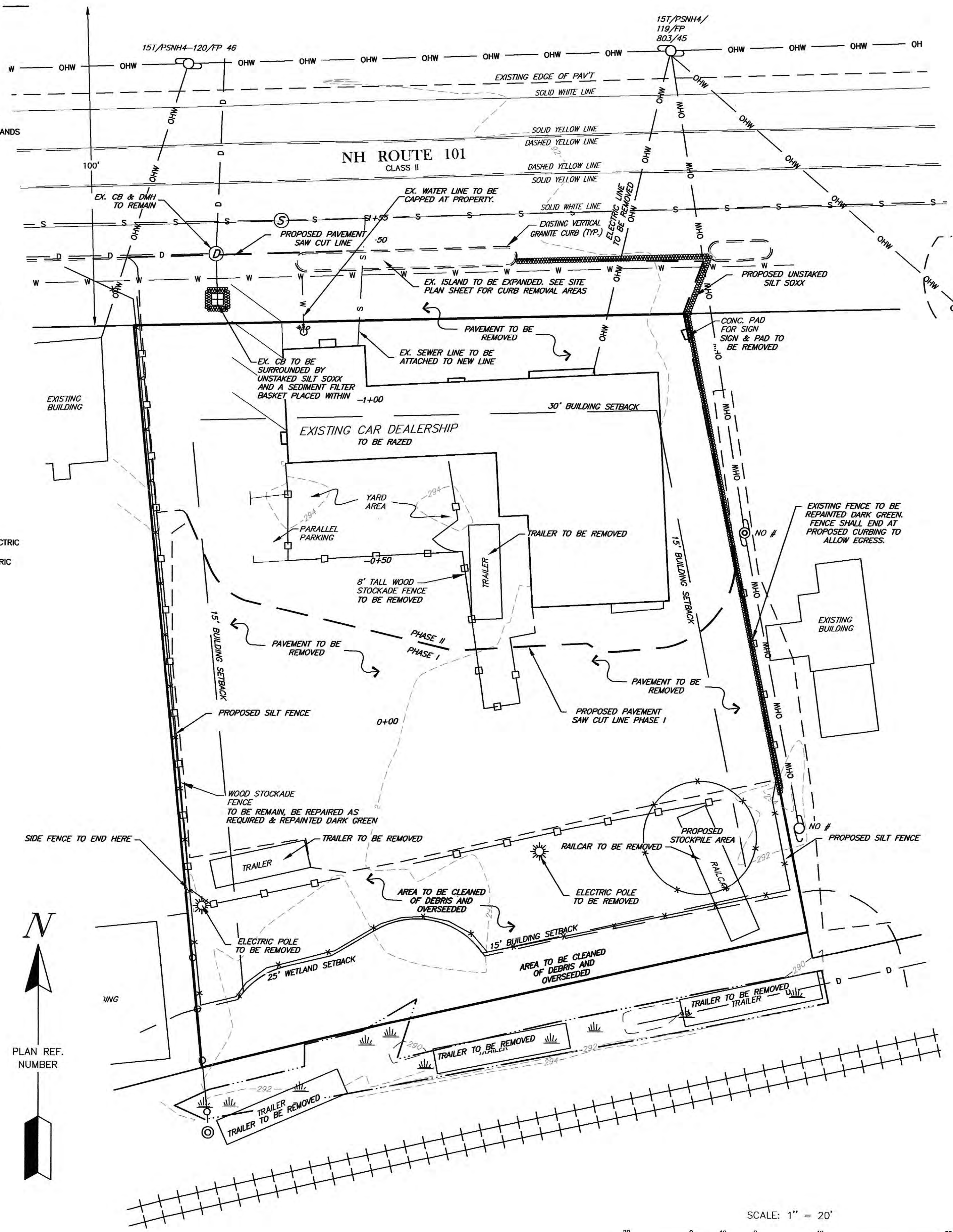
APPLICANT:
SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 2016
BEDFORD, NH 03110

SCALE: 1" = 20'	APRIL 25, 2022	SHEET 2 OF 9
DESIGN: C.A.F.	DRAWN: K.M.B.	CHECKED: C.A.F.
		FB: 580
		PG: 60
		1667-01

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LEGEND

- 290 PROPOSED CONTOUR
290 EXISTING CONTOUR
4.30.3 PROPOSED SPOT GRADE
282.6x EXISTING SPOT GRADE
LOT LINE
SETBACK LINE
EDGE OF JURISDICTIONAL WETLANDS
WETLAND SYMBOL
WETLAND BUFFER
EXISTING ROADWAY
PROPOSED CURBING
EXISTING CATCH BASIN
PROPOSED RIP RAP
PROPOSED BUILDING
PROPOSED GRASS
PROPOSED PERVIOUS PAVERS
EXISTING GATE VALVE
PROPOSED GATE VALVE
PROPOSED LIGHT POLE
SEWER MANHOLE
DRAIN MANHOLE
#OF PARKING SPACES
PROPOSED UNDERDRAIN
GAS PROPOSED GAS LINE
GAS EXISTING GAS LINE
W PROPOSED WATER LINE
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UGE PROPOSED UNDERGROUND ELECTRIC
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SCS SOIL LINE
EXISTING WATER SHUTOFF
PROPOSED WATER SHUTOFF
TEST PIT
ABUTTING PROPERTY LINE
OHW EX. OVERHEAD WIRES
OHW PR. OVERHEAD WIRES



SHORT TERM CONSTRUCTION PLAN:

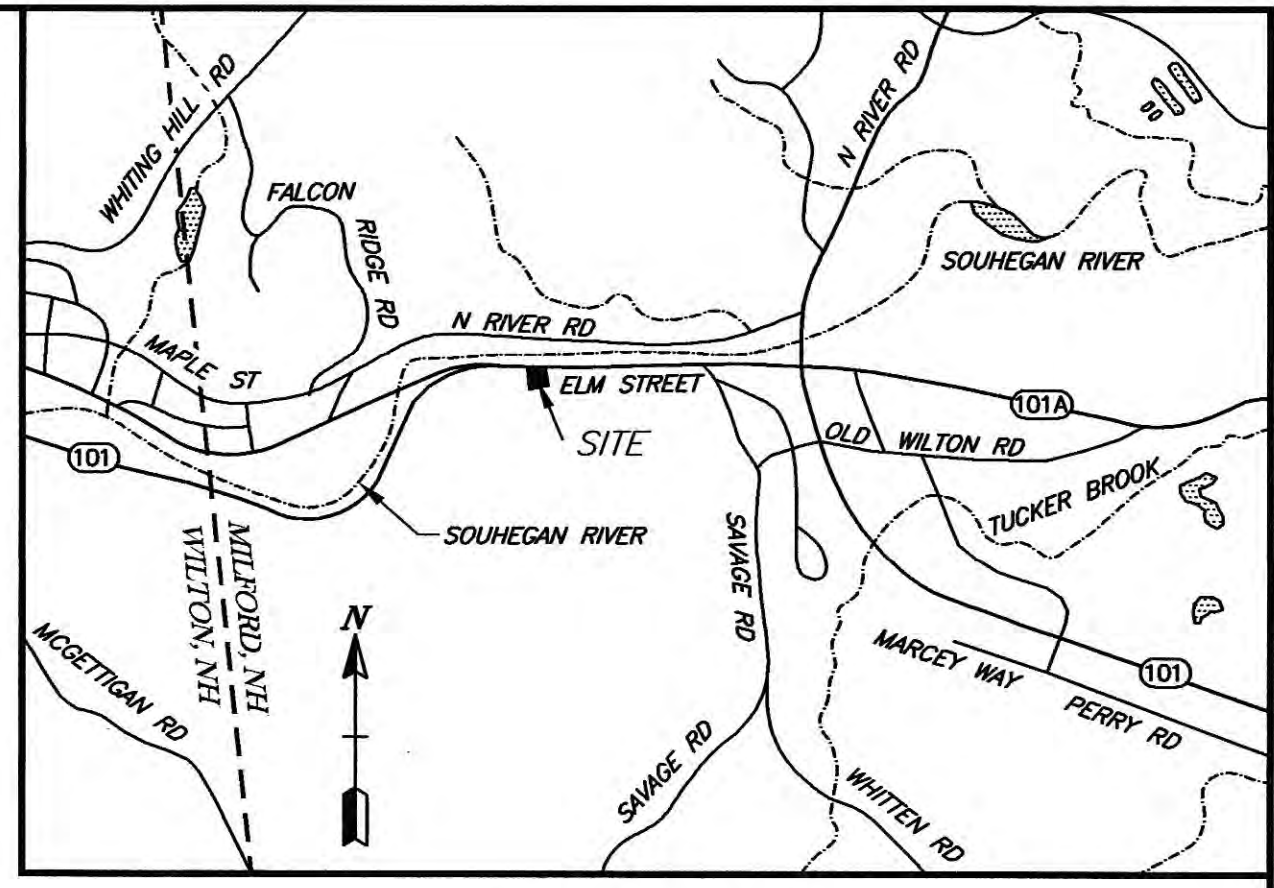
- 1. DURING CONSTRUCTION THE BUSINESS SHALL REMAIN OPEN. THE PHASING LINE SHALL BE...
2. IF THE OWNER HAS AN AGREEMENT WITH THE ADJACENT PROPERTY OWNER, IT MAY BE USED...
3. ONCE THE NEW BUILDING IS CLOSE TO COMPLETION, THE OLD BUILDING SHALL BE DEMOLISHED...

PHASING NOTES:

THE DEMOLITION SHALL BE PHASED. THE AREA BEHIND THE EXISTING BUILDING SHALL BE REMOVED FIRST WITH ROOM TO ALLOW TRAFFIC FLOW BEHIND IT. ONCE THIS AREA HAS BEEN DEMOLISHED, THE NEW BUILDING WILL BE BUILT AND THE ROOF INFILTRATION POND CONSTRUCTED...

DEMOLITION NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING IMPROVEMENTS TO BE REMOVED.
2. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN.
3. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
4. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM THE DATA SHOWN ON THESE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT LEAST 72 HOURS BEFORE DIGGING.
6. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
7. CONTRACTOR TO INSTALL EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY IN ACCORDANCE WITH STORMWATER BEST MANAGEMENT PRACTICES PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
8. PROVIDE INLET PROTECT BARRIERS AT ALL EXISTING CATCH BASINS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS THAT MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH 0.5 INCH OR GREATER RAINFALL. SEDIMENT DEPOSITS TO BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
9. CONDUCT ALL DEMOLITION ACTIVITIES IN A MANNER WHICH WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY THE CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING SERVICES INCLUDE, BUT ARE NOT LIMITED TO, ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL, AND UTILITY COMPANY STANDARDS.
11. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER AS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT WRITTEN PERMISSION OF THE OWNERS AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
12. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
13. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON-SITE. REMOVAL OF HAZARDOUS OR COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT AND/OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
14. MARK FOR POSITION ALL EXISTING UTILITY, DRAINAGE, AND SANITARY SEWER LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
15. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL A PERMANENT SOLUTION IS IN PLACE.
16. THE CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT THE DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED LAND SURVEYOR TO REPLACE IT.
17. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
18. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
19. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER, STONES LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM BUILDING DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS UNDERTAKE ALL NECESSARY ACTIONS TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIALS, TRASH AND DEBRIS. PLACE FILL MATERIALS IN LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND PROVIDE SURFACE DRAINAGE.
20. REMOVE ALL ASPHALT, VEGETATION, TREES, SHRUBS, UTILITIES, SIGNAGE AND STRUCTURES AS NOTED.
21. EXISTING ASPHALT REMOVED FROM THE SITE SHALL BE GROUND AND REUSED AS FILL OR TRUCKED OFF SITE AND DISPOSED OF BY APPROVED METHODS. PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
22. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF MANCHESTER AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2006 ARE HEREBY INCORPORATED BY REFERENCE.
23. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY MANCHESTER DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION TO APPLY FOR A PERMIT.
24. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC WORKS AND THE PLANNING DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION/DEMOLITION ACTIVITIES ON-SITE TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
25. ALL WORK MUST CONFORM TO THE TOWN OF MILFORD STANDARD SPECIFICATIONS AND ANY WORK WITHIN THE CITY RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT.



LOCUS MAP 1" = 2000'

TAX MAP 12 LOT 11
DEMOLITION & EROSION CONTROL PLAN
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
OWNER: LAND BARGE, LLC
APPLICANT: SOONER TRANSPORTATION LLC

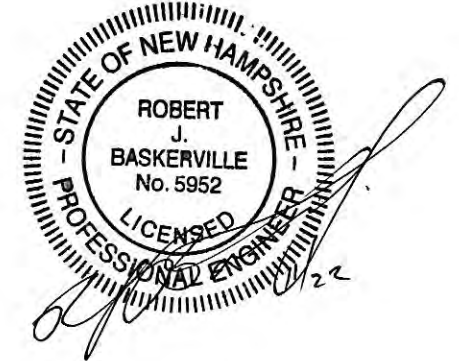


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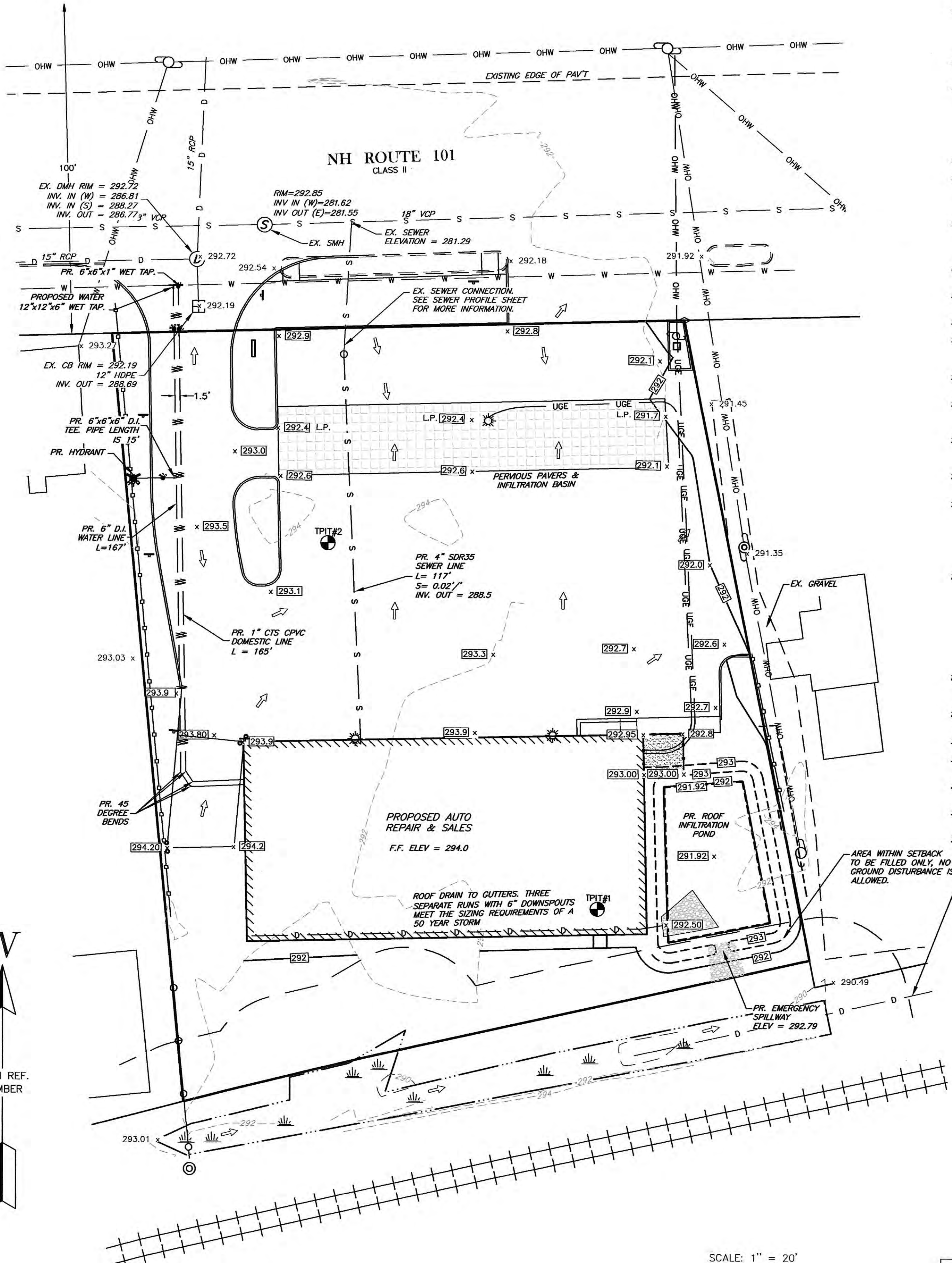
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ENGINEERS AND SURVEYORS
592 Harvey Road, Manchester, NH 03103
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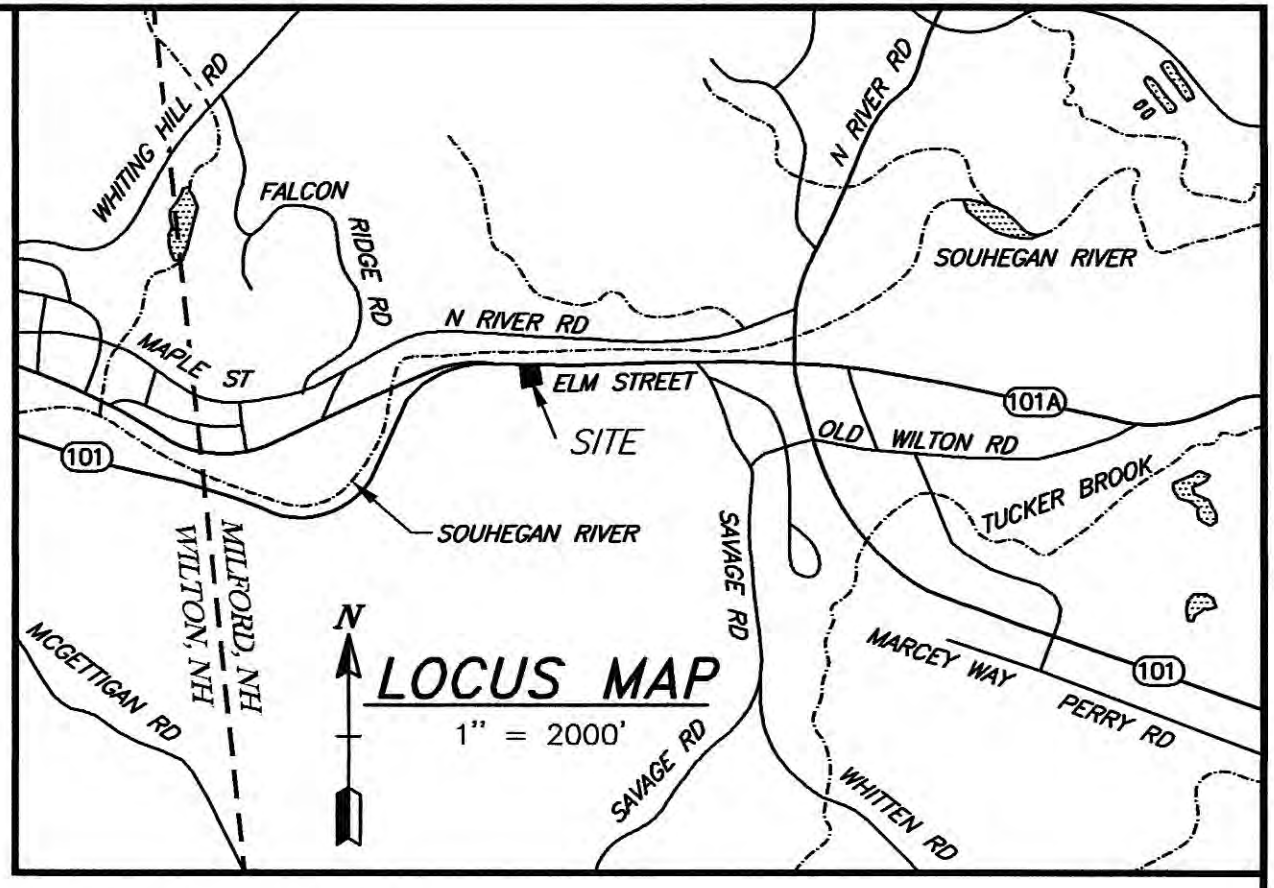
LEGEND

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PROPOSED BUILDING
PROPOSED GRASS
PROPOSED PERVIOUS PAVERS
EXISTING GATE VALVE
PROPOSED GATE VALVE
PROPOSED LIGHT POLE
SEWER MANHOLE
DRAIN MANHOLE
#OF PARKING SPACES
PROPOSED UNDERDRAIN
GAS PROPOSED GAS LINE
GAS EXISTING GAS LINE
W PROPOSED WATER LINE
W EXISTING WATER LINE
UGE PROPOSED UNDERGROUND ELECTRIC
E EXISTING UNDERGROUND ELECTRIC
S PROPOSED SEWER LINE
S EXISTING SEWER LINE
D PROPOSED DRAIN LINE
D EXISTING DRAIN LINE
EXISTING UTILITY POLE
EXISTING GUY WIRE
REBAR FOUND
STONE BOUND FOUND
REBAR TO BE SET
GRANITE BOUND TO BE SET
IRON PIPE FOUND
BENCHMARK SET
WELL
MAILBOX
STREET ADDRESS
SCS SOIL LINE
EXISTING WATER SHUTOFF
PROPOSED WATER SHUTOFF
TEST PIT
ABUTTING PROPERTY LINE
OHW EX. OVERHEAD WIRES
OHW PR. OVERHEAD WIRES
PR. BOLLARD



GRADING AND DRAINAGE NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 'DIG SAFE' AT 1-800-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
5. REFER TO UTILITY SHEETS FOR DRAINAGE RIMS, INVERTS & PIPE SLOPES.
6. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
8. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
9. THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
10. CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
11. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, PONDS, AND SWALES PRIOR TO DIRECTING RUNOFF TO THEM.
13. ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHALL BE OUTFITTED WITH STONE INLET PROTECTION OR SILT SACKS (SEE DETAILS SHEETS).
14. ALL CATCH BASIN SUMPS SHALL BE KEPT CLEAN DURING CONSTRUCTION. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
15. THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
17. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.
18. ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LOCAL CITY/TOWN POLICE DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
19. ADJUST ALL MANHOLES, CATCH BASIN, CURB BOXES, ETC. WITHIN THE LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
20. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE.
21. CONTRACTOR TO PROVIDE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
22. ALL ELEVATIONS SHOWN AT THE CURB ARE TO THE BOTTOM OF THE CURB UNLESS OTHERWISE NOTED.
23. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6 INCHES. WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
24. THE FINISHED GRADE AT THE BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH THE PAVEMENT, WITH A TOLERANCE OF PLUS OR MINUS 1/4".

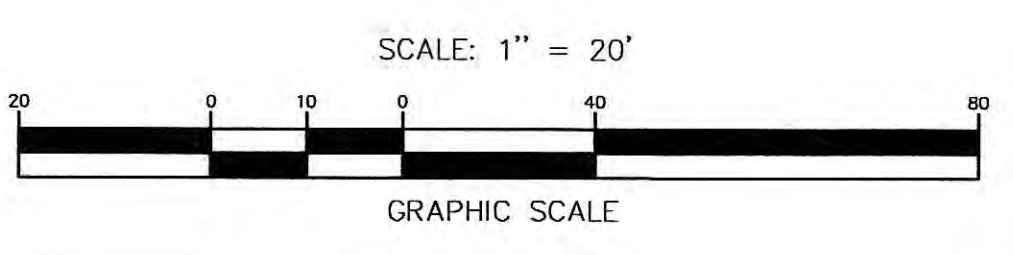
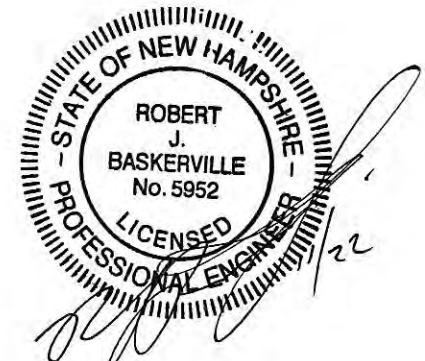


UTILITY NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE UTILITY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING 'DIG SAFE' AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
5. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
6. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
7. ALL ROOF DRAINS FROM BUILDING SHALL BE CONSTRUCTED TO WITHIN 5' OF THE OUTSIDE BUILDING LIMITS AS SHOWN ON THE PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
8. ALL DRAINAGE AND SANITARY SEWER STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASIN SHALL HAVE 3" DEEP SUMPS WITH HOODS, UNLESS OTHERWISE NOTED.
9. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY H-29 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
10. NO FOUNDATION DRAINS, ROOF DRAINS, FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL SEWER.
11. OPERATION AND MAINTENANCE OF THE SEWER SERVICE SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
12. THE MINIMUM SEWER TRENCH WIDTH SHALL BE AT LEAST 2 TIMES OUTER DIAMETER OF THE PIPE.
13. THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF SALEM PUBLIC WORKS AND ENGINEERING PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9 A.M. AND 4:30 P.M., MONDAY - FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCED NOTICE.
14. THE SEWER SERVICE MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED WITH AUTHORIZED TOWN OF SALEM PUBLIC WORKS AND/OR ENGINEERING DEPARTMENT PERSONNEL PRESENT ON SITE AS A WITNESS.
15. SEWER MAINS TO BE 8" SDR 35 PVC MEETING ASTM D3034 OR APPROVED EQUIVALENT. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SEWER CONSTRUCTION SPECIFICATIONS AND THE TOWN OF SALEM DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
16. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED.
17. WATER MAINS TO BE 8" CLASS 52 CEMENT LINED DUCTILE IRON PIPE OR APPROVED EQUIVALENT. WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF SALEM DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
18. GAS LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH UNIL UTILITIES SPECIFICATIONS.
19. ANY FIELD UTILITY ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE OWNER PRIOR TO INSTALLATION.
20. ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY COMPANY SPECIFICATIONS.
21. ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY THE SPECIFIC UTILITY COMPANY AND THE LOCAL DEPARTMENT OF PUBLIC WORKS.
22. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS WITH THE ARCHITECTURAL PLANS.

TAX MAP 12 LOT 11

GRADING & UTILITIES PLAN
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
OWNER: LAND BARGE, LLC
APPLICANT: SOONER TRANSPORTATION LLC



Revision table with columns for DATE, DESCRIPTION, BY, REV. Includes entries for revisions on 11-2-22, 10-7-22, and 8-9-22.

Project metadata including SCALE: 1" = 20', APRIL 25, 2022, SHEET 4 OF 12, and BEDFORD DESIGN CONSULTANTS, INC. logo and contact information.

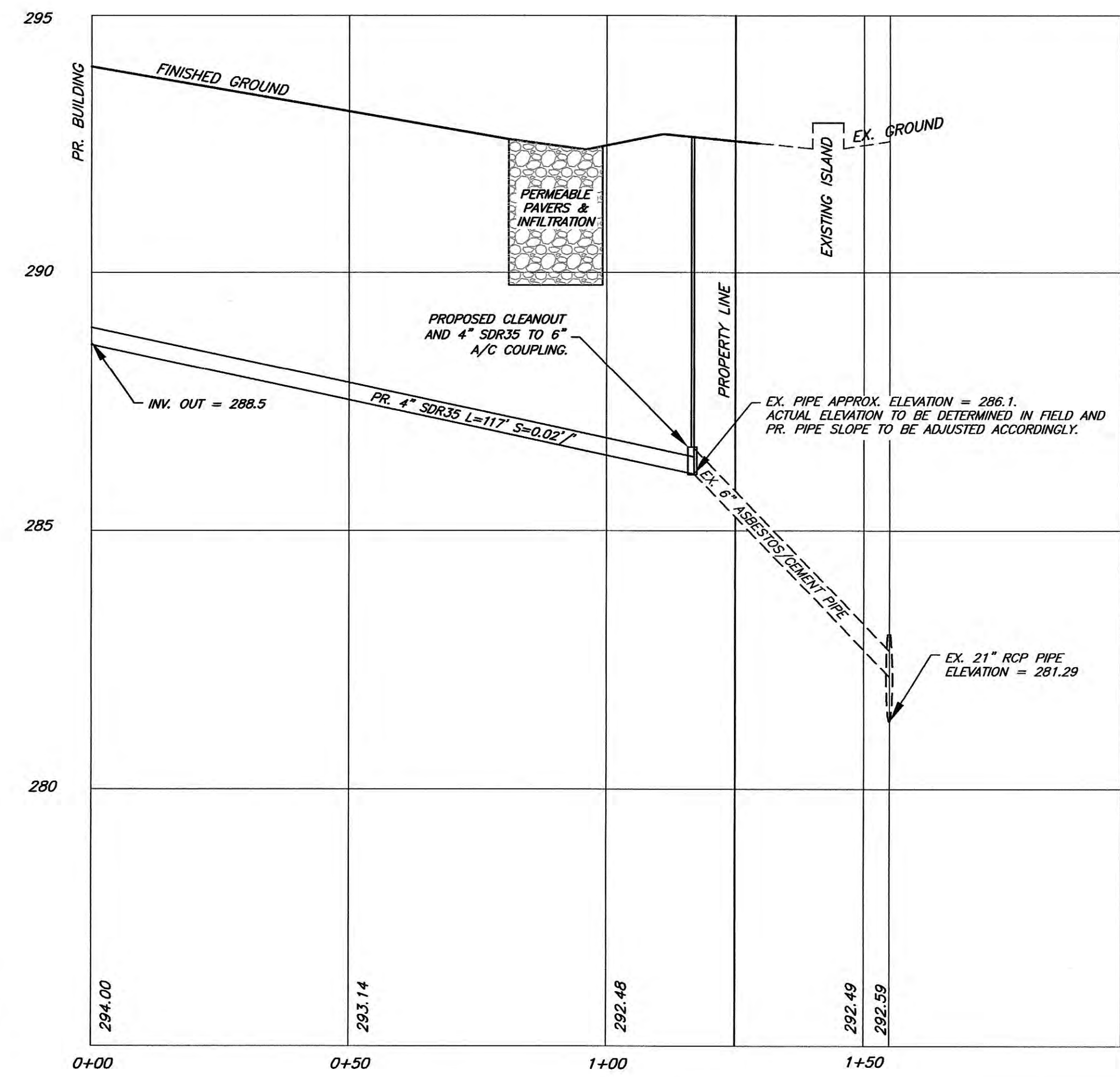
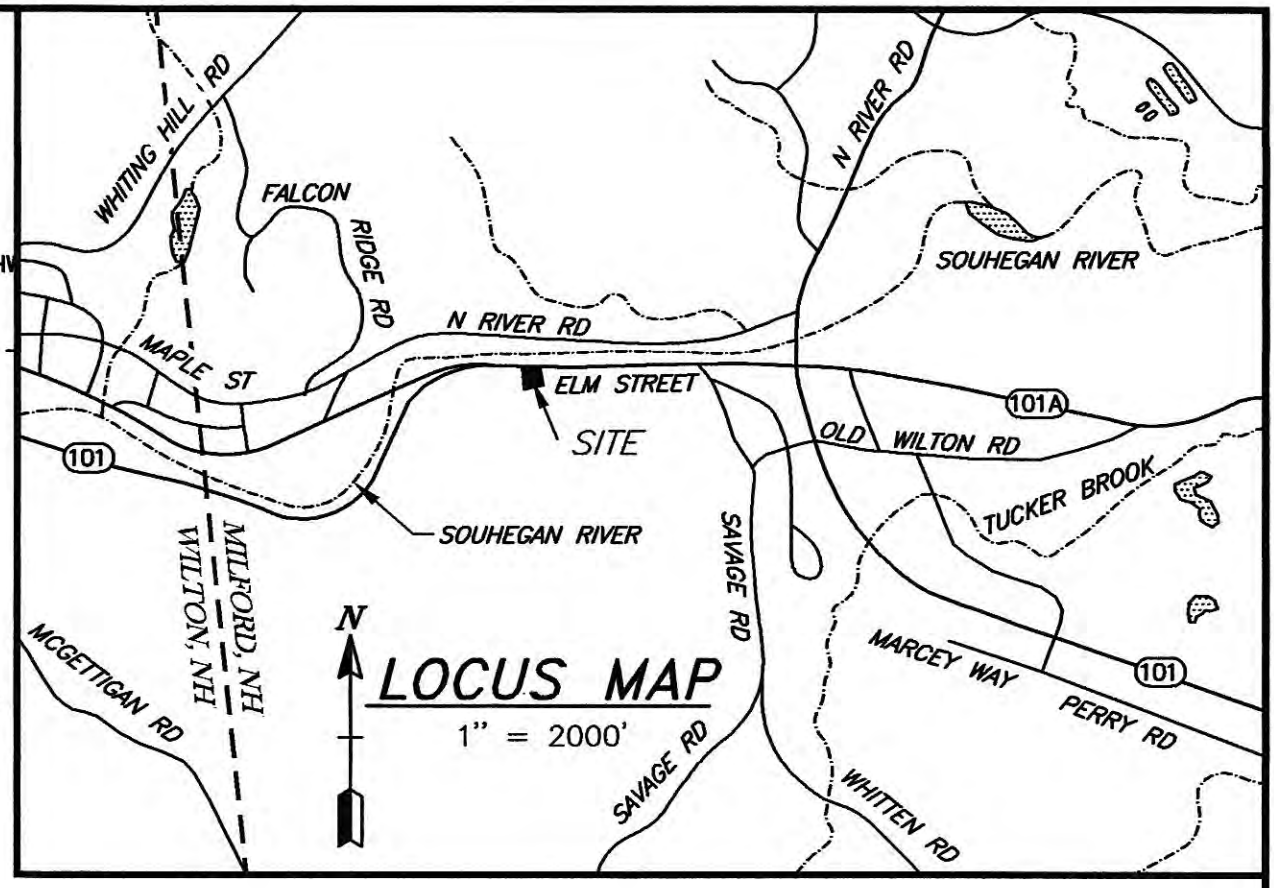
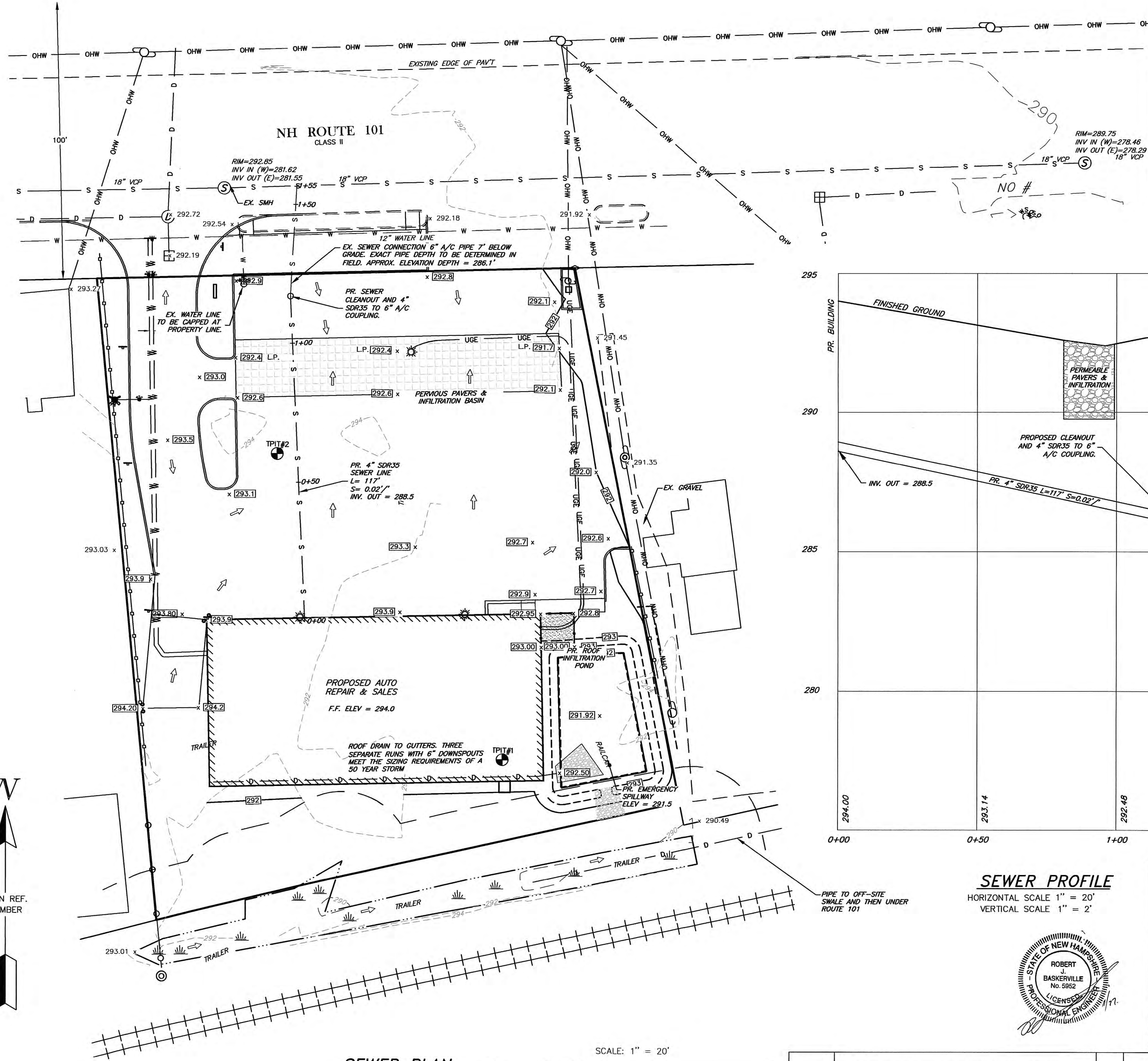


LEGEND

- 290 — PROPOSED CONTOUR
- 290 — EXISTING CONTOUR
- 430.3 — PROPOSED SPOT GRADE
- 282.6x — EXISTING SPOT GRADE
- — LOT LINE
- — SETBACK LINE
- — EDGE OF JURISDICTIONAL WETLANDS
- — WETLAND SYMBOL
- — WETLAND BUFFER
- — EXISTING ROADWAY
- — PROPOSED CURBING
- — EXISTING CATCH BASIN
- — PROPOSED RIP RAP
- — PROPOSED BUILDING
- — PROPOSED GRASS
- — PROPOSED PERVIOUS PAVERS
- — EXISTING GATE VALVE
- — PROPOSED GATE VALVE
- — PROPOSED LIGHT POLE
- — SEWER MANHOLE
- — DRAIN MANHOLE
- — # OF PARKING SPACES
- — UD — PROPOSED UNDERDRAIN
- — GAS — PROPOSED GAS LINE
- — GAS — EXISTING GAS LINE
- — W — PROPOSED WATER LINE
- — W — EXISTING WATER LINE
- — UGE — PROPOSED UNDERGROUND ELECTRIC
- — E — EXISTING UNDERGROUND ELECTRIC
- — S — PROPOSED SEWER LINE
- — S — EXISTING SEWER LINE
- — D — PROPOSED DRAIN LINE
- — D — EXISTING DRAIN LINE
- — EXISTING UTILITY POLE
- — EXISTING GUY WIRE
- — REBAR FOUND
- — STONE BOUND FOUND
- — REBAR TO BE SET
- — GRANITE BOUND TO BE SET
- — IRON PIPE FOUND
- — BENCHMARK SET
- — WELL
- — MAILBOX
- — STREET ADDRESS
- — SCS SOIL LINE
- — EXISTING WATER SHUTOFF
- — PROPOSED WATER SHUTOFF
- — TEST PIT
- — ABUTTING PROPERTY LINE
- OHW — EX. OVERHEAD WIRES
- OHW — PR. OVERHEAD WIRES

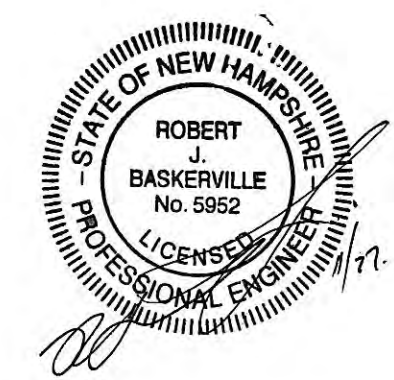
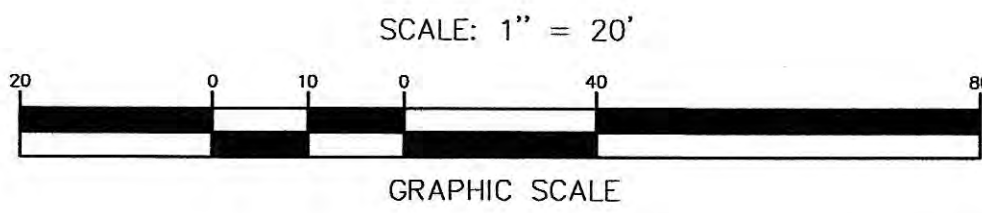


PLAN REF. NUMBER



SEWER PROFILE
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 2'

SEWER PLAN
1" = 20'



TAX MAP 12 LOT 11
SEWER PLAN AND PROFILE
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055
APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 201G
BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 5 OF 12

DESIGN: KAW	DRAWN: KAW	CHECKED: RJB	FB: 580	PG: 60	1667-01
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Telephone: (603) 622-5533
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DATE	DESCRIPTION	BY	REV.
11-2-22	REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A



LEGEND

- 290 — PROPOSED CONTOUR
- 290 — EXISTING CONTOUR
- 430.3 — PROPOSED SPOT GRADE
- 282.6x — EXISTING SPOT GRADE
- — LOT LINE
- — SETBACK LINE
- — EDGE OF JURISDICTIONAL WETLANDS
- — WETLAND SYMBOL
- — WETLAND BUFFER
- — EXISTING ROADWAY
- — PROPOSED CURBING
- — EXISTING CATCH BASIN
- — PROPOSED RIP RAP
- — PROPOSED BUILDING
- — PROPOSED GRASS
- — PROPOSED PERVIOUS PAVERS
- — EXISTING GATE VALVE
- — PROPOSED GATE VALVE
- — PROPOSED LIGHT POLE
- — SEWER MANHOLE
- — DRAIN MANHOLE
- — #OF PARKING SPACES
- — PROPOSED UNDERDRAIN
- — GAS — PROPOSED GAS LINE
- — GAS — EXISTING GAS LINE
- — W — PROPOSED WATER LINE
- — W — EXISTING WATER LINE
- — UGE — PROPOSED UNDERGROUND ELECTRIC
- — E — EXISTING UNDERGROUND ELECTRIC
- — S — PROPOSED SEWER LINE
- — S — EXISTING SEWER LINE
- — D — PROPOSED DRAIN LINE
- — D — EXISTING DRAIN LINE
- — UT — EXISTING UTILITY POLE
- — GW — EXISTING GUY WIRE
- — RF — REBAR FOUND
- — SB — STONE BOUND FOUND
- — RB — REBAR TO BE SET
- — GB — GRANITE BOUND TO BE SET
- — IP — IRON PIPE FOUND
- — BS — BENCHMARK SET
- — W — WELL
- — MB — MAILBOX
- — SA — STREET ADDRESS
- — SL — SCS SOIL LINE
- — WS — EXISTING WATER SHUTOFF
- — WPS — PROPOSED WATER SHUTOFF
- — TP — TEST PIT
- — AP — ABUTTING PROPERTY LINE
- — OHW — EX. OVERHEAD WIRES
- — OHW — PR. OVERHEAD WIRES

LANDSCAPE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LANDSCAPE ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. CONTRACTOR TO MARK ALL UNDERGROUND UTILITIES ON THE GROUND PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS TO REVIEW TREE LOCATIONS WITH LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVES PRIOR TO ORDERING AND INSTALLING TREES.
4. FOR PLANTING DETAILS SEE THE PLANTING DETAIL SHEET.
5. IRRIGATION SHALL BE PROVIDED AT THE OWNERS DISCRETION.
6. ALL PLANTS CAN BE FOUND AT MILLICAN NURSERIES.
7. NO SUBSTITUTIONS MAY BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.

LANDSCAPE MAINTENANCE & REPLACEMENT:

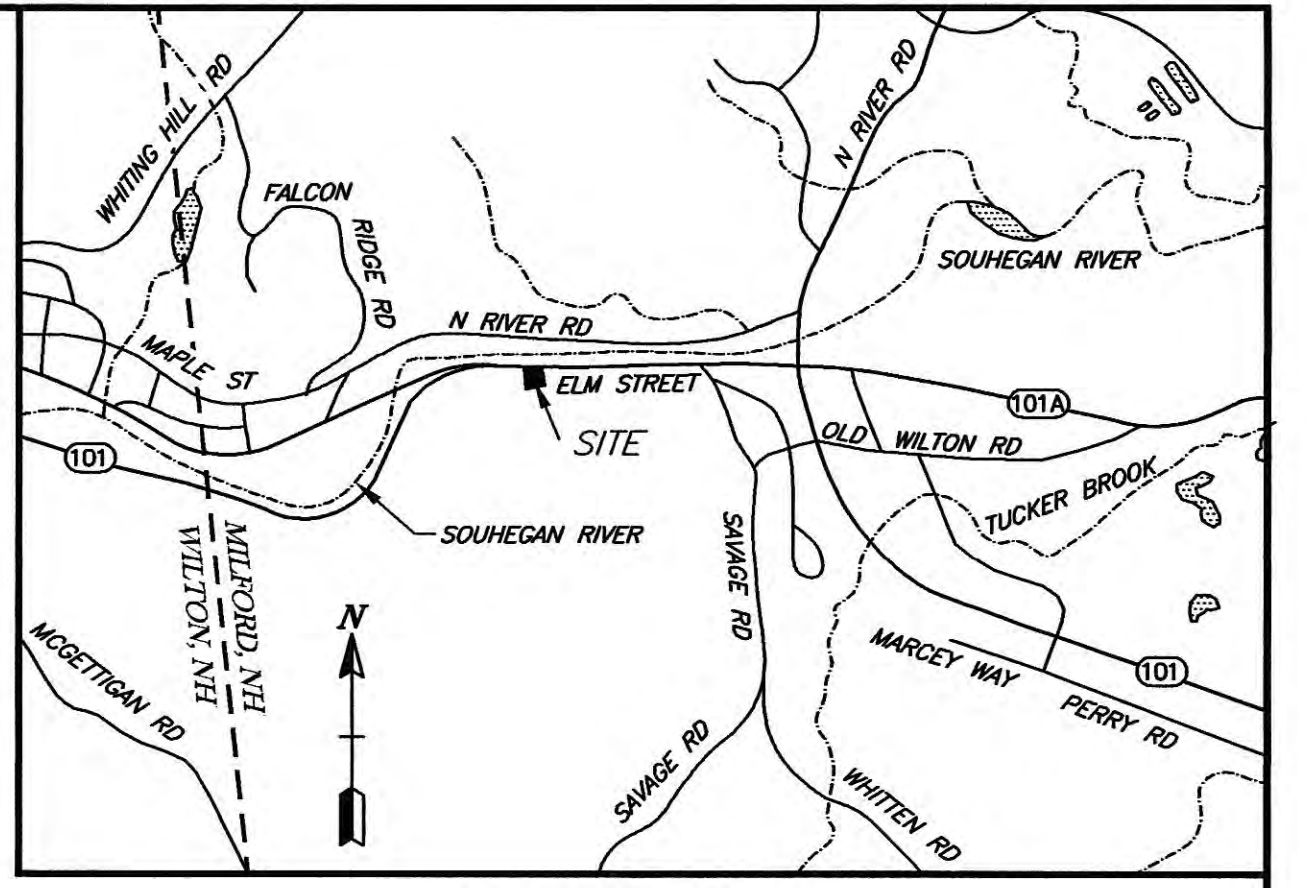
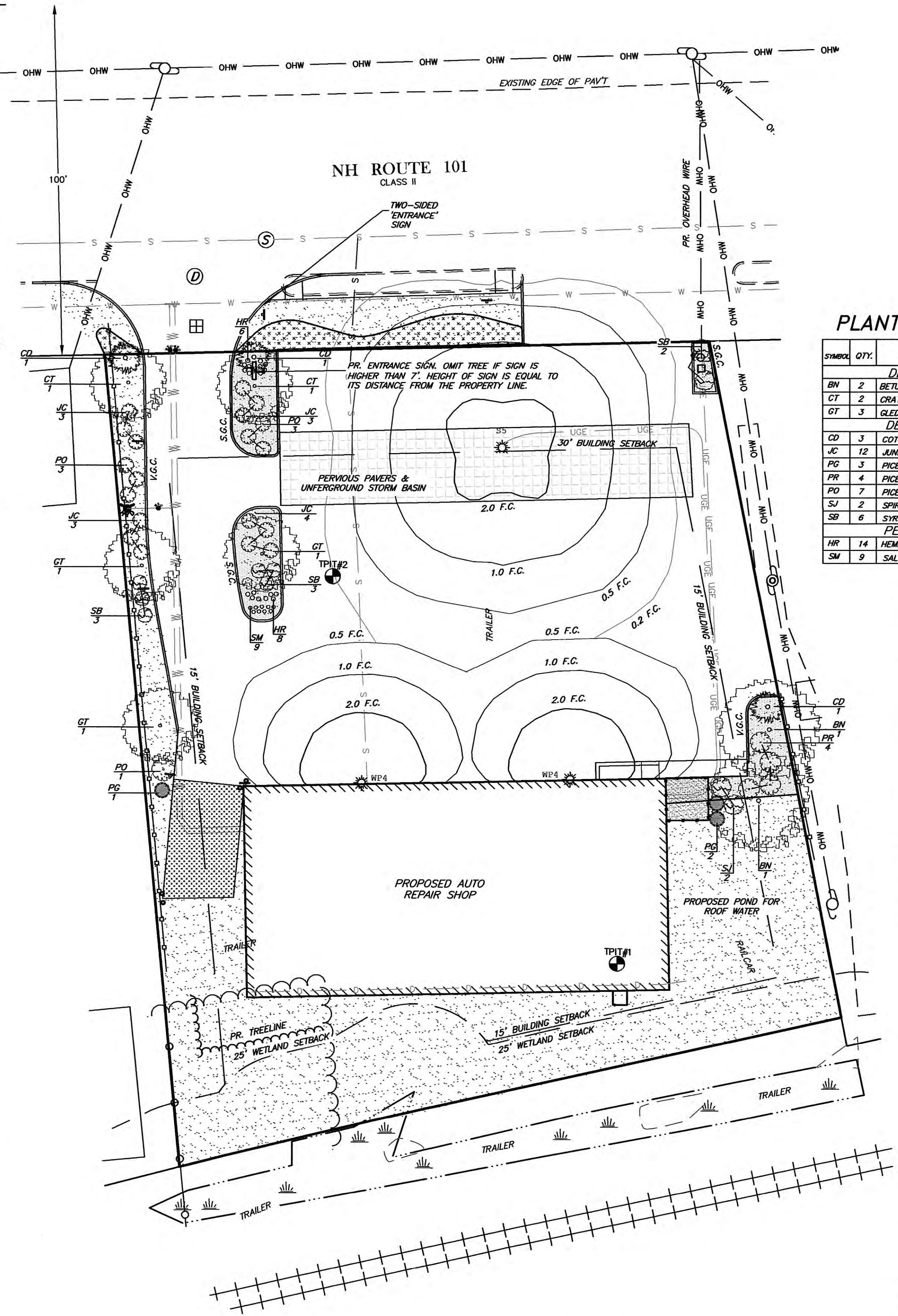
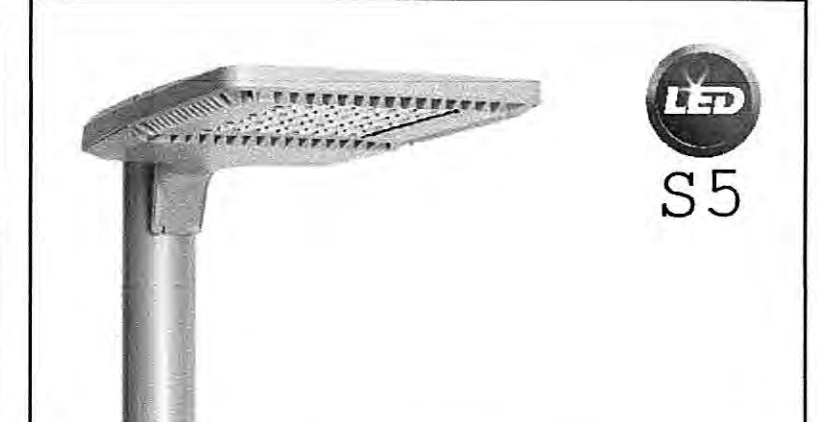
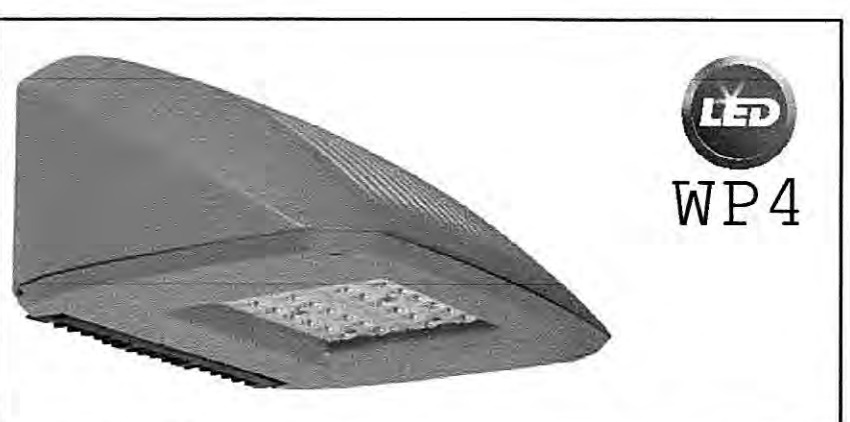
1. PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2014.
2. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL BE IN ACCORDANCE WITH THE NATIONAL ASSOCIATION OF LANDSCAPE PROFESSIONALS' INSTALLATION AND MAINTENANCE TRAINING MANUALS.
3. DEAD AND/OR DYING PLANT MATERIALS SHOULD BE REPLACED REGULARLY TO MAINTAIN ORIGINAL DESIGN COUNTS AND LOCATIONS.
4. PLEASE SEE THE TOWN OF MILFORD SITE PLAN REGULATIONS FOR A FULL LIST OF PLANTING REQUIREMENTS.

LANDSCAPE BUFFERS & CALCULATIONS:

1. ALONG THE PERIPHERY OF THE PROPERTY THERE SHALL BE A 10' LANDSCAPE BUFFER 6' FEET IN HEIGHT TO SCREEN ADJACENT PROPERTIES. WE HAVE REQUESTED A WAIVER FROM THIS REQUIREMENT FOR THE EAST AND NORTH SIDE OF THE PROPERTY.
 - 420' OF PERIPHERY BUFFER STRIP
 - 1 TREE / 30 FEET = 14 TREES REQUIRED
 - = 5 TREES PROPOSED (WAIVER REQUESTED)
2. PERIPHERY LANDSCAPING
 - 120' BUILDING / 5' = 24 SHRUBS REQUIRED
 - = 24 SHRUBS PROPOSED (LOCATED IN PERIPHERY BUFFER)
3. LANDSCAPE ALONG BUILDING FRONTS
 - 1 SHRUB FOR EVERY 5' OF BUILDING FRONTAGE
4. PARKING LOT LANDSCAPING SHALL BE 5% OF PARKING AREA WITH 1 TREE PER 15 PARKING SPACES REQUIRED.
 - CALCULATIONS: PARKING AREA IS 10,000 S.F.
 - 5% OF PARKING AREA = 500 S.F. REQUIRED
 - = 815 S.F. PROPOSED.
 - 1 TREE / 15 SPACES = 2 TREES REQUIRED
 - 21 REQ. SPACES = 2 TREES PROPOSED

LIGHTING NOTES

WALL MOUNTED LIGHT HEIGHT IS 15 FEET AND POLE HEIGHT IS 20'. BOTH UNITS ARE IMA DARK SKY COMPLIANT.



LOCUS MAP

1" = 2000'

PLANT SCHEDULE

SYMBOL	QTY.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
DECIDUOUS TREES					
BN	2	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	40'-60" x 20'-30" W	2" CALIPER
CT	2	CRATAEGUS CRUSGALLI INERMIS 'CRUSADER'	CRUSADER THORNLESS HAWTHORN	10'-15" x 15'-20" W	2" CALIPER
GT	3	GLEDITSIA T.L. 'STREET KEEPER'	STREET KEEPER HONEYLOCUST	30'-40" x 15'-20" W	2" CALIPER
DECIDUOUS & EVERGREEN SHRUBS					
CD	3	COTONEASTER DAMIERI 'SALICIFOLIUS 'REPENS'	CREeping WILLOWLEAF COTONEASTER	12"-24" H x 6"-8" W	#2 CONTAINER
JC	12	JUNIPERUS CHINENSIS 'DAUB'S FROSTED'	DAUB'S FROSTED JUNIPER	12"-24" H x 5"-6" W	#3 CONTAINER
PG	3	PICEA GLAUCOA 'CONICA'	CONICA SPRUCE	8"-10" H x 4"-5" W	#10 CONTAINER
PR	4	PICEA GLAUCOA 'RAINBOW'S END'	RAINBOW'S END SPRUCE	6"-8" H x 3"-4" W	#5 CONTAINER
PD	7	PICEA ORIENTALIS 'BUGMAN'S GEM'	BERGMAN'S GEM ORIENTAL SPRUCE	2"-3" H x 4"-5" W	#3 CONTAINER
SJ	2	SPIRAEA JAPONICA 'SHIBORI'	SHIBORI SPIREA	2"-3" H x 3"-4" W	#3 CONTAINER
SB	6	SYRINGA 'BLOOMERANG DWARF PINK'	BLOOMERANG DARK PINK LILAC	2"-3" H&W	#7 CONTAINER
PERENNIALS					
HR	14	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14" H&W	#1 CONTAINER
SM	9	SALVIA 'BLUE MARVEL'	BLUE MARVEL SAGE	12" H&W	#2 CONTAINER

LEGEND

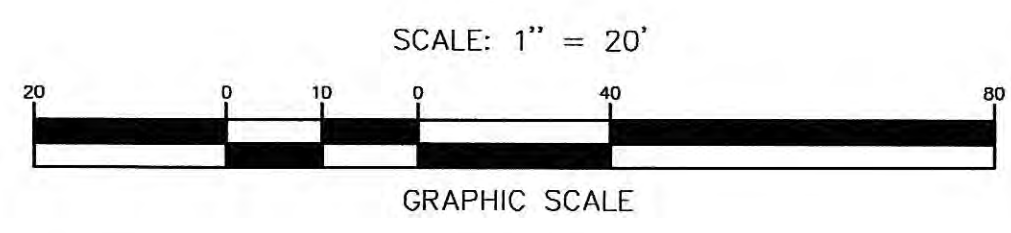
- PR. PERENNIAL GARDEN
- PR. MULCHED AREAS
- PR. GRASSED AREAS



PERENNIAL GARDEN PLANTINGS

QTY.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
20	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14" H&W	#1 CONTAINER
20	SALVIA 'BLUE MARVEL'	BLUE MARVEL SAGE	12" H&W	#2 CONTAINER
20	ECHINACEA 'SUNSEEKERS SALMON'	SUNSEEKERS SALMON CONEFLOWER	18" H&W	#1 CONTAINER
20	MONARDA 'PETITE DELIGHT'	PETITE DELIGHT BEE BALM	18" H&W	#1 CONTAINER
20	SEDUM 'TURQUOISE TAILS'	TURQUOISE TAILS STONECROP	12" H&W	#1 CONTAINER

PERENNIALS ARE TO BE PLANTED IN GROUPS OF 3 TO 5 AND SPACED 12" TO 18" ON CENTER DEPENDING ON THEIR MATURE SIZE IN THE TABLE INDICATED ABOVE.



TAX MAP 12 LOT 11

LIGHTING, & LANDSCAPE PLAN
SOONER-MILFORD
 LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC
 754-756 ELM STREET
 MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC
 3 EXECUTIVE PARK DRIVE, SUITE 201G
 BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 6 OF 12

DESIGN: KAW DRAWN: KAW CHECKED: RJB FB: 580 PG: 60 1667-01

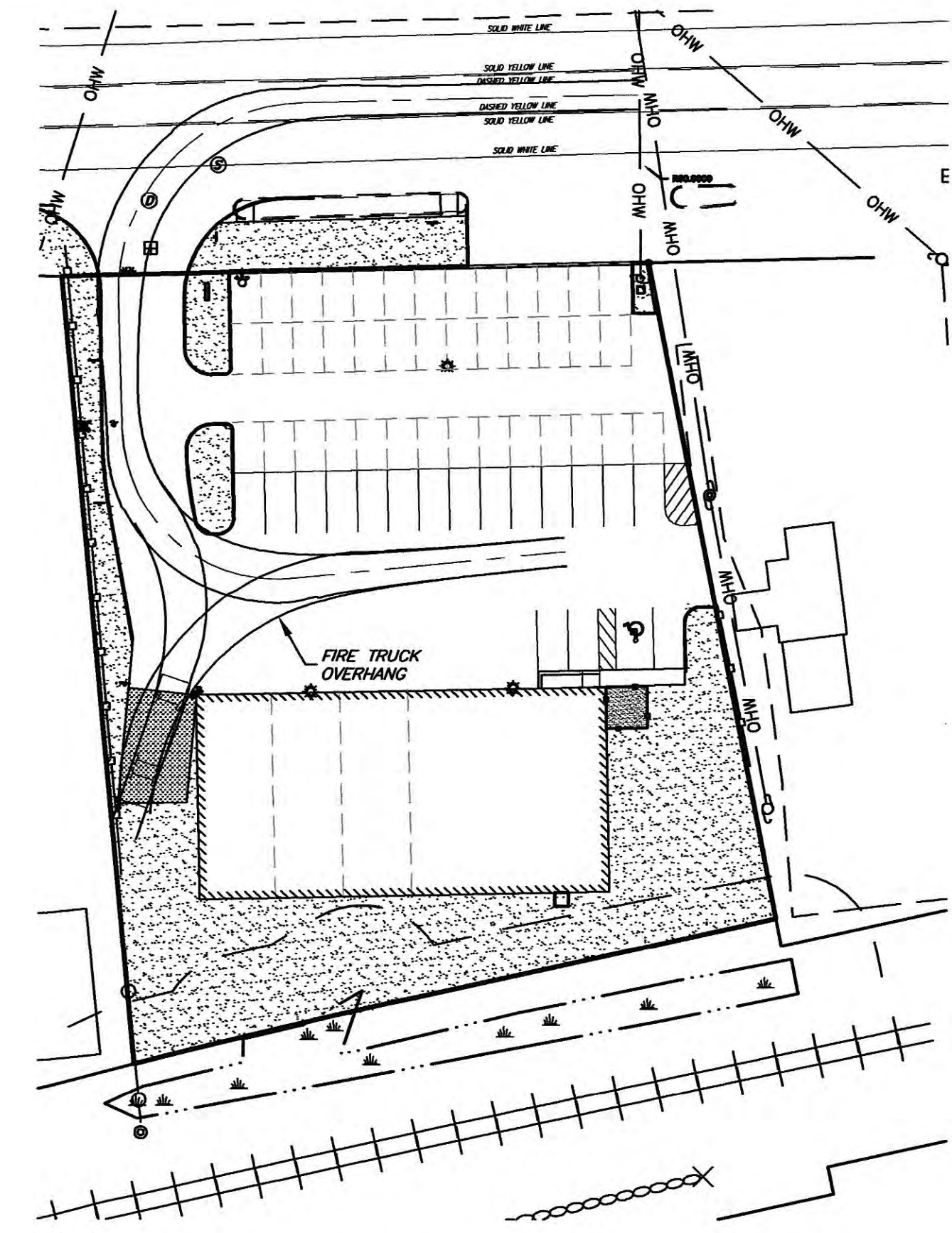


Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
2	WP4	SINGLE	6076	52	0.950	B1-U0-G2	GARDCO 121-32L-530-WW-G4-4-UNV-FINISH / WALL MOUNTED @ 15FT APG TO BOF
1	S5	4 @ 90 DEGREES	7284	55.7	0.850	B3-U0-G2	GARDCO ECF-S-32L-530-WW-G2-AR-5W-UNV-FINISH / MOUNTED TO SSS-20-X-X-D4-FINISH

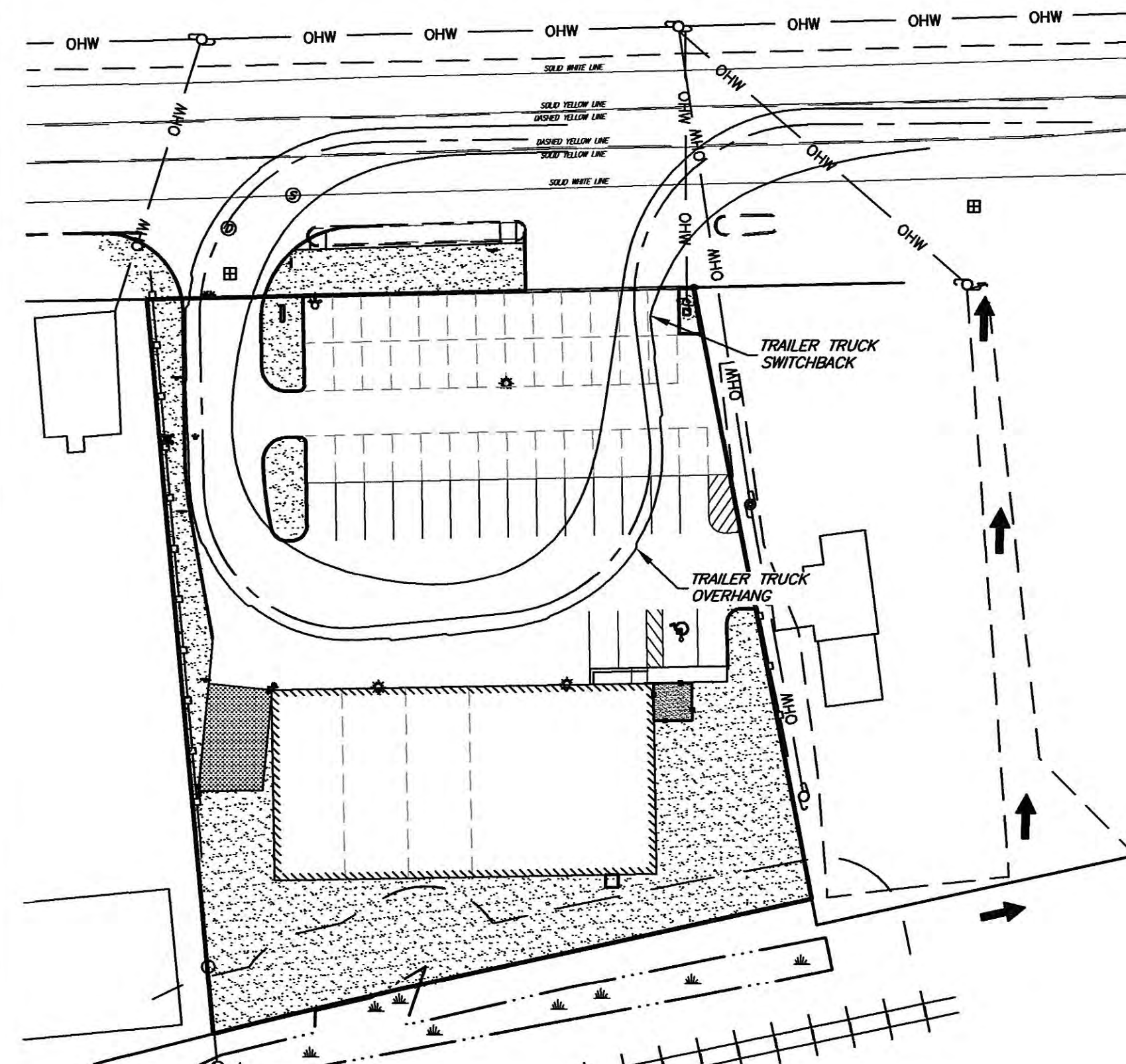
DATE	DESCRIPTION	BY	REV.
11-2-22	REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A

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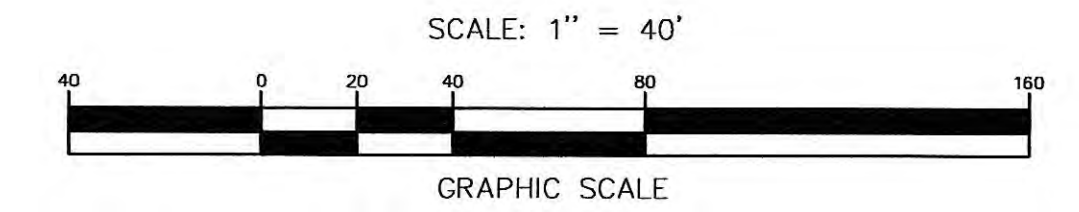
ARCHITECTURAL PLANS TO BE
SUBMITTED SEPARATELY FOR REVIEW



FIRE TRUCK TURNING PLAN
SCALE = 1" = 40'



TRAILER TURNING PLAN
SCALE = 1" = 40'



TAX MAP 12 LOT 11
ARCHITECTURAL & TRUCK TURNING PLAN
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055
APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 201G
BEDFORD, NH 03110

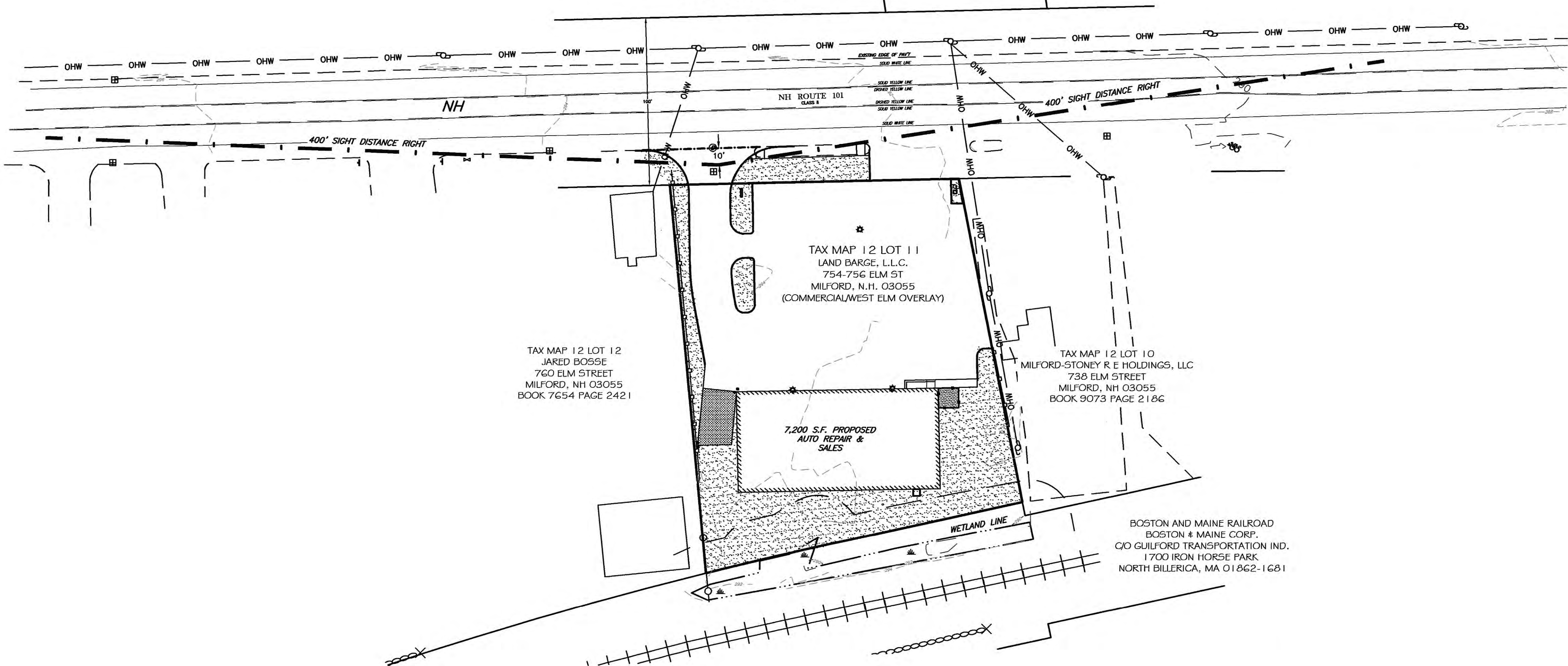
SCALE: AS NOTED	APRIL 25, 2022	SHEET 7 OF 12
DESIGN: KAW	DRAWN: KAW	CHECKED: RJB
		FB: 580
		PG: 60
		1667-01

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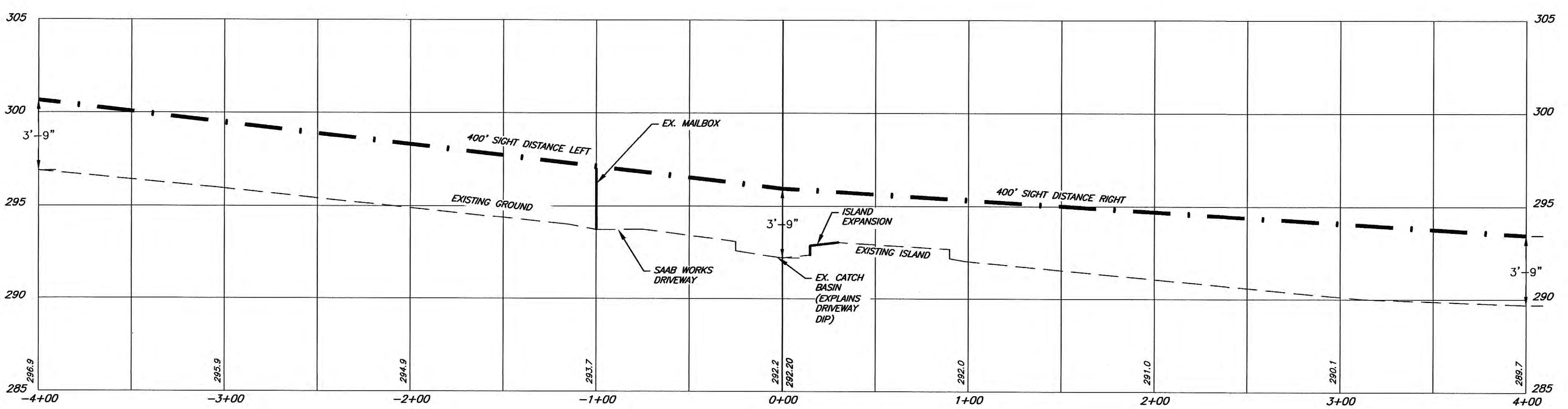
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TAX MAP 6 LOT 17
RIVER BED TRUST
DAWN J. ARNSTEIN, TRUSTEE
P.O. BOX 95
WILTON, NH 03086-0095
BOOK 5167 PAGE 1545

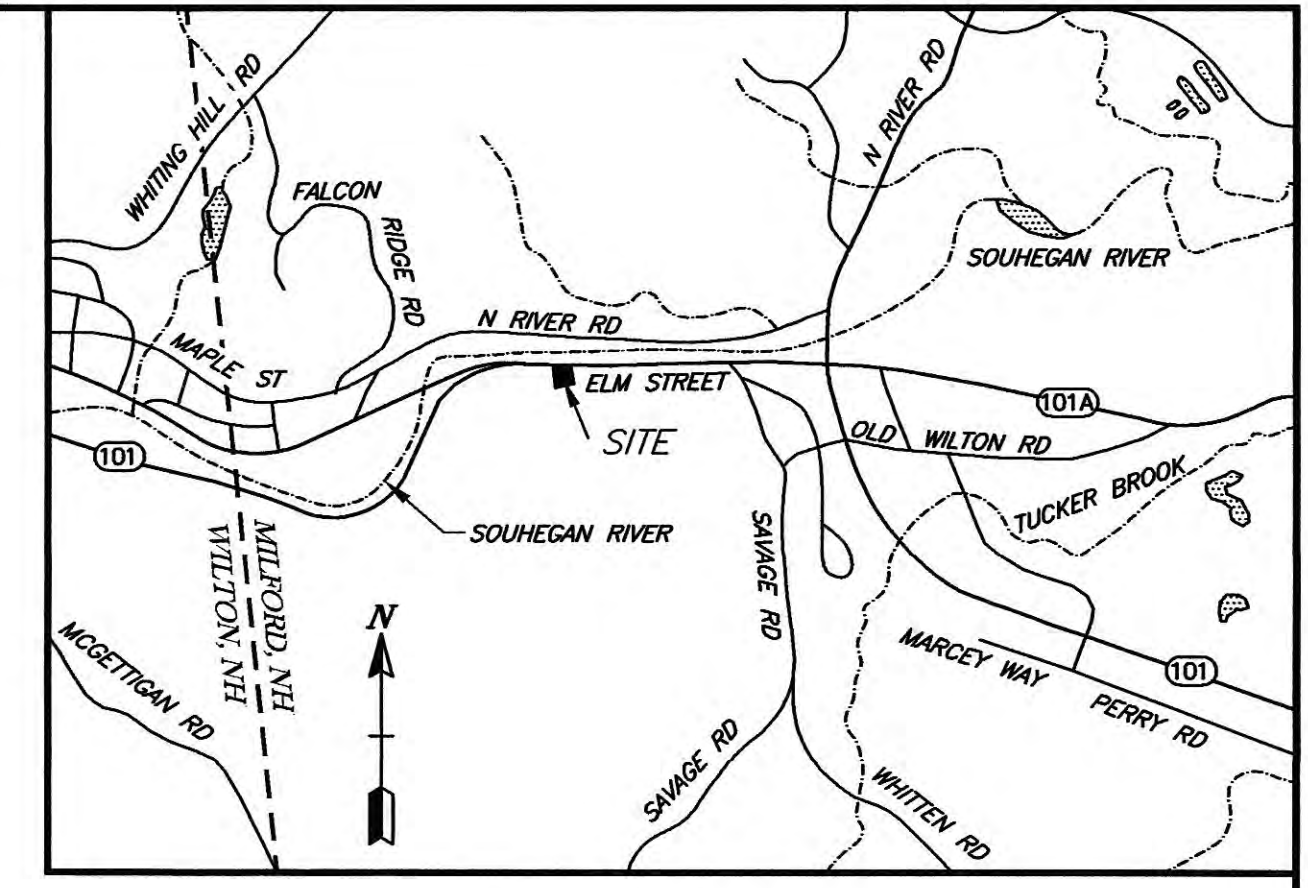
TAX MAP 12 LOT 10-1
STATE OF NEW HAMPSHIRE
P.O. BOX 483
CONCORD, NH 03302-0483
BOOK 1307 PAGE 0182



SIGHT DISTANCE PLAN
1" = 40'

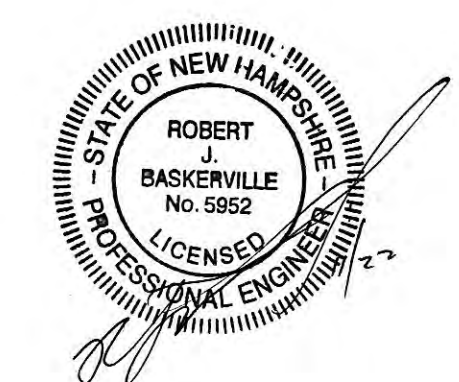
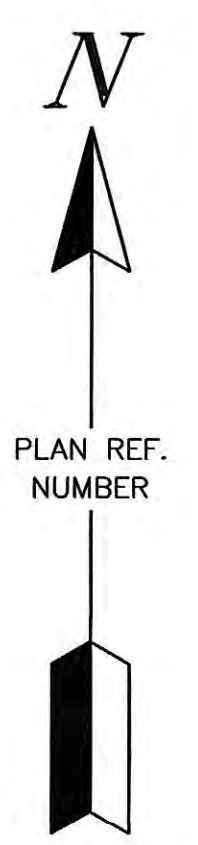
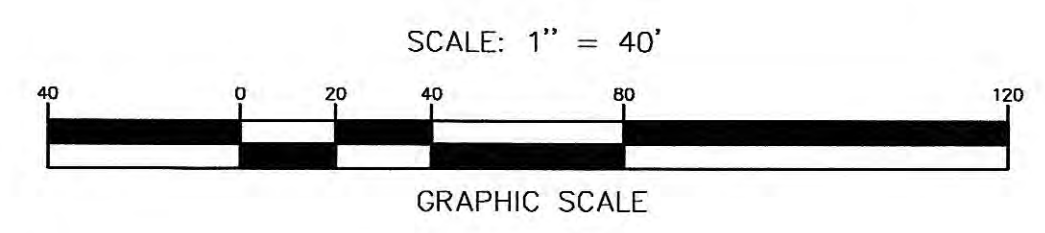


SIGHT DISTANCE PROFILE
HORIZONTAL SCALE 1" = 40'
VERTICAL SCALE 1" = 4'



LOCUS MAP
1" = 2000'

- NOTES:**
- OWNER OF RECORD:
TAX MAP 12 LOT 11
LAND BARGE, LLC
754-756 ELM ST
MILFORD, NH 03055
BOOK: 8864 PAGE: 2557
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE SIGHT DISTANCE FOR THE UPDATED DRIVEWAY ON ROUTE 101/ ELM ST IN MILFORD.



TAX MAP 12 LOT 11
SIGHT DISTANCE PLAN
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 201G
BEDFORD, NH 03110

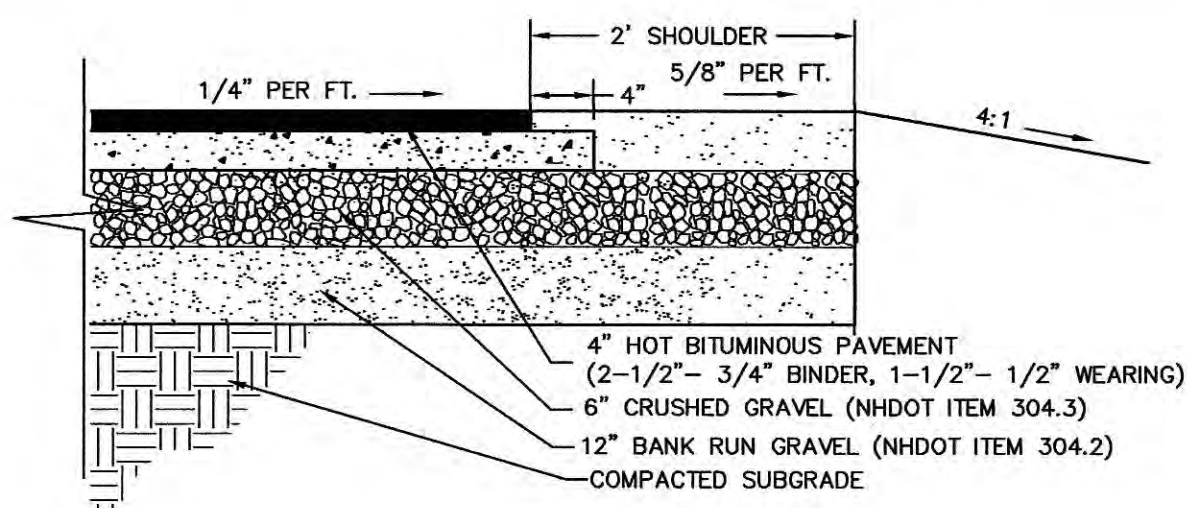
SCALE: 1" = 40' APRIL 25, 2022 SHEET 8 OF 12

DESIGN: KAW	DRAWN: KAW	CHECKED: RJB	FB: 580	PG: 60	1667-01
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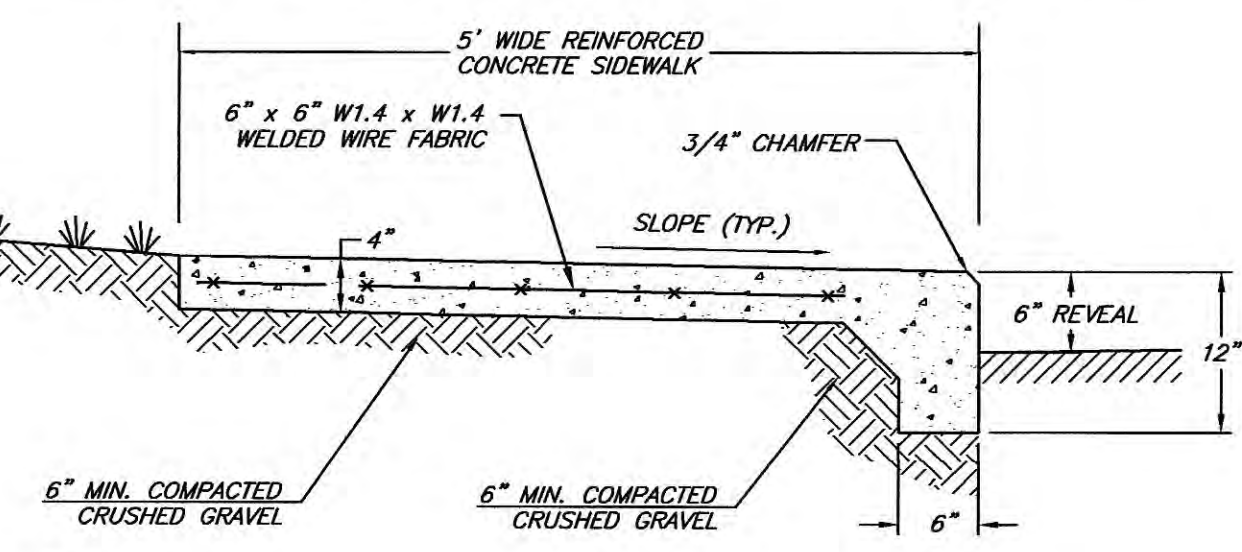
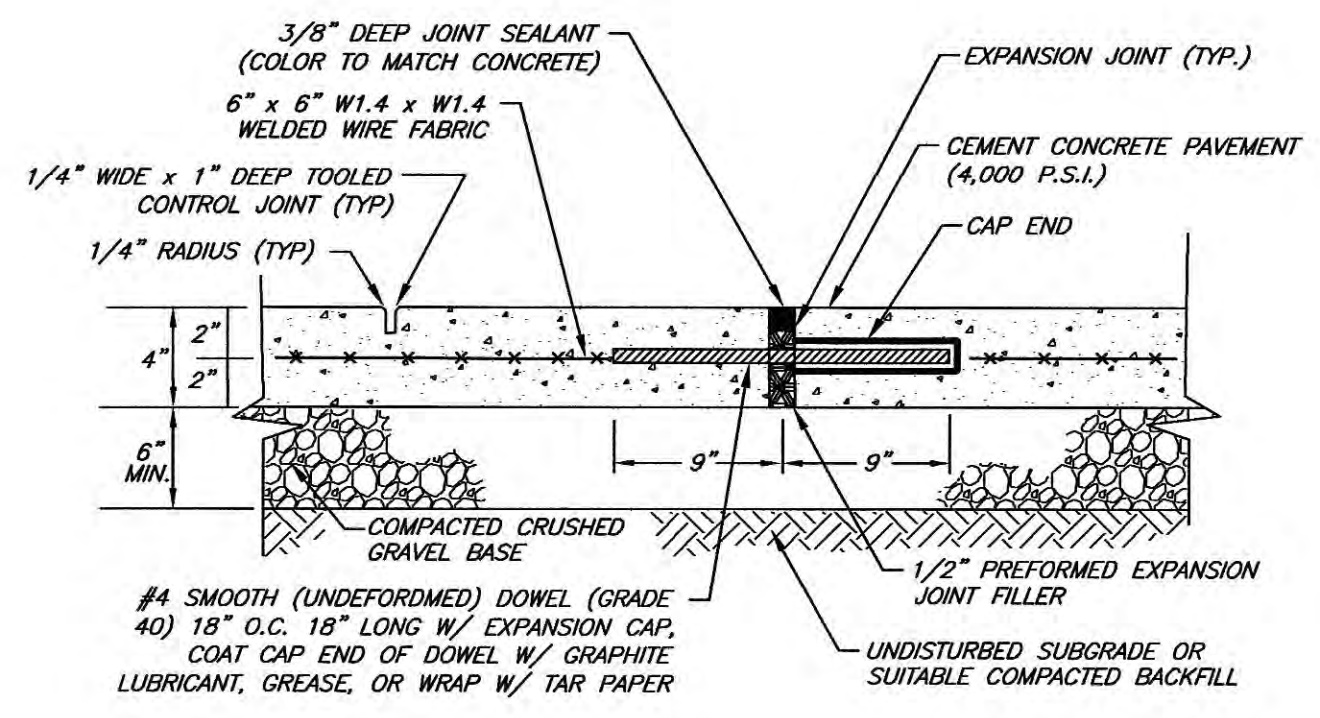




NOTES:
 1. SECTION NUMBERS REFER TO APPROPRIATE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
 2. SECTION 410 (TACK COAT) WILL APPLY IF MORE THAN 180 CALENDAR DAYS ELAPSE BETWEEN PLACEMENT OF BINDER COARSE AND WEARING COARSE.
 3. PAVEMENT SECTION SHALL CONFORM TO LATEST NHDOT MANUAL AND TOWN OF AUBURN SITE PLAN REGULATIONS.

PAVEMENT DETAIL

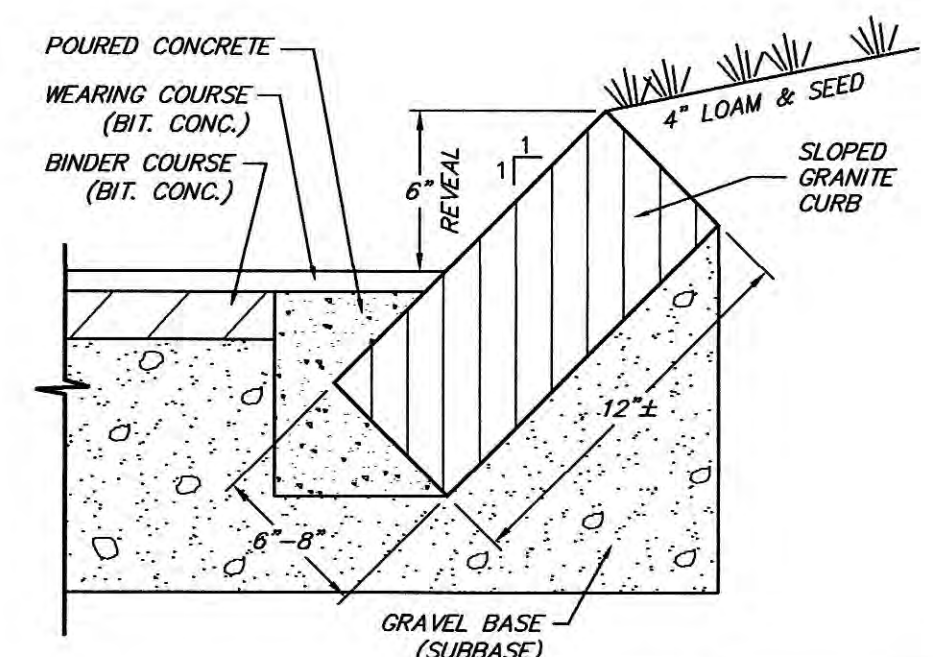
NOT TO SCALE



NOTES:
 1. CROSS SLOPE OF SIDEWALK TO BE AS SPECIFIED ON THE PLAN.
 2. MAINTAIN 2\"/>

REINFORCED CONCRETE SIDEWALK DETAIL

NOT TO SCALE

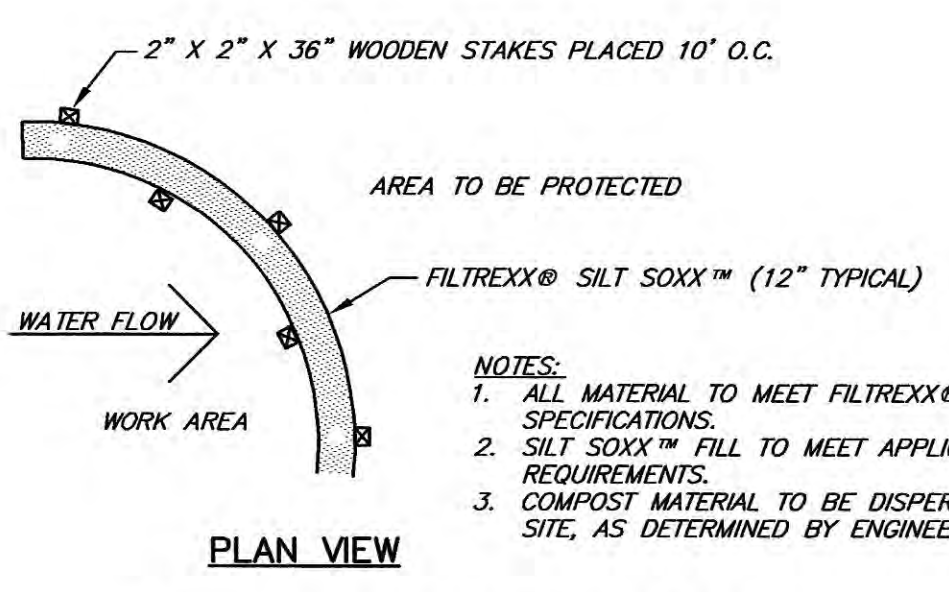
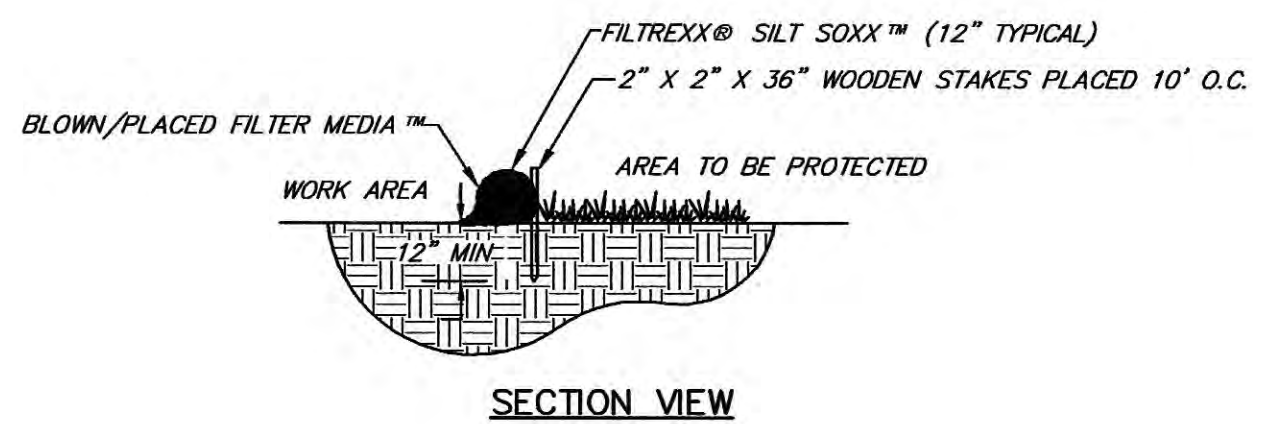


NOTES:
 MINIMUM LENGTH OF STRAIGHT CURB STONES = 1'
 MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
 MINIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVE = SEE CHART
 ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH

RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
< 2	USE CURVED CURB
2 - 15	USE RADIAL JOINTS
16 - 28	1'-6"
29 - 41	2'
42 - 55	3'
56 - 68	4'
69 - 82	5'
83 - 96	6'
97 - 110	7'
OVER 110	8'

SLOPED GRANITE CURB DETAIL

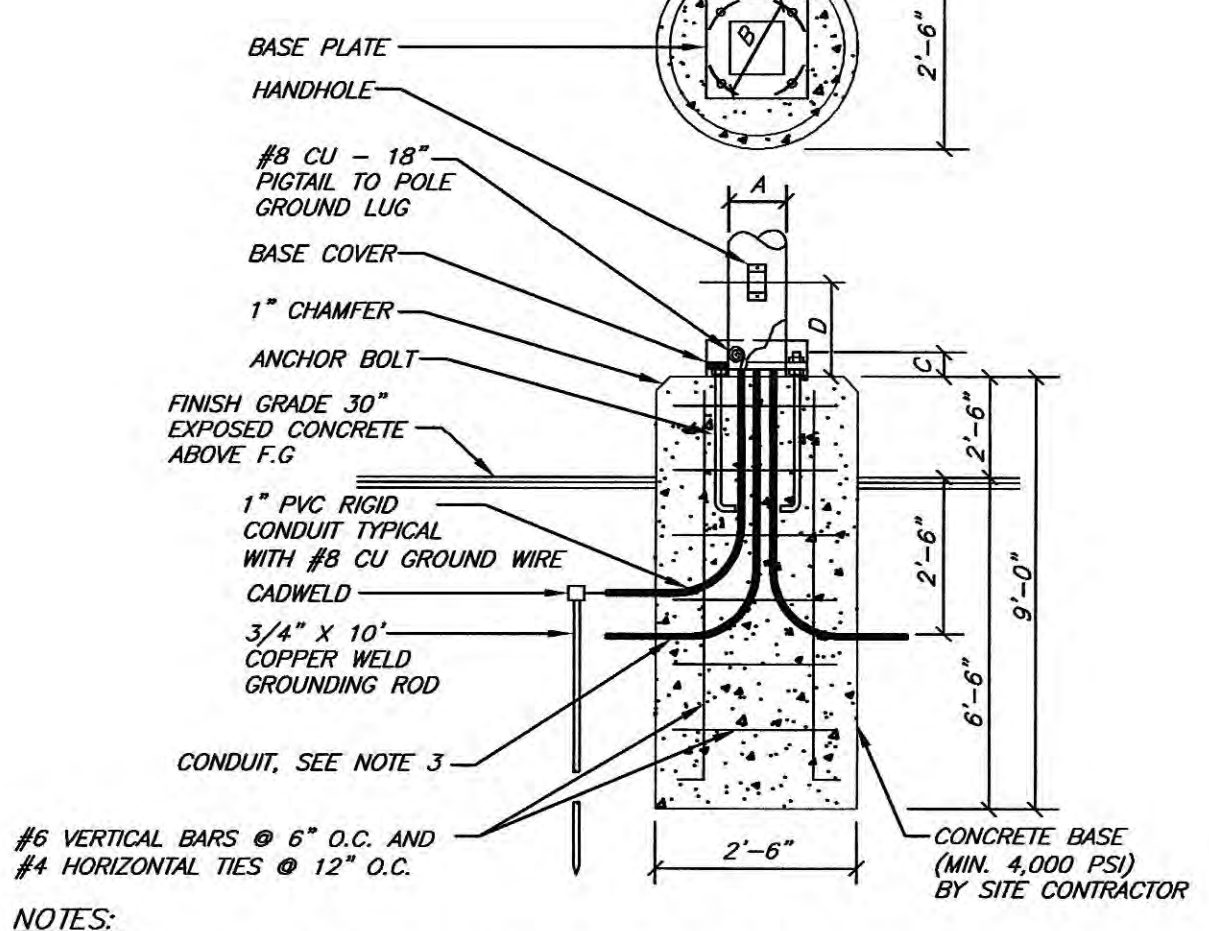
NOT TO SCALE



NOTES:
 1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. SILT SOXX FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX SILT SOXX DETAIL

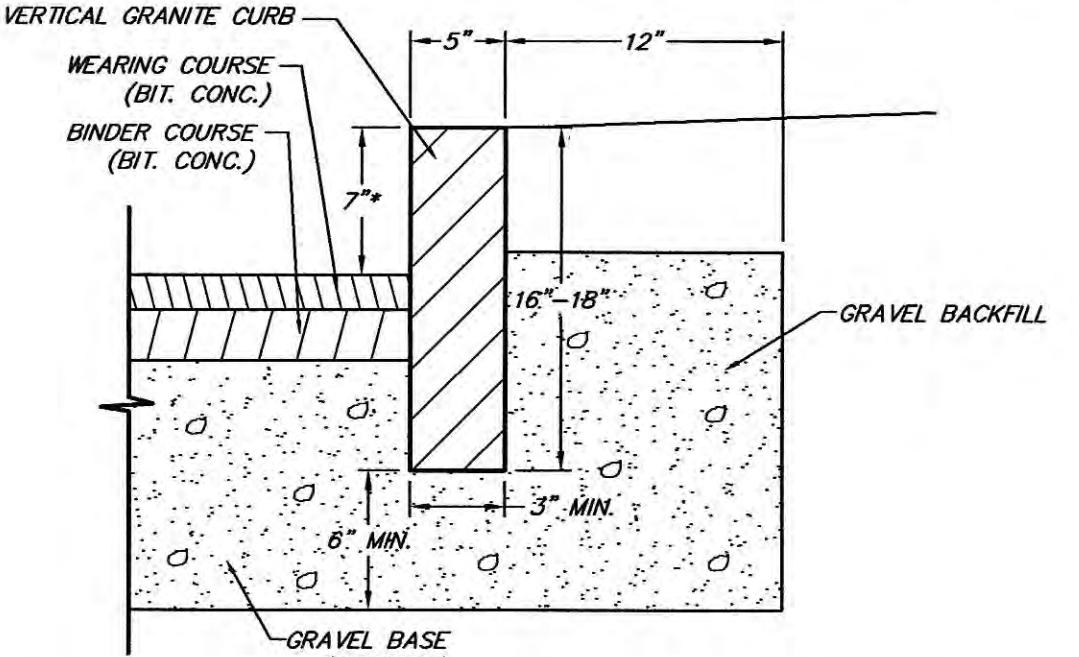
NOT TO SCALE



NOTES:
 1. REFER TO LIGHT POLE MANUFACTURER FOR A, B, C AND D DIMENSIONS AND ANCHOR BOLT SIZE.
 2. SEE ELECTRICAL SITE PLAN FOR CONDUITS AT EACH LOCATION.
 3. ALL CONDUIT INSIDE OF CONCRETE POLE BASES SHALL BE GALVANIZED RIGID STEEL AND ALL ELBOWS SHALL BE A MIN. 36\"/>

LIGHT POLE BASE DETAIL

NOT TO SCALE

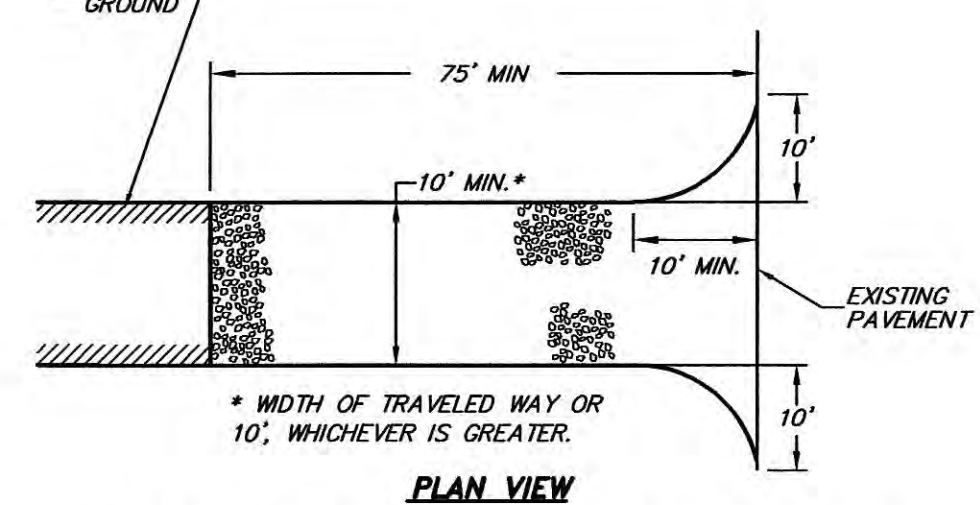
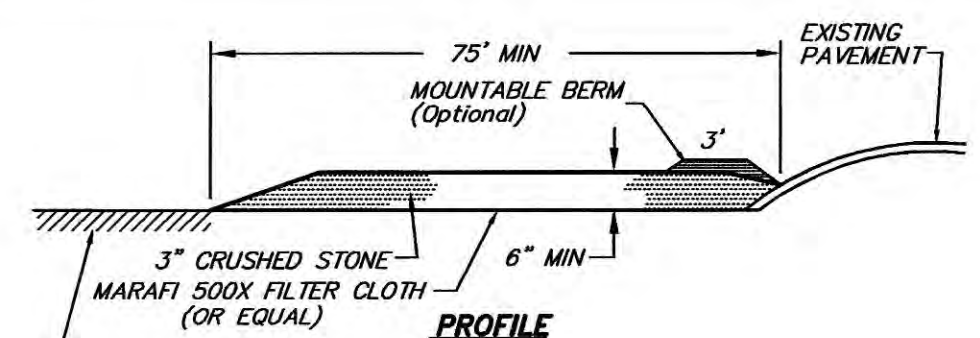


NOTES:
 MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 MINIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVE = SEE CHART
 ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH

RADIUS	MAXIMUM LENGTH
< 21'	USE CURVED CURB
21'	3'
22' - 28'	4'
29' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
OVER 60'	10'

VERTICAL GRANITE CURB DETAIL

NOT TO SCALE

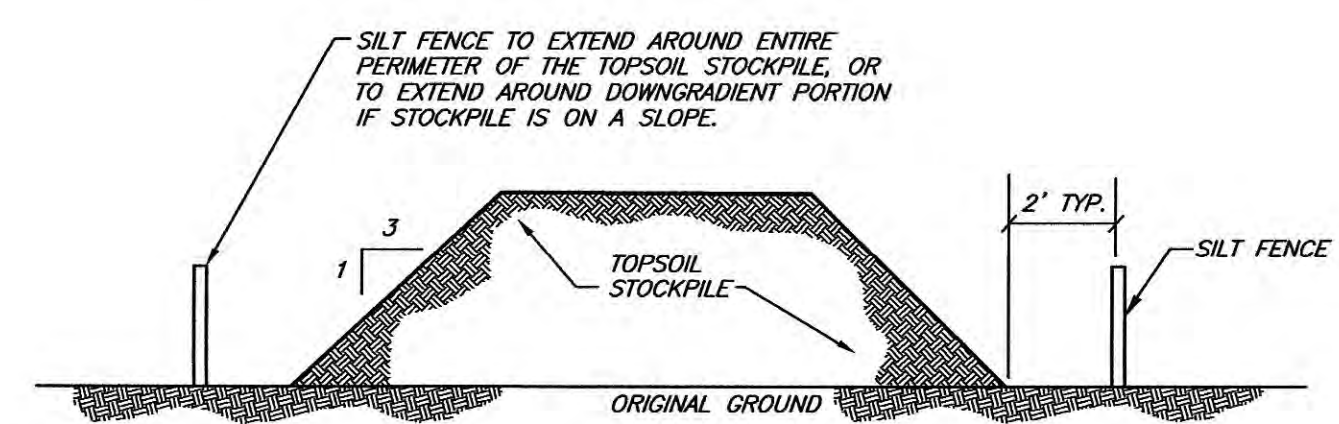


STABILIZED CONSTRUCTION EXIT:

NOT TO SCALE

MAINTENANCE NOTES:
 MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
 IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

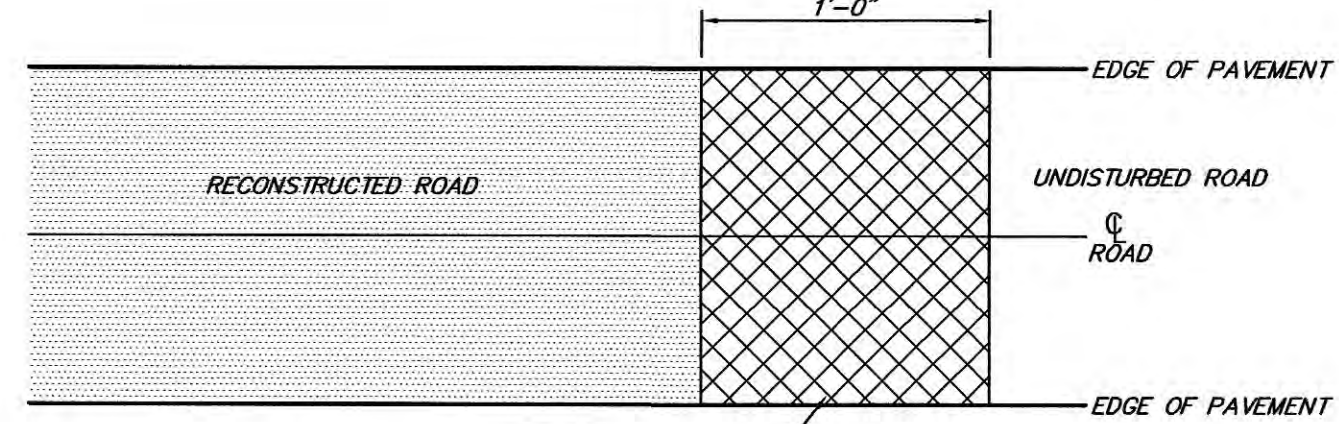
CONSTRUCTION SPECIFICATION
 (A) THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE;
 (B) THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE;
 (C) THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER;
 (D) THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY;
 (E) THE PAD SHALL BE AT LEAST 6 INCHES THICK;
 (F) A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD; AND
 (G) THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
 (H) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.



NOTES:
 1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
 2. REFERENCE IS MADE TO SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
 3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR SEEDING WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
 4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAINFALL EVENTS IN EXCESS OF 0.5 INCHES. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 5. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
 6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE TOWN.

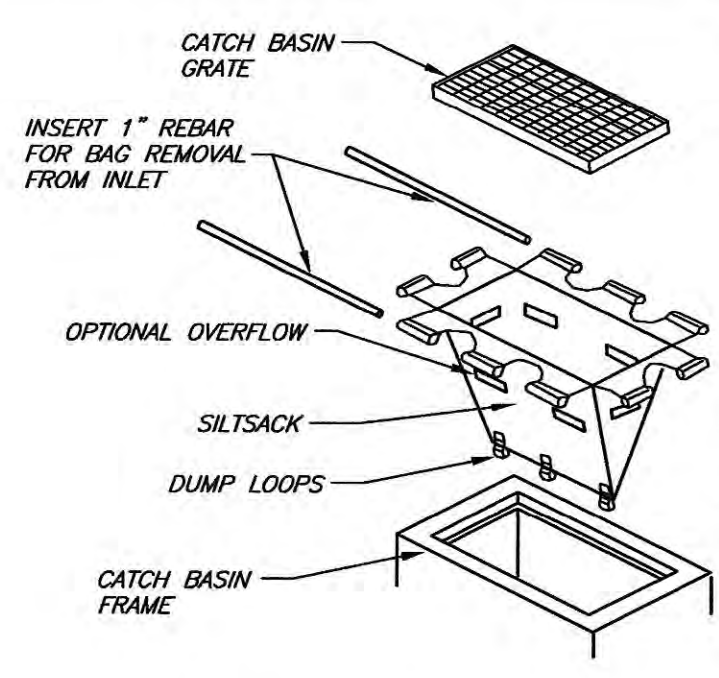
TEMPORARY STOCKPILE DETAIL

NOT TO SCALE



PAVEMENT CONNECTION

NOT TO SCALE

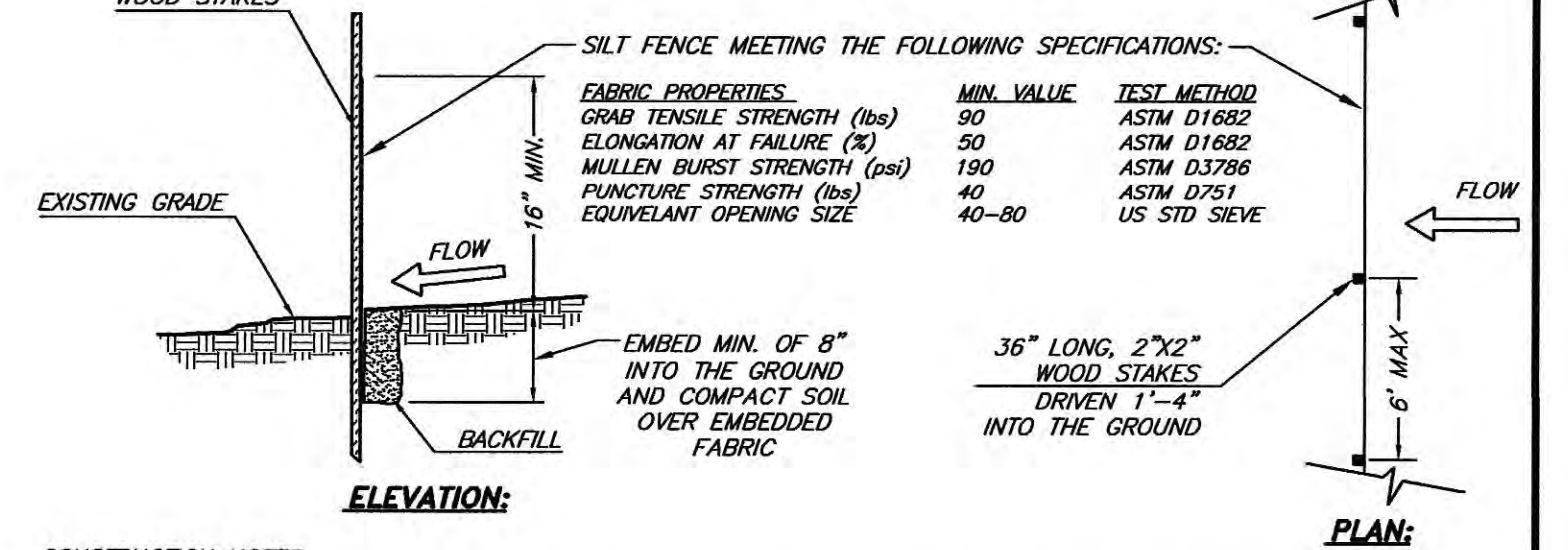


NOTES:
 1. INLET BASKETS SHALL BE USED ON ALL CATCH BASINS DURING CONSTRUCTION. INLET BASKETS SHALL BE SILTSACK OR APPROVED EQUAL.
 2. THE FILTER FABRIC SHALL BE A WOVEN POLYPROPYLENE GEO-TEXTILE FABRIC MEETING THE FOLLOWING SPECIFICATIONS:
 GRAB TENSILE STRENGTH: 300 LBS. MINIMUM (ASTM D-4632)
 GRAB ELONGATION: 20% MINIMUM (ASTM D-4632)
 PUNCTURE: 120 LBS. MINIMUM (ASTM D-4633)
 TRAPEZOID TEAR STRENGTH: 120 LBS. MINIMUM (ASTM D-4533)
 MULLEN BURST STRENGTH: MINIMUM 800 PSI (ASTM D-3786)
 3. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 40 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 40 GPM/SQ. FT.
 4. THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
 5. INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION.

INSTALLATION AND MAINTENANCE NOTES:
 TO INSTALL THE SILTSACK, IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
 THE SILTSACK IS FULL AND SHOULD BE EMPTIED WHEN THE YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.
 TO REMOVE THE SILTSACK, TAKE TWO PIECES OF 1\"/>

INLET SEDIMENT FILTER BASKET

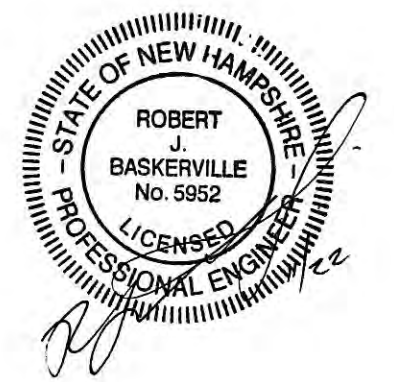
NOT TO SCALE



CONSTRUCTION NOTES:
 A. FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE FENCE.
 B. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1/4-ACRE PER 100 LINEAR FEET OF FENCE.
 C. THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE FENCE SHALL BE 100 FEET;
 D. THE MAXIMUM SLOPE OF THE AREA ABOVE THE FENCE SHALL BE 2:1;
 E. FENCES SHALL BE INSTALLED AS FOLLOWS:
 1. FENCES SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;
 2. THE ENDS OF THE FENCE SHALL BE FLARED UP-SLOPE;
 3. THE BASE OF THE FENCE SHALL BE:
 a. FOLDED SUCH THAT NOT LESS THAN 4 INCHES OF THE FENCE IS PLACED ALONG THE BOTTOM OF A TRENCH THAT IS EXCAVATED AT LEAST 4 INCHES DEEP INTO THE GROUND, WITH THE SOIL COMPACTED OVER THE EMBEDDED FABRIC; OR
 b. IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, EMBEDDED IN A MINIMUM THICKNESS OF 8 INCHES OF 1/2-INCH STONE;
 4. SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS; AND
 5. ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED TO A SUPPORT POST;
 F. FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY; AND
 G. SEDIMENT THAT ACCUMULATES AT THE FENCE SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE SEDIMENT FROM REACHING ONE-THIRD THE HEIGHT OF THE FENCE.
 H. INSTALL FENCE PER MANUFACTURER'S SPECIFICATIONS.
 I. IF THE FABRIC ON THE SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE LIFE OF THE FENCE, THE FABRIC SHALL BE PROMPTLY REPLACED.
 J. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.

SILT FENCE DETAIL:

NOT TO SCALE



TAX MAP 12 LOT 11

DETAIL SHEET 2
SOONER-MILFORD
 LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC
 754-756 ELM STREET
 MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC
 3 EXECUTIVE PARK DRIVE, SUITE 201G
 BEDFORD, NH 03110

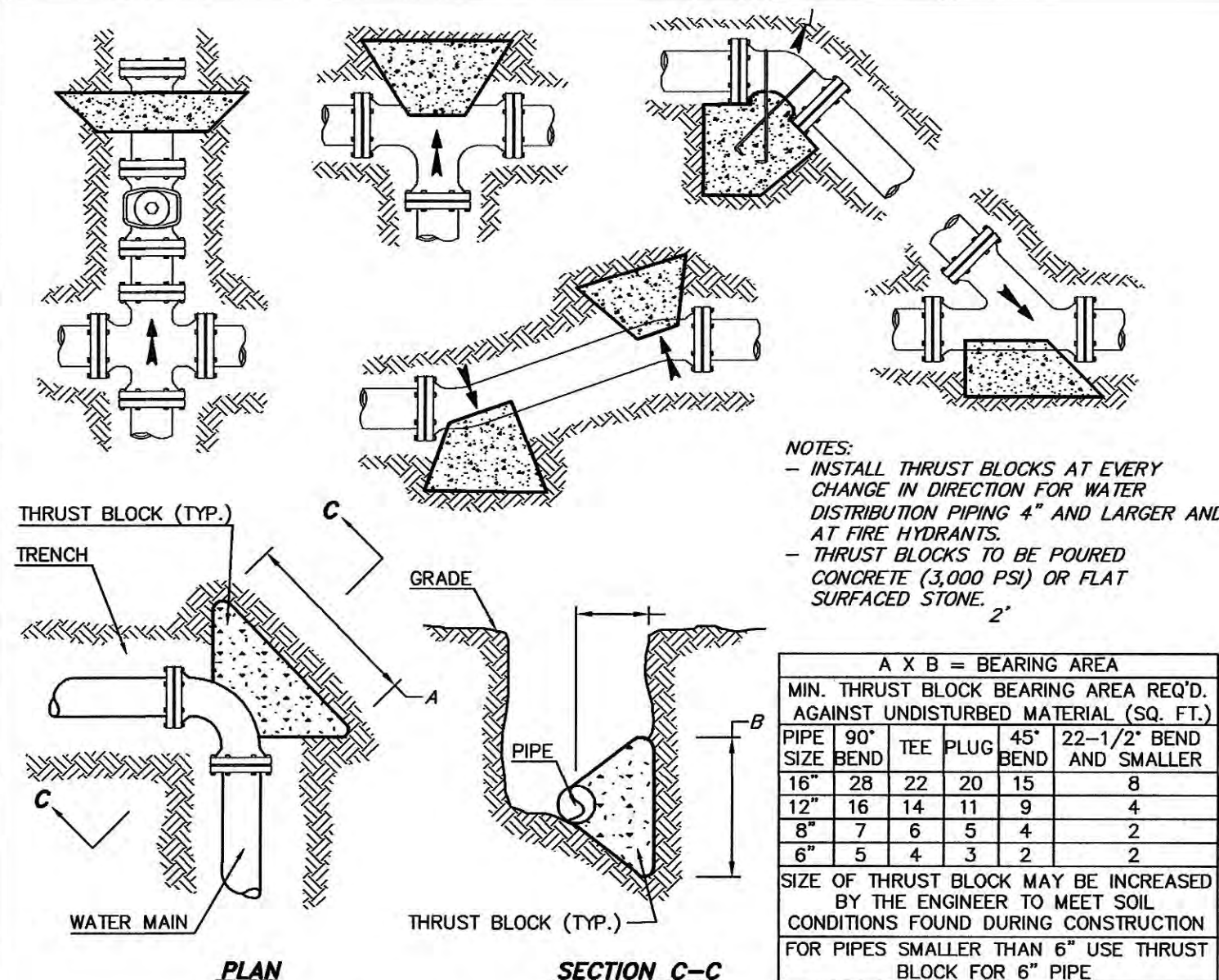
SCALE: 1" = 20' APRIL 25, 2022 SHEET 10 OF 12

DESIGN: KAW	DRAWN: KAW	CHECKED: RJB	FB: 580	PG: 60	1667-01
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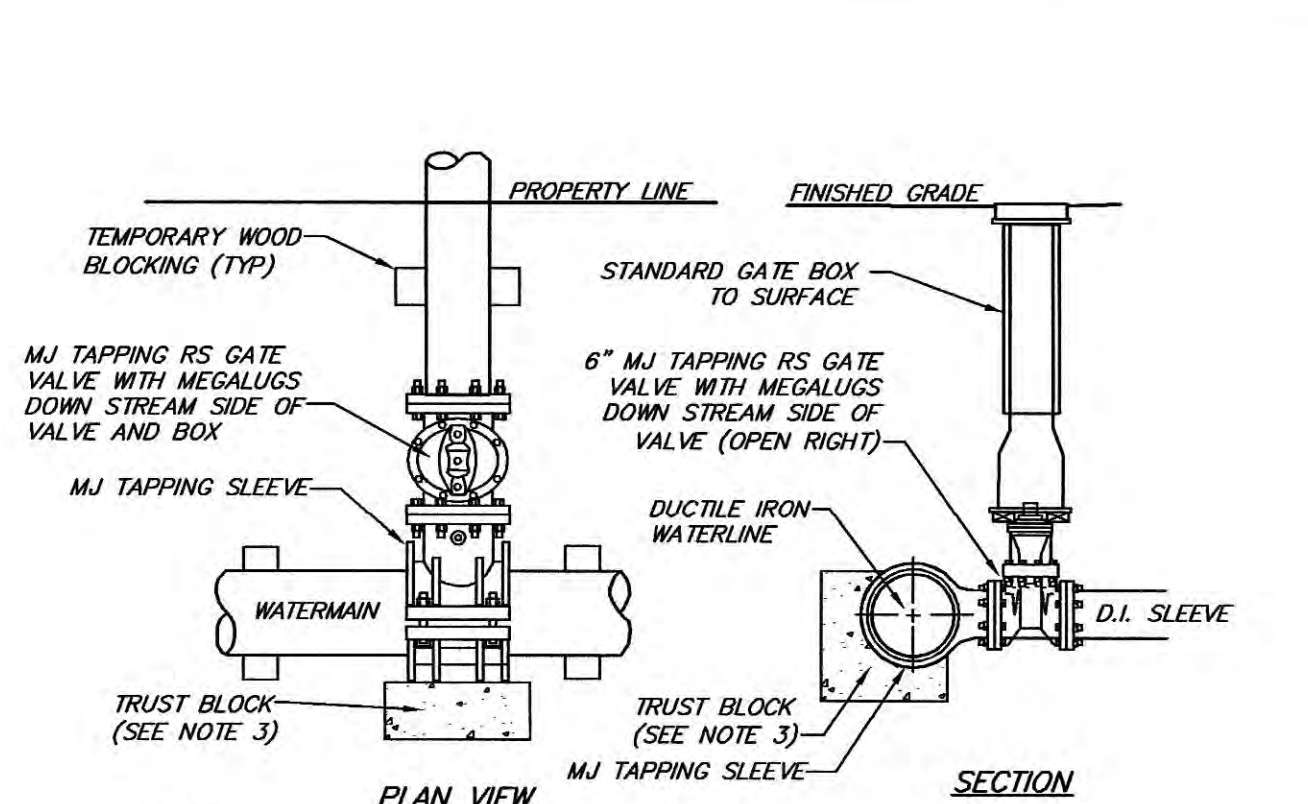
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 ENGINEERS AND SURVEYORS
 592 Harvey Road, Manchester, NH 03103
 Telephone: (603) 622-5533
 www.bedforddesign.com

11-2-22	REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A
DATE	DESCRIPTION	BY	REV.

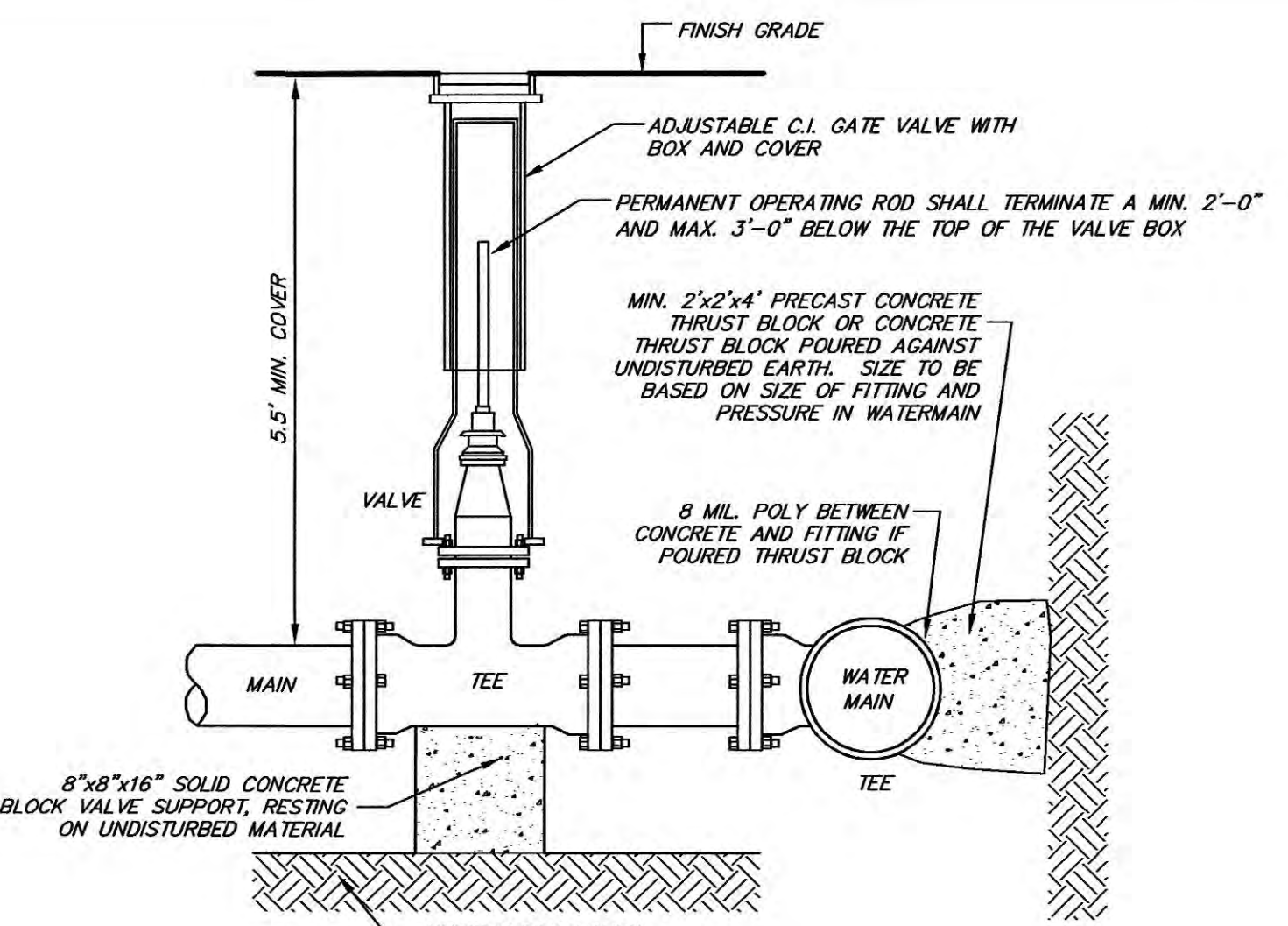




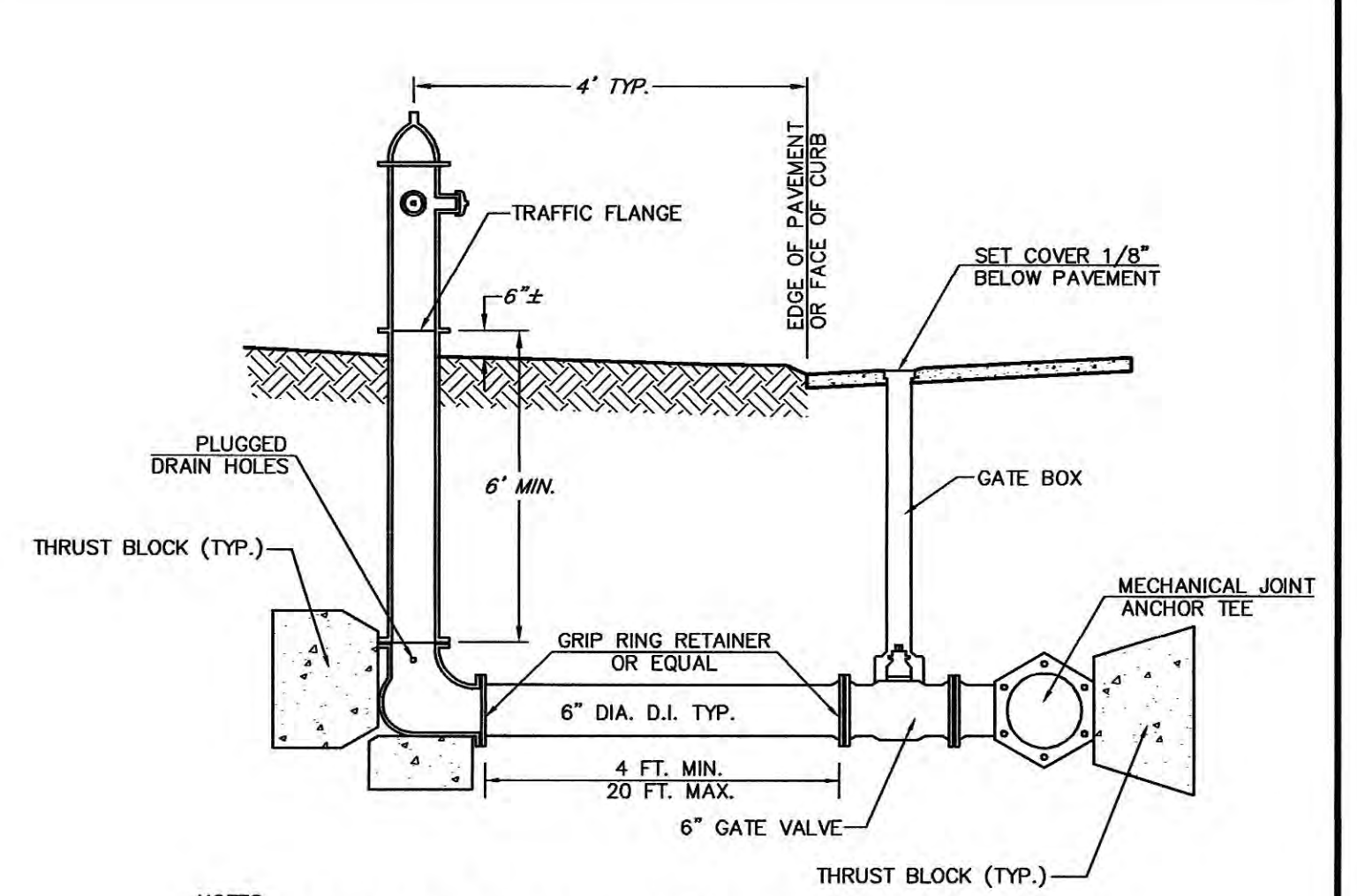
TYPICAL THRUST BLOCK DETAIL
NOT TO SCALE



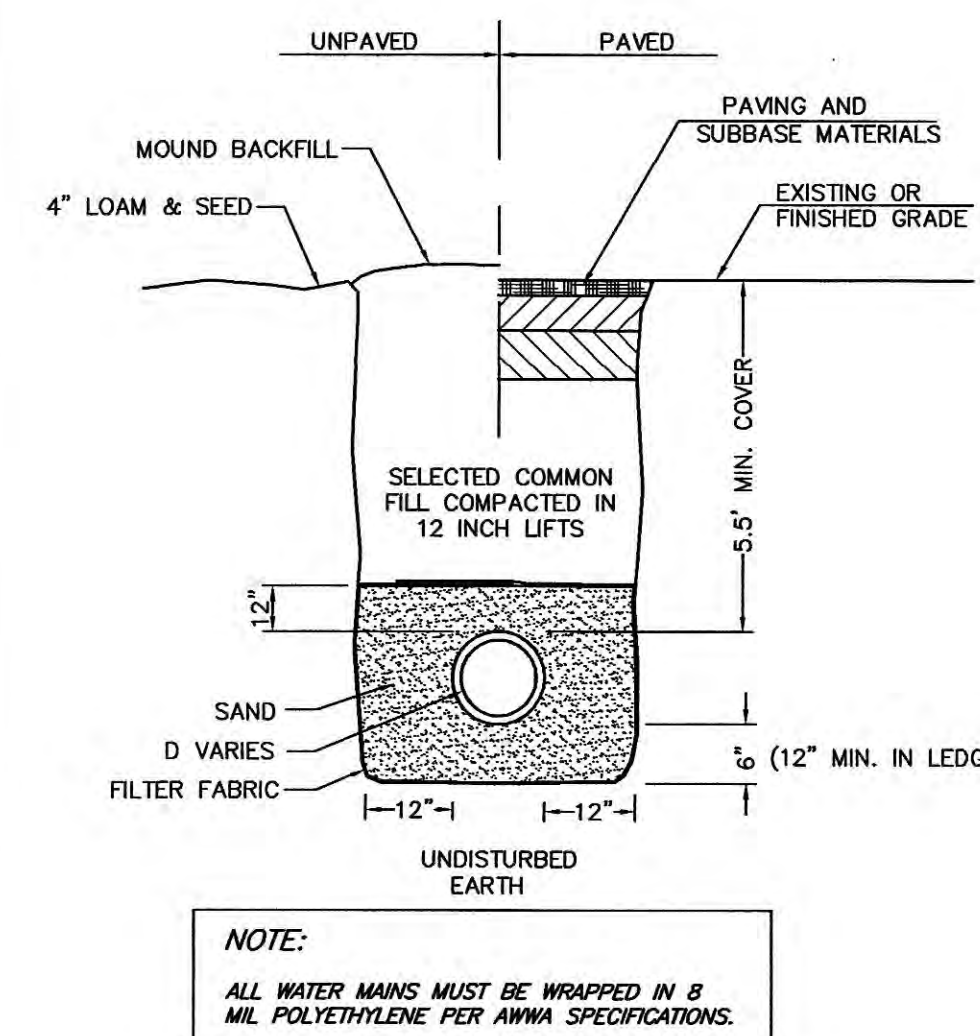
WET TAP TEE INSTALLATION
NOT TO SCALE



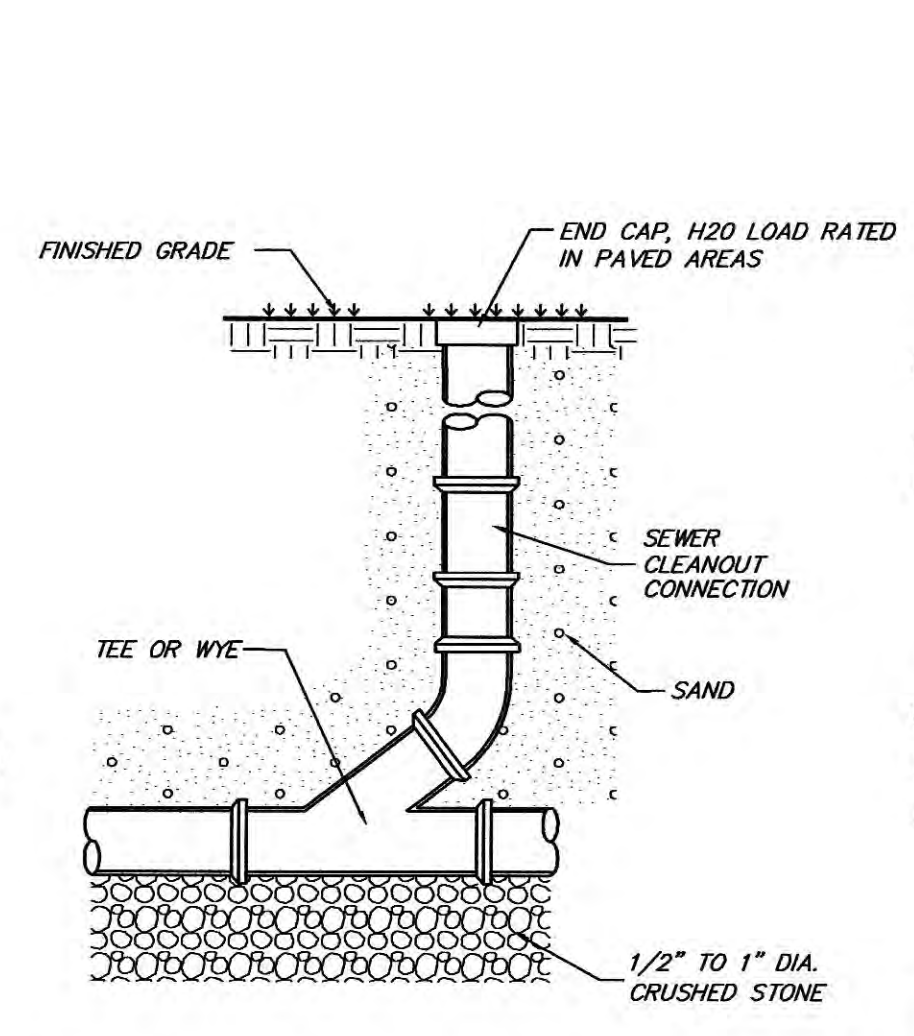
STANDARD GATE VALVE
NOT TO SCALE



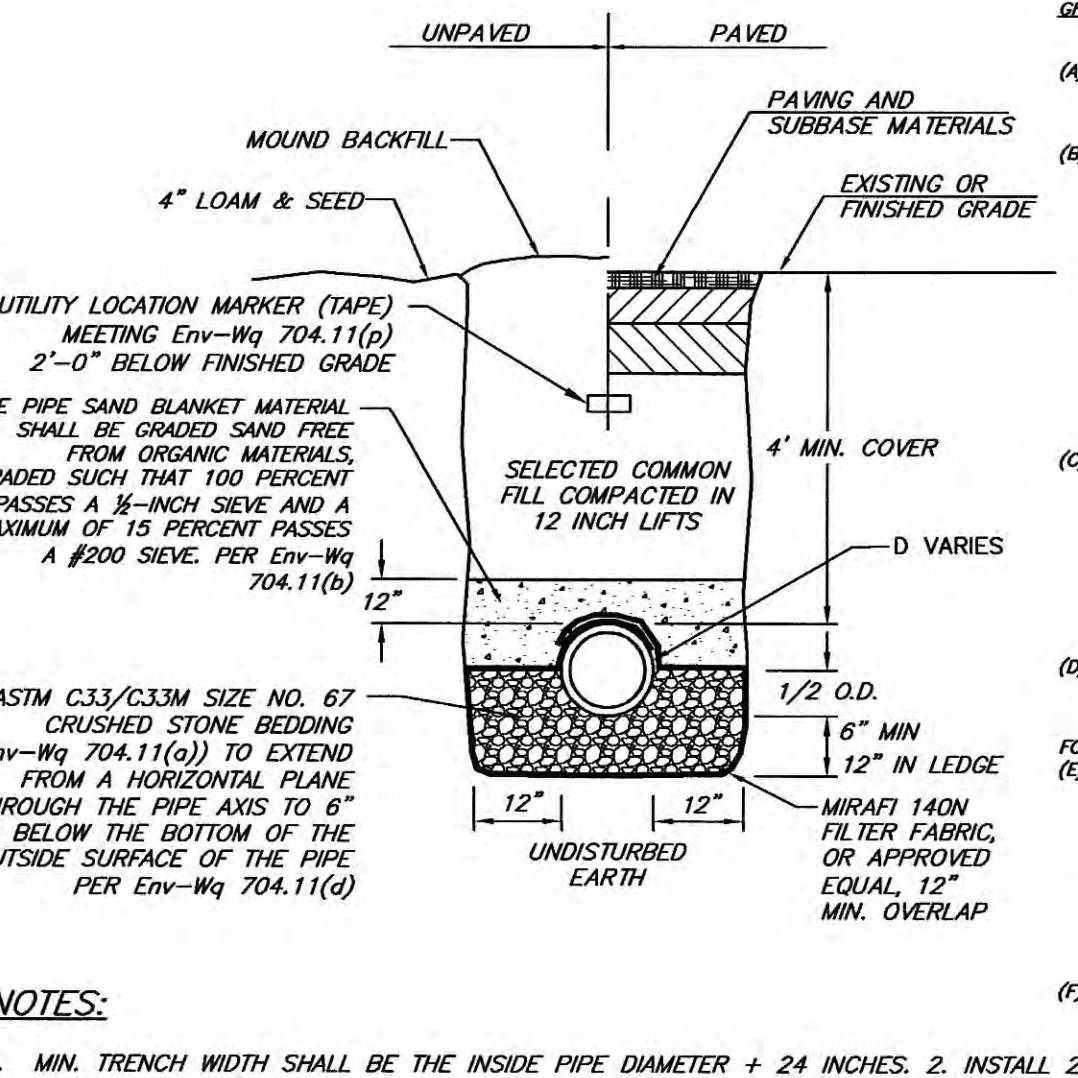
FIRE HYDRANT DETAIL:
NOT TO SCALE



WATER MAIN TRENCH DETAIL
NOT TO SCALE



SEWER CLEANOUT DETAIL
NOT TO SCALE



SEWER MAIN TRENCH DETAIL
NOT TO SCALE

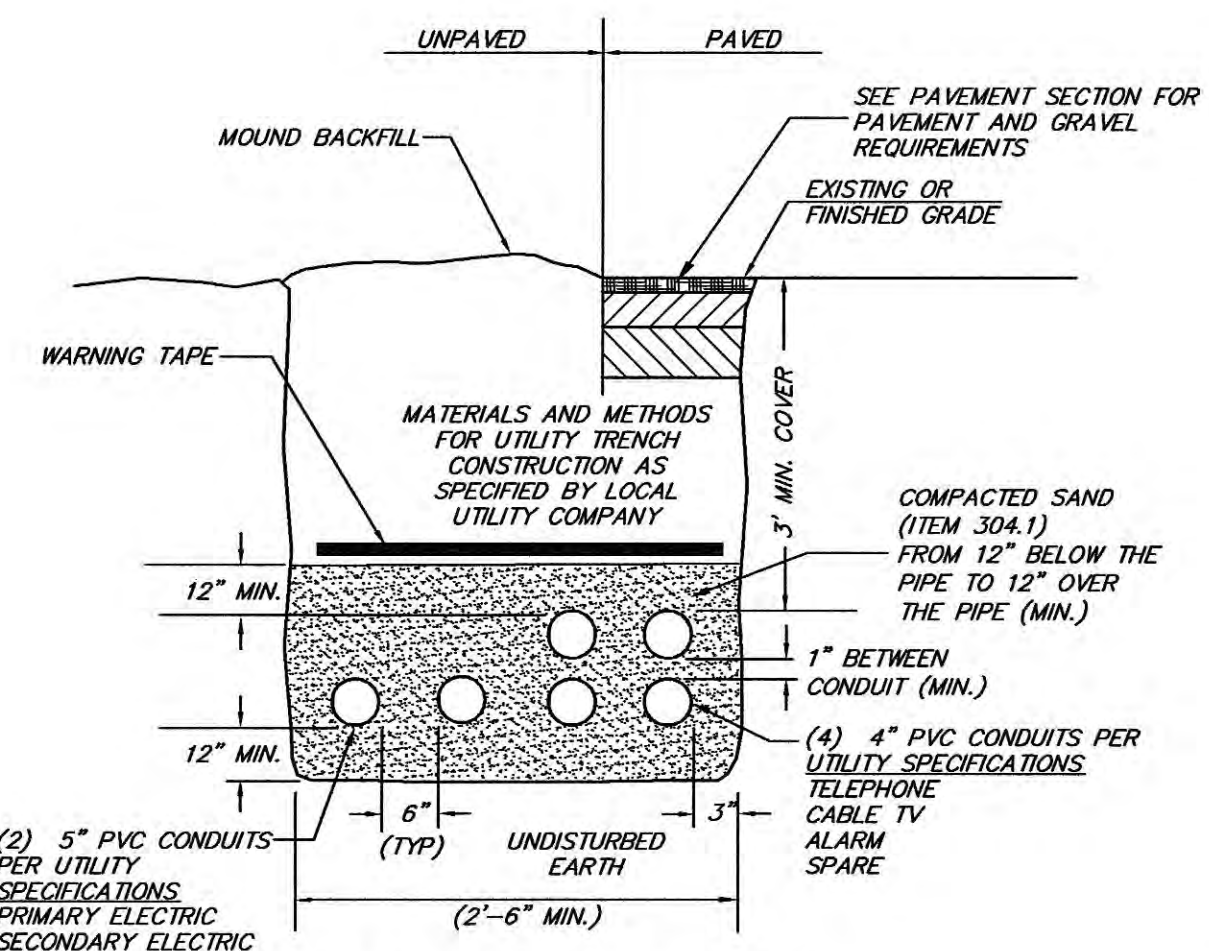
GRAVITY SEWER PIPE TESTING PER EN-10420

(A) ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.

(B) LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH THE FOLLOWING TESTING STANDARDS IN EFFECT AT THE TIME THE TEST IS CONDUCTED:
 (1) ASTM F1417 "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE". AVAILABLE AS NOTED IN APPENDIX B, OR
 (2) UN-BELL PVC PIPE ASSOCIATION UN-4-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE". AVAILABLE AS NOTED IN APPENDIX B.

(C) ALL NEW GRAVITY SEWERS SHALL BE:
 (1) CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER; AND
 (2) TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.

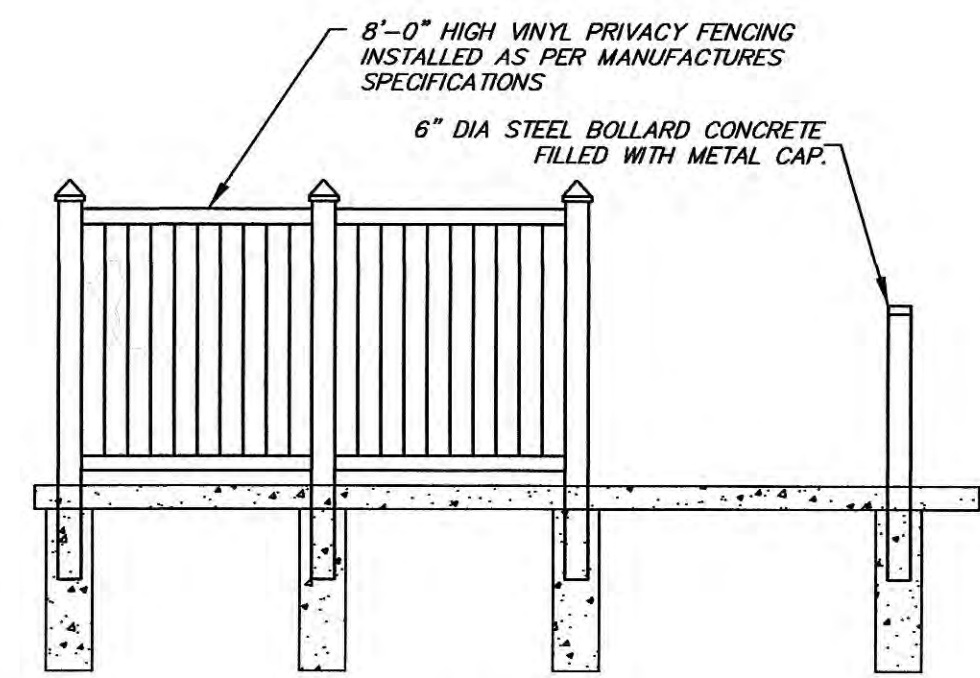
(D) ALL PLASTIC SEWER PIPE SHALL BE VISUALLY INSPECTED AND DEFLECTION TESTED NOT LESS THAN 30 DAYS NOW MORE THAN 90 DAYS FOLLOWING INSTALLATION.
 (1) THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% PERCENT OF AVERAGE INSIDE DIAMETER. A PROBE END OF MANHOLE WITH A DIAMETER OF AT LEAST 55% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
 (2) PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212



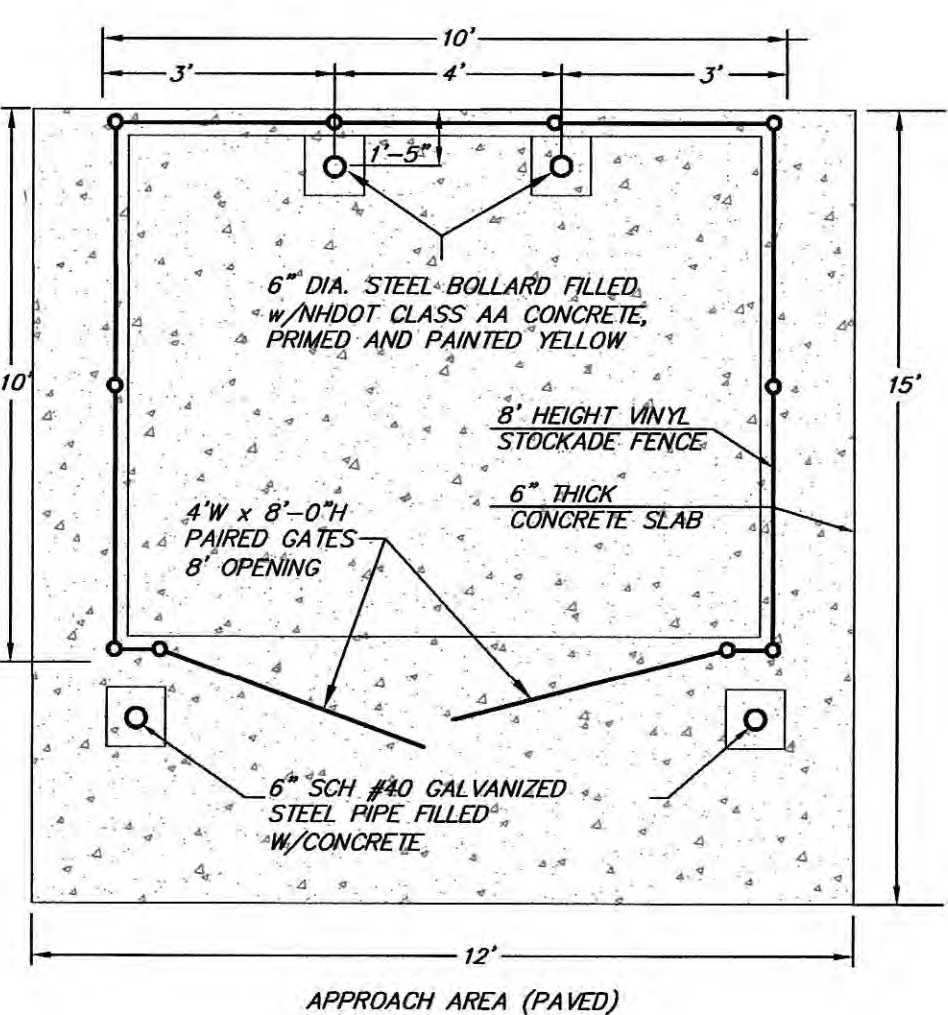
UTILITY TRENCH DETAIL
NOT TO SCALE



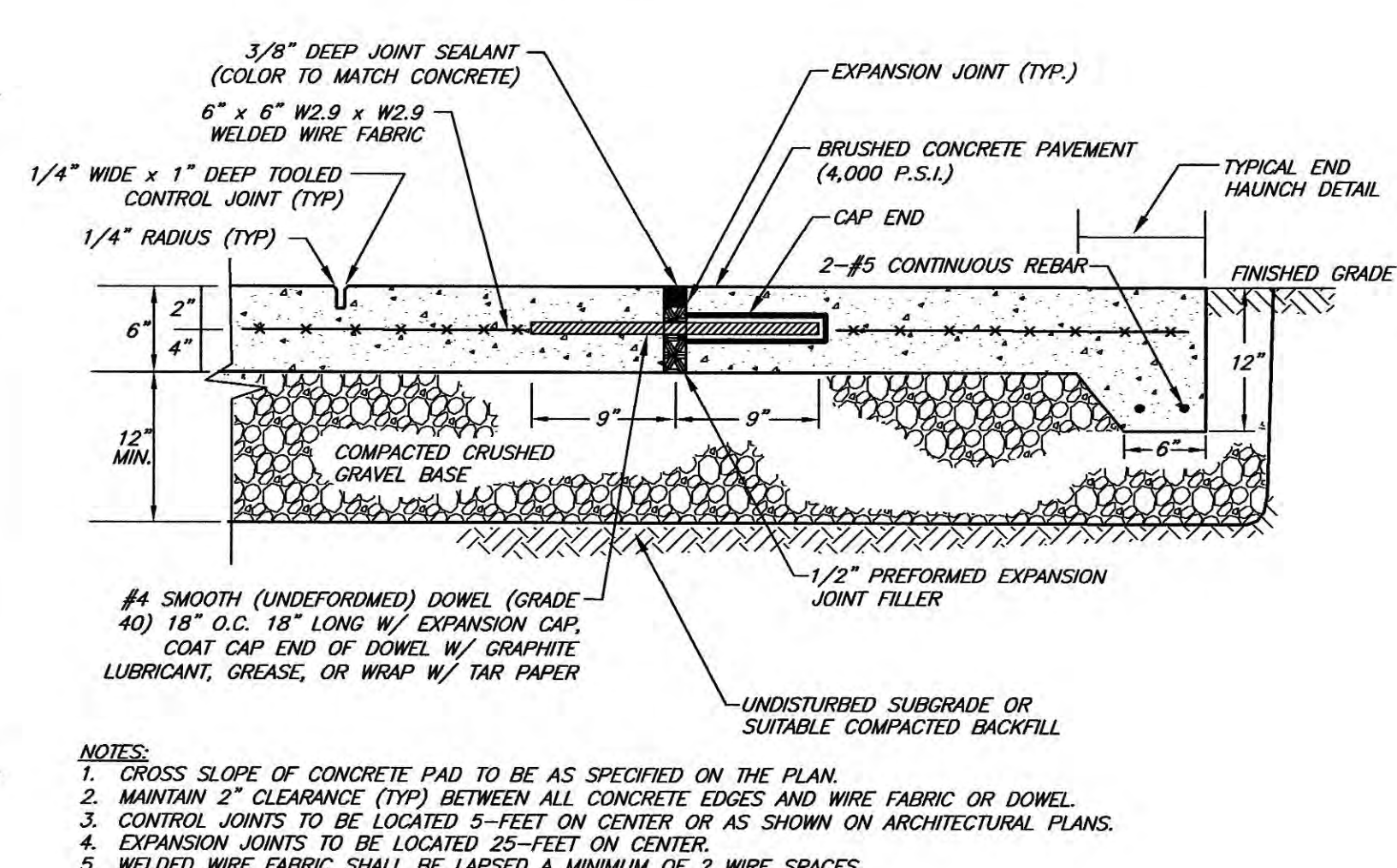
MILFORD, NH FIRE LANE SIGN DETAIL
NOT TO SCALE



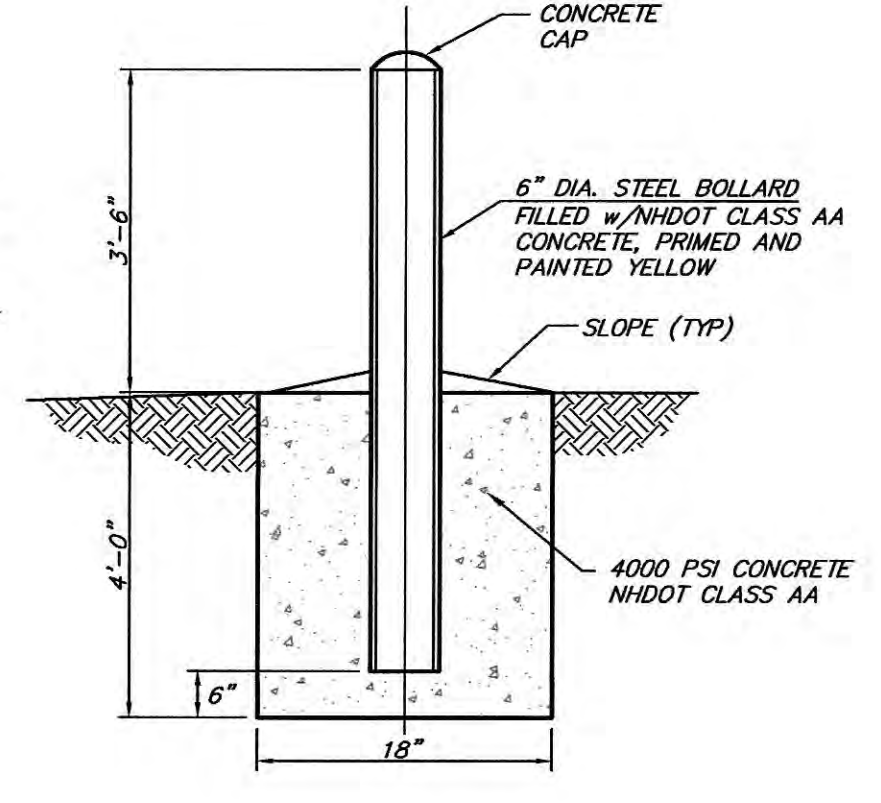
TYPICAL FENCE DETAIL FOR DUMPSTER PAD
NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



HEAVY DUTY REINFORCED CONCRETE PAD DETAIL FOR DUMPSTER
NOT TO SCALE



TYPICAL BOLLARD DETAIL
NOT TO SCALE



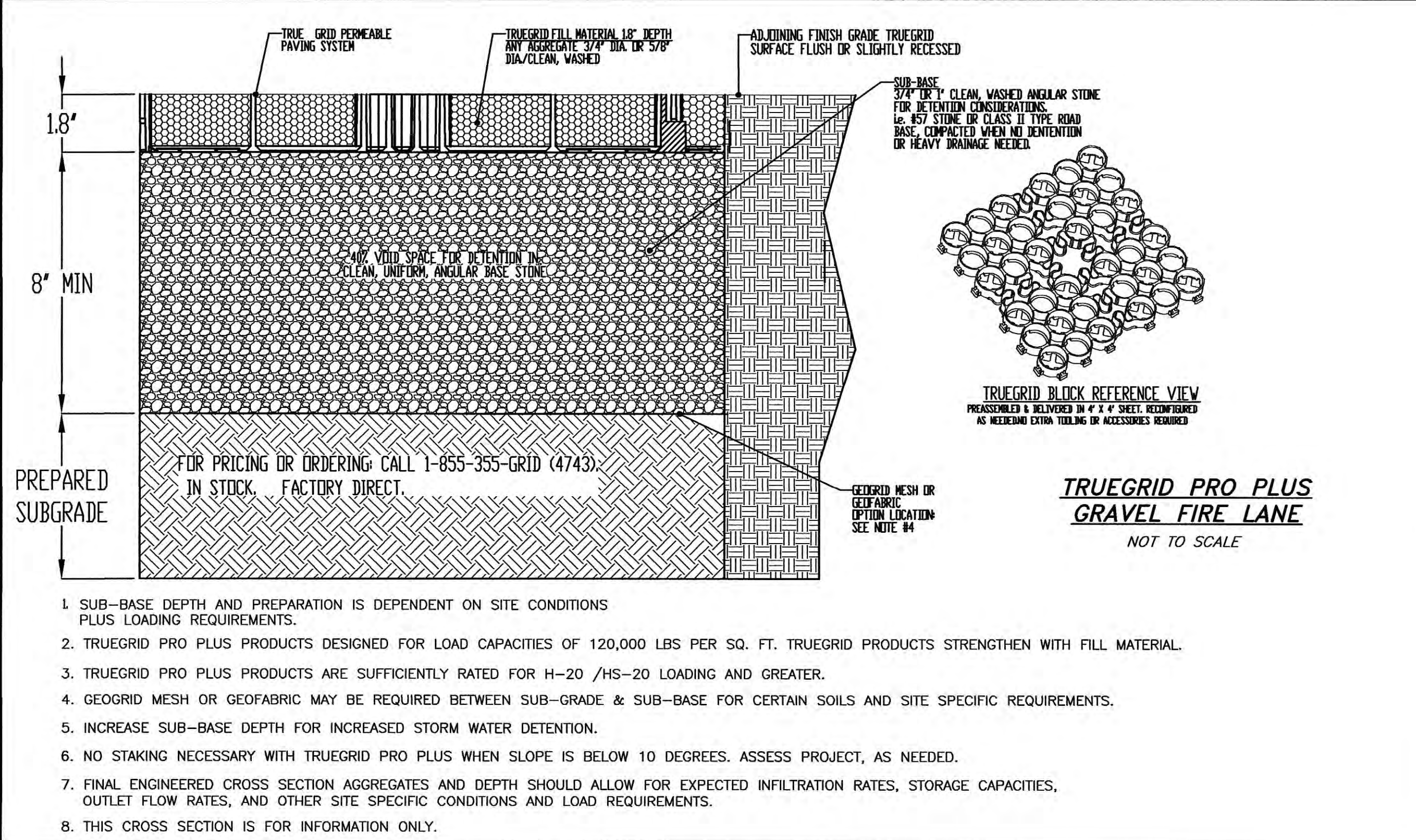
TAX MAP 12 LOT 11
DETAIL SHEET 3
SOONER-MILFORD
 LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
 OWNER: LAND BARGE, LLC
 754-756 ELM STREET
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 APPLICANT: SOONER TRANSPORTATION LLC
 3 EXECUTIVE PARK DRIVE, SUITE 201G
 BEDFORD, NH 03110

SCALE: 1" = 20'	APRIL 25, 2022	SHEET 11 OF 12
DESIGN: KAW	DRAWN: KAW	CHECKED: RJB
FB: 580	PG: 60	1667-01

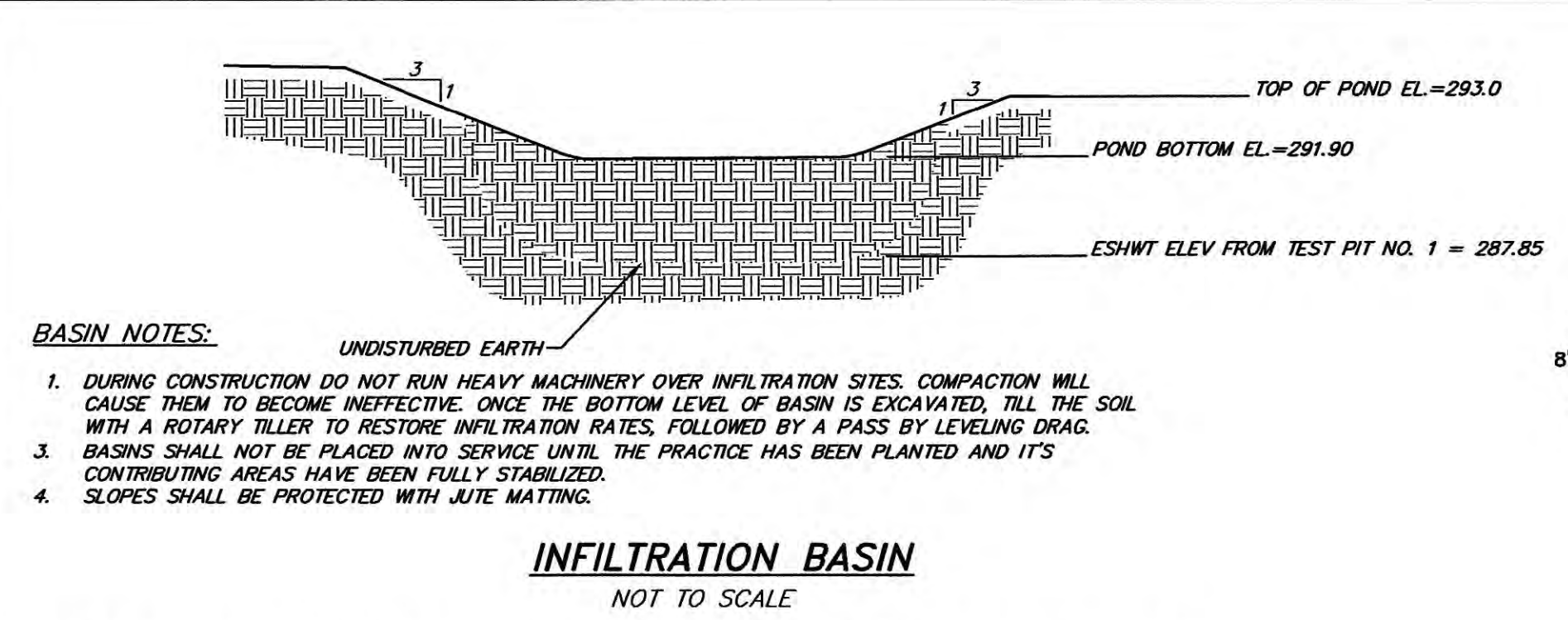
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DATE	DESCRIPTION	BY	REV.
11-2-22	REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
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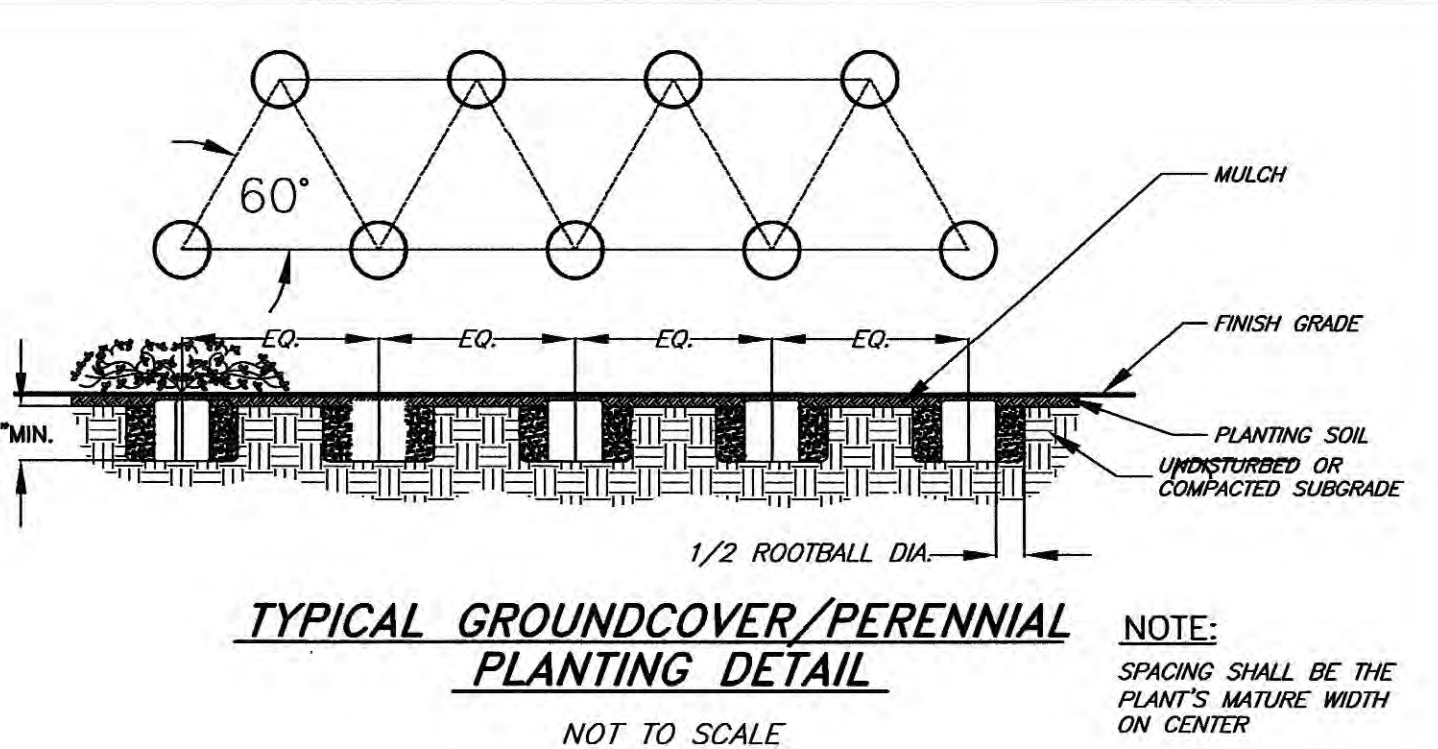




- SUB-BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
- TRUEGRID PRO PLUS PRODUCTS DESIGNED FOR LOAD CAPACITIES OF 120,000 LBS PER SQ. FT. TRUEGRID PRODUCTS STRENGTHEN WITH FILL MATERIAL.
- TRUEGRID PRO PLUS PRODUCTS ARE SUFFICIENTLY RATED FOR H-20 /HS-20 LOADING AND GREATER.
- GEOGRID MESH OR GEOFABRIC MAY BE REQUIRED BETWEEN SUB-GRADE & SUB-BASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.
- INCREASE SUB-BASE DEPTH FOR INCREASED STORM WATER DETENTION.
- NO STAKING NECESSARY WITH TRUEGRID PRO PLUS WHEN SLOPE IS BELOW 10 DEGREES. ASSESS PROJECT, AS NEEDED.
- FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS AND LOAD REQUIREMENTS.
- THIS CROSS SECTION IS FOR INFORMATION ONLY.



- BASIN NOTES:**
- DURING CONSTRUCTION DO NOT RUN HEAVY MACHINERY OVER INFILTRATION SITES. COMPACTION WILL CAUSE THEM TO BECOME INEFFECTIVE. ONCE THE BOTTOM LEVEL OF BASIN IS EXCAVATED, TILL THE SOIL WITH A ROTARY TILLER TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS BY LEVELING DRAG.
 - BASINS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - SLOPES SHALL BE PROTECTED WITH JUTE MATTING.
- INFILTRATION BASIN**
NOT TO SCALE

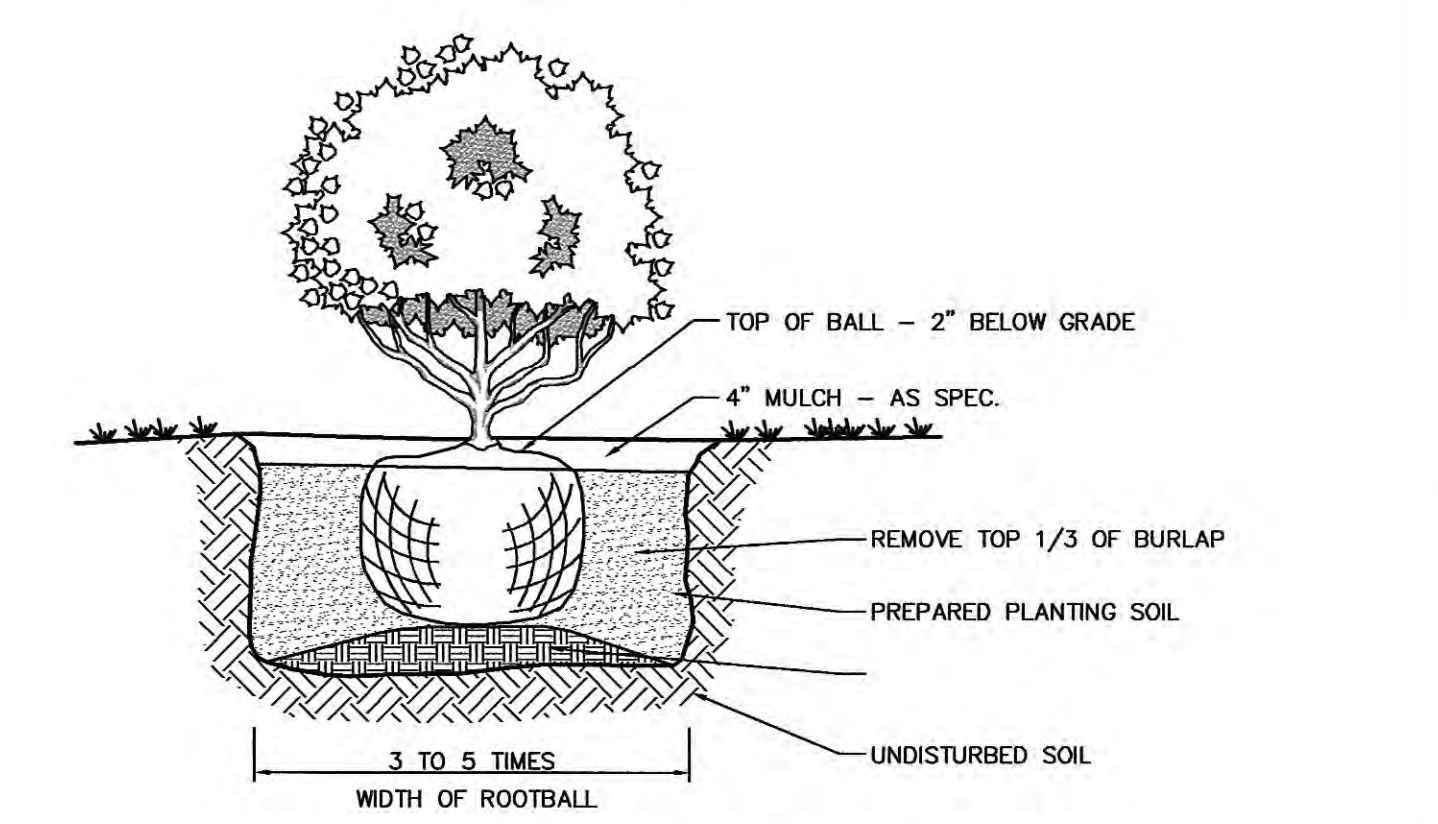


TYPICAL GROUNDCOVER/PERENNIAL PLANTING DETAIL
NOT TO SCALE

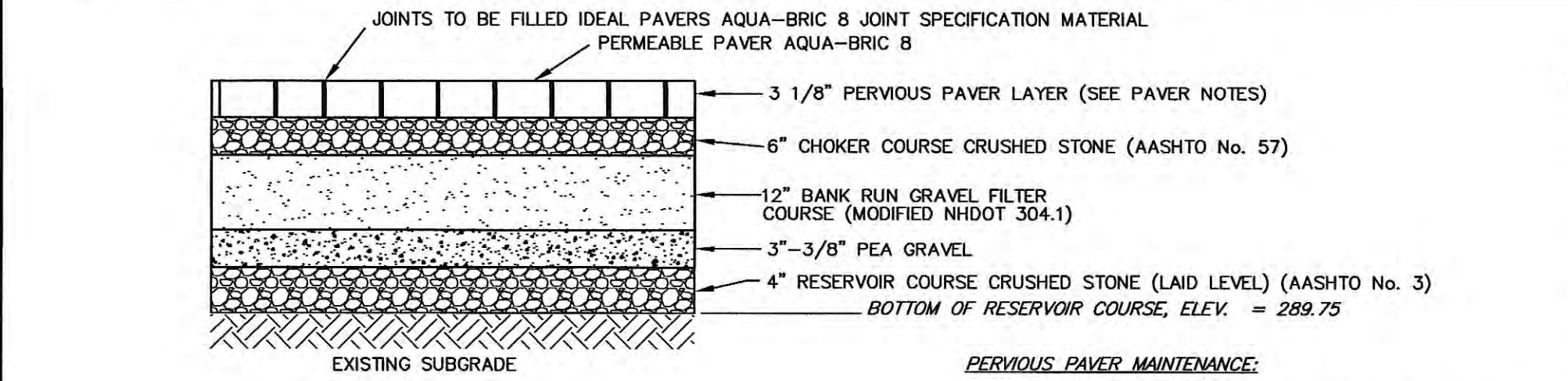
NOTE: SPACING SHALL BE THE PLANT'S MATURE WIDTH ON CENTER

BEST MANAGEMENT PRACTICES FOR INFILTRATION BASINS

- REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
- REMOVAL OF ACCUMULATED SEDIMENT.
- INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
- INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN TWICE ANNUALLY.
- PERIODIC MOWING OF EMBANKMENTS.
- REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS.
- INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS.
- IF INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.



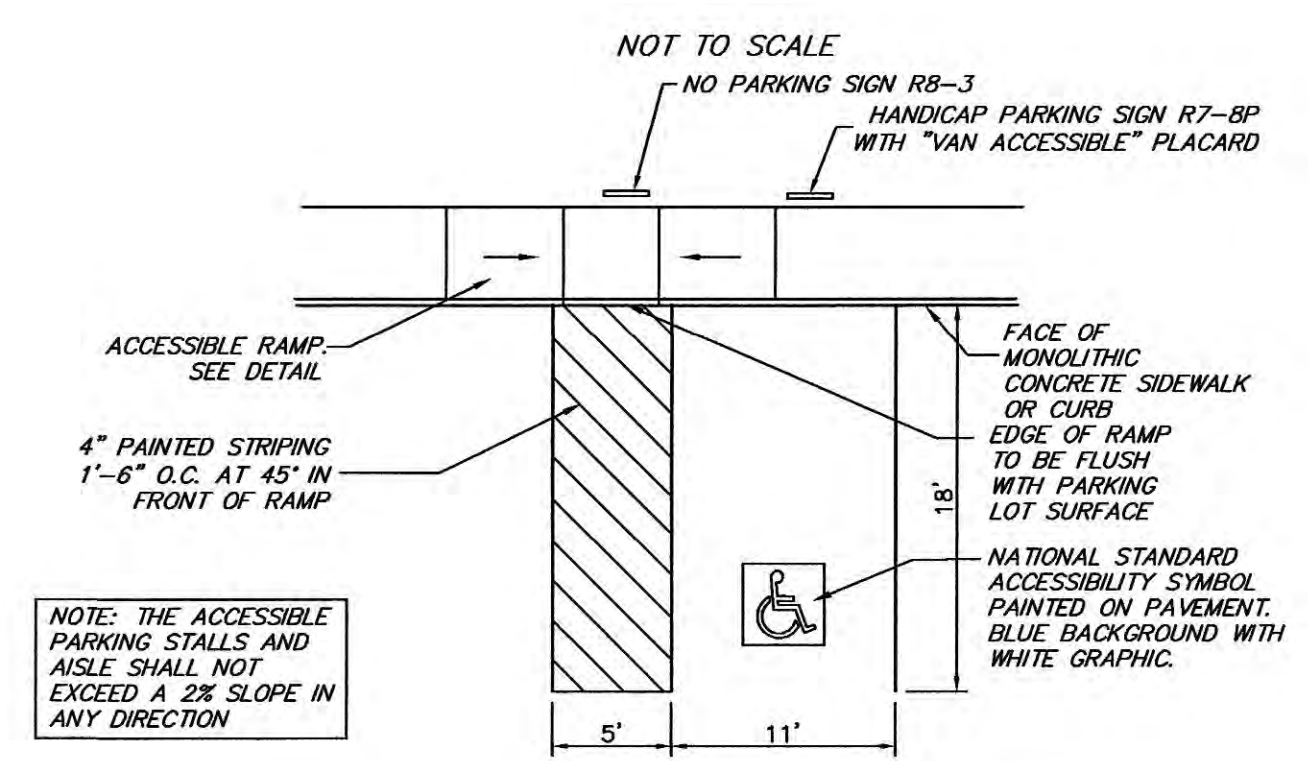
SHRUB PLANTING DETAIL
NOT TO SCALE



- PAVER NOTES:**
- PAVERS SHALL BE PAVERS BY IDEAL AQUA-BRIC 8 FOR HEAVY LOADS IN 'QUARRY BLEND'. THE PATTERN MAY BE HERRINGBONE OR RUNNING BOND AT THE DISCRETION OF THE OWNER. PAVERS ARE TO BE INSTALLED PER MANUFACTURER'S INSTALLATION GUIDE.
- TYPICAL CROSS SECTION FOR PERVIOUS PAVERS FOR HIGH PERMEABILITY SUB SOILS**
NOT TO SCALE
- PERVIOUS PAVEMENT MAINTENANCE:**
- INSPECT ANNUALLY FOR DETERIORATION OR BREAKAGE
 - MONITOR PERIODICALLY TO ENSURE THAT THE SURFACE DRAINS EFFECTIVELY AFTER STORMS
 - CLEAN PERIODICALLY (2-4 TIMES PER YEAR) TO REMOVE SEDIMENT AND ORGANIC DEBRIS ON THE SURFACE.
 - INSPECT ADJACENT VEGETATED AREAS (2-4 TIMES PER YEAR) FOR SIGNS OF EROSION AND RUN-ION TO THE POROUS PAVERS
 - MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF THE SURFACE AND POSSIBLY FILTER COURSE AND SUB-BASE COURSE

BEST MANAGEMENT PRACTICES FOR PERMEABLE PAVERS

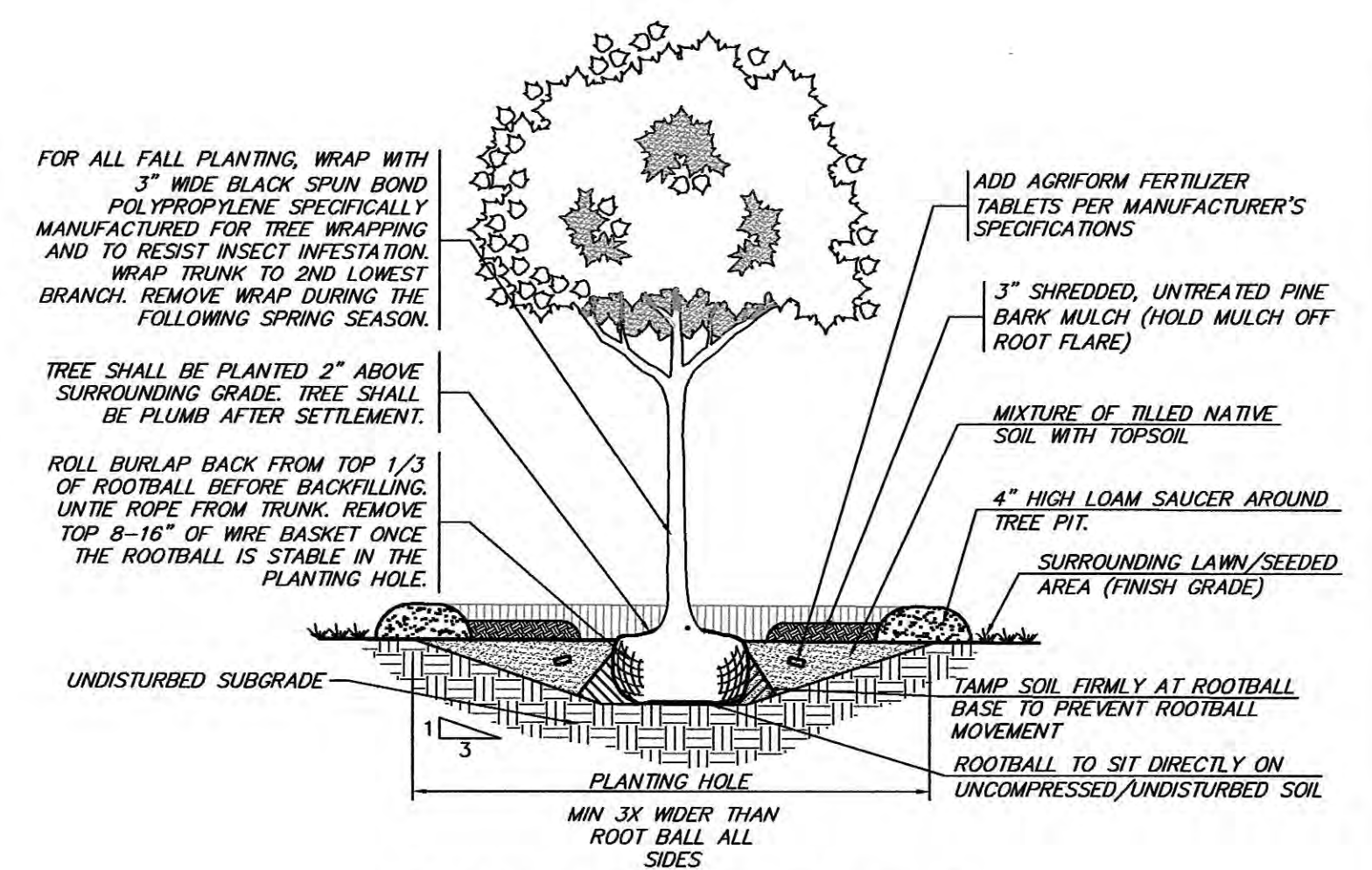
- NO WINTER SANDING OF PERMEABLE PAVEMENT IS PERMITTED.
- MINIMIZE APPLICATIONS OF SALT FOR ICE CONTROL.
- NEVER SEAL OR REPAVE PERMEABLE PAVERS.
- IF A PAVER BECOMES DAMAGED IT CAN BE REPLACED AND THE NEW PAVER RESET.
- INSPECT ANNUALLY FOR DETERIORATION OR SPALLING.
- MONITOR PERIODICALLY TO ENSURE THAT PAVER SURFACE DRAINS EFFECTIVELY AFTER STORMS.
- FOR INTERLOCKING PAVERS, PERIODICALLY ADD JOINT MATERIAL TO REPLACE LOST MATERIAL.
- MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF PAVER SURFACE, AND POSSIBLY FILTER COURSE AND SUB-BASE MATERIAL.



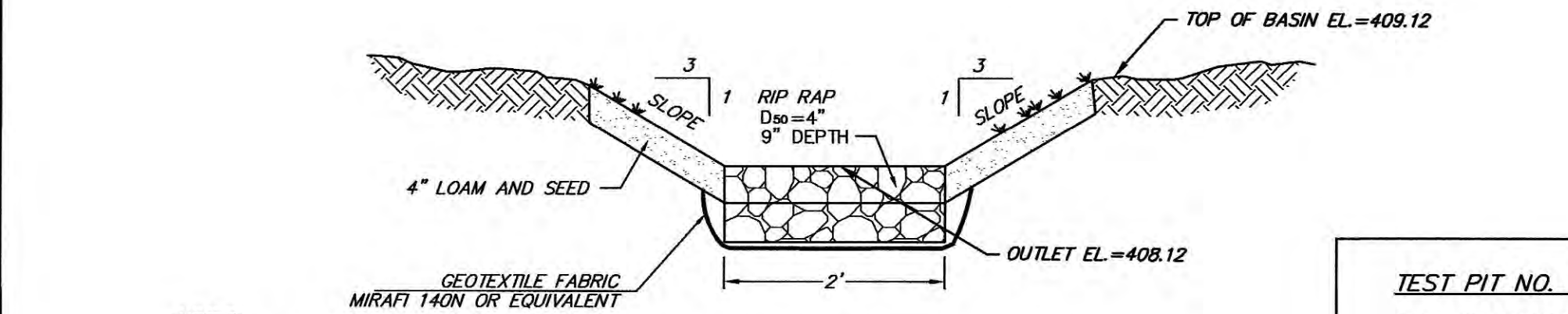
ACCESSIBLE PARKING SPACES
NOT TO SCALE

NOTE: THE ACCESSIBLE PARKING SPACES AND AISLE SHALL NOT EXCEED A 2% SLOPE IN ANY DIRECTION

STRIPED PARKING AREAS AND DRIVES AS SHOWN INCLUDE PARKING SPACES, HANDICAP SYMBOLS AND PAINTED ISLES. ALL MARKINGS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF ASSHTO M248 TYPE F.



DECIDUOUS TREE PLANTING



- NOTES:**
- WIDTH OF SPILLWAY AND/OR WIDTH OF RIPRAP AS SPECIFIED ON THE PLANS.
 - REFER TO THE MAINTENANCE AND CONSTRUCTION NOTES FOR ROCK RIP-RAP FOR ADDITIONAL DETAILS.
- MAINTENANCE**
- ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLODGE THE ROCK RIPRAP. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIPRAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.
- CONSTRUCTION SPECIFICATIONS**
- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC OR RIPRAP SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, VEGETATION, AND DEBRIS AND PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE ROCK AND/OR GRAVEL USED FOR FILTER AND RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP BY PLACING A CUSHION OF SAND AND GRAVEL OVER THE FABRIC. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT PREVENT DISPLACEMENT OF THE UNDERLYING MATERIALS. HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE TO ANY PERMANENT STRUCTURES.
 - STONES FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIPRAP.
 - VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.
- OUTLET SPILLWAY DETAIL**
NOT TO SCALE

TEST PIT NO. 1
TEST PIT ELEVATION = 280.60

0"-10" FILL 10 YR 5/1, FINE LOAMY SAND, GRANULAR, FRIABLE
10"-33" 10 YR 6/6, FINE LOAMY SAND, FINE GRANULAR, FRIABLE
33"-38" SOLID MOTTLING 5 YR 4/4, FINE LOAMY SAND, FINE GRANULAR, FRIABLE SLIGHTLY FIRM @ BOTTOM
38"-60" 10 YR 6/6, LOAMY SAND, GRAVELLY, GRANULAR, FRIABLE

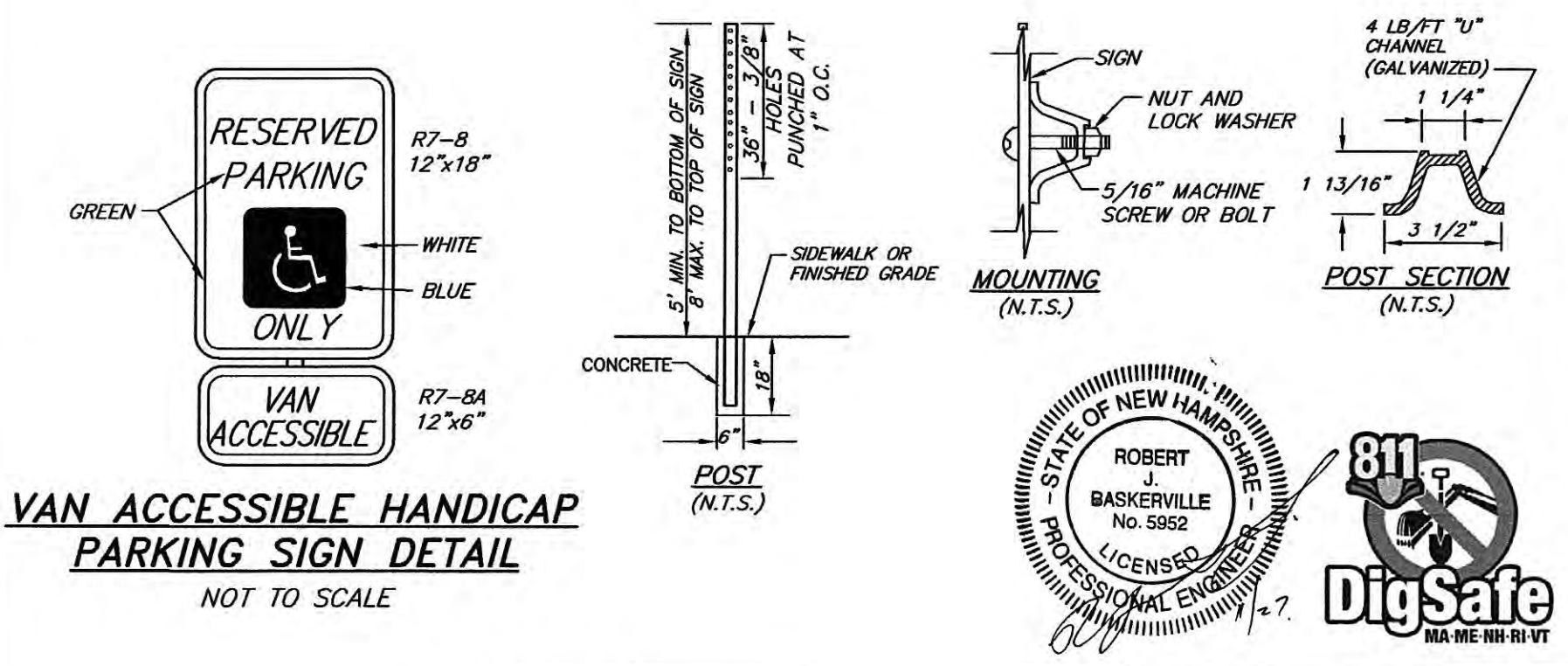
WATER @ 72"
ESHWT @ 33" (ELEV 287.85)
RESTRICTIVE LAYER @ 38"

TEST PIT NO. 2
TEST PIT ELEVATION = 283.00

0"-14" A HORIZON 10 YR 4/3 FINE SANDY LOAM, MASSIVE, FRIABLE
14"-24" B HORIZON 10 YR 6/6 FINE LOAMY SAND, WEAK FINE GRANULAR, FRIABLE
24"-28" BURIED A HORIZON 10 YR 5/4 LOAMY SAND, GRANULAR, FRIABLE
28"-76" 10 YR 6/6 FINE LOAMY SAND, WEAK FINE GRANULAR, FRIABLE

WATER NONE OBSERVED @ 60"
ESHWT NONE OBSERVED @ 60" (ELEV 288.00)

TEST PIT INFORMATION
TEST PITS WERE PERFORMED ON 8-1-22 BY RAY CRITCH



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

TAX MAP 12 LOT 11

DETAIL SHEET 4 SOONER-MILFORD

LOCATED AT:
754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC
754-756 ELM STREET
MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC
3 EXECUTIVE PARK DRIVE, SUITE 2106
BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 12 OF 12

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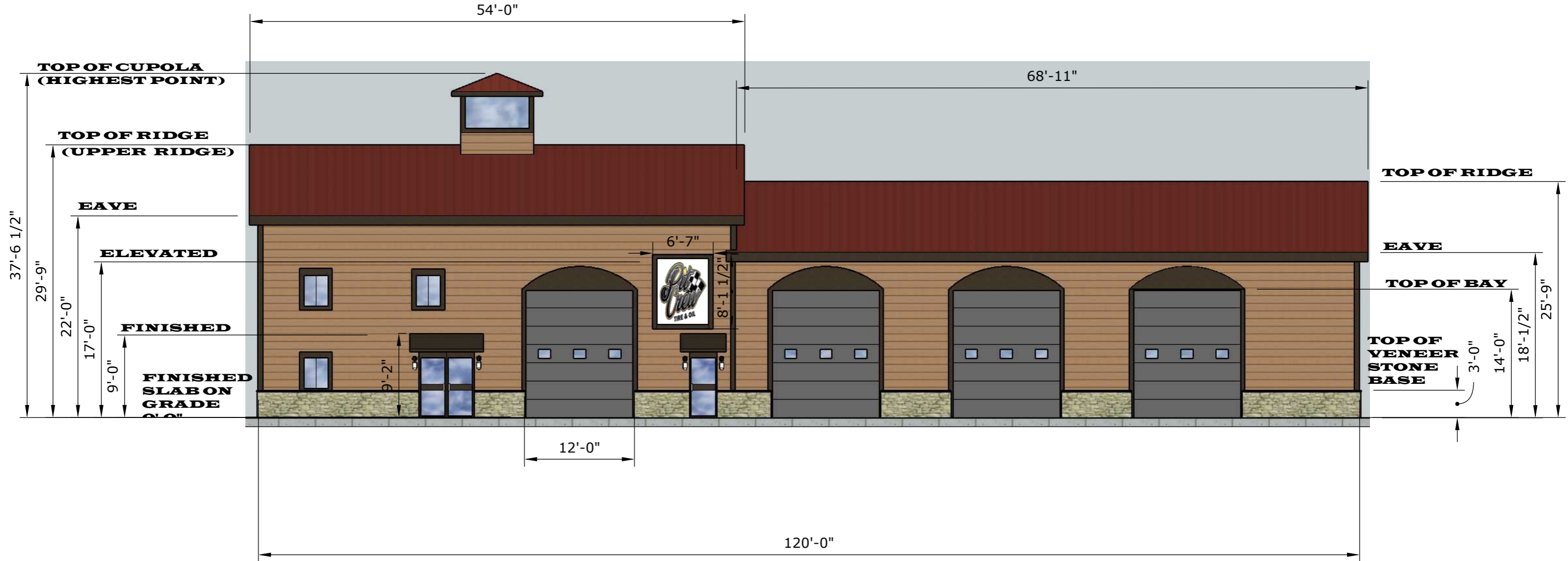
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Telephone: (603) 622-5533
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NO.	DATE	DESCRIPTION	BY	REV.
11-2-22		REVISED PER PLANNING BOARD COMMENTS	KAW	C
10-7-22		REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	B
8-9-22		ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	A
		DATE		
		DESCRIPTION		



INFINITY CONSTRUCTION SERVICES INC.
 603-670-6964
 dan.infinitypro@gmail.com
 PROPOSED LOCATION: 754 ELM ST.
 MILFORD, NH 03055

FRONT ELEVATION / PIT CREW T&O :: **A**
 scale: 3/32"=1'
 3
 REVISED



GENERAL NOTES:
 BUILT UPON ENGINEERED SLAB ON GRADE
 BUILDING TO BE A PREFABRICATED ENGINEERED STEEL STRUCTURE WITH I-BEAM FRAMING.
 BUILDING KIT TO INCLUDE INSULATION SYSTEM.
 INTERIOR PARTITION WALLS TO BE OF STEEL STUD AND FIRE CODE FINISHED DRYWALL.
 OFFICE CEILING AND FLOOR FINISHES TO BE DETERMINED.
 STONE VENEER BASE DETAIL
 WINDOWS AND DOORS TO BE ORDERED SEPERATE FROM BUILDING KIT.

Bedford Design Consultants Inc.
ENGINEERS AND SURVEYORS

592 Harvey Road Manchester, NH 03103
Telephone: (603) 622-5533 • www.bedforddesign.com

November 10, 2022

Mr. Douglas Knot, Chairman
Milford Planning Board
1 Union Square
Milford, NH

RE: REVISED Waiver Request Parking Calculation
Section 6.05.4 Table of Off-Street Parking
Sooner Milford Site Plan
754-756 Elm St
Map 12 Lot 11

Mr. Chairman,

Bedford Design is pleased to submit a waiver for the Table of Off-Street Parking. We have worked with the client to locate their new building and parking on the property in a way that facilitates their plans for the future. Only a few parking spaces can fit along the front of the building due to the number of overhead doors on the site. The display parking spaces for the auto sales portion of the lot, may include spaces for vehicles that are in the process of repair or employees. While these spaces are not striped, there is still adequate area for cars to park. The addition of the fire truck turnaround has removed an additional 2 spaces. The required number of parking spaces is 21. We show 18 spaces on the property. We believe that there is adequate parking on the site for the uses proposed. The employees will have full control over where each vehicle on site is parked and can move cars as needed.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,
Bedford Design Consultants, Inc.



Katherine A. Weiss, PLA, ASLA
Project Manager

November 2, 2022

Mr. Douglas Knot, Chairman
Milford Planning Board
Milford Town Hall
1 Union Square
Milford, NH

RE: West Elm Street Gateway District Documentation
Sooner Milford Site Plan
754-756 Elm St
Map 12 Lot 11

Members of the Board,

This document is to explain our rationale for placing this new building where it is shown on our site plan. I explained this at your recent planning board meeting.

Para. 6.07.6 D. provides the performance standards for commercial development in the West Elm Street Gateway District. Para 1. States that the buildings shall be “close to the street when practical”. Our analysis has proven to us that it is not practical in this specific instance due to many reasons.

1. There is a Severe Financial Penalty. This is not a new use on a lot, nor a modification to a new use. It is an existing business that wishes to modernize its building and lot and stay on this lot. Its current location is near the street line. To build the new building at that location would require the demolition of the existing business, which would have to cease operation until the new structure is complete. That loss of revenue for an extended period for this small business would be extremely severe.
2. There is an Insurance Penalty. The developer maintains a fleet of delivery vehicles at an off-site location. Those vehicles are maintained by mobile maintenance vehicles operated by his company. Current Vendor and Insurance requirements are for him to have a fixed shop to obtain insurance. Closing this location to rebuild causes insurance problems for his existing fleet of vehicles.
3. Employees. Demolishing his current building would cause him to terminate his current staff of mechanics. That causes a severe hardship for his employees. In the current environment, it is extremely difficult to find and hire new mechanics. Firing and replacing his employees is a severe hardship.

4. The Intent of the zoning district. Putting a building at the street line does not meet the intent of the zoning ordinance. Being a vehicle repair facility, it has to have drive in doors. That access would have to face the back of the lot. This building would need to have all access from the rear. The back of the building is used for storage of tools and replacement parts. No access from the back is desirable. The back of a building with no access would face the highway. That would not improve the beauty of the area nor improve pedestrian access. All business to this facility would be from vehicle access. The windows would need to be protected by inside damage screens (tools and boxes could break glass windows), meaning the windows would probably have to be fake windows.
5. Neighboring uses. The abutting uses are also vehicle drive in establishments and are near the rear or sides of their lots. The strip of highway itself has future building limitations. The other side of the highway is the river. No building across the street is possible. The lots on our side of the highway are restricted by a railroad line behind the lots. There are no sidewalks. Which severely restricts a conversion to pedestrian friendly uses for this strip of highway.

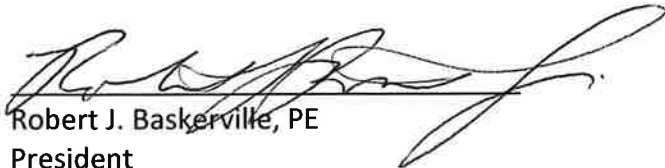
We did perform many concepts of possible configurations of this lot, and they all proved to be not workable for our client. We were faced with trying to modernize the existing structure. The town tax cards list the building age as built in 1800. That does not sound right, but it is an extremely old building. Renovating a building that is that old does not provide any financial or other benefit to the Town, its residents, or the developer.

This site has many unique circumstances that make placing this building near the front lot line impractical.

We do look forward to completing a facility that will benefit everyone.

Sincerely,

Bedford Design Consultants, Inc.



Robert J. Baskerville, PE
President

Bedford Design Consultants Inc.
ENGINEERS AND SURVEYORS

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November 2, 2022

Mr. Douglas Knot, Chairman
Milford Planning Board
Milford Town Hall
1 Union Square
Milford, NH

RE: REVISED Waiver Request Parking Calculation
Section 6.05.4 Table of Off-Street Parking
Sooner Milford Site Plan
754-756 Elm St
Map 12 Lot 11

Mr. Chairman,

Bedford Design is pleased to submit a waiver for the Table of Off-Street Parking. We have worked with the client to locate their new building and parking on the property in a way that facilitates their plans for the future. Only a few parking spaces can fit along the front of the building due to the number of overhead doors on the site. The display parking spaces for the auto sales portion of the lot, may include spaces for vehicles that are in the process of repair or employees. While these spaces are not striped, there is still adequate area for cars to park. The addition of the fire truck turnaround has removed an additional 2 spaces. The required number of parking spaces is 21. We show 18 spaces on the property. The owner will sign a lease with the adjacent property owner and this will allow for any overflow parking area.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,
Bedford Design Consultants, Inc.


Katherine A. Weiss, PLA, ASLA
Project Manager

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November 2, 2022

Mr. Douglas Knot, Chairman
Milford Planning Board
Milford Town Hall
1 Union Square
Milford, NH

RE: REVISED Waiver Request Periphery Buffer & Plantings
Section 6.08.5(B)1 & 6.08.7(A)1
Sooner Milford Site Plan
754-756 Elm St
Map 12 Lot 11

Mr. Chairman,

Bedford Design is submitting a waiver for the periphery buffer and tree plantings. We have included a buffer along the majority of the west side of the site, and one naturally occurs along the south side due to the wetland setback. The addition of a fire truck turnaround on the west side of the site encroaches into the periphery buffer and, the north and east sides of the site will be used for the display of cars for sale and to unload carriers out of the main roadway. The site is currently paved here, and we are asking to keep the existing condition to facilitate the ease of movement on the adjacent site which will be used in tandem. The owner/applicant would like to keep circulation open as much as possible between the two site to facilitate traffic movement.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,
Bedford Design Consultants, Inc.


Katherine A. Weiss, PLA, ASLA
Project Manager

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September 22, 2022

Mr. Douglas Knot, Chairman
Milford Planning Board
Milford Town Hall
1 Union Square
Milford, NH

**RE: Waiver Request for Parking within 10' of the Right of Way
Section 6.05.6.E**
Sooner Milford Site Plan
754-756 Elm St
Map 12 Lot 11

Mr. Chairman,

Bedford Design is submitting a waiver from the requirement that parking is not permitted within 10' of the Right of Way and must be separated by a curb. We have an existing curb cut from the NHDOT which we do not wish to eliminate and would like to remain accessible. A curb located here would make the area inaccessible. Moving the spaces 10' from the Right of Way would also mean removing an entire row of display spaces or the maneuvering aisle. Due to the extra-large width of the Right of Way along this area of Route 101, the display spaces are already located 22' back from the curb line of the travelled way. We

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,
Bedford Design Consultants, Inc.



Katherine A. Weiss, PLA, ASLA
Project Manager

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September 22, 2022

Mr. Douglas Knot, Chairman
Milford Planning Board
Milford Town Hall
1 Union Square
Milford, NH

**RE: Waiver Request for Accessible Parking Space Dimensions
Section 6.05.5.E & Section 6.05.3.A.4**
Sooner Milford Site Plan
754-756 Elm St
Map 12 Lot 11

Mr. Chairman,

Bedford Design is submitting a waiver for the accessible parking space dimensions. The town requirement is 20' in length. We are proposing 18'. We used the additional 2' to create a 14' access aisle between the display spaces. This was added after our initial planning board meeting and the feedback we received from the Board members. The additional 2' helps facilitate safe movement of the display vehicles.

The 2010 ADA section 4.6.3 does not specify the length of the space, only the width requirements. The NH Architectural Barrier Free Design Code also does not specify the length of the accessible space. These two codes are specified in your regulations as the basis for your parking requirements.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,
Bedford Design Consultants, Inc.



Katherine A. Weiss, PLA, ASLA
Project Manager

Bedford Design Consultants Inc.

ENGINEERS AND SURVEYORS

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September 22, 2022

Mr. Douglas Knot, Chairman
Milford Planning Board
Milford Town Hall
1 Union Square
Milford, NH

RE: Waiver Request West Elm Street Gateway District
Section 6.07.6.E.5.a – Parking Lots Should be Located on Side or Rear of Buildings
Section 6.07.6.E.1.a – Proposed Buildings Shall Maintain an Appropriate Street Edge to Adjacent Structures
Sooner Milford Site Plan
754-756 Elm St
Map 12 Lot 11

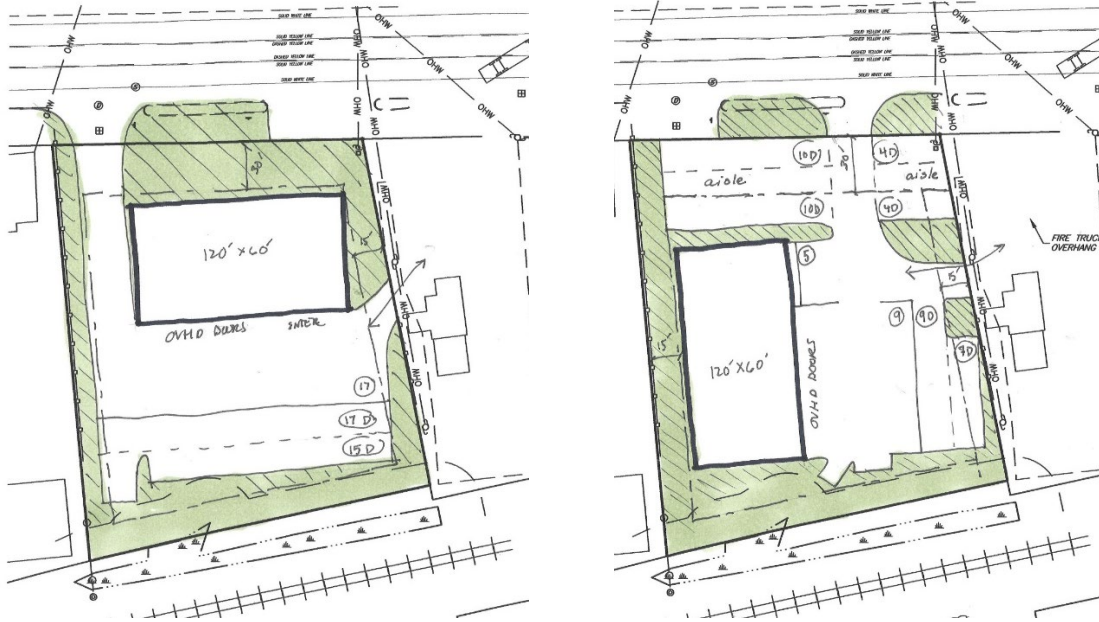
Mr. Chairman,

Bedford Design is submitting a waiver request to the West Elm Street Gateway District for the location of the proposed building and the proposed parking on the lot. The location of the building dictates where the parking can go, so we are requesting a waiver from both requirements.

As we have discussed, during the previous Planning Board Meetings and site walk, the owner needs to keep the business running during construction. To do this, we are proposing constructing the new building out back while the existing building remains open. This way, business will only have to shut down for the paving, permeable paver, and landscape island installations.

At the last Planning Board meeting we also showed two example configurations of the building. Those examples are on the next page. The left image shows the building at the front lot line and does not allow for display spaces out front which is essential to a used car business. The proposed building location would also cause the business to close for an extended period and employees would be laid off. The parking and display space configuration requires customer vehicles be moved to access the display vehicles.

The picture on the right shows the building located along the west property line with room for some display spaces out but an awkward area for customer parking and additional spaces.



We have also included a Building Dimension Exhibit showing the distance from the street curb to all the buildings on this section of Route 101. The average distance from curb to building (see calculations on the attached plan) is 82' for the 13 buildings. Our proposed building is 145' from the curb line. There are two buildings which are further away from Route 101 than ours. Due to the location of the rail line, the properties get smaller as you head east. Several of the properties are too small to allow for the building to be located anywhere but near the front of the lot line or within the building setback. Reviewing the aerial, the new location of the building does not appear out of line with the others. As the regulation states we must “maintain appropriate street edge to adjacent structures”. This does not mean future structures, but structures which are currently existing.



In conclusion, this existing business would like to remain on site, and to do so, they must make appropriate financial and ethical decisions involving the proposed development and employees. This requires that the building be situated towards the back of the lot.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,

Bedford Design Consultants, Inc.

A handwritten signature in black ink, appearing to read "Katherine A. Weiss". The signature is written in a cursive, flowing style.

Katherine A. Weiss, PLA, ASLA
Project Manager