

TOWN OF MILFORD, NH OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055 TEL: (603)249-0620 WEB: WWW.MILFORD.NH.GOV

Date: November 10, 2022

To: Planning Board

From: Camille Pattison, NRPC Assistant Director

Subject: SP2022-08 Sooner Transportation LLC, for the property located at Tax Map 12, Lot 11, 754-

756 Elm Street (Horseless Carriage Site). Public Hearing for a Major Site Plan Application to construct a two-story, 10,320 sf. auto sales and repair facility with associated parking, stormwater management/drainage, landscaping, and lighting improvements on the subject property located in

the Commercial 'C' Zoning District and West Elm Overlay District.

BACKGROUND/PROPOSAL:

The applicant is before the Planning Board for a major site plan application to raze the existing Horseless Carriage building and construct a new 10,320 sf building with associated, parking, site and drainage improvements in the Commercial Zoning District. The property is also subject to the West Elm Overlay District, Groundwater Protection District and the Shoreland Protection Zone. Attached please find the site plan submittal.

This will be the second meeting for the application. The anticipated focus of this meeting will be for the applicant to provide a summary update on the recent discussions with NHDOT, revised site layout/design, location of the proposed building, internal circulation, and compliance with the West Elm Overlay District.

Attached, please find a revised submittal package, including the Elm Street Gateway District justification, revised waiver requests, revised site plan (revision date 11/2/22) and updated building concept, from the applicant's engineer, Bedford Design Consultants.

EXISTING USE/CONDITIONS:

The proposed parcel, Tax Map 12, Lot 11 consists of approximately .889 acres (38,615 sq.ft.) with 171.77 linear feet of frontage on Elm Street. The property is located adjacent to two other car dealership/repair facilities, just north of the Pan Am Railway and south of the Souhegan River. The property is currently home to an existing car dealership and repair facility, with wetlands to the south and some limited tree coverage primarily at the rear of the lot. The existing facility has 3 garage doors with 8 bays inside, and the proposed facility will have 4 garage doors with 7 bays inside, including a paint booth.

A small wetland resource area has been delineated along the southern property line, but will not be impacted by the project. A proposed pond for roof water will be located in the southeastern corner of the lot.

LOT AREA:

Proposed Tax Map 12, Lot $11 = \pm .889$ acres (38,615 sq.ft.)

APPLICATION STATUS:

The application was accepted on August 16, 2022, and the applicant presented updated information at the September 20, 2022, and October 18th board meeting. The Board voted that the project posed no regional impact.

NOTICES:

Notices were sent to all property abutters.

WAIVERS:

1) Request for waivers from the Development Regulations, Section 6.05.4 to allow a reduction of required off

street parking spaces from 28 or 21 (depending on the calculation of bays vs. employees) to a proposed number of 19 spaces.

2) Request for waivers from Development Regulations, Section 6.08.5(B)1 and 6.08.7(A) from the required landscaping buffer for the east and north side of the property.

Additional waivers requested:

- 3) From the Development Regulations Section 6.05.6.E for parking within 10' of the Right of Way.
- 4) From the Development Regulations Section 6.05.6.E and Section 6.05.3.A.4 from accessible Parking Space Dimensions.
- 5) From the Zoning Ordinance, Section 6.07.6.E.5.a Parking lots should be located on side or rear of buildings and Section 6.07.6.E.1.a Proposed buildings shall maintain an appropriate street edge to adjacent structures for the location of the proposed building and parking.

Revised waivers requested:

- 1) Request for waivers from the Development Regulations, Section 6.05.4 to allow a reduction of required off street parking spaces from 21 to a proposed number of 18 spaces.
- 2) Request for waivers from Development Regulations, Section 6.08.5(B)1 and 6.08.7(A) from the required landscaping buffer for the east, west and north and side of the property.

ZONING DISTRICTS:

The proposed parcel lies within the Commercial Zoning District. This District is intended to be the area in which vehicular oriented business can occur. Pursuant to Section 5.05.01 of the Zoning Ordinance, motor vehicle sales and motor vehicles repairs are allowed.

The property also falls within the West Elm Street Gateway Overlay District. The intent of this District is to encourage economic development in the West Elm Street Gateway District by enhancing, preserving and protecting the natural, historic and cultural resources of the Town. The purpose of this Ordinance is to implement the Town of Milford's vision for the future as set forth in the Community Character Chapter of the Master Plan 2007 Update: Goal No. 2: Foster the traditional character of Milford's neighborhoods by encouraging a human scale of development that is similar in setbacks, size and height, and that is comfortable and safe for pedestrians and non-motorized vehicles while allowing for an efficient and safe roadway network.

The current configuration of the new facility will allow the property owner to maintain current operations during construction. However, upon review, the design, layout, and architecture of the building conflicts with the spirit/intent of the West Elm Street Gateway Overlay District, which aims to orient buildings with the roadway and towards the front of the lot, with parking shielded in the rear and to the side of the property in addition to appropriate building design.

The property falls within the Groundwater Protection District, with most of the lot falling within the Level 2 Area and a small portion to the northwest located within the Level 1 Area. The parcel must comply with the performance standards of Section 6.01.2 and the Shoreland Protection Zone in the Zoning Ordinance.

TRAFFIC AND ACCESS MANAGEMENT:

Access and egress from the retail facility will be from a 24' wide driveway curb cut on Elm Street, in the same location as the current entrance. This will be a consolidation of the existing 2 curb cuts. The driveway egress design allows for both east and west movement and a single lane access into the property. The project did not receive approval from NH DOT for drop off in the ROW and therefore will now unload in front of the building.

Anticipated versus existing peak traffic volume data is provided in a letter dated August 9, 2022 and provided to NH DOT.

PARKING:

The project proposes to provide 18 parking spaces for staff and customers with 40 spaces for display cars. The requirement is for a minimum of 28 or 21 spaces depending on the calculation of bays versus employees.

DRAINAGE/STORMWATER MANAGEMENT:

The stormwater and drainage design has been reviewed by the Town's engineering consultant. KV Partners has issued a letter dated October 13, 2022 stating that all previous comments were addressed and the project is now acceptable from an engineering perspective.

The November 2, 2022 revised plan set and submittal package has been provided to the Town's engineering consultant and is waiting feedback.

Of note, is the proposed installation of pervious paver infiltration and underground located in the middle of the display parking spaces.

UTILITES:

The proposed retail establishment will access the Milford waste water system via the existing sewer line. The applicant has shown an additional water line from the street.

INTERDEPARTMENTAL REVIEWS:

Ambulance: No comments **Assessing:** No comments.

Building Department: No comments.

Code Enforcement/ Health: No comments.
Conservation Commission: No Comments.

Environmental Programs/Stormwater: See attached October 13, 2022 Site Plan Drainage review by the Town Engineering Consultant, KV Partner stating that all comments have been addressed.

Fire Department:

- 1. The total square footage of the building is actually 10,320 as proposed. Resolved
- 2. The Life Safety Code occupancy classification is a Special-Purpose Industrial Occupancy and would need to comply with Chapter 40 of the LSC. *Noted*
- 3. The Building Code occupancy classification is an S-1 storage occupancy. Noted
- 4. An automatic fire detection and notification (fire alarm) system is required. Resolved Note17 on Cover Sheet
- 5. An automatic sprinkler system is required for this building. I did note a proposed 6" fire service on the grading and utility plan, so I'm assuming that they're planning on providing one. Resolved Note17 on Cover Sheet
- 6. Milford Fire Department requires a fire hydrant within 100' of fire department connections, which will require a private hydrant to be installed as part of the project. Applicant noted on the plans, a proposed hydrant within 100' of the Fire Department connection.
- 7. The engineer must design the fire department access to accommodate our ladder truck weight, approach/departure angles, and turning radius. Specifications available from MFD upon request. The applicant has worked with the Fire Department to design an acceptable on site turn around area that will accommodate fire trucks. On November 4, 2022, the Milford Fire Department approved the plans entitled 'Sooner Milford Site Plan', with a revision date of November 2, 2022. If the design is not further modified, then these plans will be acceptable for the site portion of our building permit review, but if any changes are made Milford FD would need to review a new set of drawings as part of building permit review when that time comes.
- 8. Please note that MFD approval of site plans does not constitute issuance or approval of a building permit, nor does it address all fire and life safety code requirements for buildings constructed as part of the project.
- 9. Fire lane markings will be required on the fire department access. Resolved and *shown on sheet 11 dated November 2*, 2022.

Heritage Commission: No comments.

Police Department: No comments.

Public Works:

1. Project will require a NH DOT and Driveway Permit. – Noted on Page 1 Note 11

Water/Sewer Utilities:

- 1. The service needs to be from the main in the street, not stubbed off the fire line. The domestic should be 1 inch CTS running 18 inches from the 6-inch fire line. Please revise plan accordingly. *Resolved*
- 2. The Sewer once it reaches the Town right of way must turn from 4 inch to 6-inch SDR 35. Please revise plan accordingly. *Resolved*
- 3. The Water line out in the road is a 12 inch, not 8 inches. Please revise plan accordingly. Resolved

Community Development / Planning:

- 1. A discrepancy appears on the plan regarding the lot size. This needs to be addressed and made consistent. *Resolved*
- 2. Ensure that all plantings do not impact sight distance for access/egress along Wilton Road. Resolved
- 3. The current configuration of the new facility will allow the property owner to maintain current operations during construction, however is not meeting the spirit of the West Elm Street Gateway Overlay District, which aims to orient buildings with the roadway and towards the front of the lot, with parking shielded in the rear and to the side of the property. *Waiver has been requested*.
- 4. The property falls within the Groundwater Protection District, with most of the lot falling within the Level 2 Area and a small portion to the Northwest lies within the Level 1 Area. The parcel must comply with the performance standards of Section 6.01.2 and the Shoreland Protection Zone. The applicant will need to identify what chemicals and materials will be stored on-site. *Unresolved*
- 5. No additional traffic related information has been submitted as part of this site plan, and anticipated versus existing peak traffic volumes should be reviewed. *See letter dated August 9*, 2022.
- 6. Add a note to the plan indicating that in the event the proposed snow removal areas are not sufficient, snow will be relocated off-site. *Resolved*
- 7. Please amend the note saying demolition will be completed under the rules of the town of Manchester. *Resolved*
- 8. Sheet 1, Note 9 Please update the site plan to include the existing and resulting open space calculations in the *Dimensional Regulations: Commercial* table. *Resolved*
- 9. Please revise site plan to include all proposed signage for the project. Resolved
- 10. Sheets 1 and 10 The site plan shows the proposed location of the dumpster and pad encircled by an 8' stockade fence within the 15-foot westerly side dimensional setback. The proposed 8' stockade fence and concrete pad are defined as structures in the Town's Zoning Ordinance and such, would require a Special Exception by the Board of Adjustment for relief of this requirement. The alternative would be amending the plan and relocate the dumpster outside of the dimensional setback. *Resolved*
- 11. Sheet 1 Further as stated in Section 6.05.6.E, all off-street parking and loading or unloading spaces shall be at least ten feet (10') from any public street right-of-way and shall be separated from such right-of-way by a granite curb and landscaping as required in 6.08 LANDSCAPING STANDARDS. The proposal require a waiver of these requirements.

The loading area has been relocated in front of the building, NH DOT requested that the existing island be extended to the property line. The display area is entirely located on the lot, but within the 10' setback with no landscaping buffer. Would the NH DOT be amenable to extending the island to the east entrance in the

same shape as the west entrance. Also will NH DOT allow for some trees to be located within the ROW south of the existed paved island.

- 12. Sheet 1 The plan shows display parking space partially located off the property and within the State right-of-way. As stated in the Zoning Ordinance, Section 6.05.6.E, Parking and loading spaces shall be arranged so that cars will not back into public roads. The plan will need to amended to relocate said parking spaces within the subject property at least 10 feet from the Elm Street public right-of-way. *Now located within the site, but still requires a Waiver from Development Regulations Section 6.05.6.E for parking within 10' of the Right of Way*
- 13. Sheet 1 The applicant should explain the internal circulation, access/egress patterns for the 40 display vehicles. At a minimum, the plan should be revised to include the appropriate isle widths between the rows of display vehicle parking. One row of cars has been removed and a 14' aisle added. Applicant has provided an internal circulation pattern for trailer trucks. Resolved
- 14. Sheet 1 Staff questions if the adequate snow storage areas have been provided. A note should be added to the plan stating that snow shall be removed to an offsite location using best management practices. *Resolved see not 16 on Sheet 1*.
- 15. Sheets 1 and 6 Pursuant to the Zoning Ordinance, Section 6.07.6.E.1.a, a new structures shall maintain an appropriate street edge in relationship to adjacent structures. The location of the proposed building is set within the rear section of the property, which conflicts with buildings located to the east and west. Waiver has been requested from the Zoning Ordinance Section 6.07.6.E.1.a Proposed buildings shall maintain an appropriate street edge to adjacent structures for the location of the proposed building and parking.
- 16. Sheets 1 and 6 Pursuant to the Zoning Ordinance, Section 6.07.6.E.2.b, the proposed building should enhance the definition of each floor of the building through terracing, material changes, articulated structural elements, changes in materials and horizontal trim bands. The applicant should explain how the proposed building complies with this section. *Revised Architectural Plans Submitted on 11/3/22*.
- 17. Sheets 1 and 6 Please explain how the proposed building architectural features and materials comply with the Zoning Ordinance, Section 6.07.6.E.3. *Revised Architectural Plans Submitted on 11/3/22*.
- 18. Sheets 1 and 6 Pursuant to the Zoning Ordinance, Section 6.07.6.E.4.a, the proposed building design should avoid blank walls at ground-floor levels through the use of windows, trellises, material changes, arcades, or other features to increase visual interest. The applicant should be prepared to discuss how the proposed building complies with the section. *Revised Architectural Plans Submitted on 11/3/22*.
- 19. Sheets 1 and 6 Pursuant to the Zoning Ordinance, Section 6.07.6.E.5.a, parking lots should be located to the rear or side of a building whenever possible. The proposed parking area is located along the front the property. The applicant should be prepared to discuss the alternatives considered. Letter dated November 2, 2022 identifies hardships in achieving this. Waiver requested from the Zoning Ordinance, Section 6.07.6.E.5.a Parking lots should be located on side or rear of buildings.

Site Walk on 9/6/22

The Planning Board conducted a site walk on 9/6/22 with the applicant and their engineering team. The following issues and potential solutions were discussed:

- 1. DOT ROW The NH Department of Transportation will not approve a loading zone for the property in the existing DOT ROW. Therefore, the applicant needs to present an internal circulation plan for the site. This plan shall indicate the largest size vehicle anticipated and the maneuverability of said vehicle through the property, as well as loading areas. *Resolved*
- 2. Access into the property is limited, and currently shown as one entrance from Elm Street with an access to the adjacent property to the east. The applicant needs to explore options to improve access and overall maneuverability and internal circulation through the site. *Resolved*
- 3. Telephone Pole with Associated Lighting The existing telephone pole with associated lighting to both the proposed site and property to the east could be relocated with new lighting installed. Said lighting could be designed and located to be mutually beneficial for both properties. This would create the potential for another

access point in this location.

- 20. Location of Proposed Building The applicant has expressed the desire to locate the building at the rear of the property to maintain operations in the existing building during construction. However, a different building location, such as parallel to the western property line, would move the building closer to the road, in keeping with the performance measures of the 6.07.6.E.1 Building Orientation New structures shall orient their main entrance or storefront to a public street. The applicant should be prepared to discuss alternative site layouts and designs that are more in compliance with the West Elm Street Gateway Overlay District. Letter dated November 2, 2022 identifies hardships in achieving this. Waiver requested from the Zoning Ordinance, Section 6.07.6.E.5.a Parking lots should be located on side or rear of buildings.
- 4. Feasibility of Easement on Adjacent Property Due to the limited size of the site and the high percentage of the site dedicated to parked cars, the applicant should coordinate with adjacent properties to determine is a mutually beneficial easement could be developed to assist both properties with vehicle loading and unloading. The applicant is working towards a lease to own agreement for the adjacent property to the east. A note should be added to the plan stating "If future ownership is obtained on Map 12 Lot 10, then the owner must submit a revised site plan to revisit the potential merging of the uses on both individual lots."
- 5. Clean Up the site needs to be cleaned up including removal of the storage units at the rear of the property. *Noted on Sheet 3 Demolition and Erosion Sheet Plan. Resolved*

STAFF RECOMMENDATIONS:

The applicant should be prepared to address the comments raised by the Planning Board, Conservation Commission, Heritage Commission, Town Consultants, Staff, and public pertaining to the Site Plan. The Planning Board will need to determine if the proposed site development meets the purpose and intent of the overlay. Once the Board is satisfied with the final submittal information and all remaining conditions have been resolved or identified to their satisfaction, staff recommends approval subject to revising the plan per staff and Board comments.

Aerial Photographs of Map 12, Lot 11





Street Photographs of Map 12, Lot 11







P.O. Box 432, New Boston, NH 03070

November 8, 2022

Camille Pattison, NRPC Planning Consultant Town of Milford 1 Union Square Milford, NH 03055

Re: Sooner Milford Site Plan (Tax Map 12, Lot 11) – 754 and 756 Elm Street Site Plan Drainage Review

Dear Ms. Pattison:

We reviewed the revised twelve-sheet plan set dated November 2, 2022 and prepared by Bedford Design Consultants, Inc. in accordance with our agreement with the Town. Based on that review and in consideration of the proposed revision, we find that the project is acceptable from an engineering perspective.

If you have any questions or need any additional information, please feel free to contact me at 603-413-6650 or on my cell phone at 603-731-1562 or by email at MVignale@kvpllc.com.

Sincerely,

KV Partners LLC

Michael S. Vignale, P.E.

Principal Engineer

From: Riley Stanchina

To: <u>Planning Consult; Katie Weiss</u>
Cc: <u>Lincoln Daley; Darlene Bouffard</u>

Subject: RE: Sooner Submittal

Date:Friday, November 4, 2022 1:47:40 PMAttachments:1667-01-Rev C-reduced MFD Approved.pdf

Hi Camille,

I have reviewed the revised plans and they are approved by MFD. If the design is not further modified, then these plans will be acceptable for the site portion of our building permit review, but if any changes are made we would need to review a new set of drawings as part of building permit review when that time comes.

Please note that MFD approval of site plans does not constitute issuance or approval of a building permit, nor does it address all fire and life safety code requirements for buildings constructed as part of the project.

Also, when is the planning board meeting for this?

Be safe,

Riley J. Stanchina, CFEI

Deputy Chief Milford Fire Department

39 School St. Milford, NH 03055 603-249-0680 Station rstanchina@milford.nh.gov

The Right to Know Law (RSA 91-A) provides that Town of Milford email communications regarding the business of the Town of Milford are governmental records which may be available to the public upon request. Therefore, this email communication may be subject to public disclosure.

From: Planning Consult <planningconsult@milford.nh.gov>

Sent: Thursday, November 3, 2022 12:50 PM

To: Riley Stanchina <rstanchina@milford.nh.gov>; Katie Weiss <katiew@BedfordDesign.com> **Cc:** Lincoln Daley <ldaley@milford.nh.gov>; Darlene Bouffard <dbouffard@milford.nh.gov>

Subject: FW: Sooner Submittal

Hello Riley,

Attached is the revised submittal from Bedford Design Consultants, regarding the Sooner site plan at 754-756 Elm Street. Could you please review and confirm that the revised plans satisfy the

requirements of the Fire Department for circulation, signage, etc.

Thank you, Camille

Camille Pattison
NRPC Planning Consultant
Town of Milford
planningconsult@milford.nh.gov
603-249-0620

From: Katie Weiss

Sent: Thursday, November 3, 2022 11:20 AM

To: camillep@nahuarpc.org

Cc: Lincoln Daley < <u>Idaley@milford.nh.gov</u>>; Robert Baskerville < <u>bobb@bedforddesign.com</u>>; Jerry

Johnson < jerryjtulsa@yahoo.com >

Subject: Sooner Submittal

Hi Camille,

Barbara dropped off our submittal last night. Attached are PDFs of everything.

I have also attached an architectural drawing. The door color needs to be changed, which he is doing, but it has the updates which were discussed. Once he has the final architectural plans, I will forward them off to you. I ended up just removing the old elevations from my plan set for now, I will put them back later.

Thanks, Katie

Katherine Weiss, PLA, ASLA

Landscape Architect & Project Manager

603-622-5533 katiew@bedforddesign.com

592 Harvey Road Manchester, NH 03103

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LEGEND

PROPOSED CONTOUR

EXISTING CONTOUR

PROPOSED SPOT GRADE

EDGE OF JURISDICTIONAL WETLANDS

EXISTING SPOT GRADE

EXISTING CATCH BASIN

PROPOSED BUILDING

EXISTING GATE VALVE

PROPOSED GATE VALVE

PROPOSED LIGHT POLE

#OF PARKING SPACES

SEWER MANHOLE

--- UD ---- PROPOSED UNDERDRAIN

---- W ----- PROPOSED WATER LINE

---- S ----- PROPOSED SEWER LINE

---- S ---- EXISTING SEWER LINE

--- UGE --- PROPOSED UNDERGROUND ELECTRIC

E EXISTING UNDERGROUND ELECTRIC

--- PROPOSED DRAIN LINE

--- EXISTING DRAIN LINE

REBAR FOUND

EXISTING UTILITY POLE

STONE BOUND FOUND

GRANITE BOUND TO BE SET

REBAR TO BE SET

IRON PIPE FOUND

BENCHMARK SET

STREET ADDRESS

EXISTING WATER SHUTOFF

PROPOSED WATER SHUTOFF

- ABUTTING PROPERTY LINE

MAILBOX

SCS SOIL LINE

--- OHW --- EX. OVERHEAD WIRES

--- OHW --- PR. OVERHEAD WIRES

PR. BOLLARD

EXISTING GUY WIRE

EXISTING WATER LINE

— GAS — PROPOSED GAS LINE

- GAS - EXISTING GAS LINE

PROPOSED PERVIOUS PAVERS

PROPOSED GRASS

TAX MAP 6 LOT 17

RIVER BED TRUST

DAWN J. ARNSTEIN. TRUSTEE

P.O. BOX 95

WILTON, NH 03086-0095

BOOK 5167 PAGE 1545

SIGNAGE. SEE DETAIL SHEET

SNOW STORAGE

EXISTING FENCE-

FIRE LANE SIGNAGE & DO NOT

ENTER SIGN. SEE DETAIL SHEET

FIRE LANE TO USE TURFGRID PERMEABLE GRAVEL SYSTEM. SEE

TAX MAP 12 LOT 12

JARED BOSSE

760 ELM STREET

MILFORD, NH 03055

BOOK 7654 PAGE 2421

DETAIL SHEET.

SNOW STORAGE

SOONER MILFORD SITE PLAN

EXISTING EDGE OF PAV'T

SOLID YELLOW LINE

DASHED YELLOW LINE

SOLID YELLOW LINE

BUS STOP' SIGN

EX. ISLAND TO BE EXPANDED TO

PROPERTY LINE

4'AISLE

5' REINFORCED CONCRETE

Ministration of the state of th

TAX MAP 12 LOT 11

LAND BARGE, L.L.C.

754-756 ELM ST

MILFORD, N.H. 03055

(COMMERCIAL/WEST ELM OVERLAY)

38,615 SF OR 0.886 ACRES

PROPOSED AUTO

REPAIR & SALES

2ND FLOOR 3,120 S.F..

THE THE PARTY OF T

SOLID WHITE LINE

30' BUILDING SETBACK

19

PROPOSED POND FOR

ROOF WATER

DASHED YELLOW LINE

754 & 756 ELM ST MILFORD, NEW HAMPSHIRE

NH ROUTE 101

TWO-SIDED

PR. BOLLARD

'ENTER' SIGN

PROPOSED

40 DISPLAY SPACES

6,800 S.F.

DASHED STRIPING FOR

ILLUSTRATIVE

PURPOSES ONLY

TAX MAP 12 LOT 10-1 STATE OF NEW HAMPSHIRE P.O. BOX 483 CONCORD, NH 03302-0483 BOOK 1307 PAGE 0182

TAX MAP 12 LOT 10

MILFORD-STONEY R E HOLDINGS, LLC

738 ELM STREET

MILFORD. NH 03055 BOOK 9073 PAGE 2186

LOCATION OF FIRE TRUCK &

TRUCK ACCESS TO ADJACENT

BOSTON AND MAINE RAILROAD

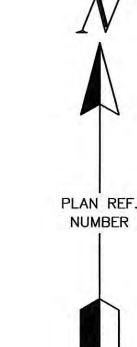
BOSTON & MAINE CORP.

C/O GUILFORD TRANSPORTATION IND.

1700 IRON HORSE PARK

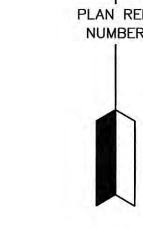
NORTH BILLERICA, MA 01862-1681

STRIPED ISLAND



NOTES:

1. OWNER OF RECORD: TAX MAP 12 LOT 11 LAND BARGE, LLC 754-756 ELM ST MILFORD, NH 03055 BOOK: 8664 PAGE: 2557



- 2. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED AUTO REPAIR AND AUTO SALES SHOP WITH ACCOMPANYING PARKING AND CIRCULATION AND OUTDOOR DISPLAY.
- 3. THE EXISTING LOT IS AN AUTO REPAIR AND SALES SHOP WITH ASSOCIATED PARKING CIRCULATION AND STORAGE. THR FRONT \$ OF THE PROPERTY ARE PAVED. BEHIND THE BACK FENCE IS GRASSED. THE MAJORITY OF IMPROVEMENTS ARE TO BE REMOVED. SEE THE DEMOLITION PLAN.
- 4. EXISTING DRAINAGE INCLUDES A CATCH BASIN ON ROUTE 101 AND A WETLAND SWALE AT THE BACK OF THE PROPERTY. THE PROPOSED DRAINAGE INCLUDES AN ABOVE GROUND STORMWATER BASIN AND PERMEABLE PAVERS AND THE EXISTING DRAINAGE STRUCTURES. THE SITE IS FLAT AND ALL WATER EVENTUALLY REACHES ROUTE 101. THE SWALE AT THE BACK OF PROPERTY FLOWS ONTO THE ADJACENT PROPERTY AND
- 5. TOTAL PARCEL AREA = 38,615 SQ. FT. OR 0.886 ACRES.
- 6. ZONED: COMMERCIAL & WEST ELM OVERLAY DISTRICT. THE PARCEL ABUTS THE INDUSTRIAL ZONE. IT IS IN THE GROUNDWATER PROTECTION DISTRICT AND THE
- 7. THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0454D, EFFECTIVE DATE SEPTEMBER 25, 2009.
- 8. THE SITE IS LOCATED IN THE LEVEL II PROTECTION AREA AS SHOWN ON THE MAP TITLED 'GROUNDWATER PROTECTION AREA: MILFORD, NH' PREPARED BY NASHUA REGIONAL PLANNING COMMISSION, PRINTED 10/24/02.

9. DIMENSIONAL REGULATIONS: COMMERCIAL

	KEQ.	EA.	PR.
MIN. LOT SIZE	20,000 S.F.	38,615 S.F.	38,615 S.F.
MIN. FRONTAGE	150'	172'	172'
FRONT SETBACK	<i>30</i> °	<i>30</i> ′	30'
SIDE/REAR SETBACK	15'	15'	15'
OPEN SPACE	30%	32% (12,284 S.F.)	30% (11,350 S.F.)
WETLAND NON-DIST.	25'		25'

10. PARKING:

9'X18' SPACES WITH 24' ACCESS AISLES.

AUTO REPAIR/AUTO DEALER:

= 21 SPACES REQUIRED

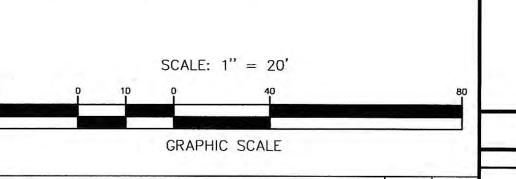
- 4 SPACES PER BAY = 4 X 7 = 28 SPACES
- 1 SPACE/EMPLOYEE + 1 SPACES PER 1,000 S.F. = 10 EMPLOYEES + 10.8 PER S.F.
- = 18 SPACES PROPOSED (SEE WAIVER REQUEST BELOW)
- 11. THIS PROJECT REQUIRES THE FOLLOWING PERMITS:

NHDES SHORELAND PERMIT NHDES SEWER DISCHARGE PERMIT TOWN OF MILFORD STORMWATER PERMIT NHDOT DRIVEWAY PERMIT

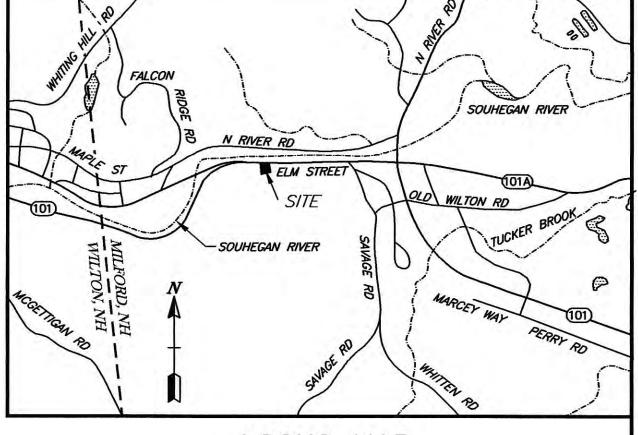
- 12. WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- 13. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- 14. THIS PROJECT MAY BE TO THE TOWN OF MILFORD IMPACT FEES.

APPROPRIATE STREET EDGE TO ADJACENT STRUCTURES.

- 15. WAIVERS ARE REQUESTED FOR THE NUMBER OF REQUIRED PARKING SPACES IN SECTION 6.05.4 TABLE OF OFF-STREET PARKING , FROM THE PERIPHERY LANDSCAPE STRIP SECTION 6.08.5(B)1 & 6.08.7(A)1, AND FROM THE ACCESSIBLE PARKING LENGTH SECTION 6.05.3(A)4 & 6.05.5(E). AS WELL AS WAIVERS FROM THE ZONING ORDINANCE SECTION 6.07.E.5.A PARKING LOTS SHOULD BE LOCATED ON THE SIDE OR REAR OF BUILDINGS AND SECTION 6.07.6.E.T.A PROPOSED BUILDINGS SHALL MAINTAIN AN
- 16. IN THE EVENT THE PROPOSED SNOW REMOVAL AREAS ARE NOT SUFFICIENT, SNOW SHALL BE RELOCATED OFF SITE USING BEST MANAGEMENT PRACTICES. ALL SNOW REMOVAL SHALL BE DONE BY A GREEN SNOW PRO CERTIFIED COMPANY.
- 17. THIS SITE PLAN REQUIRES AND AUTOMATIC FIRE ALARM SYSTEM AS WELL AS AN AUTOMATIC SPRINKLER SYSTEM. THE FIRE LANE IS LOCATED ALONG THE FRONT ENTRANCE DRIVE. APPROPRIATE SIGNAGE SHALL BE INSTALLED PER THE PLANS. THE FIRE TRUCK TURNAROUND SHALL REMAIN FREE OF OBSTRUCTIONS.
- 18. THE LOADING AREA SHALL BE ALONG THE FRONT OF BUILDING. DELIVERY TRUCKS SHALL BE LIMITED TO FLATBED TRUCKS. ALL DELIVERIES SHALL BE SCHEDULED SO THAT EXISTING CARS CAN BE RELOCATED FOR EASE OF EGRESS.
- 19. DISPLAY PARKING SPACES MAY NOT BACK OUT INTO THE MAIN ROAD. THIS AREA IS TO REMAIN OPEN TO ALLOW EGRESS OF THE FLATBED TRUCKS.

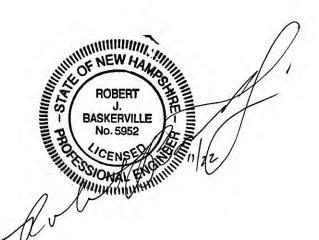


REVISED PER PLANNING BOARDCOMMENTS KAW 10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS | KAW | ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS DESCRIPTION BY REV.



LOCUS MAP

PLAN INDEX	EET NO
OVERVIEW & SITE PLAN SHEET	1
EXISTING CONDITIONS PLAN	2
DEMOLITION & EROSION CONTROL PLAN	3
GRADING, UTILITY PLAN	4
SEWER PROFILE PLAN	5
LIGHTING, & LANDSCAPE PLAN	6
ARCHITECTURAL & TRUCK TURNING PLANS	7
SIGHT DISTANCE PLAN	8
CONSTRUCTION DETAILS	9-12



OWNER'S SIGNATURE		
NAME	DATE	_

<i>APPROVED</i>	BY	THE	TOWN	OF	MILFORD	PLANNING	BOARD
GIGNATURE						DATE_	
GIGNA TURE						DATE_	

TAX MAP 12 LOT 11

OVERVIEW & SITE PLAN SOONER-MILFORD T54-756 ELM STREET

MILFORD, NEW HAMPSHIRE, 03055 APPLICANT:

OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 1 OF 12 DESIGN: CHECKED: 580

Bedford Design Consultants Inc.

592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533

ENGINEERS AND SURVEYORS www.bedforddesign.com

MILFORD FIRE DEPARTMENT

FIRE PREVENTION BUREAU

APPROVED

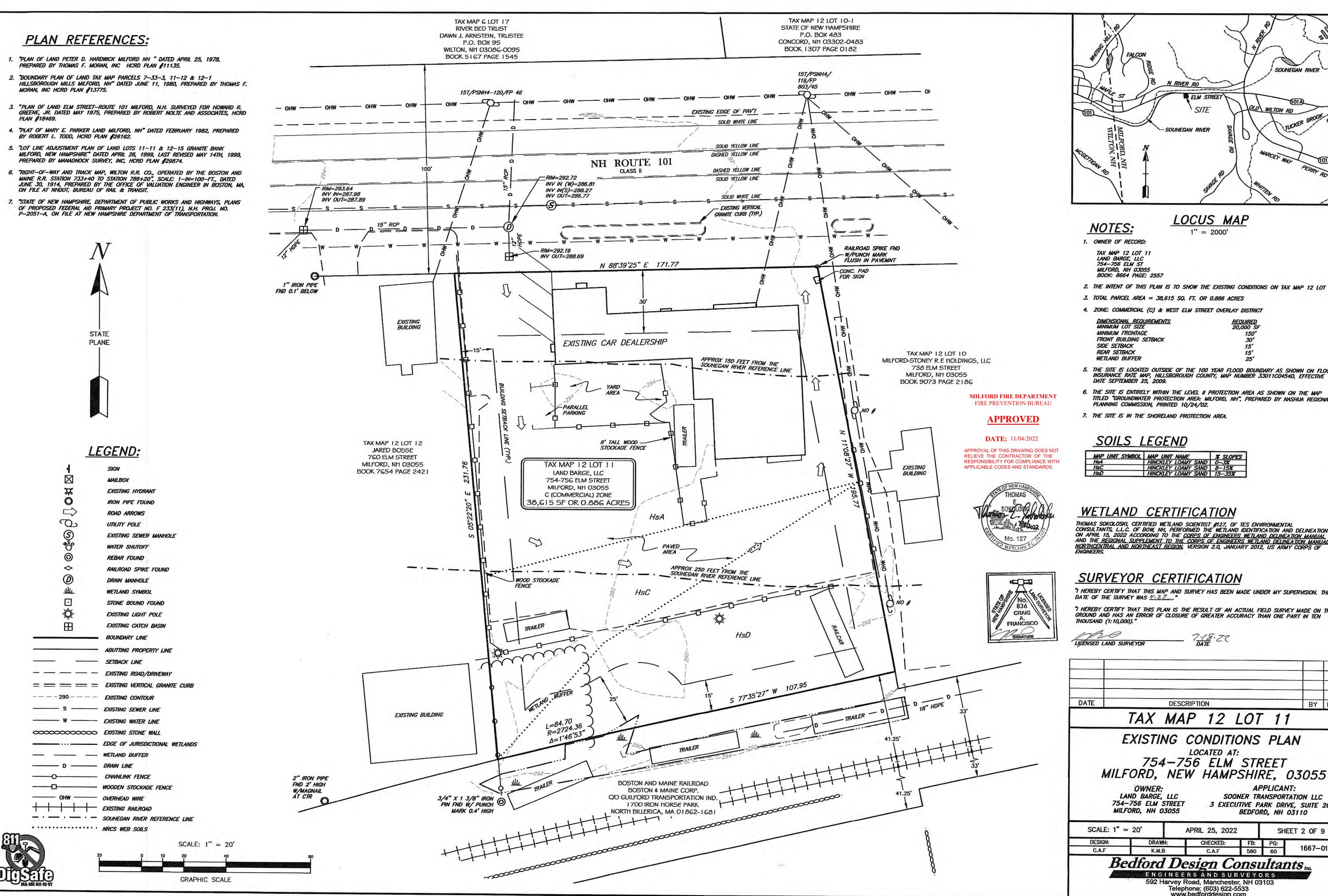
DATE: 11/04/2022

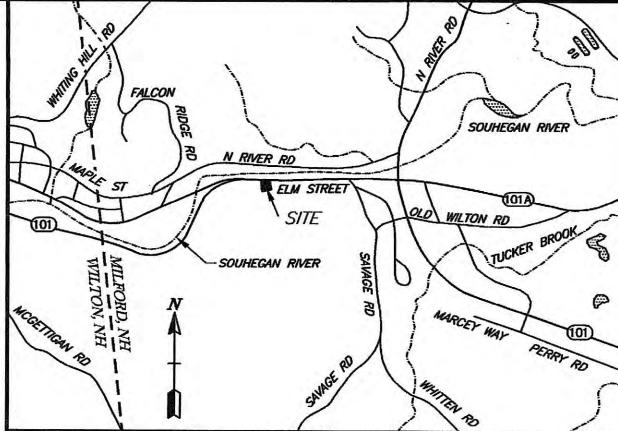
APPROVAL OF THIS DRAWING DOES NOT

RESPONSIBILITY FOR COMPLIANCE WITH

RELIEVE THE CONTRACTOR OF THE

APPLICABLE CODES AND STANDARDS.





LOCUS MAP 1'' = 2000'

- 2. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 12 LOT 11.
- 3. TOTAL PARCEL AREA = 38,615 SQ. FT. OR 0.886 ACRES
- 4. ZONE: COMMERCIAL (C) & WEST ELM STREET OVERLAY DISTRICT

REQUIRED 20,000 SF

- 5. THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0454D, EFFECTIVE
- 6. THE SITE IS ENTIRELY WITHIN THE LEVEL II PROTECTION AREA AS SHOWN ON THE MAP TITLED "GROUNDWATER PROTECTION AREA: MILFORD, NH", PREPARED BY NASHUA REGIONAL
- 7. THE SITE IS IN THE SHORELAND PROTECTION AREA

MAP UNIT SYMBOL	MAP UNIT NAME	% SLOPES
HsA	HINCKLEY LOAMY SAND	0-3%
HsC	HINCKLEY LOAMY SAND	8-15%
HsD	HINCKLEY LOAMY SAND	15-35%

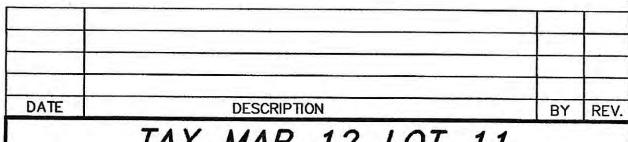
WETLAND CERTIFICATION

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON APRIL 15, 2022 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF

SURVEYOR CERTIFICATION

"I HEREBY CERTIFY THAT THIS MAP AND SURVEY HAS BEEN MADE UNDER MY SUPERVISION. THE DATE OF THE SURVEY WAS 4.22."

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN



TAX MAP 12 LOT 11

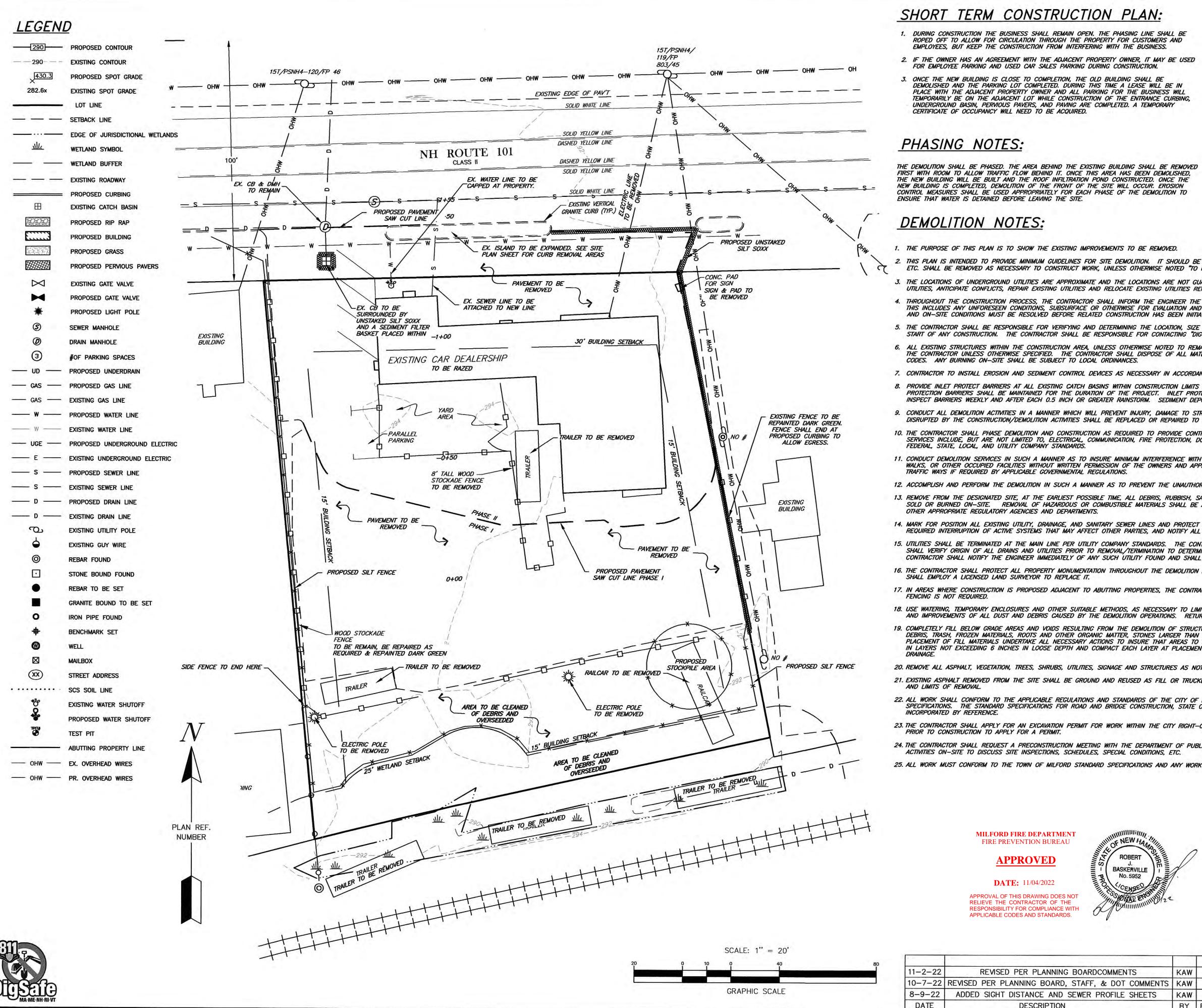
LOCATED AT: 754-756 ELM STREET

APPLICANT: SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

APRIL 25, 2022 SHEET 2 OF 9 CHECKED: 1667-01 580 60

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ENGINEERS AND SURVEYORS 592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533 www.bedforddesign.com



SHORT TERM CONSTRUCTION PLAN:

- 1. DURING CONSTRUCTION THE BUSINESS SHALL REMAIN OPEN. THE PHASING LINE SHALL BE ROPED OFF TO ALLOW FOR CIRCULATION THROUGH THE PROPERTY FOR CUSTOMERS AND EMPLOYEES, BUT KEEP THE CONSTRUCTION FROM INTERFERING WITH THE BUSINESS.
- 2. IF THE OWNER HAS AN AGREEMENT WITH THE ADJACENT PROPERTY OWNER, IT MAY BE USED FOR EMPLOYEE PARKING AND USED CAR SALES PARKING DURING CONSTRUCTION.
- 3. ONCE THE NEW BUILDING IS CLOSE TO COMPLETION, THE OLD BUILDING SHALL BE DEMOLISHED AND THE PARKING LOT COMPLETED. DURING THIS TIME A LEASE WILL BE IN PLACE WITH THE ADJACENT PROPERTY OWNER AND ALL PARKING FOR THE BUSINESS WILL TEMPORARILY BE ON THE ADJACENT LOT WHILE CONSTRUCTION OF THE ENTRANCE CURBING, UNDERGROUND BASIN, PERVIOUS PAVERS, AND PAVING ARE COMPLETED. A TEMPORARY CERTIFICATE OF OCCUPANCY WILL NEED TO BE ACQUIRED.

PHASING NOTES:

THE DEMOLITION SHALL BE PHASED. THE AREA BEHIND THE EXISTING BUILDING SHALL BE REMOVED FIRST WITH ROOM TO ALLOW TRAFFIC FLOW BEHIND IT. ONCE THIS AREA HAS BEEN DEMOLISHED, THE NEW BUILDING WILL BE BUILT AND THE ROOF INFILTRATION POND CONSTRUCTED. ONCE THE NEW BUILDING IS COMPLETED. DEMOLITION OF THE FRONT OF THE SITE WILL OCCUR. EROSION CONTROL MEASURES SHALL BE USED APPROPRIATELY FOR EACH PHASE OF THE DEMOLITION TO ENSURE THAT WATER IS DETAINED BEFORE LEAVING THE SITE.

DEMOLITION NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING IMPROVEMENTS TO BE REMOVED.
- 2. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED "TO REMAIN".
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 4. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM THE DATA SHOWN ON THESE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT LEAST 72 HOURS BEFORE DIGGING.
- 6. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SIET IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- 7. CONTRACTOR TO INSTALL EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY IN ACCORDANCE WITH STORMWATER BEST MANAGEMENT PRACTICES PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 8. PROVIDE INLET PROTECT BARRIERS AT ALL EXISTING CATCH BASINS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS THAT MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH 0.5 INCH OR GREATER RAINSTORM. SEDIMENT DEPOSITS TO BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
- 9. CONDUCT ALL DEMOLITION ACTIVITIES IN A MANNER WHICH WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY THE CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 10. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING SERVICES INCLUDE, BUT ARE NOT LIMITED TO, ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL, AND UTILITY COMPANY STANDARDS.
- 11. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER AS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT WRITTEN PERMISSION OF THE OWNERS AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 12. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 13. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED. SOLD OR BURNED ON-SITE. REMOVAL OF HAZARDOUS OR COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT AND/OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 14. MARK FOR POSITION ALL EXISTING UTILITY, DRAINAGE, AND SANITARY SEWER LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 15. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL A PERMANENT SOLUTION IS IN PLACE.
- 16. THE CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT THE DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED LAND SURVEYOR TO REPLACE IT.
- 17. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT
- 18. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 19. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER, STONES LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM BUILDING DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS UNDERTAKE ALL NECESSARY ACTIONS TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIALS, TRASH AND DEBRIS. PLACE FILL MATERIALS IN LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND PROVIDE SURFACE
- 20. REMOVE ALL ASPHALT, VEGETATION, TREES, SHRUBS, UTILITIES, SIGNAGE AND STRUCTURES AS NOTED.
- 21. EXISTING ASPHALT REMOVED FROM THE SITE SHALL BE GROUND AND REUSED AS FILL OR TRUCKED OFF SITE AND DISPOSED OF BY APPROVED METHODS. PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
- 22. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF MANCHESTER AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2006 ARE HEREBY
- 23. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY MANCHESTER DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION TO APPLY FOR A PERMIT.
- 24. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC WORKS AND THE PLANNING DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION/DEMOLITION ACTIVITIES ON-SITE TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.

KAW

KAW A

BY REV.

25. ALL WORK MUST CONFORM TO THE TOWN OF MILFORD STANDARD SPECIFICATIONS AND ANY WORK WITHIN THE CITY RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT,



REVISED PER PLANNING BOARDCOMMENTS

ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS

DESCRIPTION

TAX MAP 12 LOT 11

DEMOLITION & EROSION CONTROL PLAN SOONER-MILFORD

154-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055 APPLICANT:

OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD. NH 03055

SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

SOUHEGAN RIVER

N RIVER RD

-SOUHEGAN RIVER

ELM STREET

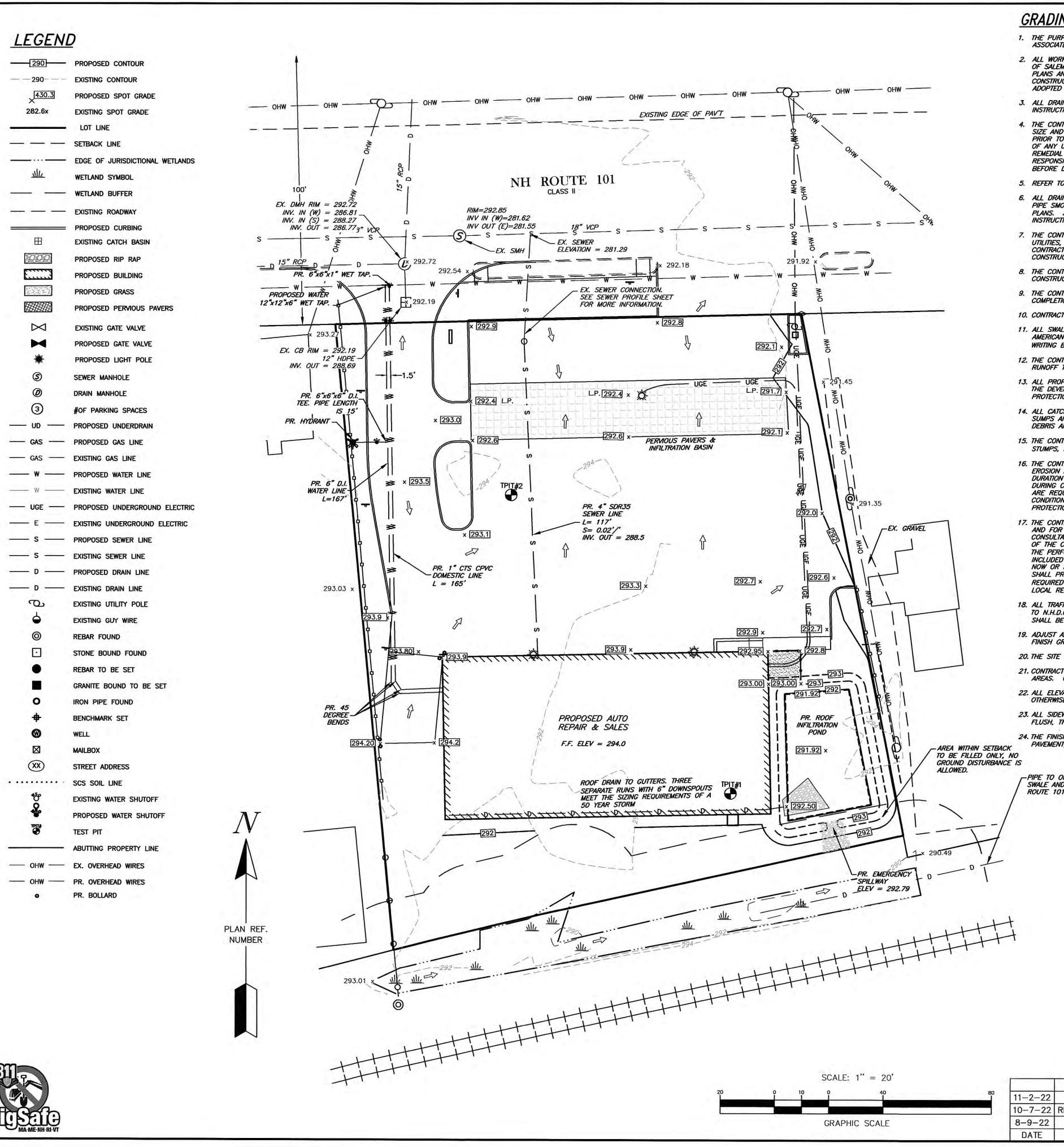
LOCUS MAP

1'' = 2000'

SCALE: 1" = 20'APRIL 25, 2022 SHEET 3 OF 12 DESIGN: DRAWN: CHECKED: 1667-01 KAW RJB

Bedford Design Consultants Inc ENGINEERS AND SURVEYORS

592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533 www.bedforddesign.com



GRADING AND DRAINAGE NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN
- 2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
- 3. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS
- 5. REFER TO UTILITY SHEETS FOR DRAINAGE RIMS, INVERTS & PIPE SLOPES.
- 6. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES,
- 8. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
- 9. THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- 10. CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
- 11. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- 12. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, PONDS, AND SWALES PRIOR TO DIRECTING
- 13. ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHALL BE OUTFITTED WITH STONE INLET PROTECTION OR SILT SACKS (SEE DETAILS SHEETS).
- 14. ALL CATCH BASIN SUMPS SHALL BE KEPT CLEAN DURING CONSTRUCTION. ALL CATCH BASIN SUMPS AND AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
- 15. THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON—SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVISES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
- 17. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.
- 18. ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LOCAL CITY/TOWN POLICE DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT—OF—WAY.
- 19. ADJUST ALL MANHOLES, CATCH BASIN, CURB BOXES, ETC. WITHIN THE LIMITS OF WORK TO
- FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.

 20. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE.
- 21. CONTRACTOR TO PROVIDE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
- 22. ALL ELEVATIONS SHOWN AT THE CURB ARE TO THE BOTTOM OF THE CURB UNLESS OTHERWISE NOTED.
- 23. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6 INCHES. WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- 24. THE FINISHED GRADE AT THE BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH THE PAVEMENT, WITH A TOLERANCE OF PLUS OR MINUS 1/4".

--PIPE TO OFF--SITE SWALE AND THEN UNDER ROUTE 101

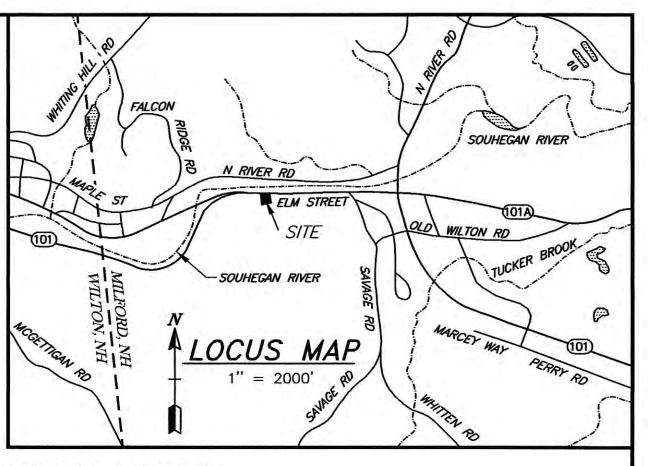
MILFORD FIRE DEPARTMENT
FIRE PREVENTION BUREAU

APPROVED

BASKERVILLE
No. 5952

APPROVAL OF THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.

11-2-22 REVISED PER PLANNING BOARDCOMMENTS KAW C
10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW B
8-9-22 ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS KAW A
DATE DESCRIPTION BY REV.



UTILITY NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE UTILITY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN
- 2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
- ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
- ALL ROOF DRAINS FROM BUILDING SHALL BE CONSTRUCTED TO WITHIN 5' OF THE OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- 3. ALL DRAINAGE AND SANITARY SEWER STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH HOODS, UNLESS OTHERWISE NOTED.
- 9. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY H-29 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- 10. NO FOUNDATION DRAINS, ROOF DRAINS, FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL SEWER.
- 11. OPERATION AND MAINTENANCE OF THE SEWER SERVICE SHALL BE THE RESPONSIBILITY OF THE
- 12. THE MINIMUM SEWER TRENCH WIDTH SHALL BE AT LEAST 2 TIMES OUTER DIAMETER OF THE PIPE.
- 13. THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF SALEM PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE
- BETWEEN 9 A.M. AND 4:30 P.M., MONDAY FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCED NOTICE.

 14. THE SEWER SERVICE MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE
- TESTED WITH AUTHORIZED TOWN OF SALEM PUBLIC WORKS AND/OR ENGINEERING DEPARTMENT PERSONNEL PRESENT ON SITE AS A WITNESS.
- 15. SEWER MAINS TO BE 8" SDR 35 PVC MEETING ASTM D3034 OR APPROVED EQUIVALENT. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SEWER CONSTRUCTION SPECIFICATIONS AND THE TOWN OF SALEM DEPARTMENT OF PUBLIC WORKS
- 16. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED.
- 17. WATER MAINS TO BE 8" CLASS 52 CEMENT LINED DUCTILE IRON PIPE OR APPROVED EQUIVALENT.
 WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF SALEM DEPARTMENT
 OF PUBLIC WORKS SPECIFICATIONS.
- 18. GAS LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH UNITIL UTILITIES SPECIFICATIONS.
- 19. ANY FIELD UTILITY ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE OWNER PRIOR TO INSTALLATION.
- 20. ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- 21. ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY THE SPECIFIC UTILITY COMPANY AND THE LOCAL DEPARTMENT OF PUBLIC WORKS.
- 22. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS WITH THE ARCHITECTURAL PLANS.

TAX MAP 12 LOT 11

GRADING & UTILITIES PLAN
SOONER-MILFORD
LOCATED AT:
754-756 ELM STREET

754-756 ELM STREET
MILFORD, NEW HAMPSHIRE, 03055
OWNER: APPLICANT:

LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

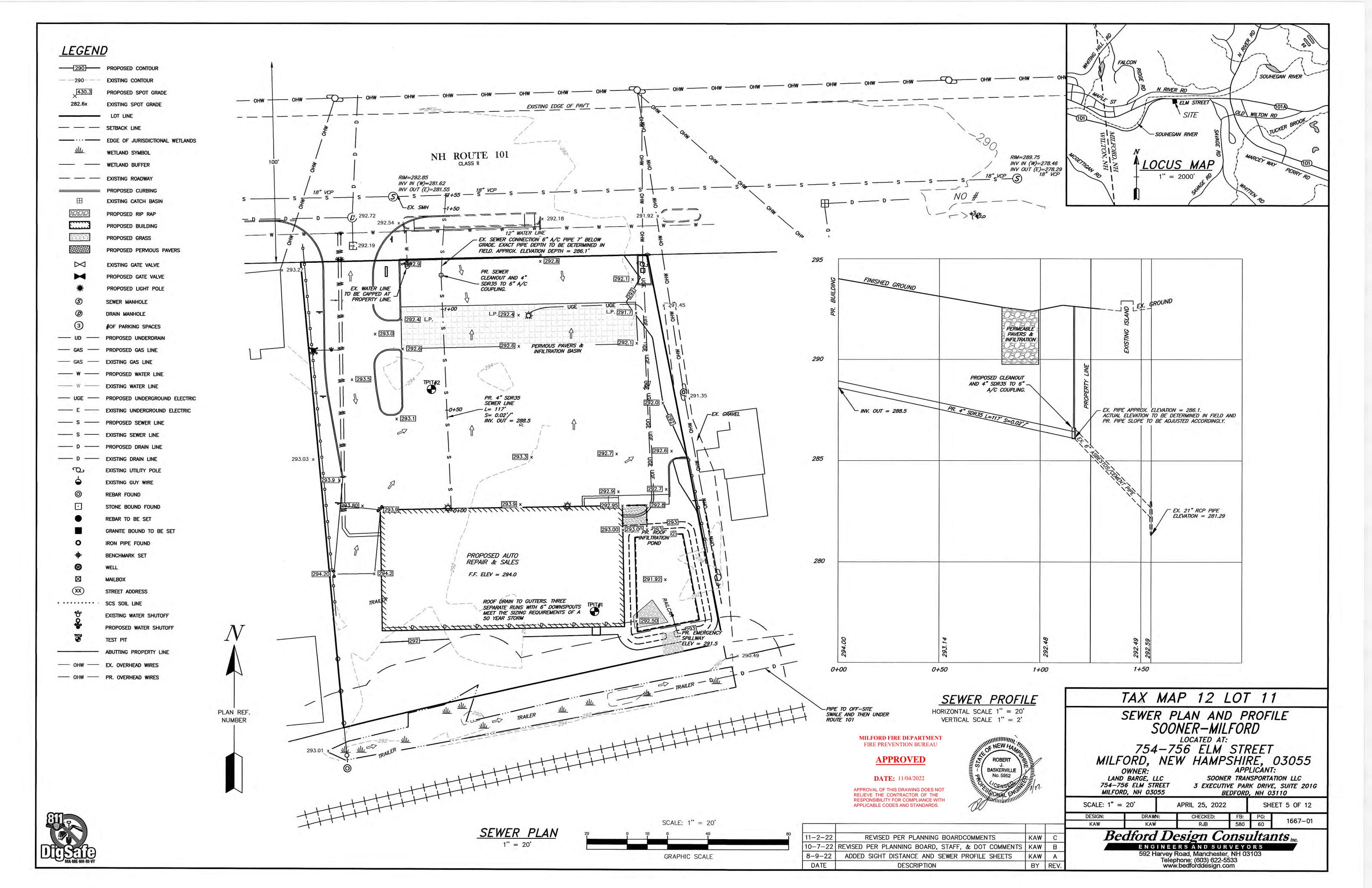
 SCALE: 1" = 20'
 APRIL 25, 2022
 SHEET 4 OF 12

 DESIGN:
 DRAWN:
 CHECKED:
 FB:
 PG:

 KAW
 KAW
 RJB
 580
 60

Bedford Design Consultants inc

592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533 www.bedforddesign.com



LEGEND PROPOSED CONTOUR — — 290— — EXISTING CONTOUR PROPOSED SPOT GRADE 282.6x EXISTING SPOT GRADE LOT LINE — — SETBACK LINE EDGE OF JURISDICTIONAL WETLANDS WETLAND SYMBOL WETLAND BUFFER EXISTING ROADWAY PROPOSED CURBING EXISTING CATCH BASIN PROPOSED RIP RAP PROPOSED BUILDING PROPOSED GRASS PROPOSED PERVIOUS PAVERS EXISTING GATE VALVE PROPOSED GATE VALVE PROPOSED LIGHT POLE SEWER MANHOLE DRAIN MANHOLE #OF PARKING SPACES PROPOSED UNDERDRAIN PROPOSED GAS LINE EXISTING GAS LINE PROPOSED WATER LINE EXISTING WATER LINE PROPOSED UNDERGROUND ELECTRIC EXISTING UNDERGROUND ELECTRIC PROPOSED SEWER LINE - EXISTING SEWER LINE PROPOSED DRAIN LINE EXISTING DRAIN LINE EXISTING UTILITY POLE EXISTING GUY WIRE REBAR FOUND REBAR TO BE SET GRANITE BOUND TO BE SET IRON PIPE FOUND BENCHMARK SET MAILBOX STREET ADDRESS · · · · · · SCS SOIL LINE EXISTING WATER SHUTOFF PROPOSED WATER SHUTOFF TEST PIT ABUTTING PROPERTY LINE EX. OVERHEAD WIRES - OHW - PR. OVERHEAD WIRES

LANDSCAPE NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LANDSCAPE ASSOCIATED WITH THE PROPOSED SITE PLAN.
- 2. CONTRACTOR TO MARK ALL UNDERGROUND UTILITIES ON THE GROUND PRIOR TO CONSTRUCTION.
- 3. CONTRACTOR IS TO REVIEW TREE LOCATIONS WITH LANDSCAPE ARCHITECT AND OWNERS
- 4. FOR PLANTING DETAILS SEE THE PLANTING DETAIL SHEET.
- 5. IRRIGATION SHALL BE PROVIDED AT THE OWNERS DISCRETION.
- 6. ALL PLANTS CAN BE FOUND AT MILLICAN NURSERIES.
- 7. NO SUBSTITUTIONS MAY BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.

REPRESENTATIVES PRIOR TO ORDERING AND INSTALLING TREES.

LANDSCAPE MAINTENANCE & REPLACEMENT:

- 1. PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2014.
- 2. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL BE IN ACCORDANCE WITH THE NATIONAL ASSOCIATION OF LANDSCAPE PROFESSIONALS INSTALLATION AND MAINTENANCE TRAINING MANUALS.
- 3. DEAD AND/OR DYING PLANT MATERIALS SHOULD REPLACED REGULARLY TO MAINTAIN ORIGINAL DESIGN COUNTS AND LOCATIONS.
- 4. PLEASE SEE THE TOWN OF MILFORD SITE PLAN REGULATIONS FOR A FULL LIST OF PLANTING REQUIREMENTS.

LANDSCAPE BUFFERS & CALCULATIONS:

- 1. ALONG THE PERIPHERY OF THE PROPERTY THERE SHALL BE A 10' LANDSCAPE BUFFER 6' FEET IN HEIGHT TO SCREEN ADJACENT PROPERTIES. WE HAVE REQUESTED A WAIVER FROM THIS REQUIREMENT FOR THE EAST AND NORTH SIDE OF THE PROPERTY.
- 2. PERIPHERY LANDSCAPING
- 1 TREE PER 30' OF LANDSCAPE STRIP WILL BE PROVIDED.
 - 420' OF PERIPHERY BUFFER STRIP
 - 1 TREE /30 FEET = 14 TREE REQUIRED = 5 TREES PROPOSED (WAIVER REQUESTED)
- 3. LANDSCAPE ALONG BUILDING FRONTAGES
- I SHRUB FOR EVERY 5' OF BUILDING FRONTAGE
 - 120' BUILDING / 5' = 24 SHRUBS REQUIRED = 24 SHRUBS PROPOSED (LOCATED IN PERIPHERY BUFFER)
- 4. PARKING LOT LANDSCAPING SHALL BE 5% OF PARKING AREA WITH 1 TREE PER 15 PARKING SPACES
- CALCULATIONS: PARKING AREA IS 10,000 S.F.
 - 5% OF PARKING AREA = 500 S.F REQUIRED = 815 S.F. PROPOSED.
 - 21 REQ. SPACES
- = 2 TREES REQUIRED = 2 TREES PROPOSED

PLAN REF. NUMBER

 \blacksquare



APPROVED

DATE: 11/04/2022

EXISTING EDGE OF PAV'T

30' BUILDING SETBACK

NH ROUTE 101

CLASS II

TWO-SIDED

'ENTRANCE'

ENTRANCE SIGN. OMIT TREE IF SIGN IS

(HIGHER THAN 7'. HEIGHT OF SIGN IS EQUAL TO

The the the the the the the the

PROPOSED AUTO REPAIR SHOP

47771 19777 19777 19777 19777 19797

2.0 F.C.

1.0 F.C.

0.5 F.C.

1.0 F.C.

WP4 ykg

11-2-22

8-9-22

DATE

PROPOSED POND FOR

ROOF WATER

REVISED PER PLANNING BOARDCOMMENTS

10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW B

ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS

DESCRIPTION

2.0 F.C.

ITS DISTANCE FROM THE PROPERTY LINE.

PERVIOUS PAVERS &

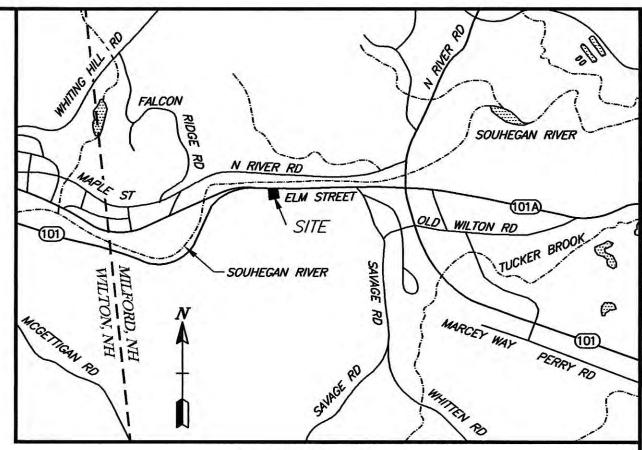
UNFERGROUND STORM BASIN

0.5 F.C.

1.0 F.C.

2.0 F.C.

APPROVAL OF THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



LOCUS MAP

1'' = 2000'

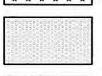
PLANT SCHEDULE

SYMBOL	QTY.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
		DECIDUOUS TREES			
BN	2	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	40'-60'H x 20'-30'W	2" CALIPER
CT	2	CRATAEGUS CRUSGALLI INERMIS 'CRUSADER'	CRUSADER THORNLESS HAWTHORN	10'-15'H x 15'-20'W	2" CALIPER
GT	3	GLEDETSIA T.I. 'STREET KEEPER'	STREET KEEPER HONEYLOCUST	30'-40'H x 15'-20'W	2" CALIPER
		DECIDUOUS & EVERGREEN SHRUB	S		
CD	3	COTONEASTER DAMMERI 'SALICIFOLIUS 'REPENS'	CREEPING WILLOWLEAF COTONEASTER	12"-24"H x 6'-8'W	#2 CONTAINER
JC	12	JUNIPERUS CHINENSIS 'DAUB'S FROSTED'	DAUB'S FROSTED JUNIPER	12"-24"H x 5'-6'W	#3 CONTAINER
PG	3	PICEA GLAUCA 'CONICA'	CONICA SPRUCE	8'-10'H x 4'-5'W	#10 CONTAINE
PR	4	PICEA GLAUCA 'RAINBOW'S END'	RAINBOW'S END SPRUCE	6'-8'H x 3'-4'W	#6 CONTAINER
PO	7	PICEA ORIENTALIS 'BUGMAN'S GEM'	BERGMAN'S GEM ORIENTAL SPRUCE	2'-3"H x 4'-5'W	#3 CONTAINER
SJ	2	SPIRAEA JAPONICA 'SHIBORI'	SHIBORI SPIREA	2'-3"H x 3'-4'W	#3 CONTAINER
SB	6	SYRINGA 'BLOOMERANG DWARF PINK'	BLOOMERANG DARK PINK LILAC	2'-3' H&W	#7 CONTAINER
		PERENNIALS			
HR	14	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14' H&W	#1 CONTAINER
SM	9	SALVIA 'BLUE MARVEL'	BLUE MARVEL SAGE	12" H&W	#2 CONTAINER

LEGEND



PR. PERENNIAL GARDEN



KAW

KAW A

BY REV.

PR. MULCHED AREAS



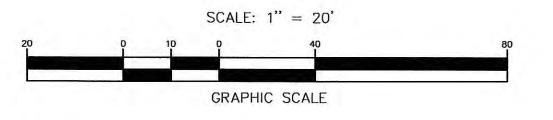
PR. GRASSED AREAS



PERENNIAL GARDEN PLANTINGS

Y.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
,	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14' H&W	#1 CONTAINER
,	SALVIA 'BLUE MARVEL'	BLUE MARVEL SAGE	12" H&W	#2 CONTAINER
,	ECHINACEA 'SUNSEEKERS SALMON'	SUNSEEKERS SALMON CONEFLOWER	18' H&W	#1 CONTAINER
,	MONARDA "PETITE DELIGHT"	PETITE DELIGHT BEE BALM	18" H&W	#1 CONTAINER
	SEDUM 'TURQUISE TAILS'	TURQUUISE TAILS STONECROP	12' H&W	#1 CONTAINER

PERENNIALS ARE TO BE PLANTED IN GROUPS OF 3 TO 5 AND SPACED 12" TO 18" ON CENTER DEPENDING ON THEIR MATURE SIZE IN THE TABLE INDICATED ABOVE.



TAX MAP 12 LOT 11

LIGHTING, & LANDSCAPE PLAN SOONER-MILFORD

154-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055 APPLICANT:

OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

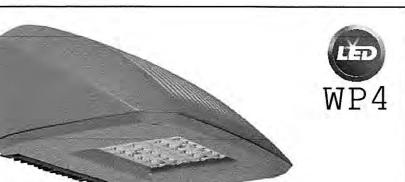
SCALE: 1" = 20' APRIL 25, 2022 SHEET 6 OF 12 DESIGN: DRAWN: CHECKED: 1667-01 580 KAW RJB

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WALL MOUNTED LIGHT HEIGHT IS 15 FEET AND POLE HEIGHT IS 20'. BOTH UNITS ARE IDA DARK SKY



6076

7284

52

55.7

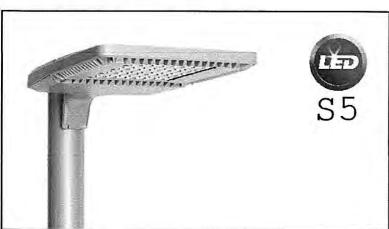
Luminaire Schedule

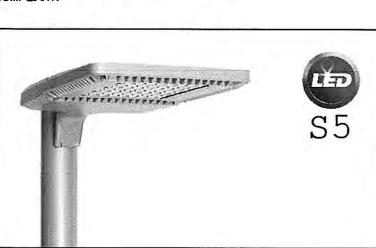
WP4

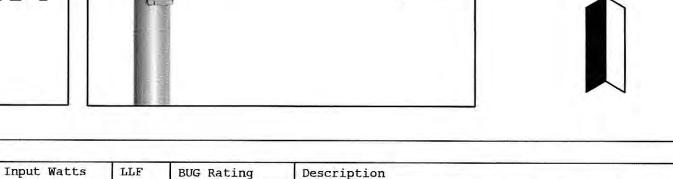
Qty Label Arrangement

SINGLE

4 @ 90 DEGREES



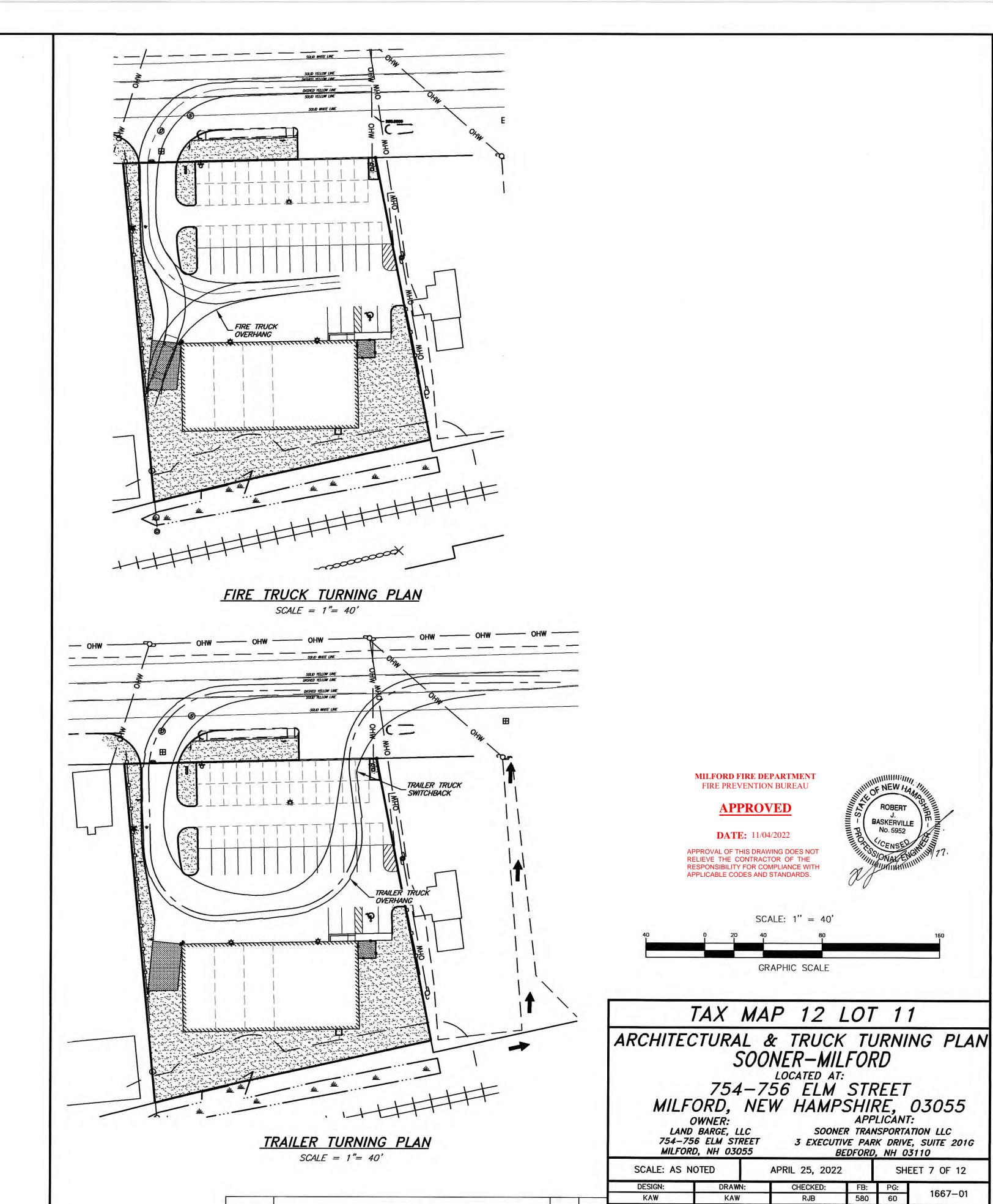






S	LLF	BUG Rating	Description
	0.850	B1-U0-G2	GARDCO 121-32L-530-WW-G4-4-UNV-FINISH / WALL MOUNTED @ 15FT AFG TO BOF
	0.850	B3-U0-G2	GARDCO ECF-S-32L-530-WW-G2-AR-5W-UNV-FINISH / MOUNTED TO SSS-20-X-X-D4-FI

ARCHITECTURAL PLANS TO BE SUBMITTED SEPARATELY FOR REVIEW



11-2-22

DATE

REVISED PER PLANNING BOARDCOMMENTS

ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS

DESCRIPTION

10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW B

KAW C

KAW A

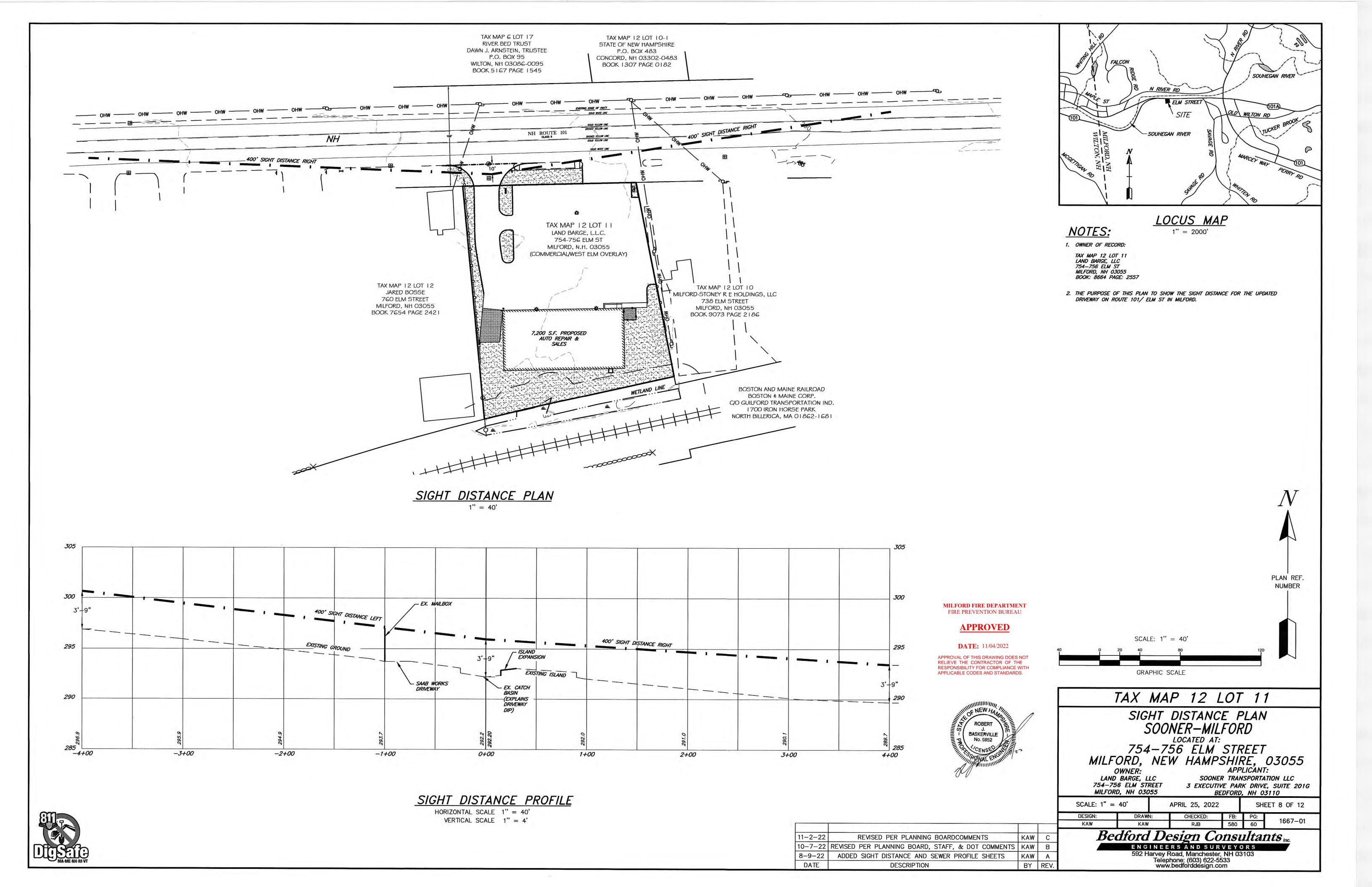
BY REV.

1667-01

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ENGINEERS AND SURVEYORS

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GENERAL CONSTRUCTION NOTES:

- BOTH THE CONTRACTOR AND OWNER NEED TO SUBMIT A SEPARATE "NOTICE OF INTENT" TO BE COVERED BY THE N.H.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- 2. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
- ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION) AND LOCAL REGULATIONS.
- 4. ANY SUBSTITUTIONS OF MATERIALS SHALL BE APPROVED BY THE ENGINEER IN WRITING.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL AND STATE CONSTRUCTION PERMITS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- SHOULD GROUND WATER OR UNSUITABLE MATERIALS BE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY FOR DETERMINATION OF POSSIBLE CONSTRUCTION DESIGN CHANGES SUCH AS (BUT NOT LIMITED TO) UNDERDRAINS OR ALIGNMENT AND GRADE CHANGES.
- CLEARING THE SITE SHALL INCLUDE THE REMOVAL AND DISPOSAL OF DOWN TIMBER, RUBBISH AND DEBRIS FOUND EXISTING WITHIN THE AREAS TO BE CLEARED. CLEARING SHALL NOT TAKE PLACE UNTIL THE CONTRACTOR HAS
- PAVEMENT OF THE ROADWAY SHALL CONSIST OF A HOT BITUMINOUS LAYER, A CRUSHED GRAVEL LAYER AND A GRAVEL SUBBASE LAYER.
- A. BITUMINOUS TYPE F WEARING AND TYPE B BASE COURSES SHALL BE CONSTRUCTED PER N.H.D.O.T.

DETERMINED FROM THE OWNER WHICH TREES ARE TO BE SAVED WITHIN THE CLEARING LIMITS.

- SPECIFICATION 401 CONSTRUCTION REQUIREMENTS. GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.2.
- THE CRUSHED GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.3. D. REFER TO THE TYPICAL ROAD CROSS SECTION DETAIL FOR DIMENSIONS.
- COMPACTION OF BACKFILL:
- A. GRASSED AREAS:
- EMBANKMENT FILL AREAS SHALL CONSIST OF COMMON FILL PLACED IN 12 INCH LIFTS AND COMPACTED TO 90%
- THE COMPACTION REQUIREMENTS FOR MATERIALS PLACED AS BACKFILL, SUBGRADE, BASE COURSE AND PAVEMENT SHALL BE AS SPECIFIED FOR EACH SEPARATE ITEM IN THE N.H.D.O.T. "STANDARD SPECIFICATIONS" FOR ROAD AND BRIDGE CONSTRUCTION.
- 10. CATCH BASINS AND MANHOLES SHALL BE PRE-CAST REINFORCED CONCRETE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE AND ABLE TO WITHSTAND LOADINGS OF 8 TONS (H-20 LOADING).
- 11. TRENCH CONSTRUCTION WILL CONFORM WITH SECTION 603.3.1. OF THE N.H.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION).
- 12. WOOD SHEETING OR A SUITABLE TRENCH BOX SHALL BE USED TO SUPPORT THE TRENCH AS NECESSARY, IF WOOD SHEETING IS USED. IT SHALL BE DRIVEN AT A DISTANCE OF ONE FOOT FROM THE OUTSIDE DIAMETER OF THE PIPE TO A DEPTH SIX INCHES BELOW THE INVERT OF THE PIPE, WOOD SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE, BUT NOT GREATER THAN THREE FEET BELOW THE FINISHED GRADE.
- 13. TRENCH BEDDING SHALL CONFORM WITH SECTION 603.3.2. OF THE STANDARD SPECIFICATIONS (LATEST EDITION). FIRST CLASS BEDDING WILL BE REQUIRED FOR ALL PIPES 48" OR MORE IN DIAMETER OR SPAN.
- 14. BACKFILL MATERIAL FOR TRENCHES WILL CONFORM WITH SECTION 603.3.5. OF THE STANDARD SPECIFICATIONS (LATEST EDITION) AND IN ADDITION, SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTE, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. BACKFILL SHALL NOT BE PLACED
- 15. COMPACTION OF TRENCH BACKFILL AND PIPE BEDDING SHALL BE SIX INCH LIFTS FOR BEDDING AND BACKFILL TO A PLANE ONE FOOT ABOVE THE PIPE AND IN 12 INCH LIFTS THEREAFTER BY AN APPROVED MECHANICAL COMPACTOR.
- 16. SHOULD FROZEN MATERIAL BE ENCOUNTERED, IT SHALL NOT BE PLACED IN THE BACKFILL NOR SHALL BACKFILL BE PLACED UPON FROZEN MATERIAL.
- 17. THE DISTURBED AREA SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
- 18. ALL SEEDED AREAS SHALL BE MULCHED WITHIN 24 HOURS AFTER SEEDING. A GOOD QUALITY OF STRAW MULCH SHOULD BE USED AND APPLIED AT THE RATE OF 2 TONS PER ACRE.
- 19. BASIN FLOORS IN THE INFILTRATION BASINS ARE TO BE DEEPLY TILLED TO RESTORE INFILTRATION RATES. FOLLOWED BY A PASS WITH A LEVELING DRAG PRIOR TO FINAL SEEDING. STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE INFILTRATION BASINS, SWALES, OR DITCHES UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY
- 20. ALL SLOPES GREATER THAN 3:1 MUST BE MATTED WITH NORTH AMERICAN GREEN S150BN EROSION CONTROL
- 21. THE PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS OF AND INTENT OF RSA 430:51-57 AND Agr 3800 RELATIVE TO INVASIVE SPECIES: AND FUGITIVE DUST IS TO BE CONTROLLED IN ACCORDANCE WITH ENV-A
- 22. THE TOWN OF AUBURN RESERVES THE RIGHT TO REQUIRE THAT ADDITIONAL EROSION CONTROL MEASURES BE INSTALLED DURING CONSTRUCTION BASED ON FIELD OBSERVATIONS/INSPECTIONS.

FUELING AND MAINTENANCE OF CONSTRUCTION EQUIPMENT

- A. IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE. THE FOLLOWING SHALL APPLY:
- 1. PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DISTANCE BETWEEN THE HOSE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY;
- 2. THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERFILLING THE EQUIPMENT AND ANY OTHER SPILLS THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT
- 3. THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRIP POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE HOSE FROM THE FUEL DELIVERY TRUCK; AND 4. PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME.
- B. IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:
- 1. ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT: a. IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER; AND
- b. HAS AN IMPERVIOUS FLOOR;
- 2. SECONDARY CONTAINMENT FOR TANKS MAY COMPRISE A METAL, PLASTIC, POLYMER OR PRECAST CONCRETE VAULT PROVIDING 110 PERCENT OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER;
- 3. FOR FUEL CONTAINERS, SECONDARY CONTAINMENT MAY COMPRISE CONTAINMENT PALLETS; 4. THE AREA WHERE FUEL IS TRANSFERRED SHALL BE A FLAT, IMPERVIOUS AREA THAT:
- a. IS ADJACENT TO THE FUEL CONTAINER(S); AND
- b. EXTENDS BEYOND THE FULL REACH, OR LENGTH, OF THE FUEL HOSE; AND
- 5. SECONDARY CONTAINMENT AREAS MAY BE IN THE FORM OF A BASIN THAT IS: a. SLOPED DOWN TO A CENTRAL LOW POINT OR BERMED ALONG THE PERIMETER;
- b. LINED WITH A CONTINUOUS SHEET OF 20 MIL OR THICKER POLYMER MATERIAL OR APPROPRIATE
- GEOMEMBRANE LINER; AND c. BACKFILLED WITH AT LEAST 6 INCHES OF SAND

CONSTRUCTION SEQUENCE:

- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY
- DEPARTMENT HAS BEEN ORTAINED CLEAR AREA FOR CONSTRUCTION ENTRANCE AND INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON
- THESE PLANS. CUT AND CLEAR TREES IN CONSTRUCTION AREAS ONLY.
- 4. INSTALL SILT FENCE 5. REMOVE STUMPS FROM SITE FOR SITE GRADING (CUT AND/OR FILL) TO SUBGRADE. STABILIZE AREAS WITH BASE
- GRAVEL WITHIN SIX WEEKS OF REMOVING STUMPS. 6. THE MAXIMUM UNSTABILIZED AREA SHALL BE LIMITED TO THE MINIMUM AREA PRACTICABLE FOR SITE CONSTRUCTION (NOT TO EXCEED 5 ACRES). NO AREA SHALL BE LEFT UNSTABILIZED MORE THAN 6 WEEKS. AN
- AREA SHALL BÈ CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS HAPPENED: A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED: B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED:
- C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 7. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES AS PER THE NOTES IN THESE DRAWINGS. EROSION, SEDIMENT, AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- RIP RAP LINED SWALES RIP RAP APRONS AT CULVERT OUTLETS
- TREATMENT SWALES DETENTION PONDS
- 8. ALL DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. 9. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER
- SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES. 10. BASIN FLOORS IN THE INFILTRATION BASINS ARE TO BE DEEPLY TILLED TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG PRIOR TO FINAL SEEDING. STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE INFILTRATION BASINS, SWALES, OR DITCHES UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- 11. FINISH CLEARING AND GRUBBING.
- 12. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS, AS NECESSARY. 13. CONSTRUCT CONSTRUCTION ENTRANCE FOR ACCESS TO DESIRED CONSTRUCTION AREAS.
- 14. BEGIN CONSTRUCTION OF UTILITIES AND STORM DRAINAGE AS NECESSARY. 15. MODIFY EROSION CONTROL MEASURES.
- 16. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH. ALL CUT AND FILL SLOPES SHALL BE STABILIZED.
- 17. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAIN DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS NECESSARY.
- 18. PAVE ALL PARKING AREAS AS SPECIFIED ON THE PLAN. 19. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION, ALL EROSION
- AND SEDIMENT CONTROLS NEED TO BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL. 20. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 21. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF FINISH GRADING. MAXIMUM EXPOSURE LENGTH FOR ALL DISTURRED AREAS IS 30 DAYS
- 22. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETED.

SITE MAINTENANCE AND INSPECTION PROGRAM

A. INSPECTIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO

- 1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY WEEKLY INSPECTIONS
- AND/OR AFTER 0.5" RAINFALL EVENTS. 2. CLÉANING OF SEDIMENT OR DEBRIS FROM STORM WATER MANAGEMENT AREA INLETS TWICE PER YEAR OR MORE
- FREQUENTLY AS DICTATED BY WEEKLY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS. WEEKLY SITE INSPECTIONS TO DETERMINE/IMPLEMENT NECESSARY REPAIR AND MAINTENANCE ACTIVITIES. REMOVAL OF SEDIMENT BUILDUP ALONG SILT FENCES, STRAW BALE BARRIERS, GRASS SWALES, AND TREATMENT BASIN INLETS. REMOVE SEDIMENT BUILDUP IN BOTTOM OF TREATMENT BASINS SUCH THAT ALL
- OUTLETS ARE KEPT FREE FROM SEDIMENT AND DEBRIS. INSPECTION/RECONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE. 6. Treatment of non-stormwater related discharges such as water line installation flush water OR GROUNDWATER FROM DEWATERING ACTIVITIES. THESE FLOWS SHOULD BE DIRECTED TO A TEMPORARY

SEDIMENTATION BASIN OR CONSTRUCTED STORM WATER MANAGEMENT AREA WITH WATER QUALITY SKIMMER

7. SWEEP PAVED PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION.

B. GOOD HOUSEKEEPING PRACTICES

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM WATER RUNOFF. THE CONTRACTOR SHALL USE CARE IN THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT:

- 1 AN FEFORT SHALL RE MADE TO STORE ONLY ENGLICH PRODUCT REQUIRED FOR THIS SPECIFIC SITE 2. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER SUITABLE ENCLOSURE. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR ORIGINAL LABELS.
- WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER. 5. THE MANUFACTURERS RECOMMENDATIONS SHALL BE FOLLOWED IN REGARD TO THE PROPER USE AND DISPOSAL
- OF ALL PRODUCTS. 6. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE THE PROPER USE AND DISPOSAL OF ALL MATERIALS ON

C. SPILL PREVENTION AND CLEANUP PRACTICES

THE CONTRACTOR/OPERATOR SHALL BE RESPONSIBLE FOR THE SAFE HANDLING, USE AND DISPOSAL PROGRAM OF ALL HAZARDOUS MATERIALS FOR THE DURATION OF THIS PROJECT AND SHALL HAVE A SPECIFIC SPILL PREVENTION AND CLEANUP PROTOCOL FOR ALL HAZARDOUS MATERIALS, INCLUDING, BUT NOT LIMITED TO:

- 1. MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THESE PROCEDURES AND THE LOCATION OF THE CLEANUP SUPPLIES. 2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIAL WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC/METAL TRASH CONTAINERS
- SPECIFICALLY FOR THIS PURPOSE. 3. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- 4. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- 5. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL
- GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. 6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL
- FROM REOCCURRING, AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

COLD WEATHER STABILIZATION

OVER SNOW GREATER THAN ONE INCH IN DEPTH.

- A. TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE ADDITIONAL STABILIZATION TECHNIQUES SPECIFIED IN THIS SECTION SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1. SUBJECT TO (C), BELOW, THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO ONE ACRE, AND PROTECTED AGAINST
- EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT. THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF A WINTER CONSTRUCTION PLAN IS DEVELOPED BY A QUALIFIED ENGINEER OR A CPESC SPECIALIST AND BY SUBMITTED TO THE DEPARTMENT FOR APPROVAL AS A REQUEST TO WAIVE THE ONE-ACRE LIMIT.
- D. SUBJECT TO (F) AND (G), BELOW, ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING OR
- TACKIFIER OR WITH AT LEAST 2 INCHES OF EROSION CONTROL MIX MEETING THE CRITERIA OF ENV—WQ 1506.05(B). ANCHORED HAY MULCH OR EROSION CONTROL MIX THAT MEETS THE CRITERIA OF ENV-WQ 1506.05(B), SHALL NOT BE INSTALLED
- G. EROSION CONTROL BLANKETS SHALL NOT BE INSTALLED OVER SNOW GREATER THAN ONE INCH IN DEPTH OR ON FROZEN
- ALL PROPOSED STABILIZATION IN ACCORDANCE WITH (D) OR (E), ABOVE, SHALL BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS. ALL DITCHES OR SWALES THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE
- DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY THE OWNER'S ENGINEERING CONSULTANT. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM 3-INCH LAYER OF BASE COURSE GRAVELS MEETING THE GRADATION REQUIREMENTS OF NHDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2016, TABLE 304-1,
- ITEM NO. 304.1, 304.2, OR 304.3. K. ALL TOPSOIL STOCKPILED SHALL BE MULCHED PRIOR TO ANY SNOW EVENT. STANDARD PROTECTION OF STOCKPILES AS
- DESCRIBED IN OTHER SECTIONS APPLIES. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

GENERAL EROSION CONTROL NOTES:

- PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS;
- 2. STORMWATER TREATMENT PONDS AND DRAINAGE SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE
- RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPS ARE STABILIZED: BASINS, DITCHES AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM:
- ROADWAYS AND PARKING AREAS MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE; CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE; ALL AREAS OF UNSTABILIZED SOIL MUST BE STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45
- DAYS OF INITIAL DISTURBANCE. 8. EROSION CONTROL PRACTICES MUST BE INSPECTED AT LEAST WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5
- INCH OR MORE: 9. THE AREA OF DISTURBANCE MUST BE LIMITED TO 5 ACRES UNLESS ENV-WQ 1505.05 RELATIVE TO COLD
 - WEATHER STABILIZATION APPLIES;
- 10. IN AREAS THAT WILL NOT BE PAVED, STABLE MEANS THAT: a. A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED; b. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.03; AND . In areas to be paved, stable means that base course gravels meeting the requirements of NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

TEMPORARY SEDIMENT TRAP. TEMPORARY SEDIMENT TRAPS SHALL COMPLY WITH THE FOLLOWING:

- (A) THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE; (B) THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES;
- (C) THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE
- (D) THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION: (E) THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL
- DISCHARGE TO A STABILIZED AREA; (F) THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED: AND

(G) THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

CONSTRUCTION DEWATERING. DEWATERING SHALL COMPLY WITH THE FOLLOWING:

- (A) THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR
- (B) ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE
- STABLE PRIOR TO DIRECTING DISCHARGE TO THEM; (C) IF A CONSTRUCTION EQUIPMENT BUCKET IS USED. IT SHALL EMPTY THE MATERIAL TO A STABLE AREA:
- (D) NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN:
- (E) FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND FILTER FLOW OR ITS VOLUME CAPACITY; AND
- (F) WHEREVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE

TEMPORARY STORMWATER DIVERSION. TEMPORARY STORMWATER DIVERSION SHALL COMPLY WITH THE FOLLOWING:

(G) DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA

- (A) WHEN NECESSARY TO MINIMIZE RELEASE OF SEDIMENT-LADEN RUNOFF PRIOR TO STABILIZATION OF THE SITE THE PERMANENT STORMWATER MANAGEMENT SYSTEM COMPONENTS, SEDIMENT-LADEN WATER SHALL BE DIVERTED AND
- STORED IN TEMPORARY DIVERSION PRACTICES SUCH AS SEDIMENT BASINS OR TRENCHES; (B) SUBJECT TO (C), BELOW, TEMPORARY DIVERSION PRACTICES SHALL BE STABILIZED PRIOR TO RECEIVING RUNOFF; (C) TEMPORARY DIVERSION CHANNELS WITH A GRADIENT OF 2 PERCENT OR GREATER SHALL BE STABILIZED. HOWEVER
- CHANNELS WITH A SLOPE OF LESS THAN 2% SHALL BE STABILIZED ONLY IF EROSION IS OBSERVED; (D) THE AREA DRAINING TO EACH TEMPORARY DIVERSION PRACTICE SHALL BE LESS THAN 5 ACRES;
- (E) TEMPORARY DIVERSION CHANNELS SHALL CONVEY, AND TEMPORARY BASINS AND TRENCHES SHALL CONTAIN, THE 2-YEAR, 24 HOUR DESIGN STORM WITHOUT OVERTOPPING THE BANKS; (F) THE BED SLOPE OF DIVERSION CHANNELS SHALL HAVE A POSITIVE GRADE TO ASSURE DRAINAGE;
- (G) WHERE DIVERSIONS CARRY CONCENTRATED FLOWS, ENERGY DISSIPATION METHODS SHALL BE IMPLEMENTED TO DISPERSE FLOW INTO AREAS DOWNSTREAM OF THE DISTURBED AREA; (H) IF EROSION OF DIVERSION PRACTICES OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHALL BE TAKEN TO
- STABILIZE THE BASIN, CHANNEL, AND BERM; AND (I) DIVERSION BASINS AND TRENCHES SHALL BE CLEARED OF SEDIMENT WHENEVER SEDIMENT ACCUMULATES.

SEEDING/MULCHING OF DISTURBED AREAS

TEMPORARY AND PERMANENT MULCHING. MULCHING SHALL COMPLY WITH THE FOLLOWING:

- (A. HAY AND STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKIFIER SO THAT THEY ARE NOT
- BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER; (B. MULCH MATERIALS SHALL BE SELECTED BASED UPON SOILS, SLOPE, FLOW CONDITIONS, AND TIME OF YEAR; (C. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE, EQUIVALENT TO 70 TO 90
- POUNDS PER 1,000 SQUARE FEET; WOOD CHIPS OR GROUND BARK SHALL BE APPLIED AT 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS
- PER ACRE, EQUIVALENT TO 460 TO 920 POUNDS PER 1,000 SQUARE FEET; (E. JUTE AND FIBROUS MATS AND WOOD EXCELSIOR SHALL BE INSTALLED ACCORDING TO THE APPLICABLE
- MANUFACTURER'S INSTRUCTIONS; AND (F. EROSION CONTROL MIX SHALL:
- (1) MEET THE CRITERIA OF ENV-WQ 1506.05(B); AND

(2) BE PLACED AT A THICKNESS OF 2 INCHES OR MORE.

- VEGETATION. VEGETATING DISTURBED AREAS SHALL BE COMPLETED ONLY AS SPECIFIED BELOW: ALL ESSENTIAL GRADING AND TEMPORARY STRUCTURES. SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS
- NEEDED TO PREVENT GULLYING AND REDUCE SILTATION, SHOULD BE COMPLETED PRIOR TO SEEDING. STONES AND TRASH SHALL BE REMOVED FROM THE AREA TO BE SEEDED SO AS NOT TO INTERFERE WITH THE
- C. TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL ON SLOPES 4:1 OR STEEPER, FINAL PREPARATION OF THE AREA TO BE SEEDED SHALL INCLUDE CREATING
- GROOVES IN THE SOIL PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF; IF NEEDED TO ENSURE GROWTH, FERTILIZER OR OTHER ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON; FERTILIZER APPLIED TO ANY AREA WITHIN 100 FEET OF ANY RIVER, STREAM, POND, OR LAKE SHALL BE LOW
- FERTILIZER APPLIED TO ANY AREA THAT IS SUBJECT TO RSA 483-B, THE COMPREHENSIVE WATER QUALITY PROTECTION ACT (ACT), SHALL MEET OR BE MORE PROTECTIVE OF WATER QUALITY THAN THE MINIMUM
- ALL SEEDED AREAS SHALL BE FERTILIZED, FERTILIZATION SHALL BE AT THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER.

STANDARDS OF THE ACT;

ALL GRADED AREAS SHALL BE SEEDED WITH: 1. TALL FESCUE: 20 POUNDS PER ACRE

PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER ONLY;

- 2. CREEPING RED FESCUE: 20 POUNDS PER ACRE BIRDSFOOT TREFOIL: 8 POUNDS PER ACRE
- 4. TOTAL 48 POUNDS PER ACRE LIVE SEED
- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 0.25 IN. OF
- SOIL OR LESS, BY CULTIPACKING OR RAKING. RUNOFF SHALL BE DIVERTED FROM THE SEEDED AREA;
- SUBJECT TO (N) BELOW, SEEDING SHALL OCCUR PRIOR TO SEPTEMBER 15TH OF THE YEAR IN WHICH THE AREA BEING SEEDED WAS DISTURBED;
- AREAS SEEDED BETWEEN MAY 15TH TO AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH MEETING THE CRITERIA OF ENV-WQ 1506.01(A) THROUGH (C); AND

11-2-22

8-9-22

DATE

IF VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA IS NOT ACHIEVED PRIOR TO OCTOBER 15TH, ONE OR MORE ADDITIONAL EROSION CONTROL METHODS SHALL BE IMPLEMENTED.

REVISED PER PLANNING BOARDCOMMENTS

10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW

DESCRIPTION

ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS

BEST MANAGEMENT PRACTICES FOR BLASTING

ALL ACTIVITIES RELATING TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES: OBSERVING THE ENTIRE BLASTING PROCEDURES: EVALUATING BLASTING PERFORMANCE: AND HANDLING AND STORAGE OF BLASTED ROCK.

LOADING PRACTICES, THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:

A. THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:

3. PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;

- 1. THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED;
- 2. GROUNDWATER CONDITIONS;
- B. THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
 - 1. USED IN THE BOREHOLE:
- C. EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SUCH THAT THEY ARE:
 - 2. RETURNED TO THE DELIVERY VEHICLE; OR
- D. SPILLAGE AROUND THE BOREHOLE SHALL BE: 1. PLACED IN THE BOREHOLE; OR
- 2. CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
- E. LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
- F. LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
- G. EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.

EXPLOSIVE SELECTION: THE FOLLOWING BMP'S SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:

- A. EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST
- EXECUTION. B. EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.

PREVENTION OF MISFIRES: INDUSTRY-STANDARD PRACTICES SHALL BE IMPLEMENTED TO PREVENT MISFIRES.

<u>MUCK AND ROCK MANAGEMENT</u>. MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:

- A. FOR PURPOSES OF THIS PART, THE FOLLOWING DEFINITIONS APPLY:
 - 1. "BLASTED MATERIAL" MEANS ALL OF THE EARTH MATERIAL LOOSENED AS A RESULT OF THE BLASTING; 2. "MUCK" MEANS THE BLASTED MATERIAL REMAINING AFTER THE ROCKS HAVE BEEN REMOVED; AND
- USE ELSEWHERE, INCLUDING FOR FEEDSTOCK OF A ROCK CRUSHING OPERATION. B. MUCK SHALL BE REMOVED FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE. C. ROCKS SHALL BE MANAGED SO AS TO PREVENT WATER SUPPLY WELLS OR SURFACE WATERS FROM BEING

CONTAMINATED BY RUNOFF. SPILL PREVENTION MEASURES AND SPILL MANAGEMENT. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE

3. "ROCKS" MEANS THE LARGER PIECES OF BLASTED MATERIAL THAT ARE SEPARATED FROM THE MUCK FOR

- MEASURES SHALL INCLUDE AT A MINIMUM: A. FUEL AND OTHER REGULATED SUBSTANCES SHALL BE MANAGED AS REQUIRED BY ENV-WQ 401.04.
- B. PERSONNEL WORKING AT THE BLAST SITE SHALL BE TRAINED IN HOW TO RESPOND TO A SPILL OF THE REGULATED SUBSTANCES BEING USED AT THE SITE.
- C. THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE: STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.

STORAGE TANKS OTHERWISE REGULATED.

2. SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY. 3. LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.

DOCUMENT.

KAW

KAW A

BY REV.

- 4. INSPECT STORAGE AREAS WEEKLY.
- 5. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS. 6. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
- 7. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND
- D. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE: EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED. 2. PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS.
 - . HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS. 4. USE FUNNELS AND DRIP PANS WHEN TRANSFERRING THE REGULATED SUBSTANCES.
 - 5. PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE. a. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES. b. Fueling and maintenance of excavation, earthmoving and other construction related EQUIPMENT WILL COMPLY WITH REGULATIONS OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF

ENVIRONMENTAL SERVICES (AS SUMMARIZED IN WD-DWGB-22-6 "BEST MANAGEMENT PRACTICES FOR

FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT" OR ITS SUCCESSOR

MILFORD FIRE DEPARTMENT

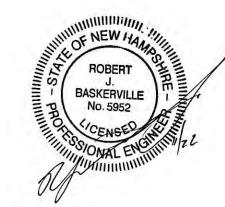
FIRE PREVENTION BUREAU

RESPONSIBILITY FOR COMPLIANCE WITH

APPLICABLE CODES AND STANDARDS.

APPROVED

DATE: 11/04/2022 APPROVAL OF THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THE



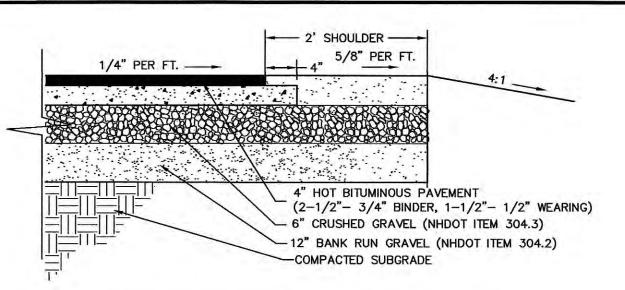
DETAIL SHEET 1 SOONER-MILFORD 754-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055 APPLICANT: OWNER: LAND BARGE, LLC SOONER TRANSPORTATION LLC 754-756 ELM STREET 3 EXECUTIVE PARK DRIVE. SUITE 201G MILFORD, NH 03055 BEDFORD. NH 03110 SCALE: 1'' = 20'SHEET 9 OF 12 APRIL 25, 2022 DESIGN: DRAWN: CHECKED: FB: PG: 1667-01 KAW KAW 580

TAX MAP 12 LOT 11

Bedford Design Consultants in ENGINEERS AND SURVEYORS

> 592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533 www.bedforddesign.com

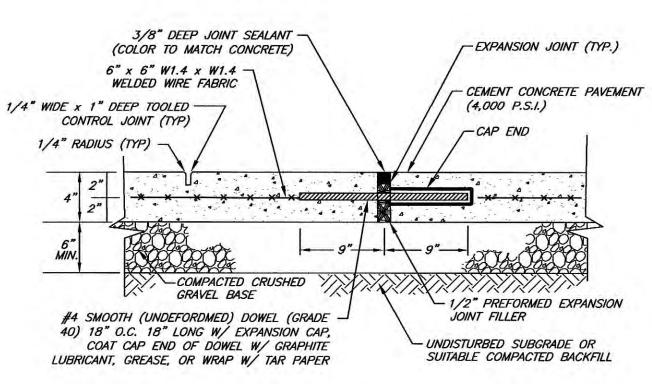


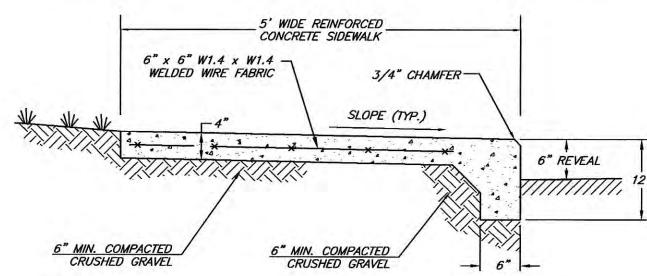


1. SECTION NUMBERS REFER TO APPROPRIATE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION 2. SECTION 410 (TACK COAT) WILL APPLY IF MORE THEN 180 CALENDAR DAYS ELAPSE BETWEEN PLACEMENT OF BINDER COARSE AND WEARING COARSE. 3. PAVEMENT SECTION SHALL CONFORM TO LATEST NHDOT MANUAL AND TOWN OF AUBURN SITE PLAN REGULATIONS.

PAVEMENT DETAIL

NOT TO SCALE





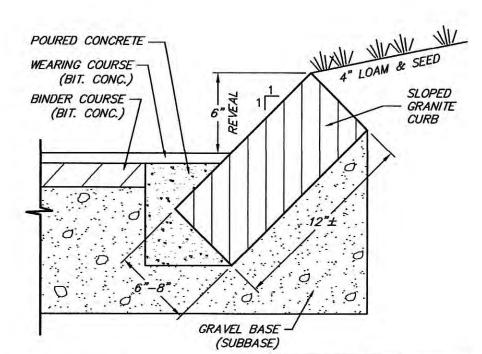
NOTES:

1. CROSS SLOPE OF SIDEWALK TO BE AS SPECIFIED ON THE PLAN.

2. MAINTAIN 2" CLEARANCE (TYP) BETWEEN ALL CONCRETE EDGES AND WIRE FABRIC OR DOWEL. 3. CONTROL JOINTS TO BE LOCATED 5-FEET ON CENTER.

4. EXPANSION JOINTS TO BE LOCATED 25-FEET ON CENTER. 5. ALL CONCRETE TO BE 4,000 PSI NHDOT CLASS AA.

REINFORCED CONCRETE SIDEWALK DETAIL NOT TO SCALE



MINIMUM LENGTH OF STRAIGHT CURB STONES = 1' MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'

STONES LAID ON CURVE = SEE

MINIMUM LENGTH OF STRAIGHT CURB

STONES WITH LENGTH JSE CURVED CUR USE RADIAL JOINT

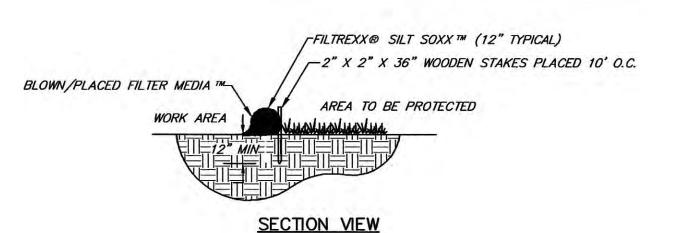
ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH

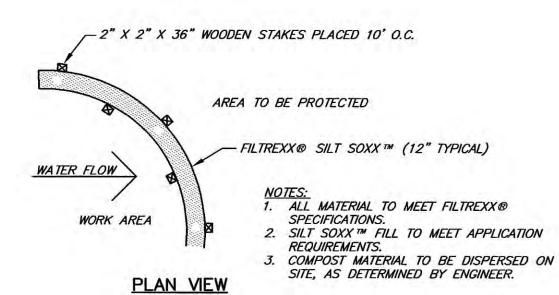
1'-6" OVER 110

MAXIMUM

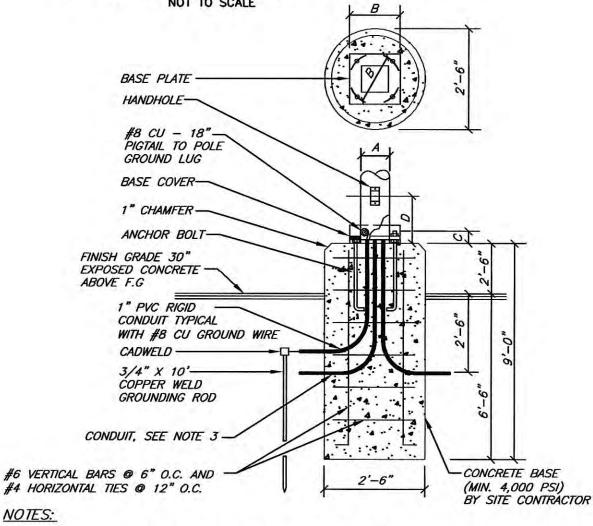
SLOPED GRANITE CURB DETAIL

NOT TO SCALE





FILTREXX SILT SOXX DETAIL NOT TO SCALE



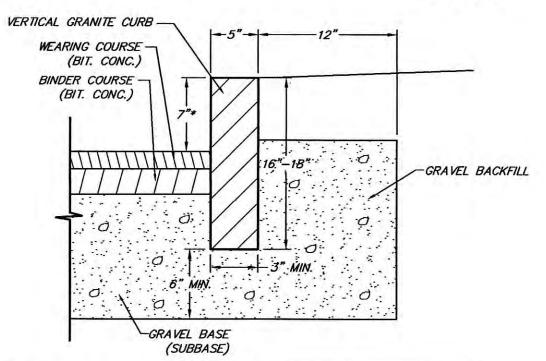
- 1. REFER TO LIGHT POLE MANUFACTURER FOR A, B, C AND D DIMENSIONS AND ANCHOR BOLT
- SEE ELECTRICAL SITE PLAN FOR CONDUITS AT EACH LOCATION. 3. ALL CONDUIT INSIDE OF CONCRETE POLE BASES SHALL BE GALVANIZED RIGID STEEL AND
- ALL ELBOWS SHALL BE A MIN. 36" RADIUS.
- THE 2'-6" POLE BASE EXPOSURE IS INTENDED TO PREVENT DAMAGE TO LIGHT POLE FROM LOW SPEED VEHICLE IMPACT AND IS INTENDED FOR PARKING LOT USE ONLY. CONTRACTOR SHALL REVIEW AND VERIFY THIS FEATURE WITH THE OWNER PRIOR TO CONSTRUCTION.

MAXIMUM

LENGTH

USE CURVED CUR

LIGHT POLE BASE DETAIL



RADIUS

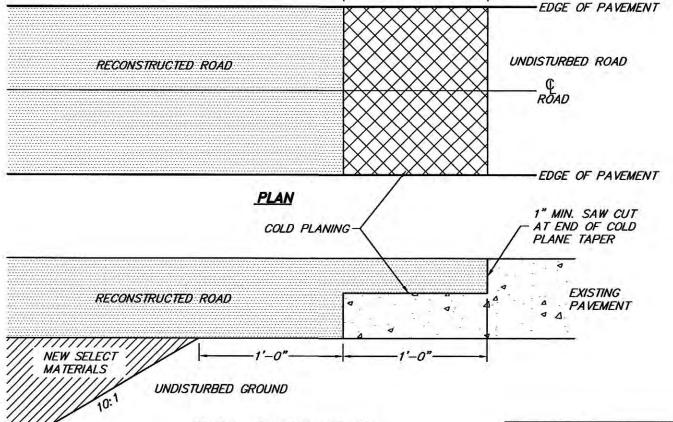
36' - 42'

OVER 60'

MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'

MINIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVE = SEE ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME

* 2" AT DRIVEWAYS AND O" AT SIDEWALK RAMPS



PAVEMENT-MOUNTABLE BERM 3" CRUSHED STONE -MARAFI 500X FILTER CLOTH -(OR EQUAL) EXISTING GROUND PAVEMENT * WIDTH OF TRAVELED WAY OR 10', WHICHEVER IS GREATER. PLAN VIEW

STABILIZED CONSTRUCTION EXIT:

NOT TO SCALE

MAINTENANCE NOTES:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

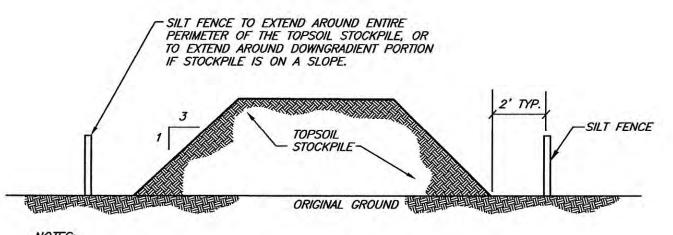
CONSTRUCTION SPECIFICATION

(A) THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE;

- (B) THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE;
- (C) THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS
- (D) THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY;

(E) THE PAD SHALL BE AT LEAST 6 INCHES THICK;

- (F) A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD; AND
- (G) THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF—SITE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT- OF-WAY MUST BE REMOVED PROMPTLY.
- (H) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.



- 1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND
- OFF-SITE PROPERTY. REFERENCE IS MADE TO SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
- 3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
- 4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAINFALL EVENTS IN EXCESS OF 0.5 INCHES. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
- 6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE TOWN.

TEMPORARY STOCKPILE DETAIL NOT TO SCALE

MILFORD FIRE DEPARTMENT FIRE PREVENTION BUREAU

APPROVED

DATE: 11/04/2022

APPROVAL OF THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



FOR BAG REMOVAL FROM INLET OPTIONAL OVERFLOW SILTSACK -DUMP LOOPS FRAME INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL INSTALLATION AND MAINTENANCE NOTES:

CATCH BASIN -

INSERT 1" REBAR

TO INSTALL THE SILTSACK® IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.

FI OODING

1. INLET BASKETS SHALL BE USED ON ALL CATCH BASINS

DURING CONSTRUCTION. INLET BASKETS SHALL BE

2. THE FILTER FABRIC SHALL BE A WOVEN POLYPROPYLENE

GRAB TENSILE STRENGTH: 300 LBS. MINIMUM

GRAB ELONGATION: 20% MINIMUM (ASTM D-4632)

PUNCTURE: 120 LBS. MINIMUM (ASTM D-4633)

TRAPEZOID TEAR STRENGTH: 120 LBS. MINIMUM

MULLEN BURST STRENGTH: MINIMUM 800 PSI

THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A

THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY,

AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING TH

PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN

DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE

NUMBER 40 U.S. STANDARD SIEVE AND MINIMUM

GEO-TECTILE FABRIC MEETING THE FOLLOWING

"SILTSACK" OR APPROVED EQUAL.

(ASTM D-4632)

(ASTM D-4533)

(ASTM D-3786)

STABILIZED WITH VEGETATION.

PERMEABILITY OF 40 GPM/SQ. FT.

SPECIFICATIONS:

THE SILTSACK® IS FULL AND SHOULD BE EMPTIED WHEN THE YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.

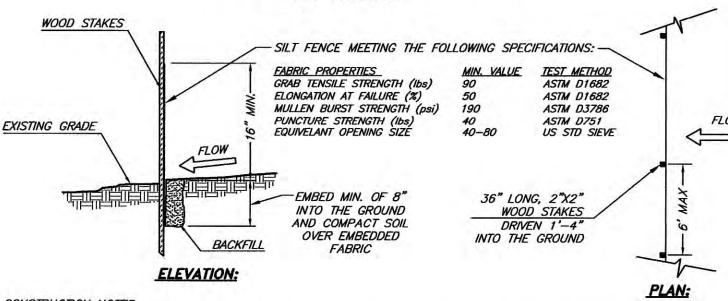
TO REMOVE THE SILTSACK®, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF THE SILTSACK®.

TO EMPTY THE SILTSACK®, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN THE SILTSACK® INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN THE SILTSACK® TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.

THE SILTSACK® IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE THE SILTSACK® FROM THE BASIN AND CLEAN. THE SILTSACK® SHOULD BE STORED OUT OF THE SUNLIGHT WHEN NOT IN USE.

INLET SEDIMENT FILTER BASKET

NOT TO SCALE



CONSTRUCTION NOTES:

- FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE FENCE; THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1/4-ACRE PER 100 LINEAR FEET OF
- THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE FENCE SHALL BE 100 FEET;
- THE MAXIMUM SLOPE OF THE AREA ABOVE THE FENCE SHALL BE 2:1;
- FENCES SHALL BE INSTALLED AS FOLLOWS: FENCES SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;
- 2. THE ENDS OF THE FENCE SHALL BE FLARED UP-SLOPE; 3. THE BASE OF THE FENCE SHALL BE:
- a. FOLDED SUCH THAT NOT LESS THAN 4 INCHES OF THE FENCE IS PLACED ALONG THE BOTTOM OF A TRENCH THAT IS EXCAVATED AT LEAST 4 INCHES DEEP INTO THE GROUND, WITH THE SOIL COMPACTED OVER THE EMBEDDED FABRIC; OR b. IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, EMBEDDED IN A MINIMUM
- THICKNESS OF 8 INCHES OF 34-INCH STONE; SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS; AND 5. ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED TO A SUPPORT POST;
- FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY; AND
 SEDIMENT THAT ACCUMULATES AT THE FENCE SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE
- SEDIMENT FROM REACHING ONE—THIRD THE HEIGHT OF THE FENCE. INSTALL FENCE PER MANUFACTURES SPECIFICATIONS.
- IF THE FABRIC ON THE SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE LIFE OF THE FENCE, THE FABRIC SHALL BE PROMPTLY REPLACED.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.

SILT FENCE DETAIL:

NOT TO SCALE

TAX MAP 12 LOT 11

DETAIL SHEET 2 SOONER-MILFORD LOCATED AT:

754-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

SCALE: 1" = 20'

APPLICANT: SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

SHEET 10 OF 12

1667-01

DESIGN: DRAWN: RJB

Bedford Design Consultants ENGINEERS AND SURVEYORS

APRIL 25, 2022

592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533 www.bedforddesign.com



<u>VERTICAL GRANITE CURB DETAIL</u>

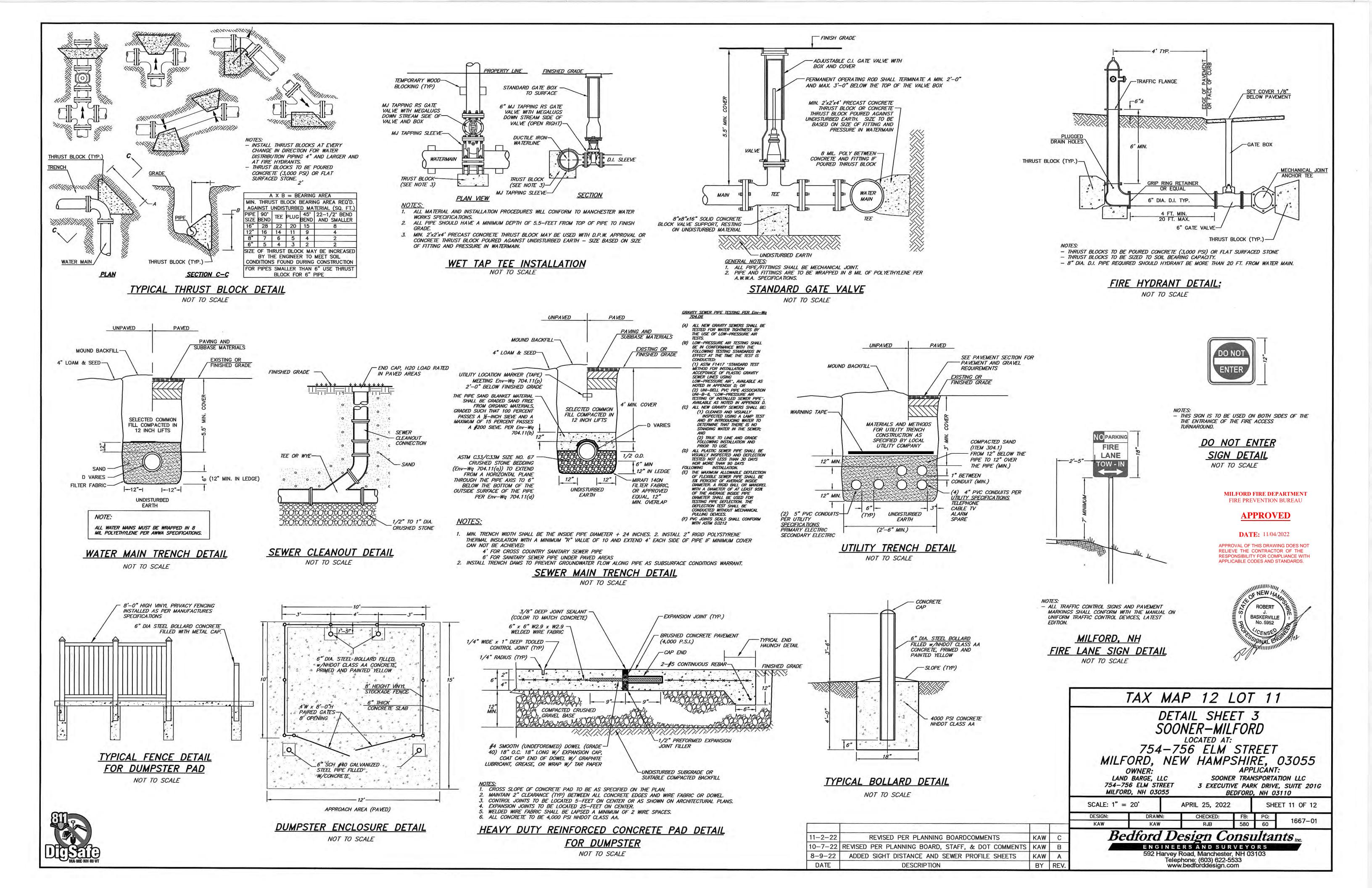
NOT TO SCALE

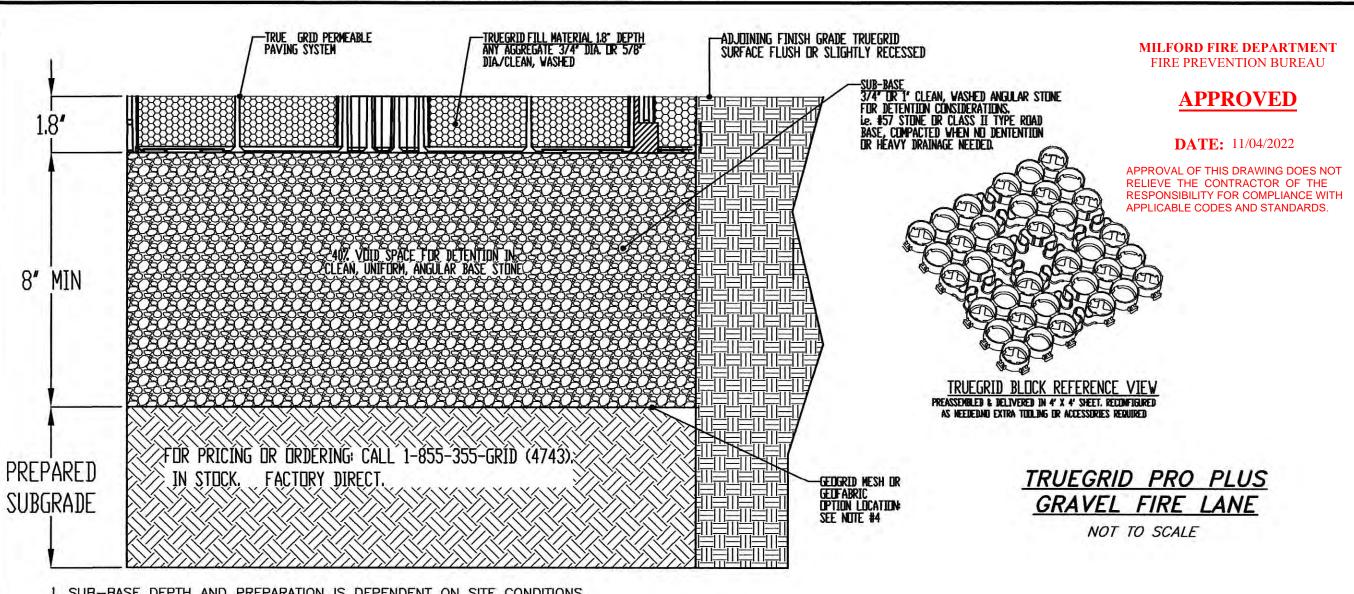
DETAIL OF END SECTION

11-2-22 PAVEMENT CONNECTION

NOT TO SCALE

REVISED PER PLANNING BOARDCOMMENTS KAW C 10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW 8-9-22 ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS KAW A DATE DESCRIPTION BY REV





- 1. SUB-BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
- 2. TRUEGRID PRO PLUS PRODUCTS DESIGNED FOR LOAD CAPACITIES OF 120,000 LBS PER SQ. FT. TRUEGRID PRODUCTS STRENGTHEN WITH FILL MATERIAL.

- 3 1/8" PERVIOUS PAVER LAYER (SEE PAVER NOTES)

-6" CHOKER COURSE CRUSHED STONE (AASHTO No. 57)

4" RESERVOIR COURSE CRUSHED STONE (LAID LEVEL) (AASHTO No. 3) BOTTOM OF RESERVOIR COURSE, ELEV. = 289.75

PERVIOUS PAVER MAINTENANCE:

- 3. TRUEGRID PRO PLUS PRODUCTS ARE SUFFICIENTLY RATED FOR H-20 /HS-20 LOADING AND GREATER.
- 4. GEOGRID MESH OR GEOFABRIC MAY BE REQUIRED BETWEEN SUB-GRADE & SUB-BASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.

-12" BANK RUN GRAVEL FILTER COURSE (MODIFIED NHDOT 304.1)

- 5. INCREASE SUB-BASE DEPTH FOR INCREASED STORM WATER DETENTION.
- 6. NO STAKING NECESSARY WITH TRUEGRID PRO PLUS WHEN SLOPE IS BELOW 10 DEGREES. ASSESS PROJECT, AS NEEDED.

JOINTS TO BE FILLED IDEAL PAVERS AQUA-BRIC 8 JOINT SPECIFICATION MATERIAL PERMEABLE PAVER AQUA-BRIC 8

- 7. FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS AND LOAD REQUIREMENTS.
- 8. THIS CROSS SECTION IS FOR INFORMATION ONLY.

EXISTING SUBGRADE

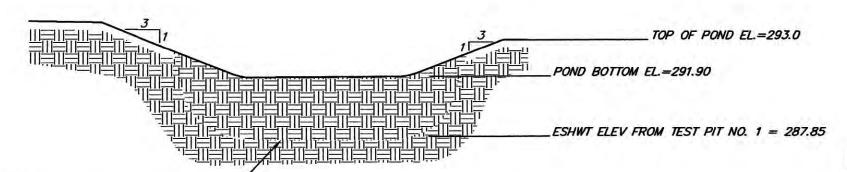
PAVERS SHALL BE PAVERS BY IDEAL AQUA-BRIC 8 FOR HEAVY LOADS IN

AT THE DISCRETION OF THE OWNER. PAVERS ARE TO BE INSTALLED PER

4" LOAM AND SEED

PAVER NOTES:

MANUFACTURER'S INSTALLATION GUIDE.



BASIN NOTES:

UNDISTURBED EARTH-

- DURING CONSTRUCTION DO NOT RUN HEAVY MACHINERY OVER INFILTRATION SITES. COMPACTION WILL CAUSE THEM TO BECOME INEFFECTIVE. ONCE THE BOTTOM LEVEL OF BASIN IS EXCAVATED, TILL THE SOIL WITH A ROTARY TILLER TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS BY LEVELING DRAG.
- BASINS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN PLANTED AND IT'S CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

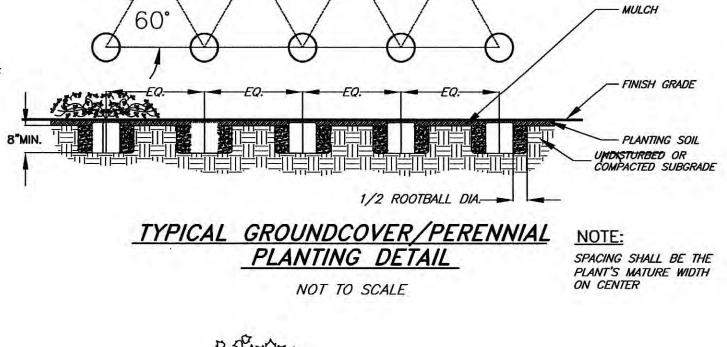
4. SLOPES SHALL BE PROTECTED WITH JUTE MATTING.

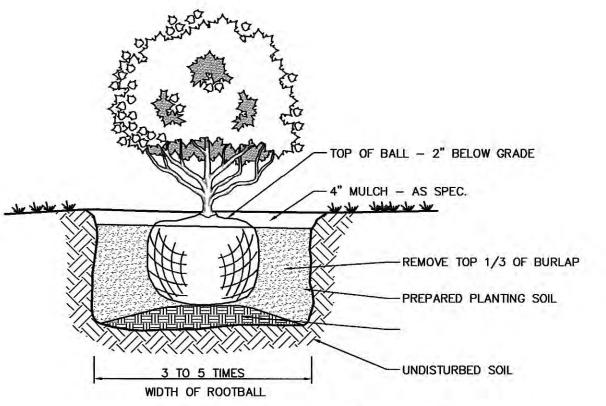
INFILTRATION BASIN

NOT TO SCALE

BEST MANAGEMENT PRACTICES FOR INFILTRATION BASINS

- 1. REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
- 2. REMOVAL OF ACCUMULATED SEDIMENT.
- 3. INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
- INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED
- 5. INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION. BUT NO LESS THAN TWICE ANNUALLY.
- 6. PERIODIC MOWING OF EMBANKMENTS.
- 7. REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS.
- 8. INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS.
- 9. IF INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.





SHRUB PLANTING DETAIL

NOT TO SCALE

FOR ALL FALL PLANTING, WRAP WITH 3" WIDE BLACK SPUN BOND ADD AGRIFORM FERTILIZER TABLETS PER MANUFACTURER'S POLYPROPYLENE SPECIFICALLY MANUFACTURED FOR TRFF WRAPPING SPECIFICATIONS AND TO RESIST INSECT INFESTATION. WRAP TRUNK TO 2ND LOWEST 3" SHREDDED, UNTREATED PINE BRANCH. REMOVE WRAP DURING THE BARK MULCH (HOLD MULCH OFF FOLLOWING SPRING SEASON. ROOT FLARE) TREE SHALL BE PLANTED 2" ABOVE SURROUNDING GRADE. TREE SHALL MIXTURE OF TILLED NATIVE SOIL WITH TOPSOIL BE PLUMB AFTER SETTLEMENT. ROLL BURLAP BACK FROM TOP 1/3 OF ROOTBALL BEFORE BACKFILLING. HIGH LOAM SAUCER AROUND UNTIE ROPE FROM TRUNK. REMOVE TOP 8-16" OF WIRE BASKET ONCE THE ROOTBALL IS STABLE IN THE PLANTING HOLE. AREA (FINISH GRADE) UNDISTURBED SUBGRADE TAMP SOIL FIRMLY AT ROOTBALL BASE TO PREVENT ROOTBALL MOVEMENT ROOTBALL TO SIT DIRECTLY ON PLANTING HOLE UNCOMPRESSED/UNDISTURBED SOIL MIN 3X WIDER THAN ROOT BALL ALL SIDES

DECIDUOUS TREE PLANTING

BEST MANAGEMENT PRACTICES FOR PERMEABLE PAVERS

- 1. NO WINTER SANDING OF PERMEABLE PAVEMENT IS PERMITTED.
- 2. MINIMIZE APPLICATIONS OF SALT FOR ICE CONTROL.
- 3. NEVER SEAL OR REPAVE PERMEABLE PAVERS.
- 4. IF A PAVER BECOMES DAMAGED IT CAN BE REPLACED AND THE NEW PAVER RESET.
- 5. INSPECT ANNUALLY FOR DETERIORATION OR SPALLING.
- 6. MONITOR PERIODICALLY TO ENSURE THAT PAVER SURFACE DRAINS EFFECTIVELY
- 7. FOR INTERLOCKING PAVERS, PERIODICALLY ADD JOINT MATERIAL TO REPLACE LOST
- MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF PAVER SURFACE, AND

POSSIBLY FILTER COURSE AND SUB-BASE MATERIAL.

TYPICAL CROSS SECTION • INSPECT ADJACENT VEGETATED AREAS (2-4 TIMES PER YEAR) FOR SIGNS OF EROSION AND RUN-ION TO THE POROUS FOR PERVIOUS PAVERS FOR HIGH PERMEABILITY SUB SOILS NOT TO SCALE

9" DEPTH

MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF THE SURFACE AND POSSIBLY FILTER COURSE AND SUB-BAS TOP OF BASIN EL.=409.12 OUTLET EL =408.12

INSPECT ANNUALLY FOR DETERIORATION OR BREAKAGE

MONITOR PERIODICALLY TO ENSURE THAT THE SURFACE

• CLEAN PERIODICALLY (2-4 TIMES PER YEAR) TO REMOVE

SEDIMENT AND ORGANIC DEBRIS ON THE SURFACE .

DRAINS EFFECTIVELY AFTER STORMS

WIDTH OF SPILLWAY AND/OR WIDTH OF RIPRIP AS SPECIFIED ON THE PLANS.

- REFER TO THE MAINTENANCE AND CONSTRUCTION NOTES FOR ROCK RIP-RAP FOR ADDITIONAL DETAILS. MAINTENANCE

ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLODGE THE ROCK RIPRAP. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIPRAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.

CONSTRUCTION SPECIFICATIONS

- 1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC OR RIPRAP SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, VEGETATION, AND DEBRIS AND PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS. 2. THE ROCK AND/OR GRAVEL USED FOR FILTER AND RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION. 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK
- RIPRAP BY PLACING A CUSHION OF SAND AND GRAVEL OVER THE FABRIC. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES. 4. STONE FOR THE RIPRAP MAY BE PLACE BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT PREVENT DISPLACEMENT OF THE UNDERLYING MATERIALS.
- HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE TO ANY PERMANENT STRUCTURES. 5. STONES FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE
- FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIPRAP. 6. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

OUTLET SPILLWAY DETAIL

NOT TO SCALE

TEST PIT NO. 1

TEST PIT ELEVATION = 290.60

0"-10" FILL, 10 YR 5/1, FINE LOAMY SAND, GRANULAR, FRIABLE 10"-33" 10 YR 6/6, FINE LOAMY SAND, FINE GRANULAR FRIABLE 33"-38" SOLID MOTTLING 5 YR 4/4, FINE LOAMY SAND, FINE GRANULAR, FRIABLE SLIGHTLY FIRM @

38"-60" 10 YR 6/8, LOAMY SAND, GRAVELLY, GRANULAR, FRIABLE

WATER @ 72" ESHWT @ 33" (ELEV 287.85) RESTRICTIVE LAYER @ 38"

TEST PIT NO. 2

TEST PIT ELEVATION = 293.00

0"-14" A HORIZON 10 YR 4/3 FINE SANDY LOAM, MASSIVE, FRIABLE 14"-24" B HORIZON 10 YR 6/6 FINE LOAMY SAND, WEAK FINE GRANULAR, FRIABLE 24"-28" BURIED A HORIZON 10 YR 5/4 LOAMY SAND, GRANULAR, FRIABLE 28"-76" 10 YR 6/6 FINE LOAMY SAND, WEAK FINE GRANULAR, FRIABLE

WATER NONE OBSERVED @ 60" ESHWT NONE OBSERVED @ 60" (ELEV 288.00)

TEST PIT INFORMATION

TEST PITS WERE PERFORMED ON 8-1-22 BY RAY CRITCH

4 LB/FT "U" CHANNEL (GAL VANIZED) -1 1/4" LOCK WASHER RESERVED R7-8 12"x18" PARKING -5/16" MACHINE GREEN SCREW OR BOLT 3 1/2" FINISHED GRADE POST SECTION MOUNTING (N.T.S.) ONLY CONCRETE 12"x6" *ACCESSIBLE* ROBERT BASKERVILLE VAN ACCESSIBLE HANDICAP No. 5952

NOT TO SCALE

-

STRIPE PARKING AREAS AND DRIVES AS SHOWN INCLUDE PARKING SPACES, HANDICAP SYMBOLS AND PAINTED ISLES. ALL MARKINGS

TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE

ACCESSIBLE PARKING SPACES

NOT TO SCALE

REQUIREMENTS OF ASSHTO M248 TYPE F.

HANDICAP PARKING SIGN R7-8P WITH "VAN ACCESSIBLE" PLACARD

- MONOLITHIC

TO BE FLUSH

WITH PARKING

WHITE GRAPHIC.

LOT SURFACE

OR CURR

CONCRETE SIDEWALK

NATIONAL STANDARD

ACCESSIBILITY SYMBOL

PAINTED ON PAVEMENT.

BLUE BACKGROUND WITH

PARKING SIGN DETAIL NOT TO SCALE

ACCESSIBLE RAMP

4" PAINTED STRIPING

NOTE: THE ACCESSIBLE

PARKING STALLS AND

EXCEED A 2% SLOPE II

AISLE SHALL NOT

ANY DIRECTION

1'-6" O.C. AT 45' IN-

FRONT OF RAMP

	MA-ME-NH-RI-VI				
				KAW	
11-2-22	REVISED PER PLANNING BOARDCOMMENTS	KAW	С		
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	В		
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	Α		
DATE	DESCRIPTION	BY	REV.		

TAX MAP 12 LOT 11

DETAIL SHEET 4 SOONER-MILFORD

154-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055 APPLICANT:

APRIL 25, 2022

OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

SCALE: 1" = 20'

SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD. NH 03110

SHEET 12 OF 12

1667-01

DRAWN: CHECKED: FB: PG: KAW 580

Bedford Design Consultants inc ENGINEERS AND SURVEYORS

592 Harvey Road, Manchester, NH 03103 elephone: (603) 622-5533 www.bedforddesign.com



LEGEND

PROPOSED CONTOUR

EXISTING CONTOUR

PROPOSED SPOT GRADE

TAX MAP 6 LOT 17

RIVER BED TRUST

DAWN J. ARNSTEIN. TRUSTEE

P.O. BOX 95

WILTON, NH 03086-0095

BOOK 5167 PAGE 1545

SOONER MILFORD SITE PLAN

EXISTING EDGE OF PAV'T

SOLID YELLOW LINE

DASHED YELLOW LINE

SOLID YELLOW LINE

DASHED YELLOW LINE

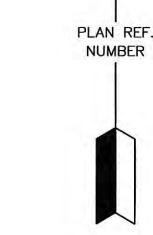
754 & 756 ELM ST MILFORD, NEW HAMPSHIRE

TAX MAP 12 LOT 10-1 STATE OF NEW HAMPSHIRE P.O. BOX 483 CONCORD, NH 03302-0483 BOOK 1307 PAGE 0182



NOTES:

1. OWNER OF RECORD: TAX MAP 12 LOT 11 LAND BARGE, LLC 754-756 ELM ST MILFORD, NH 03055 BOOK: 8664 PAGE: 2557



- 2. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED AUTO REPAIR AND AUTO SALES SHOP WITH ACCOMPANYING PARKING AND CIRCULATION AND OUTDOOR DISPLAY.
- 3. THE EXISTING LOT IS AN AUTO REPAIR AND SALES SHOP WITH ASSOCIATED PARKING CIRCULATION AND STORAGE. THR FRONT \$ OF THE PROPERTY ARE PAVED. BEHIND THE BACK FENCE IS GRASSED. THE MAJORITY OF IMPROVEMENTS ARE TO BE REMOVED. SEE THE DEMOLITION PLAN.
- 4. EXISTING DRAINAGE INCLUDES A CATCH BASIN ON ROUTE 101 AND A WETLAND SWALE AT THE BACK OF THE PROPERTY. THE PROPOSED DRAINAGE INCLUDES AN ABOVE GROUND STORMWATER BASIN AND PERMEABLE PAVERS AND THE EXISTING DRAINAGE STRUCTURES. THE SITE IS FLAT AND ALL WATER EVENTUALLY REACHES ROUTE 101. THE SWALE AT THE BACK OF PROPERTY FLOWS ONTO THE ADJACENT PROPERTY AND
- 5. TOTAL PARCEL AREA = 38,615 SQ. FT. OR 0.886 ACRES.
- 6. ZONED: COMMERCIAL & WEST ELM OVERLAY DISTRICT. THE PARCEL ABUTS THE INDUSTRIAL ZONE. IT IS IN THE GROUNDWATER PROTECTION DISTRICT AND THE
- 7. THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0454D, EFFECTIVE DATE SEPTEMBER 25, 2009.
- 8. THE SITE IS LOCATED IN THE LEVEL II PROTECTION AREA AS SHOWN ON THE MAP TITLED 'GROUNDWATER PROTECTION AREA: MILFORD, NH' PREPARED BY NASHUA REGIONAL PLANNING COMMISSION, PRINTED 10/24/02.

9. DIMENSIONAL REGULATIONS: COMMERCIAL

	REQ.	EX.	PR.	
MIN. LOT SIZE	20,000 S.F.	38,615 S.F.	38,615 S.F.	
MIN. FRONTAGE	150'	172'	172'	
FRONT SETBACK	30'	30'	<i>30</i> ′	
SIDE/REAR SETBACK	15'	<i>15</i> *	15'	
OPEN SPACE	30%	32% (12,284 S.F.)	30% (11,350 S.F.)	
WETLAND NON-DIST.	25'		25'	

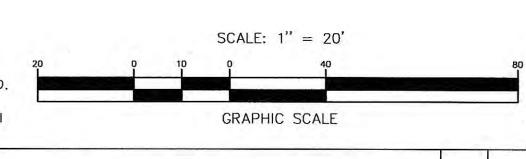
10. PARKING:

- 9'X18' SPACES WITH 24' ACCESS AISLES.
- AUTO REPAIR/AUTO DEALER:
- 4 SPACES PER BAY = 4 X 7 = 28 SPACES
- 1 SPACE/EMPLOYEE + 1 SPACES PER 1,000 S.F. = 10 EMPLOYEES + 10.8 PER S.F.
- = 21 SPACES REQUIRED
- = 18 SPACES PROPOSED (SEE WAIVER REQUEST BELOW)

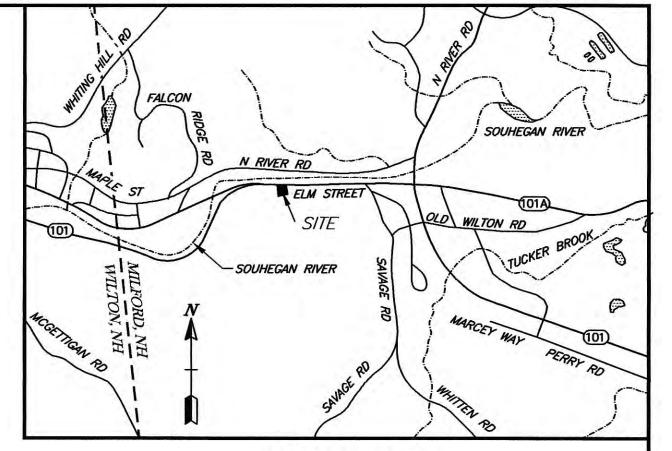
NHDES SHORELAND PERMIT NHDES SEWER DISCHARGE PERMIT TOWN OF MILFORD STORMWATER PERMIT

NHDOT DRIVEWAY PERMIT

- 12. WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- 13. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- 14. THIS PROJECT MAY BE TO THE TOWN OF MILFORD IMPACT FEES.
- 15. WAIVERS ARE REQUESTED FOR THE NUMBER OF REQUIRED PARKING SPACES IN SECTION 6.05.4 TABLE OF OFF-STREET PARKING , FROM THE PERIPHERY LANDSCAPE STRIP SECTION 6.08.5(B)1 & 6.08.7(A)1, AND FROM THE ACCESSIBLE PARKING LENGTH SECTION 6.05.3(A)4 & 6.05.5(E). AS WELL AS WAIVERS FROM THE ZONING ORDINANCE SECTION 6.07.E.5.A PARKING LOTS SHOULD BE LOCATED ON THE SIDE OR REAR OF BUILDINGS AND SECTION 6.07.6.E.T.A PROPOSED BUILDINGS SHALL MAINTAIN AN APPROPRIATE STREET EDGE TO ADJACENT STRUCTURES.
- 16. IN THE EVENT THE PROPOSED SNOW REMOVAL AREAS ARE NOT SUFFICIENT, SNOW SHALL BE RELOCATED OFF SITE USING BEST MANAGEMENT PRACTICES. ALL SNOW REMOVAL SHALL BE DONE BY A GREEN SNOW PRO CERTIFIED COMPANY.
- 17. THIS SITE PLAN REQUIRES AND AUTOMATIC FIRE ALARM SYSTEM AS WELL AS AN AUTOMATIC SPRINKLER SYSTEM. THE FIRE LANE IS LOCATED ALONG THE FRONT ENTRANCE DRIVE. APPROPRIATE SIGNAGE SHALL BE INSTALLED PER THE PLANS. THE FIRE TRUCK TURNAROUND SHALL REMAIN FREE OF OBSTRUCTIONS.
- 18. THE LOADING AREA SHALL BE ALONG THE FRONT OF BUILDING. DELIVERY TRUCKS SHALL BE LIMITED TO FLATBED TRUCKS. ALL DELIVERIES SHALL BE SCHEDULED SO THAT EXISTING CARS CAN BE RELOCATED FOR EASE OF EGRESS.
- 19. DISPLAY PARKING SPACES MAY NOT BACK OUT INTO THE MAIN ROAD. THIS AREA IS TO REMAIN OPEN TO ALLOW EGRESS OF THE FLATBED TRUCKS.

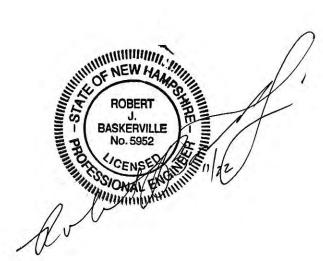


11-2-22	REVISED PER PLANNING BOARDCOMMENTS	KAW	С
10-7-22	REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS	KAW	В
8-9-22	ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS	KAW	Α
DATE	DESCRIPTION	BY	REV



LOCUS MAP

PLAN INDEX SHI	EET NO
OVERVIEW & SITE PLAN SHEET	1
EXISTING CONDITIONS PLAN	2
DEMOLITION & EROSION CONTROL PLAN	3
GRADING, UTILITY PLAN	4
SEWER PROFILE PLAN	5
LIGHTING, & LANDSCAPE PLAN	6
ARCHITECTURAL & TRUCK TURNING PLANS	7
SIGHT DISTANCE PLAN	8
CONSTRUCTION DETAILS	9-12



OWNER'S SIGNATURE	
NAME	DATE

APPROVED	RY	THE	TOWN	OF	MII FORD	PI ANNING	BOARD
ATTACILE	01	""L	101111	O,	MILI OND	LAMINO	DUAND
SIGNA TURE						DATE	
	-					DATE_	
SIGNATURE						DATE	
						DATE_	

TAX MAP 12 LOT 11

OVERVIEW & SITE PLAN SOONER-MILFORD T54-756 ELM STREET

MILFORD, NEW HAMPSHIRE, 03055 APPLICANT:

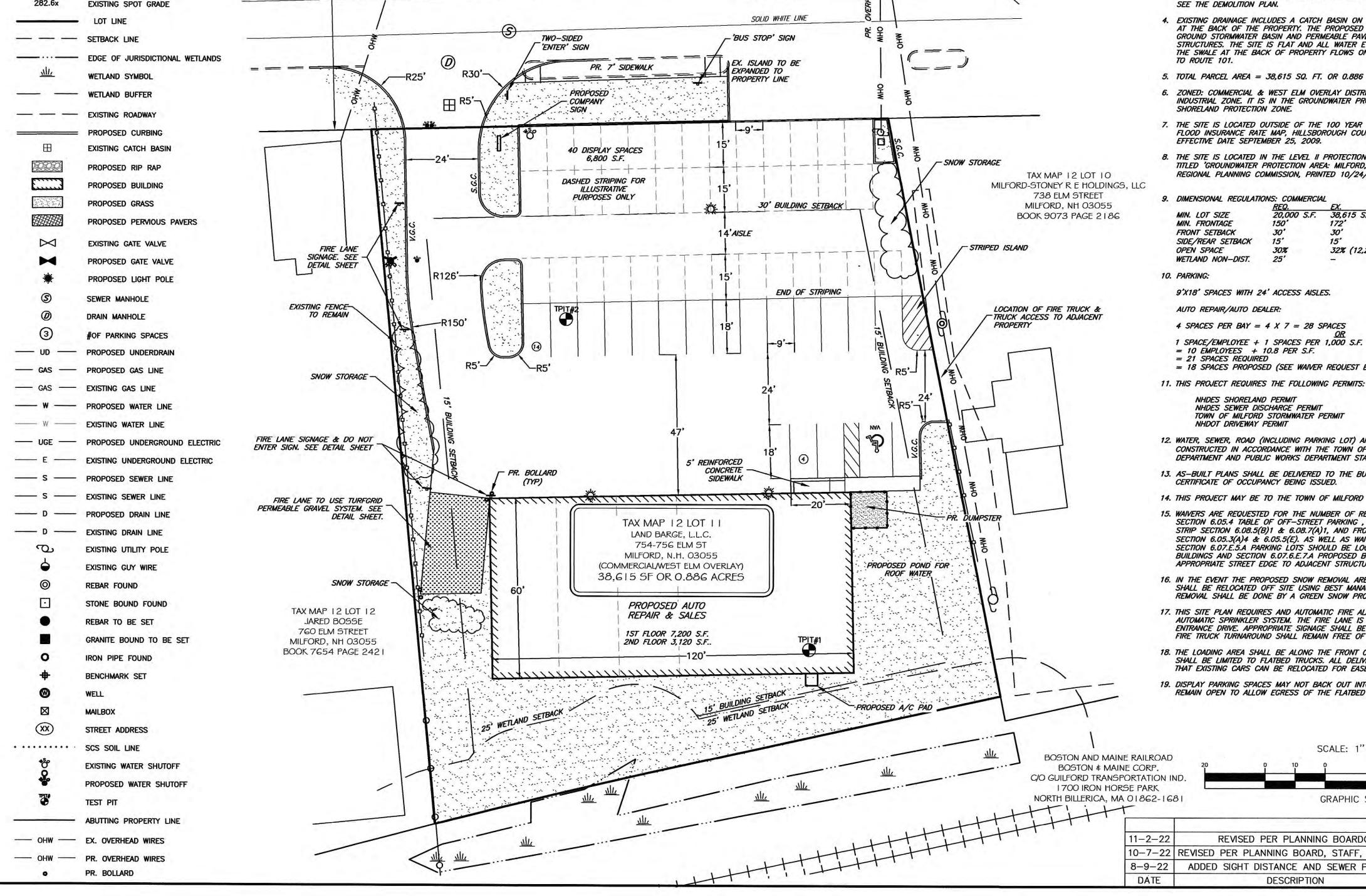
OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

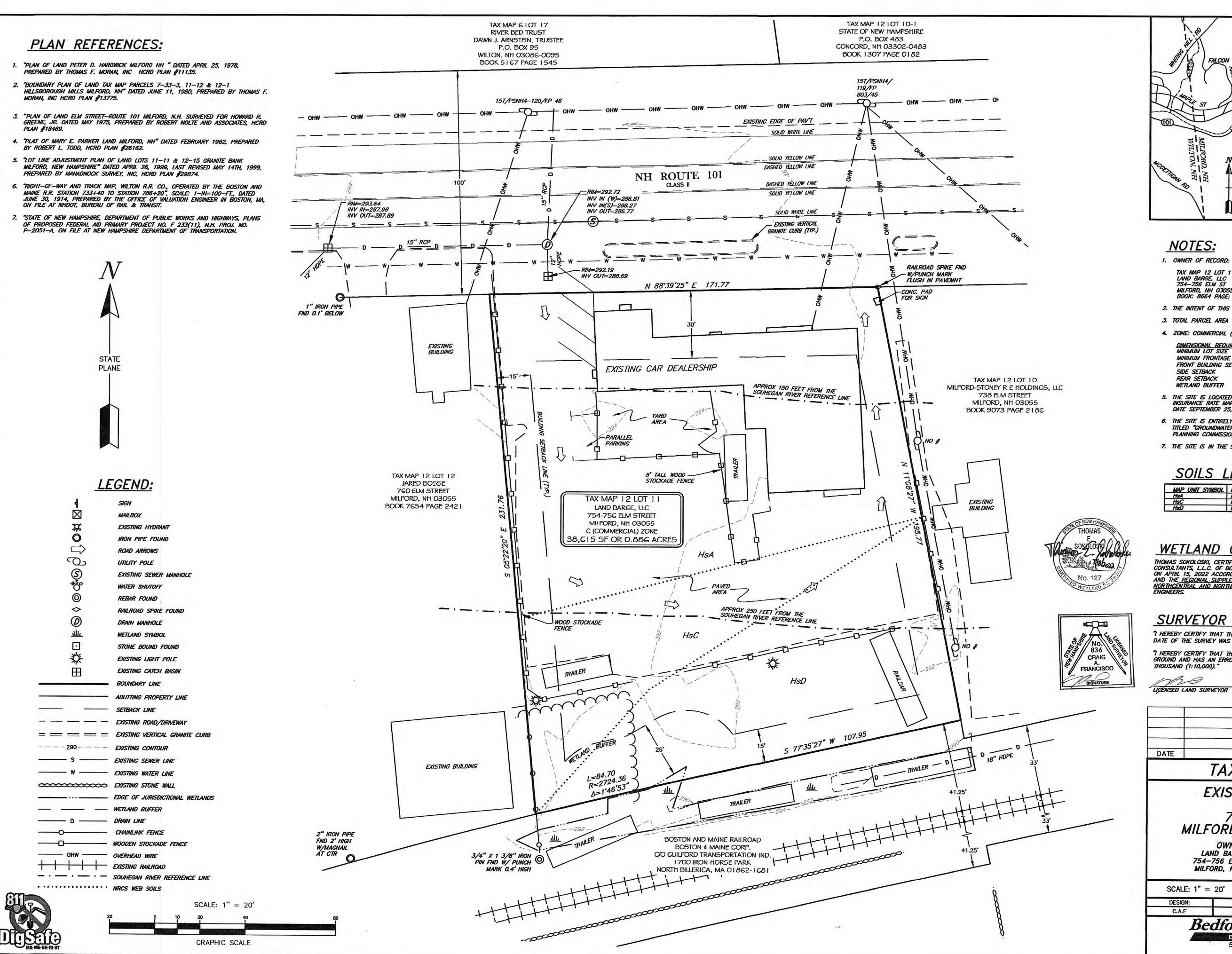
SCALE: 1" = 20' APRIL 25, 2022 SHEET 1 OF 12 DESIGN: CHECKED: 580

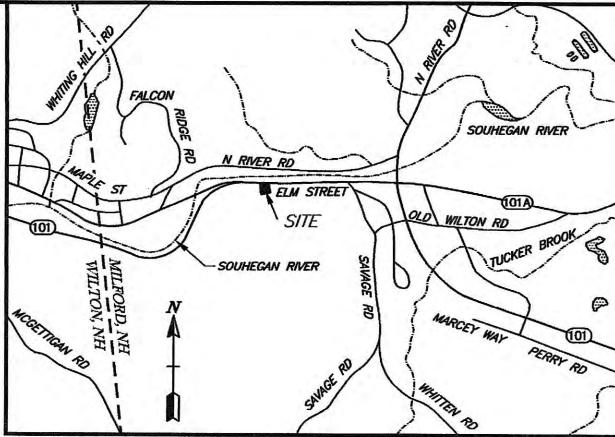
> Bedford Design Consultants Inc. ENGINEERS AND SURVEYORS

> > 592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533 www.bedforddesign.com



NH ROUTE 101





NOTES:

LOCUS MAP 1'' = 2000'

TAX MAP 12 LOT 11 LAND BARGE, LLC 754-756 ELM ST MILFORD, NH 03055 BOOK: 8664 PAGE: 2557

- 2. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 12 LOT 11.
- 3. TOTAL PARCEL AREA = 38,615 SQ. FT. OR 0.886 ACRES
- 4. ZONE: COMMERCIAL (C) & WEST ELM STREET OVERLAY DISTRICT

REQUIRED 20,000 SF MINIMUM FRONTAGE FRONT BUILDING SETBACK SIDE SETBACK REAR SETBACK WETLAND BUFFER

- 5. THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, MAP NUMBER 33011C0454D, EFFECTIVE DATE SEPTEMBER 25, 2009.
- 6. THE SITE IS ENTIRELY WITHIN THE LEVEL II PROTECTION AREA AS SHOWN ON THE MAP TITLED "GROUNDWATER PROTECTION AREA: MILFORD, NH", PREPARED BY NASHUA REGIONAL PLANNING COMMISSION, PRINTED 10/24/02.
- 7. THE SITE IS IN THE SHORELAND PROTECTION AREA

SOILS LEGEND

MAP UNIT SYMBOL	MAP UNIT NAME	% SLOPES
HsA	HINCKLEY LOAMY SAND	
HsC	HINCKLEY LOAMY SAND	8-15%
	HINCKLEY LOAMY SAND	

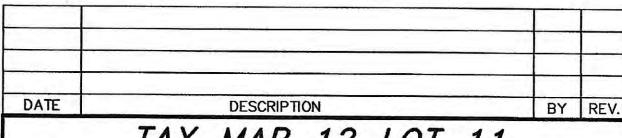
WETLAND CERTIFICATION

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON APRIL 15, 2022 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF

SURVEYOR CERTIFICATION

"I HEREBY CERTIFY THAT THIS MAP AND SURVEY HAS BEEN MADE UNDER MY SUPERVISION. THE DATE OF THE SURVEY WAS 4.22..."

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN



TAX MAP 12 LOT 11

EXISTING CONDITIONS PLAN

LOCATED AT: 754-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055

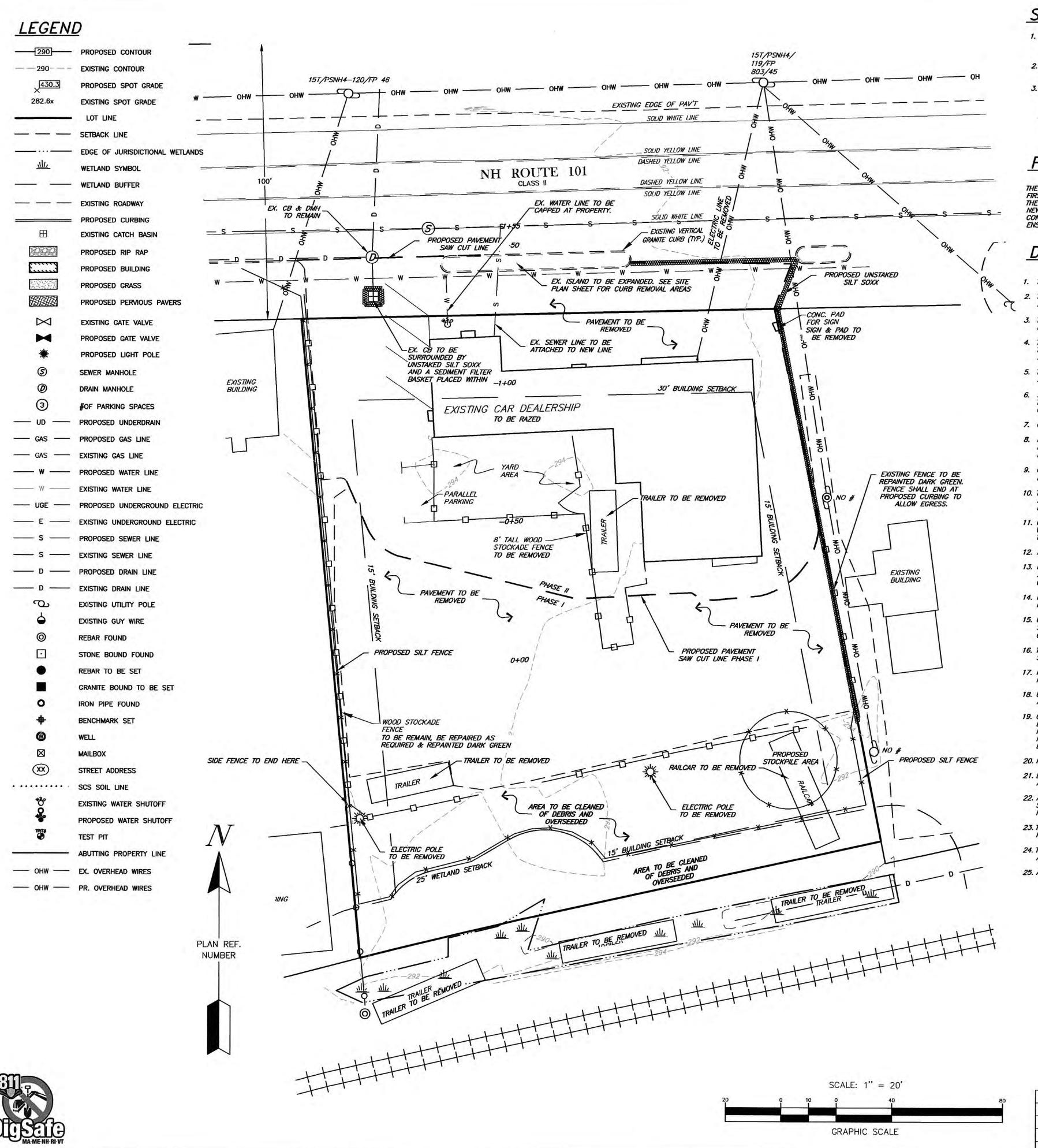
OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

APPLICANT: SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 2 OF 9 DESIGN: CHECKED: 1667-01 580 60

Bedford Design Consultants Inc.

ENGINEERS AND SURVEYORS 592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533 www.bedforddesign.com



SHORT TERM CONSTRUCTION PLAN:

- 1. DURING CONSTRUCTION THE BUSINESS SHALL REMAIN OPEN. THE PHASING LINE SHALL BE ROPED OFF TO ALLOW FOR CIRCULATION THROUGH THE PROPERTY FOR CUSTOMERS AND EMPLOYEES, BUT KEEP THE CONSTRUCTION FROM INTERFERING WITH THE BUSINESS.
- 2. IF THE OWNER HAS AN AGREEMENT WITH THE ADJACENT PROPERTY OWNER, IT MAY BE USED FOR EMPLOYEE PARKING AND USED CAR SALES PARKING DURING CONSTRUCTION.
- 3. ONCE THE NEW BUILDING IS CLOSE TO COMPLETION, THE OLD BUILDING SHALL BE DEMOLISHED AND THE PARKING LOT COMPLETED. DURING THIS TIME A LEASE WILL BE IN PLACE WITH THE ADJACENT PROPERTY OWNER AND ALL PARKING FOR THE BUSINESS WILL TEMPORARILY BE ON THE ADJACENT LOT WHILE CONSTRUCTION OF THE ENTRANCE CURBING, UNDERGROUND BASIN, PERVIOUS PAVERS, AND PAVING ARE COMPLETED. A TEMPORARY CERTIFICATE OF OCCUPANCY WILL NEED TO BE ACQUIRED.

PHASING NOTES:

THE DEMOLITION SHALL BE PHASED. THE AREA BEHIND THE EXISTING BUILDING SHALL BE REMOVED FIRST WITH ROOM TO ALLOW TRAFFIC FLOW BEHIND IT. ONCE THIS AREA HAS BEEN DEMOLISHED, THE NEW BUILDING WILL BE BUILT AND THE ROOF INFILTRATION POND CONSTRUCTED. ONCE THE NEW BUILDING IS COMPLETED. DEMOLITION OF THE FRONT OF THE SITE WILL OCCUR. EROSION CONTROL MEASURES SHALL BE USED APPROPRIATELY FOR EACH PHASE OF THE DEMOLITION TO ENSURE THAT WATER IS DETAINED BEFORE LEAVING THE SITE.

DEMOLITION NOTES:

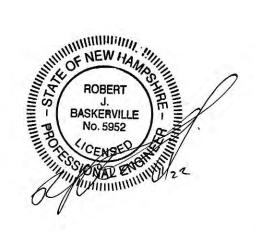
- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING IMPROVEMENTS TO BE REMOVED.
- 2. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED "TO REMAIN".
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 4. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM THE DATA SHOWN ON THESE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT LEAST 72 HOURS BEFORE DIGGING.
- 6. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SIET IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- 7. CONTRACTOR TO INSTALL EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY IN ACCORDANCE WITH STORMWATER BEST MANAGEMENT PRACTICES PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 8. PROVIDE INLET PROTECT BARRIERS AT ALL EXISTING CATCH BASINS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS THAT MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH 0.5 INCH OR GREATER RAINSTORM. SEDIMENT DEPOSITS TO BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
- 9. CONDUCT ALL DEMOLITION ACTIVITIES IN A MANNER WHICH WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY THE CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 10. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING SERVICES INCLUDE, BUT ARE NOT LIMITED TO, ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL, AND UTILITY COMPANY STANDARDS.
- 11. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER AS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS. WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT WRITTEN PERMISSION OF THE OWNERS AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 12. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 13. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED. SOLD OR BURNED ON-SITE. REMOVAL OF HAZARDOUS OR COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT AND/OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 14. MARK FOR POSITION ALL EXISTING UTILITY, DRAINAGE, AND SANITARY SEWER LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 15. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL A PERMANENT SOLUTION IS IN PLACE.
- 16. THE CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT THE DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED LAND SURVEYOR TO REPLACE IT.
- 17. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT
- 18. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 19. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER, STONES LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM BUILDING DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS UNDERTAKE ALL NECESSARY ACTIONS TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIALS, TRASH AND DEBRIS. PLACE FILL MATERIALS IN LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND PROVIDE SURFACE
- 20. REMOVE ALL ASPHALT, VEGETATION, TREES, SHRUBS, UTILITIES, SIGNAGE AND STRUCTURES AS NOTED.

11 - 2 - 22

8-9-22

DATE

- 21. EXISTING ASPHALT REMOVED FROM THE SITE SHALL BE GROUND AND REUSED AS FILL OR TRUCKED OFF SITE AND DISPOSED OF BY APPROVED METHODS. PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
- 22. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF MANCHESTER AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2006 ARE HEREBY
- 23. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY MANCHESTER DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION TO APPLY FOR A PERMIT.
- 24. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC WORKS AND THE PLANNING DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION/DEMOLITION ACTIVITIES ON-SITE TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
- 25. ALL WORK MUST CONFORM TO THE TOWN OF MILFORD STANDARD SPECIFICATIONS AND ANY WORK WITHIN THE CITY RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT,



TAX MAP 12 LOT 11

DEMOLITION & EROSION CONTROL PLAN SOONER-MILFORD

154-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD. NH 03055

APPLICANT: SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

SOUHEGAN RIVER

N RIVER RD

-SOUHEGAN RIVER

ELM STREET

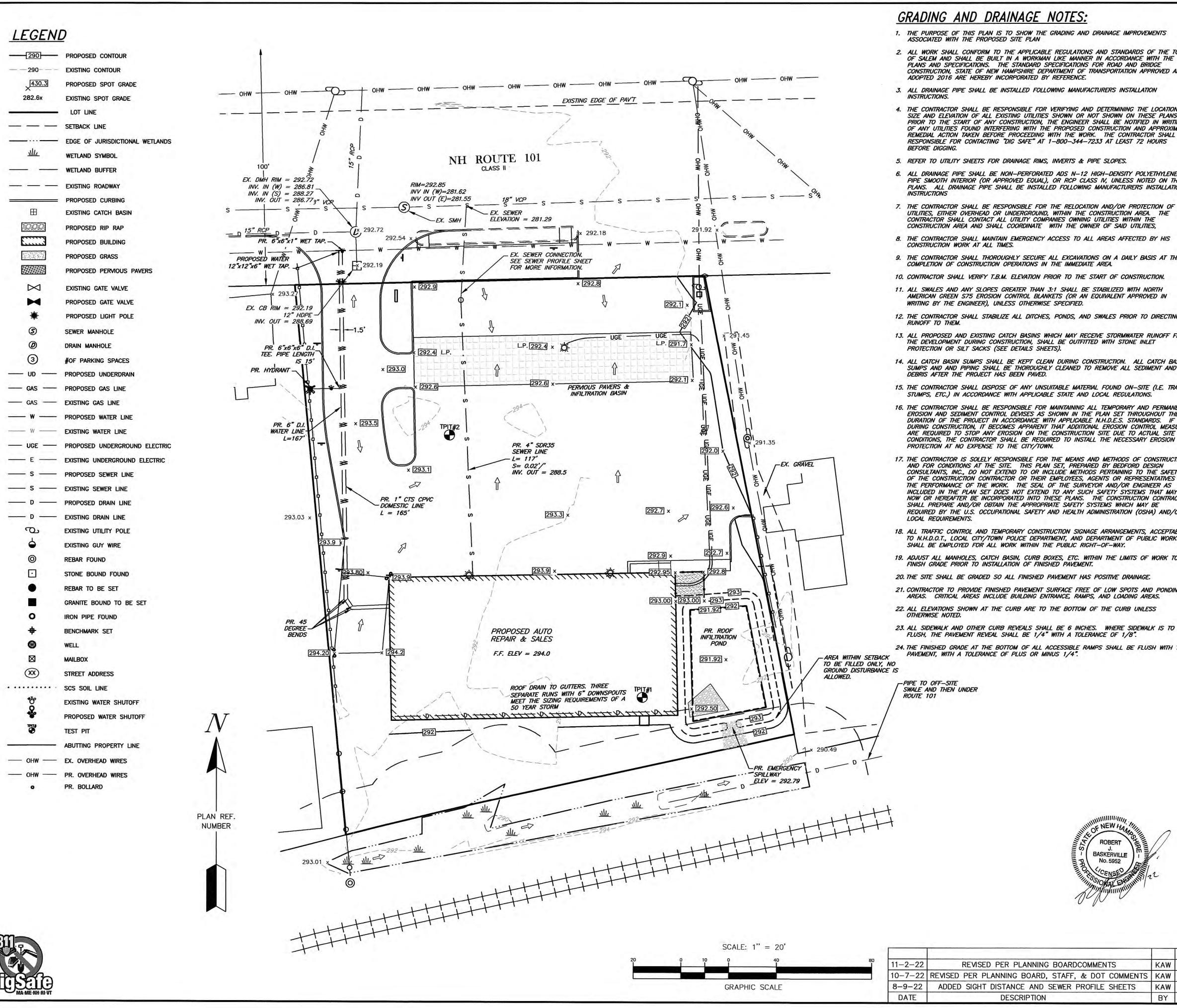
LOCUS MAP

1'' = 2000'

SCALE: 1" = 20'APRIL 25, 2022 SHEET 3 OF 12 DESIGN: DRAWN: CHECKED: 1667-01 KAW

Bedford Design Consultants Inc ENGINEERS AND SURVEYORS

REVISED PER PLANNING BOARDCOMMENTS KAW 10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW 592 Harvey Road, Manchester, NH 03103 ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS KAW A Telephone: (603) 622-5533 DESCRIPTION BY REV. www.bedforddesign.com



GRADING AND DRAINAGE NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN
- 2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
- 3. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION. SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS
- 5. REFER TO UTILITY SHEETS FOR DRAINAGE RIMS, INVERTS & PIPE SLOPES.
- 6. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES,
- 8. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
- 9. THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- 10. CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
- 11. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- 12. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, PONDS, AND SWALES PRIOR TO DIRECTING
- 13. ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHALL BE OUTFITTED WITH STONE INLET PROTECTION OR SILT SACKS (SEE DETAILS SHEETS).
- 14. ALL CATCH BASIN SUMPS SHALL BE KEPT CLEAN DURING CONSTRUCTION. ALL CATCH BASIN SUMPS AND AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
- 15. THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVISES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
- 17. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.
- 18. ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LOCAL CITY/TOWN POLICE DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- 19. ADJUST ALL MANHOLES, CATCH BASIN, CURB BOXES, ETC. WITHIN THE LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- 20. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE.
- 21. CONTRACTOR TO PROVIDE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
- 22. ALL ELEVATIONS SHOWN AT THE CURB ARE TO THE BOTTOM OF THE CURB UNLESS OTHERWISE NOTED.
- 23. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6 INCHES. WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- 24. THE FINISHED GRADE AT THE BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH THE PAVEMENT, WITH A TOLERANCE OF PLUS OR MINUS 1/4".

REVISED PER PLANNING BOARDCOMMENTS

DESCRIPTION

ROBERT

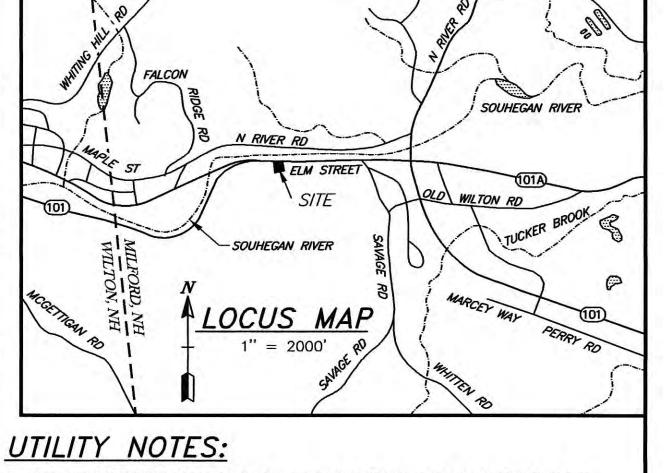
BASKERVILLE No. 5952

KAW

KAW A

BY REV.

PIPE TO OFF-SITE SWALE AND THEN UNDER ROUTE 101



- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE UTILITY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN
- 2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES. EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR RCP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
- ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
- ALL ROOF DRAINS FROM BUILDING SHALL BE CONSTRUCTED TO WITHIN 5' OF THE OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL DRAINAGE AND SANITARY SEWER STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY H-29 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- 10. NO FOUNDATION DRAINS, ROOF DRAINS, FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL
- 11. OPERATION AND MAINTENANCE OF THE SEWER SERVICE SHALL BE THE RESPONSIBILITY OF THE
- 12. THE MINIMUM SEWER TRENCH WIDTH SHALL BE AT LEAST 2 TIMES OUTER DIAMETER OF THE PIPE.
- 13. THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF SALEM PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9 A.M. AND 4:30 P.M., MONDAY — FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCED
- 14. THE SEWER SERVICE MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED WITH AUTHORIZED TOWN OF SALEM PUBLIC WORKS AND/OR ENGINEERING DEPARTMENT PERSONNEL PRESENT ON SITE AS A WITNESS.
- 15. SEWER MAINS TO BE 8" SDR 35 PVC MEETING ASTM D3034 OR APPROVED EQUIVALENT. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SEWER CONSTRUCTION SPECIFICATIONS AND THE TOWN OF SALEM DEPARTMENT OF PUBLIC WORKS
- 16. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN
- UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED. 17. WATER MAINS TO BE 8" CLASS 52 CEMENT LINED DUCTILE IRON PIPE OR APPROVED EQUIVALENT.
- WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF SALEM DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 18. GAS LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH UNITIL UTILITIES SPECIFICATIONS.
- 19. ANY FIELD UTILITY ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE OWNER PRIOR TO INSTALLATION.
- APPLICABLE UTILITY COMPANY SPECIFICATIONS.

20. ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH

- 21. ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY THE SPECIFIC UTILITY COMPANY AND THE LOCAL DEPARTMENT OF PUBLIC WORKS.
- 22. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS WITH THE ARCHITECTURAL PLANS.

TAX MAP 12 LOT 11

GRADING & UTILITIES PLAN SOONER-MILFORD

754-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055 APPLICANT: OWNER:

LAND BARGE, LLC 754-756 ELM STREET MILFORD. NH 03055

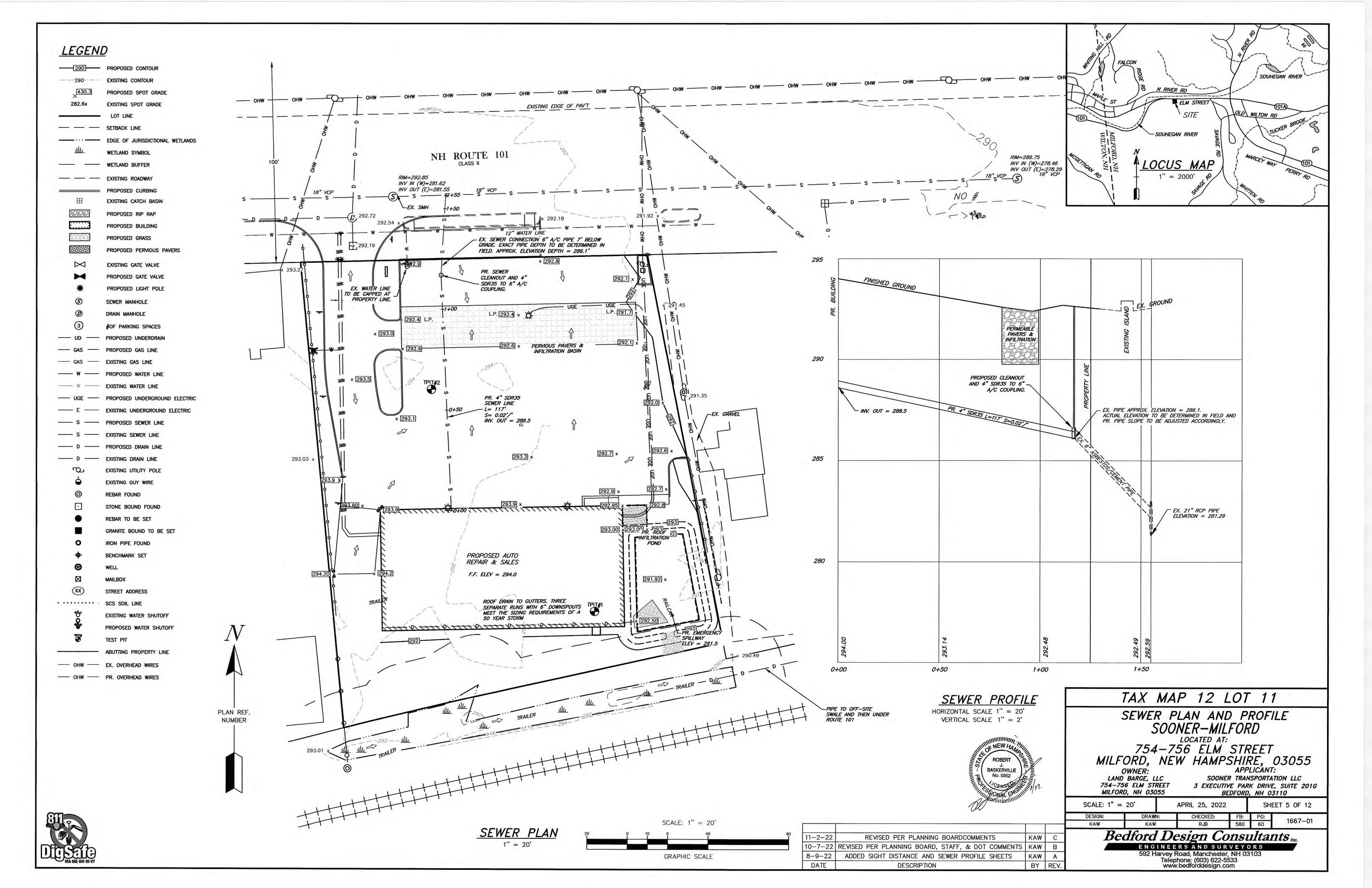
SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

SCALE: 1" = 20APRIL 25, 2022 SHEET 4 OF 12 DESIGN: DRAWN: CHECKED: FB: PG: KAW RJB 580

Bedford Design Consultants Inc ENGINEERS AND SURVEYORS

592 Harvey Road, Manchester, NH 03103

Telephone: (603) 622-5533 www.bedforddesign.com



LEGEND PROPOSED CONTOUR — — 290— — EXISTING CONTOUR PROPOSED SPOT GRADE 282.6x EXISTING SPOT GRADE LOT LINE — — SETBACK LINE EDGE OF JURISDICTIONAL WETLANDS WETLAND SYMBOL WETLAND BUFFER EXISTING ROADWAY PROPOSED CURBING EXISTING CATCH BASIN PROPOSED RIP RAP PROPOSED BUILDING PROPOSED GRASS PROPOSED PERVIOUS PAVERS EXISTING GATE VALVE PROPOSED GATE VALVE PROPOSED LIGHT POLE SEWER MANHOLE DRAIN MANHOLE #OF PARKING SPACES PROPOSED UNDERDRAIN PROPOSED GAS LINE EXISTING GAS LINE PROPOSED WATER LINE EXISTING WATER LINE PROPOSED UNDERGROUND ELECTRIC EXISTING UNDERGROUND ELECTRIC PROPOSED SEWER LINE - EXISTING SEWER LINE PROPOSED DRAIN LINE EXISTING DRAIN LINE EXISTING UTILITY POLE EXISTING GUY WIRE REBAR FOUND REBAR TO BE SET GRANITE BOUND TO BE SET IRON PIPE FOUND BENCHMARK SET MAILBOX STREET ADDRESS SCS SOIL LINE EXISTING WATER SHUTOFF PROPOSED WATER SHUTOFF TEST PIT ABUTTING PROPERTY LINE EX. OVERHEAD WIRES --- OHW --- PR. OVERHEAD WIRES

LANDSCAPE NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LANDSCAPE ASSOCIATED WITH THE PROPOSED SITE PLAN.
- 2. CONTRACTOR TO MARK ALL UNDERGROUND UTILITIES ON THE GROUND PRIOR TO CONSTRUCTION.
- 3. CONTRACTOR IS TO REVIEW TREE LOCATIONS WITH LANDSCAPE ARCHITECT AND OWNERS
- 4. FOR PLANTING DETAILS SEE THE PLANTING DETAIL SHEET.
- 5. IRRIGATION SHALL BE PROVIDED AT THE OWNERS DISCRETION.
- 6. ALL PLANTS CAN BE FOUND AT MILLICAN NURSERIES.
- 7. NO SUBSTITUTIONS MAY BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.

REPRESENTATIVES PRIOR TO ORDERING AND INSTALLING TREES.

LANDSCAPE MAINTENANCE & REPLACEMENT:

- 1. PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2014.
- 2. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL BE IN ACCORDANCE WITH THE NATIONAL ASSOCIATION OF LANDSCAPE PROFESSIONALS INSTALLATION AND MAINTENANCE TRAINING MANUALS.
- 3. DEAD AND/OR DYING PLANT MATERIALS SHOULD REPLACED REGULARLY TO MAINTAIN ORIGINAL DESIGN COUNTS AND LOCATIONS.
- 4. PLEASE SEE THE TOWN OF MILFORD SITE PLAN REGULATIONS FOR A FULL LIST OF PLANTING REQUIREMENTS.

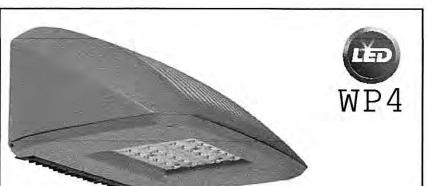
LANDSCAPE BUFFERS & CALCULATIONS:

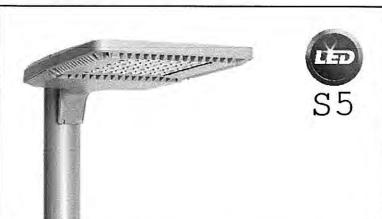
- 1. ALONG THE PERIPHERY OF THE PROPERTY THERE SHALL BE A 10' LANDSCAPE BUFFER 6' FEET IN HEIGHT TO SCREEN ADJACENT PROPERTIES. WE HAVE REQUESTED A WAIVER FROM THIS REQUIREMENT FOR THE EAST AND NORTH SIDE OF THE PROPERTY.
- 2. PERIPHERY LANDSCAPING
- 1 TREE PER 30' OF LANDSCAPE STRIP WILL BE PROVIDED.
 - 420' OF PERIPHERY BUFFER STRIP 1 TREE /30 FEET = 14 TREE REQUIRED
 - = 5 TREES PROPOSED (WAIVER REQUESTED)
- 3. LANDSCAPE ALONG BUILDING FRONTAGES
- I SHRUB FOR EVERY 5' OF BUILDING FRONTAGE
 - 120' BUILDING / 5' = 24 SHRUBS REQUIRED = 24 SHRUBS PROPOSED (LOCATED IN PERIPHERY BUFFER)
- 4. PARKING LOT LANDSCAPING SHALL BE 5% OF PARKING AREA WITH 1 TREE PER 15 PARKING SPACES
- CALCULATIONS: PARKING AREA IS 10,000 S.F. 5% OF PARKING AREA = 500 S.F REQUIRED
 - = 815 S.F. PROPOSED.
 - 21 REQ. SPACES
- = 2 TREES REQUIRED

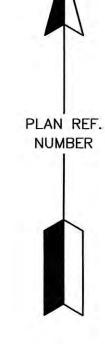
= 2 TREES PROPOSED

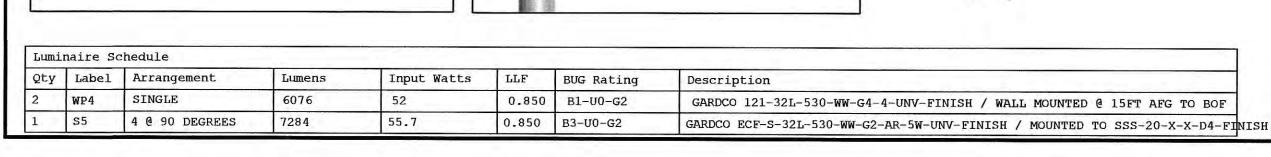
LIGHTING NOTES

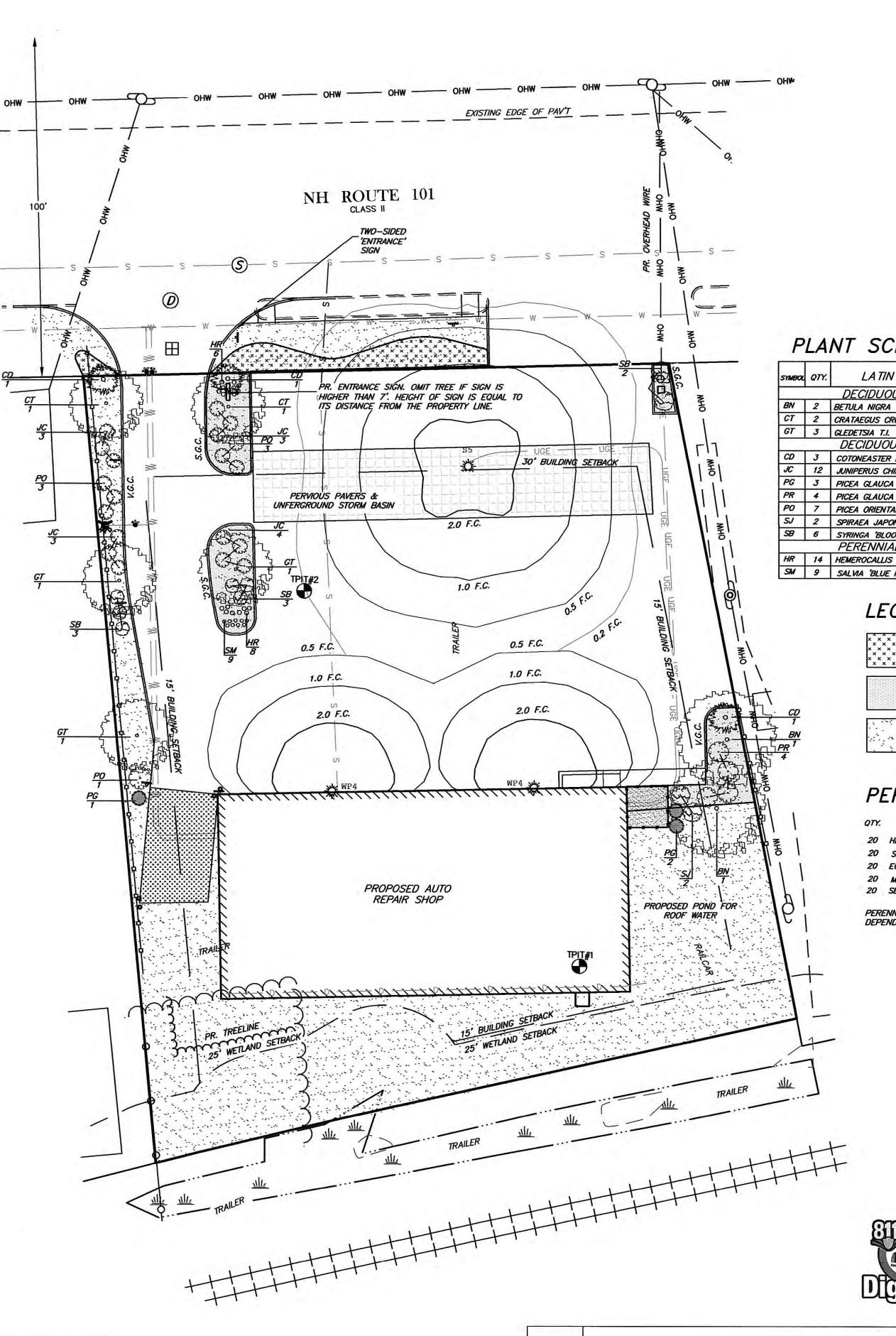
WALL MOUNTED LIGHT HEIGHT IS 15 FEET AND POLE HEIGHT IS 20'. BOTH UNITS ARE IDA DARK SKY







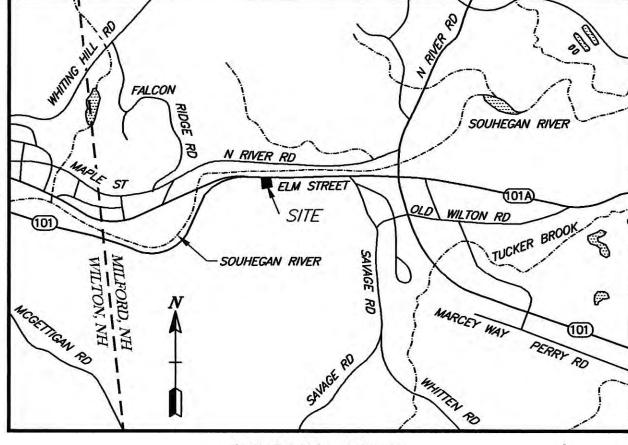




11-2-22

8-9-22

DATE



LOCUS MAP

1'' = 2000'

PLANT SCHEDULE

SYMBOL	QTY.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
		DECIDUOUS TREES			
BN	2	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	40'-60'H x 20'-30'W	2" CALIPER
CT	2	CRATAEGUS CRUSGALLI INERMIS 'CRUSADER'	CRUSADER THORNLESS HAWTHORN	10'-15'H x 15'-20'W	2" CALIPER
GT	3	GLEDETSIA T.I. 'STREET KEEPER'	STREET KEEPER HONEYLOCUST	30'-40'H x 15'-20'W	2" CALIPER
		DECIDUOUS & EVERGREEN SHRUB	5		
CD	3	COTONEASTER DAMMERI 'SALICIFOLIUS 'REPENS'	CREEPING WILLOWLEAF COTONEASTER	12"-24"H x 6'-8'W	#2 CONTAINER
JC	12	JUNIPERUS CHINENSIS 'DAUB'S FROSTED'	DAUB'S FROSTED JUNIPER	12"-24"H x 5'-6'W	#3 CONTAINER
PG	3	PICEA GLAUCA 'CONICA'	CONICA SPRUCE	8'-10'H x 4'-5'W	#10 CONTAINE
PR	4	PICEA GLAUCA 'RAINBOW'S END'	RAINBOW'S END SPRUCE	6'-8'H x 3'-4'W	#6 CONTAINER
PO	7	PICEA ORIENTALIS 'BUGMAN'S GEM'	BERGMAN'S GEM ORIENTAL SPRUCE	2'-3"H x 4'-5'W	#3 CONTAINER
<i>5J</i>	2	SPIRAEA JAPONICA 'SHIBORI'	SHIBORI SPIREA	2'-3"H x 3'-4'W	#3 CONTAINER
SB	6	SYRINGA 'BLOOMERANG DWARF PINK'	BLOOMERANG DARK PINK LILAC	2'-3' H&W	#7 CONTAINER
		PERENNIALS			
HR	14	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14' H&W	#1 CONTAINER
SM	9	SALVIA 'BLUE MARVEL'	BLUE MARVEL SAGE	12" H&W	#2 CONTAINER

LEGEND



PR. PERENNIAL GARDEN



PR. MULCHED AREAS



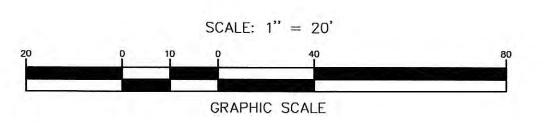
PR. GRASSED AREAS



PERENNIAL GARDEN PLANTINGS

LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14' H&W	#1 CONTAINER
SALVIA 'BLUE MARVEL'	BLUE MARVEL SAGE	12" H&W	#2 CONTAINER
ECHINACEA 'SUNSEEKERS SALMON'	SUNSEEKERS SALMON CONEFLOWER	18' H&W	#1 CONTAINER
MONARDA "PETITE DELIGHT"	PETITE DELIGHT BEE BALM	18" H&W	#1 CONTAINER
SEDUM 'TURQUISE TAILS'	TURQOUISE TAILS STONECROP	12' H&W	#1 CONTAINER

PERENNIALS ARE TO BE PLANTED IN GROUPS OF 3 TO 5 AND SPACED 12" TO 18" ON CENTER DEPENDING ON THEIR MATURE SIZE IN THE TABLE INDICATED ABOVE.



TAX MAP 12 LOT 11

LIGHTING, & LANDSCAPE PLAN SOONER-MILFORD

154-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055

LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD, NH 03110

SCALE: 1" = 20' APRIL 25, 2022 SHEET 6 OF 12 DESIGN: DRAWN: CHECKED: 1667-01 580

Bedford Design Consultants Inc.

ENGINEERS AND SURVEYORS 592 Harvey Road, Manchester, NH 03103 Telephone: (603) 622-5533 www.bedforddesign.com



KAW

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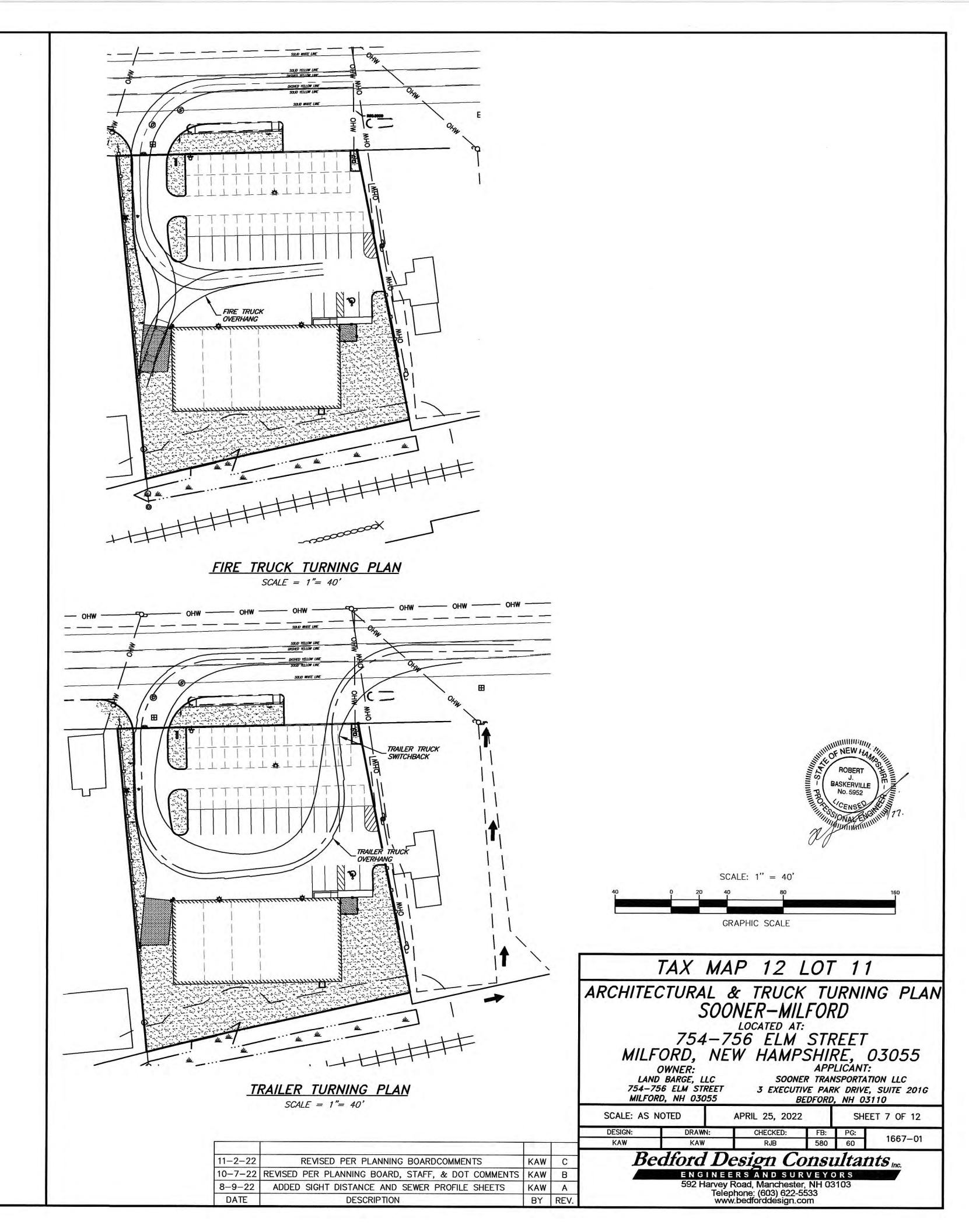
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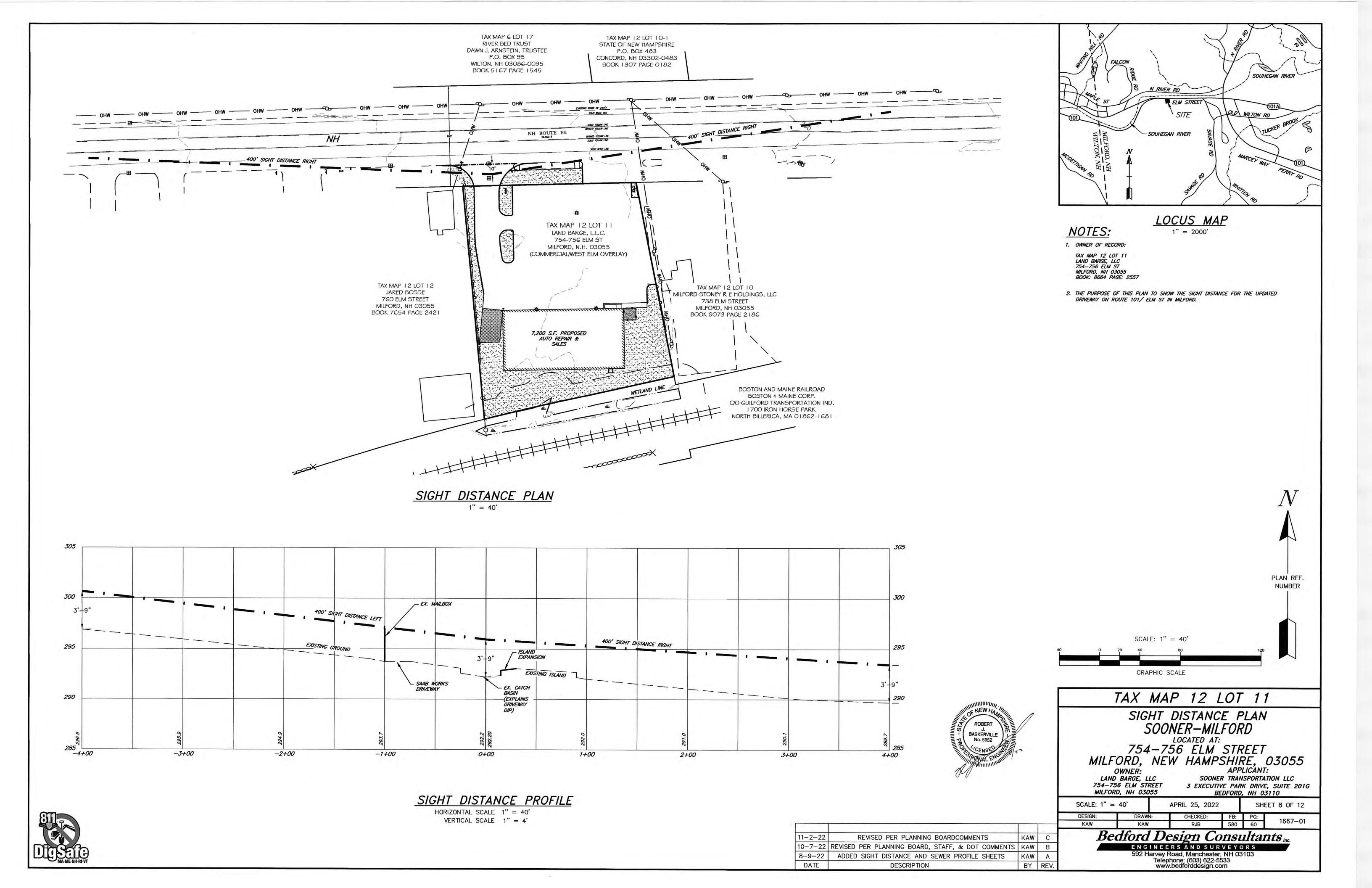
10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW

ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS

DESCRIPTION

ARCHITECTURAL PLANS TO BE
SUBMITTED SEPARATELY FOR REVIEW





GENERAL CONSTRUCTION NOTES:

- BOTH THE CONTRACTOR AND OWNER NEED TO SUBMIT A SEPARATE "NOTICE OF INTENT" TO BE COVERED BY THE N.H.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- 2. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
- ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION) AND LOCAL REGULATIONS.
- 4. ANY SUBSTITUTIONS OF MATERIALS SHALL BE APPROVED BY THE ENGINEER IN WRITING.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL AND STATE CONSTRUCTION PERMITS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- SHOULD GROUND WATER OR UNSUITABLE MATERIALS BE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY FOR DETERMINATION OF POSSIBLE CONSTRUCTION DESIGN CHANGES SUCH AS (BUT NOT LIMITED TO) UNDERDRAINS OR ALIGNMENT AND GRADE CHANGES.
- CLEARING THE SITE SHALL INCLUDE THE REMOVAL AND DISPOSAL OF DOWN TIMBER, RUBBISH AND DEBRIS FOUND EXISTING WITHIN THE AREAS TO BE CLEARED. CLEARING SHALL NOT TAKE PLACE UNTIL THE CONTRACTOR HAS DETERMINED FROM THE OWNER WHICH TREES ARE TO BE SAVED WITHIN THE CLEARING LIMITS.
- PAVEMENT OF THE ROADWAY SHALL CONSIST OF A HOT BITUMINOUS LAYER, A CRUSHED GRAVEL LAYER AND A GRAVEL SUBBASE LAYER.
- A. BITUMINOUS TYPE F WEARING AND TYPE B BASE COURSES SHALL BE CONSTRUCTED PER N.H.D.O.T.
- SPECIFICATION 401 CONSTRUCTION REQUIREMENTS. GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.2.
- THE CRUSHED GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.3. D. REFER TO THE TYPICAL ROAD CROSS SECTION DETAIL FOR DIMENSIONS.
- COMPACTION OF BACKFILL:
- A. GRASSED AREAS:
- EMBANKMENT FILL AREAS SHALL CONSIST OF COMMON FILL PLACED IN 12 INCH LIFTS AND COMPACTED TO 90%
- THE COMPACTION REQUIREMENTS FOR MATERIALS PLACED AS BACKFILL, SUBGRADE, BASE COURSE AND PAVEMENT SHALL BE AS SPECIFIED FOR EACH SEPARATE ITEM IN THE N.H.D.O.T. "STANDARD SPECIFICATIONS" FOR ROAD AND BRIDGE CONSTRUCTION.
- 10. CATCH BASINS AND MANHOLES SHALL BE PRE-CAST REINFORCED CONCRETE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE AND ABLE TO WITHSTAND LOADINGS OF 8 TONS (H-20 LOADING).
- 11. TRENCH CONSTRUCTION WILL CONFORM WITH SECTION 603.3.1. OF THE N.H.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION).
- 12. WOOD SHEETING OR A SUITABLE TRENCH BOX SHALL BE USED TO SUPPORT THE TRENCH AS NECESSARY, IF WOOD SHEETING IS USED. IT SHALL BE DRIVEN AT A DISTANCE OF ONE FOOT FROM THE OUTSIDE DIAMETER OF THE PIPE TO A DEPTH SIX INCHES BELOW THE INVERT OF THE PIPE, WOOD SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE, BUT NOT GREATER THAN THREE FEET BELOW THE FINISHED GRADE.
- 13. TRENCH BEDDING SHALL CONFORM WITH SECTION 603.3.2. OF THE STANDARD SPECIFICATIONS (LATEST EDITION). FIRST CLASS BEDDING WILL BE REQUIRED FOR ALL PIPES 48" OR MORE IN DIAMETER OR SPAN.
- 14. BACKFILL MATERIAL FOR TRENCHES WILL CONFORM WITH SECTION 603.3.5. OF THE STANDARD SPECIFICATIONS (LATEST EDITION) AND IN ADDITION, SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTE, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. BACKFILL SHALL NOT BE PLACED
- 15. COMPACTION OF TRENCH BACKFILL AND PIPE BEDDING SHALL BE SIX INCH LIFTS FOR BEDDING AND BACKFILL TO A PLANE ONE FOOT ABOVE THE PIPE AND IN 12 INCH LIFTS THEREAFTER BY AN APPROVED MECHANICAL COMPACTOR.
- 16. SHOULD FROZEN MATERIAL BE ENCOUNTERED, IT SHALL NOT BE PLACED IN THE BACKFILL NOR SHALL BACKFILL BE PLACED UPON FROZEN MATERIAL.
- 17. THE DISTURBED AREA SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
- 18. ALL SEEDED AREAS SHALL BE MULCHED WITHIN 24 HOURS AFTER SEEDING. A GOOD QUALITY OF STRAW MULCH SHOULD BE USED AND APPLIED AT THE RATE OF 2 TONS PER ACRE.
- 19. BASIN FLOORS IN THE INFILTRATION BASINS ARE TO BE DEEPLY TILLED TO RESTORE INFILTRATION RATES. FOLLOWED BY A PASS WITH A LEVELING DRAG PRIOR TO FINAL SEEDING. STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE INFILTRATION BASINS, SWALES, OR DITCHES UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY
- 20. ALL SLOPES GREATER THAN 3:1 MUST BE MATTED WITH NORTH AMERICAN GREEN S150BN EROSION CONTROL
- 21. THE PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS OF AND INTENT OF RSA 430:51-57 AND Agr 3800 RELATIVE TO INVASIVE SPECIES: AND FUGITIVE DUST IS TO BE CONTROLLED IN ACCORDANCE WITH ENV-A
- 22. THE TOWN OF AUBURN RESERVES THE RIGHT TO REQUIRE THAT ADDITIONAL EROSION CONTROL MEASURES BE INSTALLED DURING CONSTRUCTION BASED ON FIELD OBSERVATIONS/INSPECTIONS.

FUELING AND MAINTENANCE OF CONSTRUCTION EQUIPMENT

- A. IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE. THE FOLLOWING SHALL APPLY:
- 1. PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED. THE DISTANCE BETWEEN THE HOSE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY;
- 2. THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERFILLING THE EQUIPMENT AND ANY OTHER SPILLS THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT
- 3. THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRIP POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE HOSE FROM THE FUEL DELIVERY TRUCK; AND 4. PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME.
- B. IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:
- 1. ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT: a. IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER; AND
- b. HAS AN IMPERVIOUS FLOOR; 2. SECONDARY CONTAINMENT FOR TANKS MAY COMPRISE A METAL, PLASTIC, POLYMER OR PRECAST CONCRETE VAULT
- PROVIDING 110 PERCENT OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER;
- 3. FOR FUEL CONTAINERS, SECONDARY CONTAINMENT MAY COMPRISE CONTAINMENT PALLETS; 4. THE AREA WHERE FUEL IS TRANSFERRED SHALL BE A FLAT, IMPERVIOUS AREA THAT:
- a. IS ADJACENT TO THE FUEL CONTAINER(S); AND
- b. EXTENDS BEYOND THE FULL REACH, OR LENGTH, OF THE FUEL HOSE; AND 5. SECONDARY CONTAINMENT AREAS MAY BE IN THE FORM OF A BASIN THAT IS:
- a. SLOPED DOWN TO A CENTRAL LOW POINT OR BERMED ALONG THE PERIMETER:
- b. LINED WITH A CONTINUOUS SHEET OF 20 MIL OR THICKER POLYMER MATERIAL OR APPROPRIATE GEOMEMBRANE LINER; AND
- c. BACKFILLED WITH AT LEAST 6 INCHES OF SAND

CONSTRUCTION SEQUENCE:

- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN ORTAINED
- CLEAR AREA FOR CONSTRUCTION ENTRANCE AND INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THESE PLANS.
- CUT AND CLEAR TREES IN CONSTRUCTION AREAS ONLY.
- 4. INSTALL SILT FENCE 5. REMOVE STUMPS FROM SITE FOR SITE GRADING (CUT AND/OR FILL) TO SUBGRADE. STABILIZE AREAS WITH BASE GRAVEL WITHIN SIX WEEKS OF REMOVING STUMPS.
- 6. THE MAXIMUM UNSTABILIZED AREA SHALL BE LIMITED TO THE MINIMUM AREA PRACTICABLE FOR SITE CONSTRUCTION (NOT TO EXCEED 5 ACRES). NO AREA SHALL BE LEFT UNSTABILIZED MORE THAN 6 WEEKS. AN AREA SHALL BÈ CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS HAPPENED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED: B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED:
- C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 7. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES AS PER THE NOTES IN THESE DRAWINGS. EROSION, SEDIMENT, AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- RIP RAP LINED SWALES
- RIP RAP APRONS AT CULVERT OUTLETS
- TREATMENT SWALES DETENTION PONDS
- 8. ALL DITCHES/SWALES/BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. 9. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER
- SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES. 10. BASIN FLOORS IN THE INFILTRATION BASINS ARE TO BE DEEPLY TILLED TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG PRIOR TO FINAL SEEDING. STORMWATER FLOWS SHALL NOT BE DIRECTED TO THE INFILTRATION BASINS, SWALES, OR DITCHES UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- 11. FINISH CLEARING AND GRUBBING.
- 12. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS, AS NECESSARY. 13. CONSTRUCT CONSTRUCTION ENTRANCE FOR ACCESS TO DESIRED CONSTRUCTION AREAS.
- 14. BEGIN CONSTRUCTION OF UTILITIES AND STORM DRAINAGE AS NECESSARY. 15. MODIFY EROSION CONTROL MEASURES.
- 16. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH. ALL CUT AND FILL SLOPES SHALL BE STABILIZED.
- 17. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAIN DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS NECESSARY.
- 18. PAVE ALL PARKING AREAS AS SPECIFIED ON THE PLAN. 19. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROLS NEED TO BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL.
- 20. COMPLETE PERMANENT SEEDING AND LANDSCAPING. 21. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF FINISH GRADING. MAXIMUM
- EXPOSURE LENGTH FOR ALL DISTURRED AREAS IS 30 DAYS 22. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETED.

SITE MAINTENANCE AND INSPECTION PROGRAM

A. INSPECTIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO

- 1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY WEEKLY INSPECTIONS
- AND/OR AFTER 0.5" RAINFALL EVENTS. 2. CLÉANING OF SEDIMENT OR DEBRIS FROM STORM WATER MANAGEMENT AREA INLETS TWICE PER YEAR OR MORE

SEDIMENTATION BASIN OR CONSTRUCTED STORM WATER MANAGEMENT AREA WITH WATER QUALITY SKIMMER

- FREQUENTLY AS DICTATED BY WEEKLY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS. WEEKLY SITE INSPECTIONS TO DETERMINE/IMPLEMENT NECESSARY REPAIR AND MAINTENANCE ACTIVITIES. REMOVAL OF SEDIMENT BUILDUP ALONG SILT FENCES, STRAW BALE BARRIERS, GRASS SWALES, AND
- TREATMENT BASIN INLETS. REMOVE SEDIMENT BUILDUP IN BOTTOM OF TREATMENT BASINS SUCH THAT ALL OUTLETS ARE KEPT FREE FROM SEDIMENT AND DEBRIS. INSPECTION/RECONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE. 6. Treatment of non-stormwater related discharges such as water line installation flush water OR GROUNDWATER FROM DEWATERING ACTIVITIES. THESE FLOWS SHOULD BE DIRECTED TO A TEMPORARY
- 7. SWEEP PAVED PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION.

B. GOOD HOUSEKEEPING PRACTICES

THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM WATER RUNOFF. THE CONTRACTOR SHALL USE CARE IN THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THIS PROJECT:

- 1 AN FEFORT SHALL RE MADE TO STORE ONLY ENGLICH PRODUCT REQUIRED FOR THIS SPECIFIC SITE 2. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER SUITABLE ENCLOSURE. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR ORIGINAL LABELS.
- WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER. 5. THE MANUFACTURERS RECOMMENDATIONS SHALL BE FOLLOWED IN REGARD TO THE PROPER USE AND DISPOSAL
- OF ALL PRODUCTS. 6. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE THE PROPER USE AND DISPOSAL OF ALL MATERIALS ON

C. SPILL PREVENTION AND CLEANUP PRACTICES

THE CONTRACTOR/OPERATOR SHALL BE RESPONSIBLE FOR THE SAFE HANDLING, USE AND DISPOSAL PROGRAM OF ALL HAZARDOUS MATERIALS FOR THE DURATION OF THIS PROJECT AND SHALL HAVE A SPECIFIC SPILL PREVENTION AND CLEANUP PROTOCOL FOR ALL HAZARDOUS MATERIALS, INCLUDING, BUT NOT LIMITED TO:

- 1. MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THESE PROCEDURES AND THE LOCATION OF THE CLEANUP SUPPLIES. 2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIAL WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC/METAL TRASH CONTAINERS
- SPECIFICALLY FOR THIS PURPOSE. 3. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- 4. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- 5. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- 6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL
- FROM REOCCURRING, AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

COLD WEATHER STABILIZATION

OVER SNOW GREATER THAN ONE INCH IN DEPTH.

- A. TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE ADDITIONAL STABILIZATION TECHNIQUES SPECIFIED IN THIS SECTION SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1. SUBJECT TO (C), BELOW, THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO ONE ACRE, AND PROTECTED AGAINST
- EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT. THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF A WINTER CONSTRUCTION PLAN IS DEVELOPED BY A QUALIFIED ENGINEER OR A CPESC SPECIALIST AND BY SUBMITTED TO THE DEPARTMENT FOR APPROVAL AS A REQUEST TO WAIVE THE ONE-ACRE LIMIT.
- D. SUBJECT TO (F) AND (G), BELOW, ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL
- BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING OR TACKIFIER OR WITH AT LEAST 2 INCHES OF EROSION CONTROL MIX MEETING THE CRITERIA OF ENV—WQ 1506.05(B). ANCHORED HAY MULCH OR EROSION CONTROL MIX THAT MEETS THE CRITERIA OF ENV-WQ 1506.05(B), SHALL NOT BE INSTALLED
- G. EROSION CONTROL BLANKETS SHALL NOT BE INSTALLED OVER SNOW GREATER THAN ONE INCH IN DEPTH OR ON FROZEN
- ALL PROPOSED STABILIZATION IN ACCORDANCE WITH (D) OR (E), ABOVE, SHALL BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
- ALL DITCHES OR SWALES THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR THAT ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY THE OWNER'S ENGINEERING CONSULTANT.
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM 3—INCH LAYER OF BASE COURSE GRAVELS MEETING THE GRADATION REQUIREMENTS OF NHDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2016, TABLE 304—1, ITEM NO. 304.1, 304.2, OR 304.3. K. ALL TOPSOIL STOCKPILED SHALL BE MULCHED PRIOR TO ANY SNOW EVENT. STANDARD PROTECTION OF STOCKPILES AS
 - DESCRIBED IN OTHER SECTIONS APPLIES. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

GENERAL EROSION CONTROL NOTES:

- PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS;
- 2. STORMWATER TREATMENT PONDS AND DRAINAGE SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE
- RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPS ARE STABILIZED: BASINS, DITCHES AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM:
- ROADWAYS AND PARKING AREAS MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE; CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE; ALL AREAS OF UNSTABILIZED SOIL MUST BE STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45
- DAYS OF INITIAL DISTURBANCE. 8. EROSION CONTROL PRACTICES MUST BE INSPECTED AT LEAST WEEKLY AND AFTER EVERY RAIN EVENT OF 0.5 INCH OR MORE:
- 9. THE AREA OF DISTURBANCE MUST BE LIMITED TO 5 ACRES UNLESS ENV-WQ 1505.05 RELATIVE TO COLD
- WEATHER STABILIZATION APPLIES;
- 10. IN AREAS THAT WILL NOT BE PAVED, STABLE MEANS THAT:
 - a. A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED; b. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.03; AND . In areas to be paved, stable means that base course gravels meeting the requirements of NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

TEMPORARY SEDIMENT TRAP. TEMPORARY SEDIMENT TRAPS SHALL COMPLY WITH THE FOLLOWING:

- (A) THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE;
- (B) THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES; (C) THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE
- (D) THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION: (E) THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL
- DISCHARGE TO A STABILIZED AREA;
- (F) THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED: AND (G) THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

CONSTRUCTION DEWATERING. DEWATERING SHALL COMPLY WITH THE FOLLOWING:

- (A) THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR
- (B) ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE
- STABLE PRIOR TO DIRECTING DISCHARGE TO THEM; (C) IF A CONSTRUCTION EQUIPMENT BUCKET IS USED. IT SHALL EMPTY THE MATERIAL TO A STABLE AREA:
- (D) NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN: (E) FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURE'S CAPACITY TO SETTLE AND
- FILTER FLOW OR ITS VOLUME CAPACITY; AND
- (F) WHEREVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE

(G) DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA

TEMPORARY STORMWATER DIVERSION. TEMPORARY STORMWATER DIVERSION SHALL COMPLY WITH THE FOLLOWING:

- (A) WHEN NECESSARY TO MINIMIZE RELEASE OF SEDIMENT-LADEN RUNOFF PRIOR TO STABILIZATION OF THE SITE THE PERMANENT STORMWATER MANAGEMENT SYSTEM COMPONENTS, SEDIMENT-LADEN WATER SHALL BE DIVERTED AND STORED IN TEMPORARY DIVERSION PRACTICES SUCH AS SEDIMENT BASINS OR TRENCHES;
- (B) SUBJECT TO (C), BELOW, TEMPORARY DIVERSION PRACTICES SHALL BE STABILIZED PRIOR TO RECEIVING RUNOFF; (C) TEMPORARY DIVERSION CHANNELS WITH A GRADIENT OF 2 PERCENT OR GREATER SHALL BE STABILIZED. HOWEVER
- CHANNELS WITH A SLOPE OF LESS THAN 2% SHALL BE STABILIZED ONLY IF EROSION IS OBSERVED; (D) THE AREA DRAINING TO EACH TEMPORARY DIVERSION PRACTICE SHALL BE LESS THAN 5 ACRES; (E) TEMPORARY DIVERSION CHANNELS SHALL CONVEY, AND TEMPORARY BASINS AND TRENCHES SHALL CONTAIN, THE
- 2-YEAR, 24 HOUR DESIGN STORM WITHOUT OVERTOPPING THE BANKS; (F) THE BED SLOPE OF DIVERSION CHANNELS SHALL HAVE A POSITIVE GRADE TO ASSURE DRAINAGE; (G) WHERE DIVERSIONS CARRY CONCENTRATED FLOWS, ENERGY DISSIPATION METHODS SHALL BE IMPLEMENTED TO
- DISPERSE FLOW INTO AREAS DOWNSTREAM OF THE DISTURBED AREA; (H) IF EROSION OF DIVERSION PRACTICES OCCURS DURING CONSTRUCTION, CORRECTIVE ACTION SHALL BE TAKEN TO STABILIZE THE BASIN, CHANNEL, AND BERM; AND
- (I) DIVERSION BASINS AND TRENCHES SHALL BE CLEARED OF SEDIMENT WHENEVER SEDIMENT ACCUMULATES.

SEEDING/MULCHING OF DISTURBED AREAS TEMPORARY AND PERMANENT MULCHING. MULCHING SHALL COMPLY WITH THE FOLLOWING:

VEGETATION. VEGETATING DISTURBED AREAS SHALL BE COMPLETED ONLY AS SPECIFIED BELOW:

- (A. HAY AND STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKIFIER SO THAT THEY ARE NOT
- BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER; (B. MULCH MATERIALS SHALL BE SELECTED BASED UPON SOILS, SLOPE, FLOW CONDITIONS, AND TIME OF YEAR; (C. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE, EQUIVALENT TO 70 TO 90
- POUNDS PER 1,000 SQUARE FEET; WOOD CHIPS OR GROUND BARK SHALL BE APPLIED AT 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS
- PER ACRE, EQUIVALENT TO 460 TO 920 POUNDS PER 1,000 SQUARE FEET; (E. JUTE AND FIBROUS MATS AND WOOD EXCELSIOR SHALL BE INSTALLED ACCORDING TO THE APPLICABLE
- MANUFACTURER'S INSTRUCTIONS; AND (F. EROSION CONTROL MIX SHALL:
- (1) MEET THE CRITERIA OF ENV-WQ 1506.05(B); AND

(2) BE PLACED AT A THICKNESS OF 2 INCHES OR MORE.

ALL ESSENTIAL GRADING AND TEMPORARY STRUCTURES. SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS

- NEEDED TO PREVENT GULLYING AND REDUCE SILTATION, SHOULD BE COMPLETED PRIOR TO SEEDING. STONES AND TRASH SHALL BE REMOVED FROM THE AREA TO BE SEEDED SO AS NOT TO INTERFERE WITH THE
- C. TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD
- BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL ON SLOPES 4:1 OR STEEPER, FINAL PREPARATION OF THE AREA TO BE SEEDED SHALL INCLUDE CREATING GROOVES IN THE SOIL PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF;
- IF NEEDED TO ENSURE GROWTH, FERTILIZER OR OTHER ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON; FERTILIZER APPLIED TO ANY AREA WITHIN 100 FEET OF ANY RIVER, STREAM, POND, OR LAKE SHALL BE LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER ONLY;
- FERTILIZER APPLIED TO ANY AREA THAT IS SUBJECT TO RSA 483-B, THE COMPREHENSIVE WATER QUALITY PROTECTION ACT (ACT), SHALL MEET OR BE MORE PROTECTIVE OF WATER QUALITY THAN THE MINIMUM
- STANDARDS OF THE ACT; ALL SEEDED AREAS SHALL BE FERTILIZED, FERTILIZATION SHALL BE AT THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER.
- ALL GRADED AREAS SHALL BE SEEDED WITH: 1. TALL FESCUE: 20 POUNDS PER ACRE
 - 2. CREEPING RED FESCUE: 20 POUNDS PER ACRE BIRDSFOOT TREFOIL: 8 POUNDS PER ACRE
 - 48 POUNDS PER ACRE LIVE SEED

15TH, ONE OR MORE ADDITIONAL EROSION CONTROL METHODS SHALL BE IMPLEMENTED.

- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 0.25 IN. OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- RUNOFF SHALL BE DIVERTED FROM THE SEEDED AREA; SUBJECT TO (N) BELOW, SEEDING SHALL OCCUR PRIOR TO SEPTEMBER 15TH OF THE YEAR IN WHICH THE AREA

BEING SEEDED WAS DISTURBED;

AREAS SEEDED BETWEEN MAY 15TH TO AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH MEETING THE CRITERIA OF ENV-WQ 1506.01(A) THROUGH (C); AND IF VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA IS NOT ACHIEVED PRIOR TO OCTOBER

11-2-22 REVISED PER PLANNING BOARDCOMMENTS KAW 10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS 8-9-22 KAW A DATE DESCRIPTION BY REV.

BEST MANAGEMENT PRACTICES FOR BLASTING

ALL ACTIVITIES RELATING TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES: OBSERVING THE ENTIRE BLASTING PROCEDURES: EVALUATING BLASTING PERFORMANCE: AND HANDLING AND STORAGE OF BLASTED ROCK.

LOADING PRACTICES, THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:

A. THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:

- 1. THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED;
- 2. GROUNDWATER CONDITIONS;
- B. THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
- C. EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SUCH THAT THEY ARE: 1. USED IN THE BOREHOLE:
- 2. RETURNED TO THE DELIVERY VEHICLE; OR
- 3. PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL; D. SPILLAGE AROUND THE BOREHOLE SHALL BE:
- 1. PLACED IN THE BOREHOLE; OR 2. CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED
- CONTAINERS FOR OFF-SITE DISPOSAL; E. LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT,
- UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED; F. LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
- G. EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.

EXPLOSIVE SELECTION: THE FOLLOWING BMP'S SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:

- A. EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST
- EXECUTION. B. EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.

PREVENTION OF MISFIRES: INDUSTRY-STANDARD PRACTICES SHALL BE IMPLEMENTED TO PREVENT MISFIRES.

<u>MUCK AND ROCK MANAGEMENT</u>. MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:

- A. FOR PURPOSES OF THIS PART, THE FOLLOWING DEFINITIONS APPLY:
 - 1. "BLASTED MATERIAL" MEANS ALL OF THE EARTH MATERIAL LOOSENED AS A RESULT OF THE BLASTING; 2. "MUCK" MEANS THE BLASTED MATERIAL REMAINING AFTER THE ROCKS HAVE BEEN REMOVED; AND 3. "ROCKS" MEANS THE LARGER PIECES OF BLASTED MATERIAL THAT ARE SEPARATED FROM THE MUCK FOR
- B. MUCK SHALL BE REMOVED FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE. C. ROCKS SHALL BE MANAGED SO AS TO PREVENT WATER SUPPLY WELLS OR SURFACE WATERS FROM BEING CONTAMINATED BY RUNOFF.

SPILL PREVENTION MEASURES AND SPILL MANAGEMENT. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE

IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:

USE ELSEWHERE, INCLUDING FOR FEEDSTOCK OF A ROCK CRUSHING OPERATION.

- A. FUEL AND OTHER REGULATED SUBSTANCES SHALL BE MANAGED AS REQUIRED BY ENV-WQ 401.04.
- B. PERSONNEL WORKING AT THE BLAST SITE SHALL BE TRAINED IN HOW TO RESPOND TO A SPILL OF THE REGULATED SUBSTANCES BEING USED AT THE SITE.

4. INSPECT STORAGE AREAS WEEKLY.

DOCUMENT.

- C. THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE: STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
- 2. SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY. 3. LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.

STORAGE TANKS OTHERWISE REGULATED.

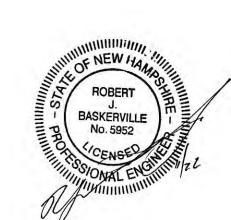
DESIGN:

KAW

- 5. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS. 6. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM
- SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS. 7. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND
- D. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE: EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED. 2. PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS.
 - . HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS. 4. USE FUNNELS AND DRIP PANS WHEN TRANSFERRING THE REGULATED SUBSTANCES.
 - 5. PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE. a. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES. b. FUELING AND MAINTENANCE OF EXCAVATION. EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH REGULATIONS OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF

ENVIRONMENTAL SERVICES (AS SUMMARIZED IN WD-DWGB-22-6 "BEST MANAGEMENT PRACTICES FOR

FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT" OR ITS SUCCESSOR



TAX MAP 12 LOT 11 DETAIL SHEET 1 SOONER-MILFORD 754-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055 APPLICANT: OWNER: LAND BARGE, LLC SOONER TRANSPORTATION LLC 754-756 ELM STREET 3 EXECUTIVE PARK DRIVE. SUITE 201G MILFORD, NH 03055 BEDFORD. NH 03110 SCALE: 1'' = 20'SHEET 9 OF 12 APRIL 25, 2022

Bedford Design Consultants in ENGINEERS AND SURVEYORS

CHECKED:

FB:

580

PG:

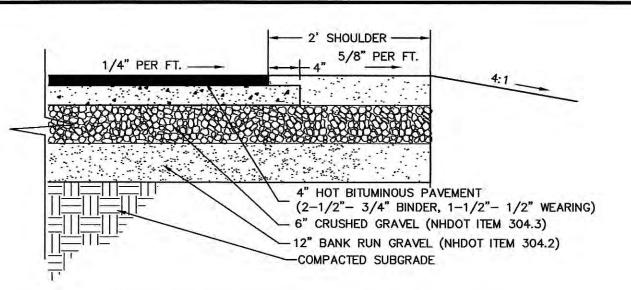
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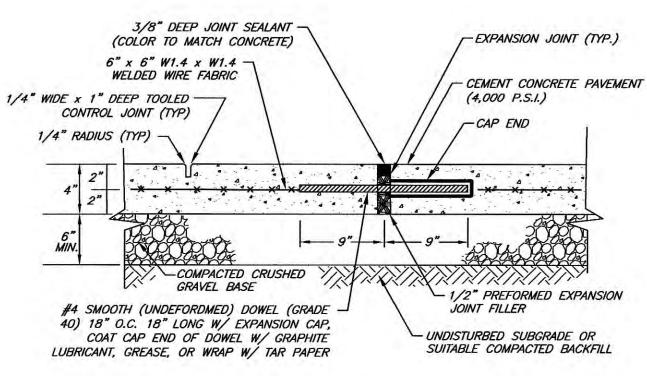


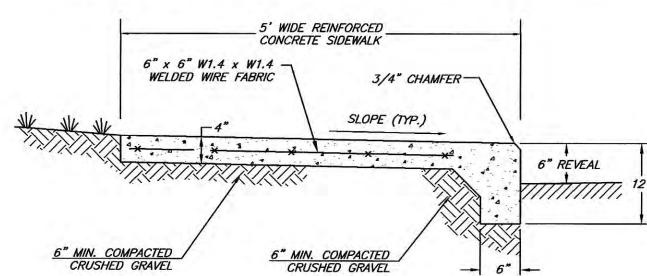


1. SECTION NUMBERS REFER TO APPROPRIATE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION 2. SECTION 410 (TACK COAT) WILL APPLY IF MORE THEN 180 CALENDAR DAYS ELAPSE BETWEEN PLACEMENT OF BINDER COARSE AND WEARING COARSE. 3. PAVEMENT SECTION SHALL CONFORM TO LATEST NHDOT MANUAL AND TOWN OF AUBURN SITE PLAN REGULATIONS.

PAVEMENT DETAIL

NOT TO SCALE



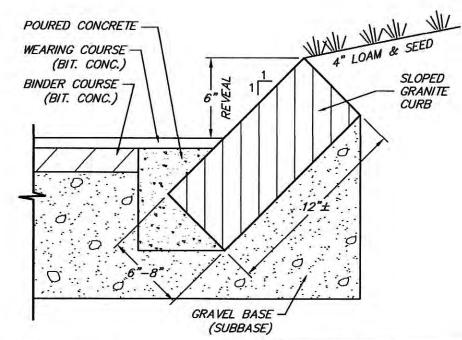


NOTES:

1. CROSS SLOPE OF SIDEWALK TO BE AS SPECIFIED ON THE PLAN.

- 2. MAINTAIN 2" CLEARANCE (TYP) BETWEEN ALL CONCRETE EDGES AND WIRE FABRIC OR DOWEL. 3. CONTROL JOINTS TO BE LOCATED 5-FEET ON CENTER.
- 4. EXPANSION JOINTS TO BE LOCATED 25-FEET ON CENTER. 5. ALL CONCRETE TO BE 4,000 PSI NHDOT CLASS AA.

REINFORCED CONCRETE SIDEWALK DETAIL NOT TO SCALE



MINIMUM LENGTH OF STRAIGHT CURB STONES = 1' MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'

MINIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVE = SEE

ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH

MAXIMUM STONES WITH LENGTH JSE CURVED CUR USE RADIAL JOINT 1'-6"

OVER 110

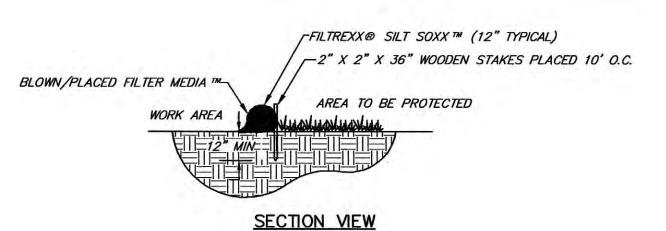
* 2" AT DRIVEWAYS AND O" AT SIDEWALK RAMPS

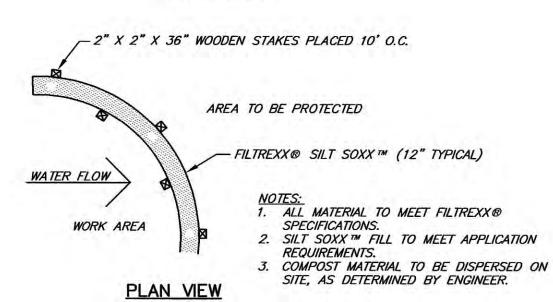
STONES = 3'

STONES = 10'

SLOPED GRANITE CURB DETAIL NOT TO SCALE

<u>VERTICAL GRANITE CURB DETAIL</u> NOT TO SCALE

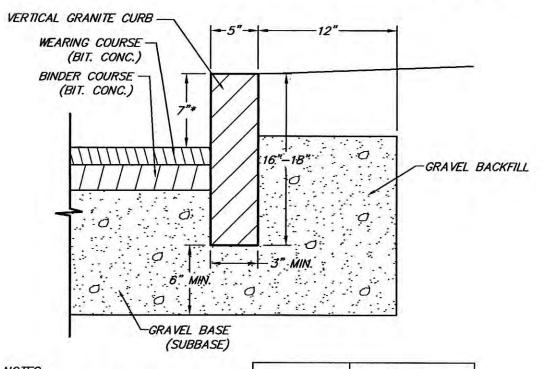


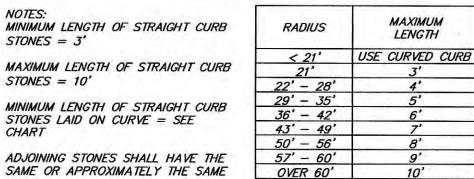


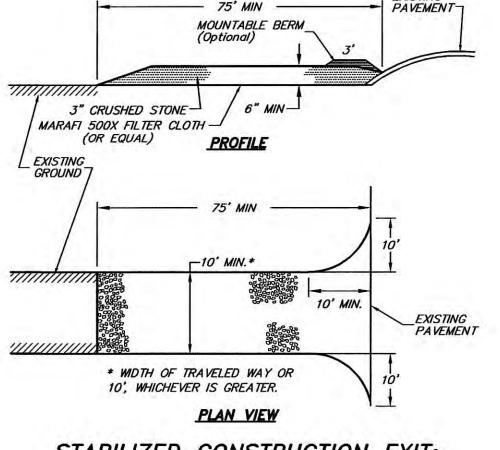
FILTREXX SILT SOXX DETAIL NOT TO SCALE BASE PLATE HANDHOLE-#8 CU - 18"-PIGTAIL TO POLE GROUND LUG BASE COVER-1" CHAMFER-ANCHOR BOLT FINISH GRADE 30" EXPOSED CONCRETE -ABOVE F.G 1" PVC RIGID CONDUIT TYPICAL WITH #8 CU GROUND WIRE CADWELD -COPPER WELD GROUNDING ROD CONDUIT, SEE NOTE 3 . . . -CONCRETE BASE #6 VERTICAL BARS @ 6" O.C. AND -#4 HORIZONTAL TIES @ 12" O.C. (MIN. 4,000 PSI) BY SITE CONTRACTOR NOTES:

- 1. REFER TO LIGHT POLE MANUFACTURER FOR A, B, C AND D DIMENSIONS AND ANCHOR BOLT
- SEE ELECTRICAL SITE PLAN FOR CONDUITS AT EACH LOCATION. 3. ALL CONDUIT INSIDE OF CONCRETE POLE BASES SHALL BE GALVANIZED RIGID STEEL AND
- ALL ELBOWS SHALL BE A MIN. 36" RADIUS.
- THE 2'-6" POLE BASE EXPOSURE IS INTENDED TO PREVENT DAMAGE TO LIGHT POLE FROM LOW SPEED VEHICLE IMPACT AND IS INTENDED FOR PARKING LOT USE ONLY. CONTRACTOR SHALL REVIEW AND VERIFY THIS FEATURE WITH THE OWNER PRIOR TO CONSTRUCTION.

LIGHT POLE BASE DETAIL







STABILIZED CONSTRUCTION EXIT: NOT TO SCALE

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATION

MAINTENANCE NOTES:

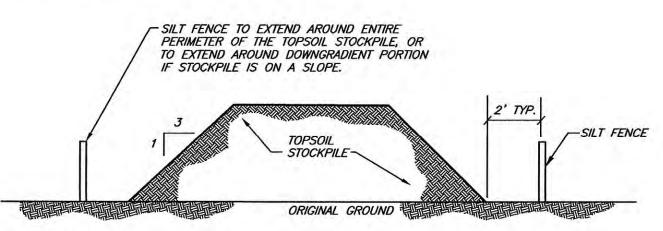
(A) THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE;

- (B) THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE;
- (C) THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS
- (D) THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY;

(E) THE PAD SHALL BE AT LEAST 6 INCHES THICK;

- (F) A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD; AND
- (G) THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF—SITE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT- OF-WAY MUST BE REMOVED PROMPTLY.

(H) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.



- 1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND
- OFF-SITE PROPERTY. REFERENCE IS MADE TO SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
- 3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.

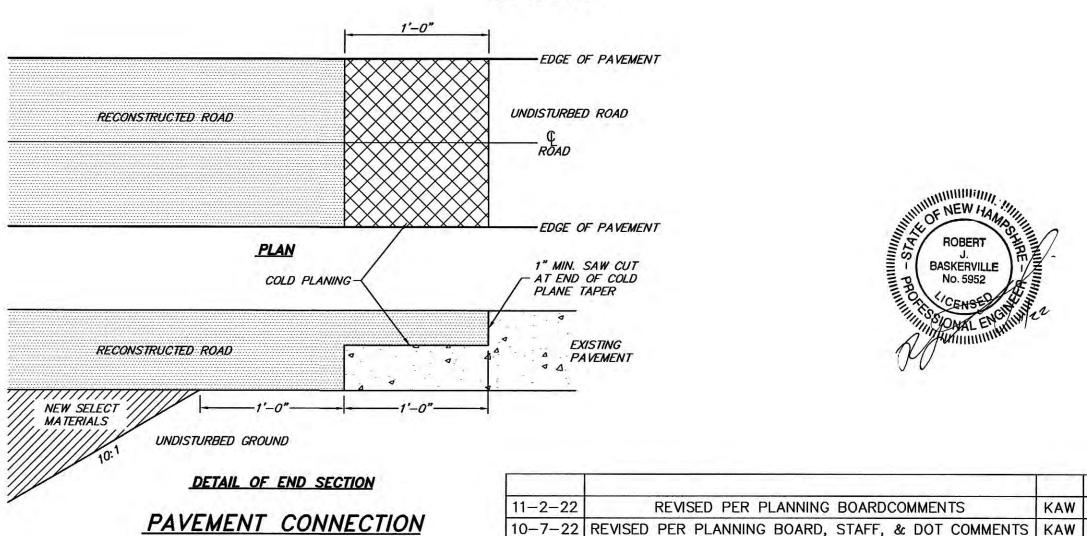
AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE TOWN.

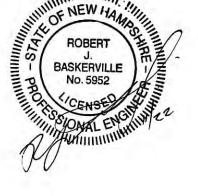
- 4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAINFALL EVENTS IN EXCESS OF 0.5 INCHES. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER
- SIGNIFICANT ACCUMULATION OCCURS. 6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED

TEMPORARY STOCKPILE DETAIL NOT TO SCALE

8-9-22

DATE





TAX MAP 12 LOT 11

KAW C

KAW A

BY REV

CATCH BASIN -

SILTSACK -

DUMP LOOPS

INSTALLATION AND MAINTENANCE NOTES:

GRATE TO HOLD THE SACK IN PLACE.

EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF THE SILTSACK®.

ELEVATION:

FENCES SHALL BE INSTALLED AS FOLLOWS:

3. THE BASE OF THE FENCE SHALL BE:

SHALL BE PROMPTLY REPLACED.

AND CLEAN. THE SILTSACK® SHOULD BE STORED OUT OF THE SUNLIGHT WHEN NOT IN USE.

CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE FENCE;

FENCES SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;

THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE FENCE SHALL BE 100 FEET;

THE MAXIMUM SLOPE OF THE AREA ABOVE THE FENCE SHALL BE 2:1;

2. THE ENDS OF THE FENCE SHALL BE FLARED UP-SLOPE;

THICKNESS OF 8 INCHES OF 34-INCH STONE;

SEDIMENT FROM REACHING ONE—THIRD THE HEIGHT OF THE FENCE.

INSTALL FENCE PER MANUFACTURES SPECIFICATIONS.

INSERT 1" REBAR

FRAME

EXISTING GRADE

CONSTRUCTION NOTES:

FROM INLET

FOR BAG REMOVAL

OPTIONAL OVERFLOW

DETAIL SHEET 2 SOONER-MILFORD LOCATED AT:

1. INLET BASKETS SHALL BE USED ON ALL CATCH BASINS

DURING CONSTRUCTION. INLET BASKETS SHALL BE

2. THE FILTER FABRIC SHALL BE A WOVEN POLYPROPYLENE

GRAB TENSILE STRENGTH: 300 LBS. MINIMUM

GRAB ELONGATION: 20% MINIMUM (ASTM D-4632)

PUNCTURE: 120 LBS. MINIMUM (ASTM D-4633)

TRAPEZOID TEAR STRENGTH: 120 LBS. MINIMUM

MULLEN BURST STRENGTH: MINIMUM 800 PSI

THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A

THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY,

AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING TH

DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE

INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL

PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN

TEST METHOD

ASTM D1682

ASTM D1682

ASTM D3786

ASTM D751

36" LONG, 2"X2"

INTO THE GROUND

WOOD STAKES
DRIVEN 1'-4"

US STD SIEVE

NUMBER 40 U.S. STANDARD SIEVE AND MINIMUM

GEO-TECTILE FABRIC MEETING THE FOLLOWING

"SILTSACK" OR APPROVED EQUAL.

(ASTM D-4632)

(ASTM D-4533)

(ASTM D-3786)

STABILIZED WITH VEGETATION.

PERMEABILITY OF 40 GPM/SQ. FT.

SPECIFICATIONS:

FI OODING

TO INSTALL THE SILTSACK® IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD

TO REMOVE THE SILTSACK®, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON

TO EMPTY THE SILTSACK®, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT

STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN THE SILTSACK® INSIDE OUT AND EMPTY

THE SILTSACK® IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE THE SILTSACK® FROM THE BASIN

INLET SEDIMENT FILTER BASKET

GRAB TENSILE STRENGTH (lbs)

MULLEN BURST STRENGTH (psi)

ELONGATION AT FAILURE (%)

PUNCTURE STRENGTH (Ibs) EQUIVELANT OPENING SIZE

EMBED MIN. OF 8"

INTO THE GROUND

AND COMPACT SOIL

OVER EMBEDDED

FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO

THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1/4-ACRE PER 100 LINEAR FEET OF

SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS; AND

CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.

5. ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED TO A SUPPORT POST;

RAINFALL, ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY; AND
SEDIMENT THAT ACCUMULATES AT THE FENCE SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE

IF THE FABRIC ON THE SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE LIFE OF THE FENCE, THE FABRIC

SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO

SILT FENCE DETAIL:

NOT TO SCALE

FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED

a. FOLDED SUCH THAT NOT LESS THAN 4 INCHES OF THE FENCE IS PLACED ALONG THE BOTTOM OF A TRENCH THAT IS EXCAVATED AT LEAST 4 INCHES DEEP INTO THE GROUND, WITH THE SOIL COMPACTED OVER THE EMBEDDED FABRIC; OR

b. IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, EMBEDDED IN A MINIMUM

SILT FENCE MEETING THE FOLLOWING SPECIFICATIONS:

NOT TO SCALE

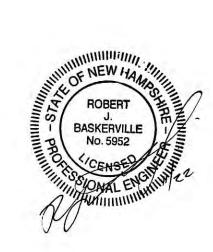
THE CONTENTS. CLEAN OUT AND RINSE. RETURN THE SILTSACK® TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.

THE SILTSACK® IS FULL AND SHOULD BE EMPTIED WHEN THE YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.

APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE

DRAWN: RJB

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ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS

DESCRIPTION

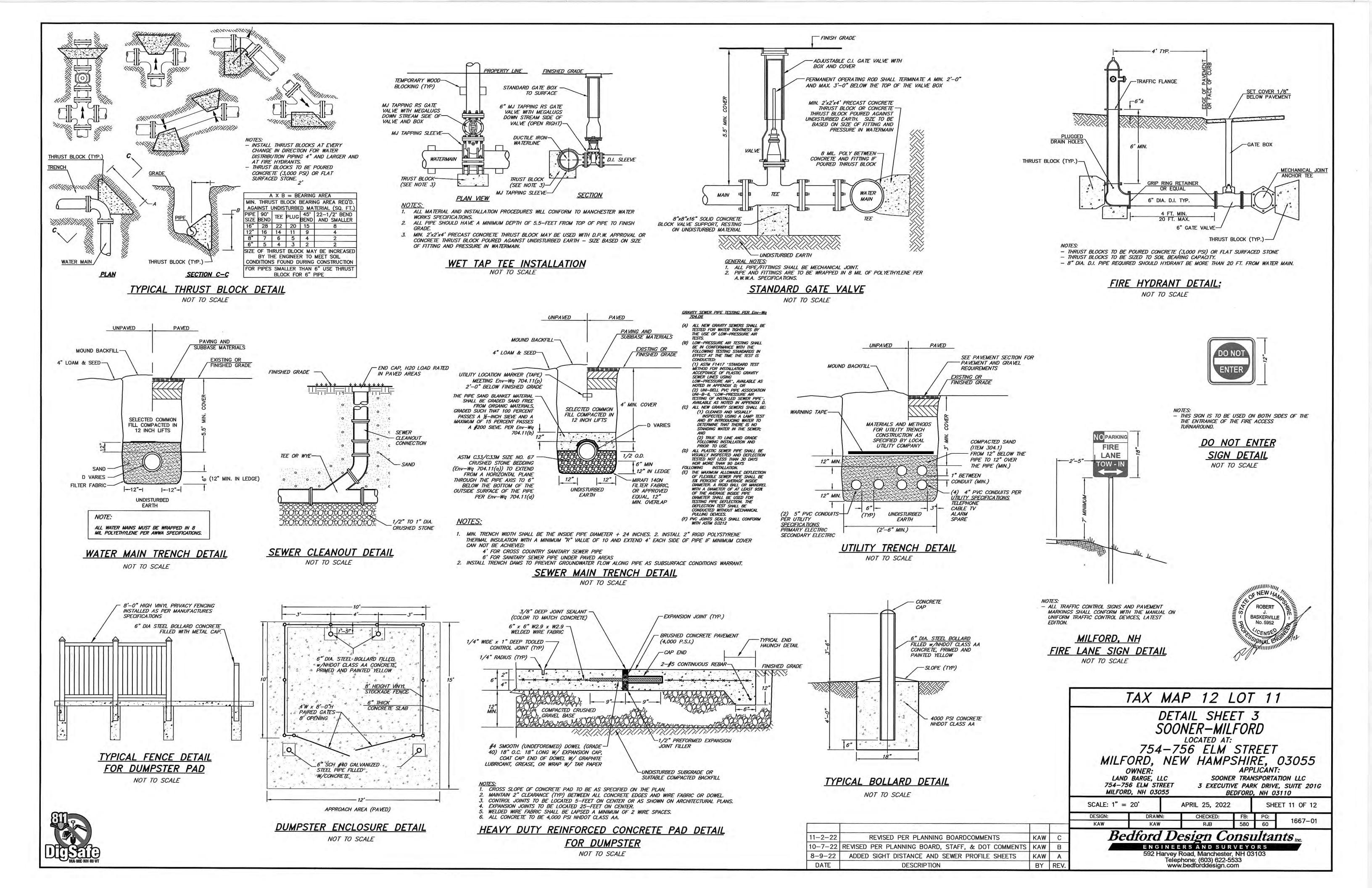
754-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055 **APPLICANT:** OWNER: LAND BARGE, LLC SOONER TRANSPORTATION LLC 754-756 ELM STREET 3 EXECUTIVE PARK DRIVE, SUITE 201G MILFORD, NH 03055 BEDFORD, NH 03110 SCALE: 1" = 20' APRIL 25, 2022 SHEET 10 OF 12 DESIGN: 1667-01

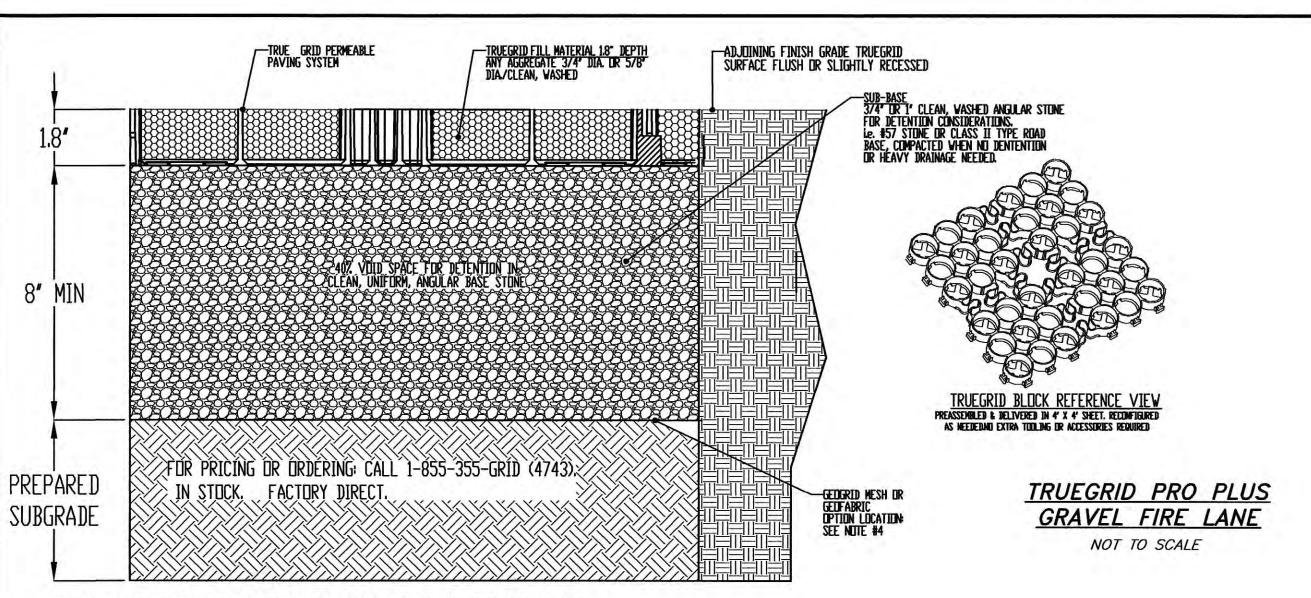
> Bedford Design Consultants ENGINEERS AND SURVEYORS

592 Harvey Road, Manchester, NH 03103



NOT TO SCALE





- 1. SUB-BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
- 2. TRUEGRID PRO PLUS PRODUCTS DESIGNED FOR LOAD CAPACITIES OF 120,000 LBS PER SQ. FT. TRUEGRID PRODUCTS STRENGTHEN WITH FILL MATERIAL.

- 3 1/8" PERVIOUS PAVER LAYER (SEE PAVER NOTES)

-6" CHOKER COURSE CRUSHED STONE (AASHTO No. 57)

4" RESERVOIR COURSE CRUSHED STONE (LAID LEVEL) (AASHTO No. 3) BOTTOM OF RESERVOIR COURSE, ELEV. = 289.75

- 3. TRUEGRID PRO PLUS PRODUCTS ARE SUFFICIENTLY RATED FOR H-20 /HS-20 LOADING AND GREATER.
- 4. GEOGRID MESH OR GEOFABRIC MAY BE REQUIRED BETWEEN SUB-GRADE & SUB-BASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.

-12" BANK RUN GRAVEL FILTER COURSE (MODIFIED NHDOT 304.1)

- 5. INCREASE SUB-BASE DEPTH FOR INCREASED STORM WATER DETENTION.
- 6. NO STAKING NECESSARY WITH TRUEGRID PRO PLUS WHEN SLOPE IS BELOW 10 DEGREES. ASSESS PROJECT, AS NEEDED.

JOINTS TO BE FILLED IDEAL PAVERS AQUA-BRIC 8 JOINT SPECIFICATION MATERIAL PERMEABLE PAVER AQUA-BRIC 8

- 7. FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS AND LOAD REQUIREMENTS.
- 8. THIS CROSS SECTION IS FOR INFORMATION ONLY.

EXISTING SUBGRADE

PAVER NOTES:

TOP OF POND EL = 293.0 POND BOTTOM EL.=291.90 ESHWT ELEV FROM TEST PIT NO. 1 = 287.85

BASIN NOTES:

- DURING CONSTRUCTION DO NOT RUN HEAVY MACHINERY OVER INFILTRATION SITES. COMPACTION WILL CAUSE THEM TO BECOME INEFFECTIVE. ONCE THE BOTTOM LEVEL OF BASIN IS EXCAVATED, TILL THE SOIL WITH A ROTARY TILLER TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS BY LEVELING DRAG.
- BASINS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN PLANTED AND IT'S
- CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED. 4. SLOPES SHALL BE PROTECTED WITH JUTE MATTING.

INFILTRATION BASIN

NOT TO SCALE

BEST MANAGEMENT PRACTICES FOR INFILTRATION BASINS

- 1. REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
- 2. REMOVAL OF ACCUMULATED SEDIMENT.
- 3. INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
- INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD. WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED
- 5. INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN TWICE ANNUALLY.
- 6. PERIODIC MOWING OF EMBANKMENTS.
- 7. REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS.
- 8. INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS.
- 9. IF INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

ACCESSIBLE RAMP

4" PAINTED STRIPING

NOTE: THE ACCESSIBLE

PARKING STALLS AND

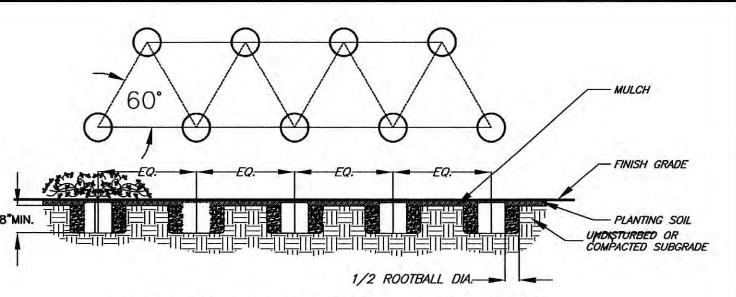
EXCEED A 2% SLOPE II

AISLE SHALL NOT

ANY DIRECTION

1'-6" O.C. AT 45' IN-

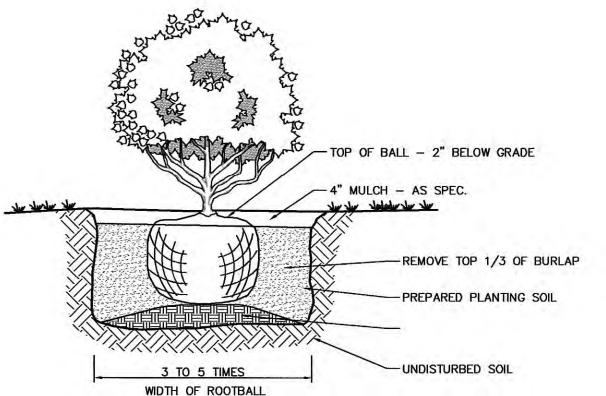
FRONT OF RAMP



TYPICAL GROUNDCOVER/PERENNIAL PLANTING DETAIL

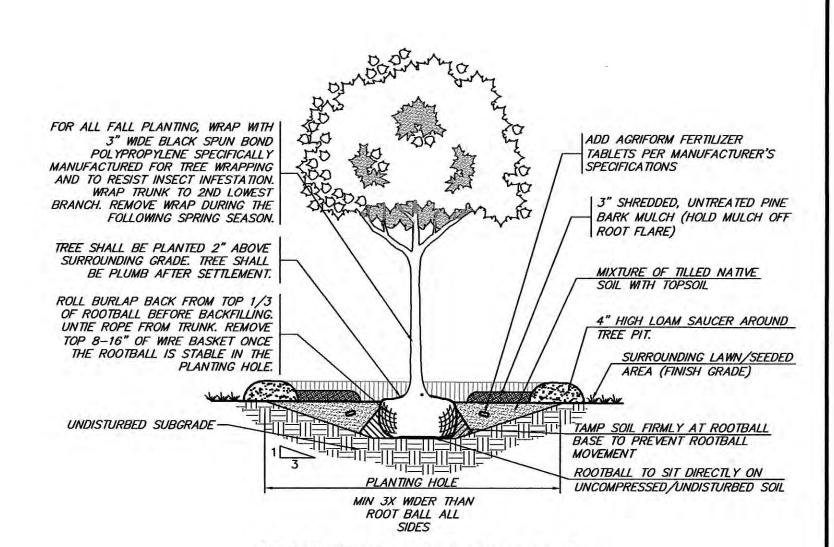
NOT TO SCALE

SPACING SHALL BE THE PLANT'S MATURE WIDTH



SHRUB PLANTING DETAIL

NOT TO SCALE



DECIDUOUS TREE PLANTING

BEST MANAGEMENT PRACTICES FOR PERMEABLE PAVERS

- 1. NO WINTER SANDING OF PERMEABLE PAVEMENT IS PERMITTED.
- 2. MINIMIZE APPLICATIONS OF SALT FOR ICE CONTROL.
- 3. NEVER SEAL OR REPAVE PERMEABLE PAVERS.
- 4. IF A PAVER BECOMES DAMAGED IT CAN BE REPLACED AND THE NEW PAVER RESET.
- 5. INSPECT ANNUALLY FOR DETERIORATION OR SPALLING.
- 6. MONITOR PERIODICALLY TO ENSURE THAT PAVER SURFACE DRAINS EFFECTIVELY
- 7. FOR INTERLOCKING PAVERS, PERIODICALLY ADD JOINT MATERIAL TO REPLACE LOST
- MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF PAVER SURFACE, AND POSSIBLY FILTER COURSE AND SUB-BASE MATERIAL.

PAVERS SHALL BE PAVERS BY IDEAL AQUA-BRIC 8 FOR HEAVY LOADS IN DRAINS EFFECTIVELY AFTER STORMS AT THE DISCRETION OF THE OWNER. PAVERS ARE TO BE INSTALLED PER MANUFACTURER'S INSTALLATION GUIDE. TYPICAL CROSS SECTION FOR PERVIOUS PAVERS FOR HIGH PERMEABILITY SUB SOILS NOT TO SCALE

PERVIOUS PAVER MAINTENANCE: INSPECT ANNUALLY FOR DETERIORATION OR BREAKAGE MONITOR PERIODICALLY TO ENSURE THAT THE SURFACE

- CLEAN PERIODICALLY (2-4 TIMES PER YEAR) TO REMOVE SEDIMENT AND ORGANIC DEBRIS ON THE SURFACE .
- INSPECT ADJACENT VEGETATED AREAS (2-4 TIMES PER YEAR) FOR SIGNS OF EROSION AND RUN-ION TO THE POROUS
- MAJOR CLOGGING MAY NECESSITATE REPLACEMENT OF THE SURFACE AND POSSIBLY FILTER COURSE AND SUB-BAS

TOP OF BASIN EL.=409.12 9" DEPTH 4" LOAM AND SEED OUTLET EL =408.12

WIDTH OF SPILLWAY AND/OR WIDTH OF RIPRIP AS SPECIFIED ON THE PLANS. - REFER TO THE MAINTENANCE AND CONSTRUCTION NOTES FOR ROCK RIP-RAP FOR ADDITIONAL DETAILS.

MAINTENANCE

ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLODGE THE ROCK RIPRAP. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIPRAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.

CONSTRUCTION SPECIFICATIONS

- 1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC OR RIPRAP SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, VEGETATION, AND DEBRIS AND PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS. 2. THE ROCK AND/OR GRAVEL USED FOR FILTER AND RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP BY PLACING A CUSHION OF SAND AND GRAVEL OVER THE FABRIC. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES. 4. STONE FOR THE RIPRAP MAY BE PLACE BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT PREVENT DISPLACEMENT OF THE UNDERLYING MATERIALS.
- HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE TO ANY PERMANENT STRUCTURES. 5. STONES FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE
- FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIPRAP. 6. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

OUTLET SPILLWAY DETAIL NOT TO SCALE

TEST PIT ELEVATION = 290.60

TEST PIT NO. 1

0"-10" FILL, 10 YR 5/1, FINE LOAMY SAND, GRANULAR, FRIABLE 10"-33" 10 YR 6/6, FINE LOAMY SAND, FINE GRANULAR FRIABLE 33"-38" SOLID MOTTLING 5 YR 4/4, FINE LOAMY SAND, FINE GRANULAR, FRIABLE SLIGHTLY FIRM @ 38"-60" 10 YR 6/8, LOAMY SAND, GRAVELLY, GRANULAR, FRIABLE

WATER @ 72" ESHWT @ 33" (ELEV 287.85)

TEST PIT NO. 2

RESTRICTIVE LAYER @ 38"

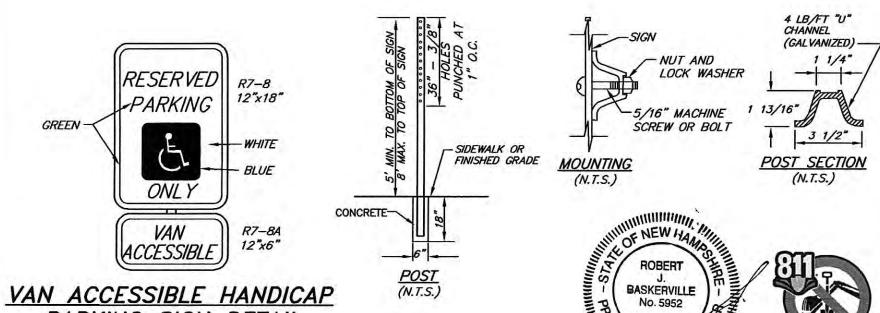
TEST PIT ELEVATION = 293.00

0"-14" A HORIZON 10 YR 4/3 FINE SANDY LOAM, MASSIVE, FRIABLE 14"-24" B HORIZON 10 YR 6/6 FINE LOAMY SAND, WEAK FINE GRANULAR, FRIABLE 24"-28" BURIED A HORIZON 10 YR 5/4 LOAMY SAND, GRANULAR, FRIABLE 28"-76" 10 YR 6/6 FINE LOAMY SAND, WEAK FINE GRANULAR, FRIABLE

WATER NONE OBSERVED @ 60" ESHWT NONE OBSERVED @ 60" (ELEV 288.00)

TEST PIT INFORMATION

TEST PITS WERE PERFORMED ON 8-1-22 BY RAY CRITCH



NOT TO SCALE

-

STRIPE PARKING AREAS AND DRIVES AS SHOWN INCLUDE PARKING SPACES, HANDICAP SYMBOLS AND PAINTED ISLES. ALL MARKINGS

TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE

ACCESSIBLE PARKING SPACES

NOT TO SCALE

REQUIREMENTS OF ASSHTO M248 TYPE F.

DATE

HANDICAP PARKING SIGN R7-8P WITH "VAN ACCESSIBLE" PLACARD

- MONOLITHIC

TO BE FLUSH

WITH PARKING

WHITE GRAPHIC.

LOT SURFACE

OR CURR

CONCRETE SIDEWALK

NATIONAL STANDARD

ACCESSIBILITY SYMBOL

PAINTED ON PAVEMENT.

BLUE BACKGROUND WITH

PARKING SIGN DETAIL NOT TO SCALE

> 11-2-22 REVISED PER PLANNING BOARDCOMMENTS KAW 10-7-22 REVISED PER PLANNING BOARD, STAFF, & DOT COMMENTS KAW | B 8-9-22 ADDED SIGHT DISTANCE AND SEWER PROFILE SHEETS KAW A DESCRIPTION BY REV.

TAX MAP 12 LOT 11

DETAIL SHEET 4 SOONER-MILFORD

154-756 ELM STREET MILFORD, NEW HAMPSHIRE, 03055

OWNER: LAND BARGE, LLC 754-756 ELM STREET MILFORD, NH 03055

SCALE: 1" = 20'

APPLICANT: SOONER TRANSPORTATION LLC 3 EXECUTIVE PARK DRIVE, SUITE 201G BEDFORD. NH 03110

SHEET 12 OF 12

DESIGN: DRAWN: CHECKED: FB: PG: 1667-01 KAW KAW 580

Bedford Design Consultants in ENGINEERS AND SURVEYORS

APRIL 25, 2022

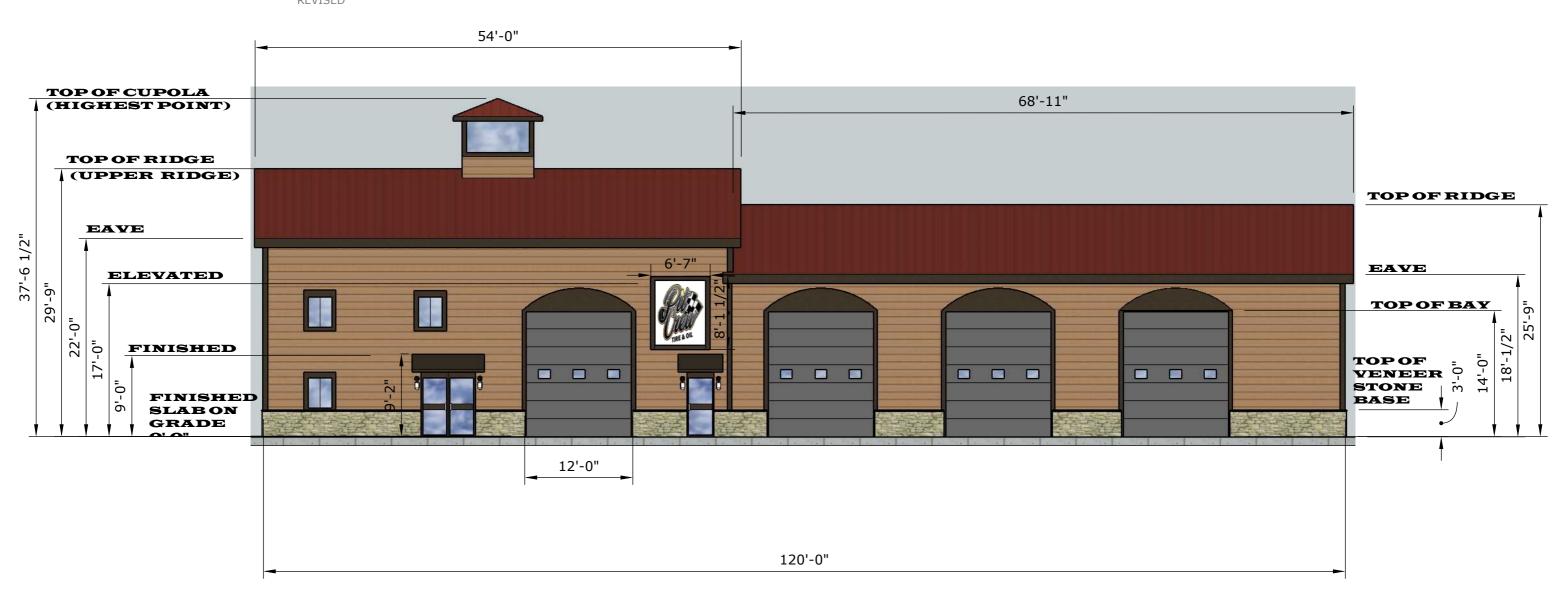
592 Harvey Road, Manchester, NH 03103 elephone: (603) 622-5533 www.bedforddesign.com



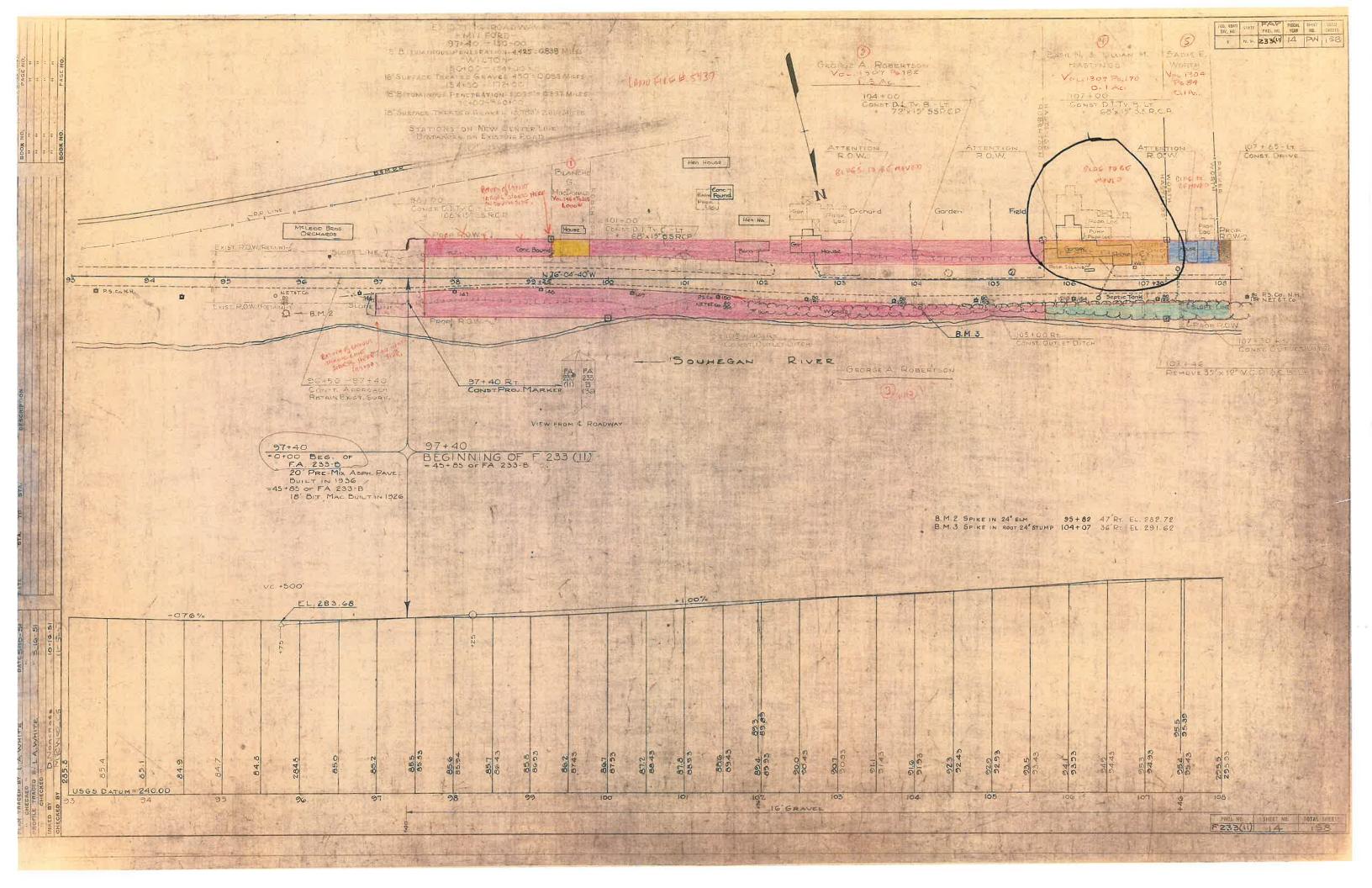
INFINITY CONSTRUCTION SERVICES INC. 603-670-6964 dan.in finity pro@gmail.com

PROPOSED LOCATION: 754 ELM ST.
MILFORD, NH 03055

FRONT ELEVATION / PIT CREW T&O :: A REVISED



GENERAL NOTES: BUILT UPON ENGINEERED SLAB ON GRADE BUILDING TO BE A PREFABRICATED ENGINEERED STEEL STRUCTURE WITH I-BEAM FRAMING. BUILDING KIT TO INCLUDE INSULATION SYSTEM. INTERIOR PARTITION WALLS TO BE OF STEEL STUD AND FIRE CODE FINISHED DRYWALL. OFFICE CEILING AND FLOOR FINISHES TO BE DETERMINED. STONE VENEER BASE DETAIL WINDOWS AND DOORS TO BE ORDERED SEPERATE FROM BUILDING KIT.





November 10, 2022

Mr. Douglas Knot, Chairman Milford Planning Board 1 Union Square Milford, NH

RE: REVISED Waiver Request Parking Calculation Section 6.05.4 Table of Off-Street Parking

Sooner Milford Site Plan 754-756 Elm St Map 12 Lot 11

Mr. Chairman,

Bedford Design is pleased to submit a waiver for the Table of Off-Street Parking. We have worked with the client to locate their new building and parking on the property in a way that facilitates their plans for the future. Only a few parking spaces can fit along the front of the building due to the number of overhead doors on the site. The display parking spaces for the auto sales portion of the lot, may include spaces for vehicles that are in the process of repair or employees. While these spaces are not striped, there is still adequate area for cars to park. The addition of the fire truck turnaround has removed an additional 2 spaces. The required number of parking spaces is 21. We show 18 spaces on the property. We believe that there is adequate parking on the site for the uses proposed. The employees will have full control over where each vehicle on site is parked and can move cars as needed.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,

Bedford Design Consultants, Inc.

Katherine A. Weiss, PLA, ASLA



November 2, 2022

Mr. Douglas Knot, Chairman Milford Planning Board Milford Town Hall 1 Union Square Milford, NH

RE: West Elm Street Gateway District Documentation

Sooner Milford Site Plan

754-756 Elm St Map 12 Lot 11

Members of the Board,

This document is to explain our rationale for placing this new building where it is shown on our site plan. I explained this at your recent planning board meeting.

Para. 6.07.6 D. provides the performance standards for commercial development in the West Elm Street Gateway District. Para 1. States that the buildings shall be "close to the street when practical". Our analysis has proven to us that it is not practical in this specific instance due to many reasons.

- 1. There is a Severe Financial Penalty. This is not a new use on a lot, nor a modification to a new use. It is an existing business that wishes to modernize its building and lot and stay on this lot. Its current location is near the street line. To build the new building at that location would require the demolition of the existing business, which would have to cease operation until the new structure is complete. That loss of revenue for an extended period for this small business would be extremely severe.
- 2. There is an Insurance Penalty. The developer maintains a fleet of delivery vehicles at an off-site location. Those vehicles are maintained by mobile maintenance vehicles operated by his company. Current Vendor and Insurance requirements are for him to have a fixed shop to obtain insurance. Closing this location to rebuild causes insurance problems for his existing fleet of vehicles.
- 3. Employees. Demolishing his current building would cause him to terminate his current staff of mechanics. That causes a severe hardship for his employees. In the current environment, it is extremely difficult to find and hire new mechanics. Firing and replacing his employees is a severe hardship.

- 4. The Intent of the zoning district. Putting a building at the street line does not meet the intent of the zoning ordinance. Being a vehicle repair facility, it has to have drive in doors. That access would have to face the back of the lot. This building would need to have all access from the rear. The back of the building is used for storage of tools and replacement parts. No access from the back is desirable. The back of a building with no access would face the highway. That would not improve the beauty of the area nor improve pedestrian access. All business to this facility would be from vehicle access. The windows would need to be protected by inside damage screens (tools and boxes could break glass windows), meaning the windows would probably have to be fake windows.
- 5. Neighboring uses. The abutting uses are also vehicle drive in establishments and are near the rear or sides of their lots. The strip of highway itself has future building limitations. The other side of the highway is the river. No building across the street is possible. The lots on our side of the highway are restricted by a railroad line behind the lots. There are no sidewalks. Which severely restricts a conversion to pedestrian friendly uses for tis strip of highway.

We did perform many concepts of possible configurations of this lot, and they all proved to be not workable for our client. We were faced with trying to modernize the existing structure. The town tax cards list the building age as built in 1800. That does not sound right, but it is an extremely old building. Renovating a building that is that old does not provide any financial or other benefit to the Town, it's residents, or the developer.

This site has many unique circumstances that make placing this building near the front lot line impractical.

We do look forward to completing a facility that will benefit everyone.

Sincerely,

Bedford Design Consultants, Inc.

Robert J. Baskerville, PE

President

November 2, 2022

Mr. Douglas Knot, Chairman Milford Planning Board Milford Town Hall 1 Union Square Milford, NH

RE: REVISED Waiver Request Parking Calculation Section 6.05.4 Table of Off-Street Parking

> Sooner Milford Site Plan 754-756 Elm St Map 12 Lot 11

Mr. Chairman,

Bedford Design is pleased to submit a waiver for the Table of Off-Street Parking. We have worked with the client to locate their new building and parking on the property in a way that facilitates their plans for the future. Only a few parking spaces can fit along the front of the building due to the number of overhead doors on the site. The display parking spaces for the auto sales portion of the lot, may include spaces for vehicles that are in the process of repair or employees. While these spaces are not striped, there is still adequate area for cars to park. The addition of the fire truck turnaround has removed an additional 2 spaces. The required number of parking spaces is 21. We show 18 spaces on the property. The owner will sign a lease with the adjacent property owner and this will allow for any overflow parking area.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,

Bedford Design Consultants, Inc.

Katherine A. Weiss, PLA, ASLA

November 2, 2022

Mr. Douglas Knot, Chairman Milford Planning Board Milford Town Hall 1 Union Square Milford, NH

RE: REVISED Waiver Request Periphery Buffer & Plantings

Section 6.08.5(B)1 & 6.08.7(A)1

Sooner Milford Site Plan 754-756 Elm St Map 12 Lot 11

Mr. Chairman,

Bedford Design is submitting a waiver for the periphery buffer and tree plantings. We have included a buffer along the majority of the west side of the site, and one naturally occurs along the south side due to the wetland setback. The addition of a fire truck turnaround on the west side of the site encroaches into the periphery buffer and, the north and east sides of the site will be used for the display of cars for sale and to unload carriers out of the main roadway. The site is currently paved here, and we are asking to keep the existing condition to facilitate the ease of movement on the adjacent site which will be used in tandem. The owner/applicant would like to keep circulation open as much as possible between the two site to facilitate traffic movement.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,

Bedford Design Consultants, Inc.

Katherine A. Weiss, PLA, ASLA



September 22, 2022

Mr. Douglas Knot, Chairman Milford Planning Board Milford Town Hall 1 Union Square Milford, NH

RE: Waiver Request for Parking within 10' of the Right of Way

Section 6.05.6.E

Sooner Milford Site Plan 754-756 Elm St Map 12 Lot 11

Mr. Chairman,

Bedford Design is submitting a waiver from the requirement that parking is not permitted within 10' of the Right of Way and must be separated by a curb. We have an existing curb cut from the NHDOT which we do not wish to eliminate and would like to remain accessible. A curb located here would make the area inaccessible. Moving the spaces 10' from the Right of Way would also mean removing an entire row of display spaces or the maneuvering aisle. Due to the extra-large width of the Right of Way along this area of Route 101, the display spaces are already located 22' back from the curb line of the travelled way. We

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,

Bedford Design Consultants, Inc.

Katherine A. Weiss, PLA, ASLA



September 22, 2022

Mr. Douglas Knot, Chairman Milford Planning Board Milford Town Hall 1 Union Square Milford, NH

RE: Waiver Request for Accessible Parking Space Dimensions

Section 6.05.5.E & Section 6.05.3.A.4

Sooner Milford Site Plan 754-756 Elm St Map 12 Lot 11

Mr. Chairman,

Bedford Design is submitting a waiver for the accessible parking space dimensions. The town requirement is 20' in length. We are proposing 18'. We used the additional 2' to create a 14' access aisle between the display spaces. This was added after out initial planning board meeting and the feedback we received from the Board members. The additional 2' helps facilitate safe movement of the display vehicles.

The 2010 ADA section 4.6.3 does not specify the length of the space, only the width requirements. The NH Architectural Barrier Free Design Code also does not specify the length of the accessible space. These two codes are specified in your regulations as the basis for your parking requirements.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,

Bedford Design Consultants, Inc.

Katherine A. Weiss, PLA, ASLA



September 22, 2022

Mr. Douglas Knot, Chairman Milford Planning Board Milford Town Hall 1 Union Square Milford, NH

RE: Waiver Request West Elm Street Gateway District

Section 6.07.6.E.5.a – Parking Lots Should be Located on Side or Rear of Buildings Section 6.07.6.E.1.a – Proposed Buildings Shall Maintain an Appropriate Street Edge to Adjacent Structures

Sooner Milford Site Plan 754-756 Elm St Map 12 Lot 11

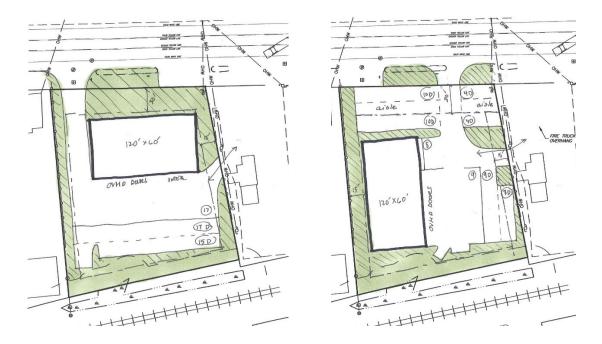
Mr. Chairman,

Bedford Design is submitting a waiver request to the West Elm Street Gateway District for the location of the proposed building and the proposed parking on the lot. The location of the building dictates where the parking can go, so we are requesting a waiver from both requirements.

As we have discussed, during the previous Planning Board Meetings and site walk, the owner needs to keep the business running during construction. To do this, we are proposing constructing the new building out back while the existing building remains open. This way, business will only have to shut down for the paving, permeable paver, and landscape island installations.

At the last Planning Board meeting we also showed two example configurations of the building. Those examples are on the next page. The left image shows the building at the front lot line and does not allow for display spaces out front which is essential to a used car business. The proposed building location would also cause the business to close for an extended period and employees would be laid off. The parking and display space configuration requires customer vehicles be moved to access the display vehicles.

The picture on the right shows the building located along the west property line with room for some display spaces out but an awkward area for customer parking and additional spaces.



We have also included a Building Dimension Exhibit showing the distance from the street curb to all the buildings on this section of Route 101. The average distance from curb to building (see calculations on the attached plan) is 82' for the 13 buildings. Our proposed building is 145' from the curb line. There are two buildings which are further away from Route 101 than ours. Due to the location of the rail line, the properties get smaller as you head east. Several of the properties are too small to allow for the building to be located anywhere but near the front of the lot line or within the building setback. Reviewing the aerial, the new location of the building does not appear out of line with the others. As the regulation states we must "maintain appropriate street edge to adjacent structures". This does not mean future structures, but structures which are currently existing.



In conclusion, this existing business would like to remain on site, and to do so, they must make appropriate financial and ethical decisions involving the proposed development and employees. This requires that the building be situated towards the back of the lot.

We look forward to discussing this with you at the Planning Board Meeting. If you have any questions, please feel free to contact us at 603-622-5533.

Sincerely,

Bedford Design Consultants, Inc.

Katherine A. Weiss, PLA, ASLA