



TOWN OF MILFORD, NEW HAMPSHIRE  
OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055

TEL: (603)249-0620

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## **STAFF MEMO**

**Date:** March 1, 2021  
**To:** Town of Milford Planning Board  
**From:** Jason Cleghorn, Town Planner  
**Subject:** **SP2021-07 and SD2021-05 B33 Lordens Plaza (applicants/owners), 586 Nashua St., Map 44, Lot 6.** Public Hearing for the review of a major site plan related to the construction of a proposed 2,250 s.f. coffee shop with drive thru lane and a minor subdivision to create a 30,912 s.f. lot from the overall Lordens Plaza for the purposes of the construction on this pad site within the Commercial “C” zoning district.

### **BACKGROUND:**

The applicant is before the Planning Board seeking approval of a major site plan related to the construction of a proposed 2,250 s.f. coffee shop with drive-thru lane; and a minor subdivision to create a 30,912 s.f. lot (6-2) from the overall Lordens Plaza for the purposes of the proposed construction on this pad site within the Commercial “C” zoning district.

### **ADDRESS:**

586 Nashua St. (Lordens Plaza)

### **EXISTING USE:**

The property is currently vacant and part of the overall Lordens Plaza parking field.

### **LOT AREA:**

The overall property (the entire plaza) totals approximately 16.16 acres. The lot proposed as part of the minor subdivision would be 30,912 s.f. (0.71 ac).

### **APPLICATION STATUS:**

The application is complete and ready to be accepted. The Board will need to make a determination of regional impact.

### **NOTICES:**

Notices were sent to all property abutters on February 24, 2021.

### **ZONING DISTRICT/INFORMATION:**

The subject property is within the Commercial “C” District: The intent of this District is to provide areas for those businesses, institutional, financial, governmental and compatible residential uses which constitute the commercial requirements of the Town.

Zoning Ordinance § 5.05.1 (C) permits restaurants as an Acceptable Use.

As it pertains to the minor subdivision, the 30,912 s.f. proposed lot exceeds the zoning ordinance’s requirement of 20,000 s.f. and 150 feet of frontage.

### **EXISTING CONDITIONS:**

The area in which this project would be constructed is located in an existing area of parking nearest the western driveway entrance to Lordens Plaza, and the adjacent signalized intersection within Nashua Street. The pad site is pushed forward

near the southern edge of the parcel which will have frontage along Nashua St. This project is a 0.70 acre portion of the overall 16.16 acre plaza.

**TRAFFIC AND ACCESS MANAGEMENT:**

The applicant’s engineer provided a thorough Traffic Impact Assessment commiserate with current traffic engineering standards. The project is expected to generate approximately 370 total new trips per weekday and 364 on a typical Saturday, with around forty (40) of those trips being peak-hour trips.

Staff has some concern with the limited number of queuing space for vehicle storage onsite being limited to ten (10) vehicles. Observations elsewhere with comparable properties and uses have shown queuing far in excess of these amounts.

Additionally, staff is concerned about the limited space for the turning movement off of the access drive aisle and its short distance away from Nashua Street.

It should also be noted that the project’s impact moves the Eastern Driveway at the plaza (not the driveway closest to the proposed construction) from LOS “C” to LOS “D”, one level from considered failing, or LOS “F”.

**Trip Generation Summary - Proposed Starbucks - Milford, NH**

Time Period	Size	Starbucks 2250	Pass-By Starbucks	New Trips
<b>Weekday Morning Peak Hour</b>				
Entering		102	-80	22
Exiting		98	-80	18
Total		200	-160	40
<b>Weekday Evening Peak Hour</b>				
Entering		49	-39	10
Exiting		49	-39	10
Total		98	-78	20
<b>Saturday Midday Peak Hour</b>				
Entering		99	-79	20
Exiting		99	-79	20
Total		198	-158	40
Weekday Daily		1,846	-1,476	370
Saturday Daily		1,820	-1,456	364

**Table 3  
PEAK-HOUR TRAFFIC-VOLUME INCREASES**

Location/Peak Hour	2021 Existing	No-Build (2022/2032)	Build (2022/2032)	Traffic-Volume Increase No-Build vs. Build (2022/2032)	Percent Increase No-Build vs. Build (2022/2032)
<i>Nashua Street at Lorden Plaza East Driveway:</i>					
Weekday Morning	1,476	1,497/1,617	1,512/1,632	26/26	1.0/0.9
Weekday Evening	2,047	2,071/2,197	2,083/2,209	17/17	0.6/0.5
Saturday Midday	1,923	1,945/2,060	1,963/2,078	33/33	0.9/0.9
<i>Nashua Street at Lorden Plaza West Driveway:</i>					
Weekday Morning	1,459	1,486/1,604	1,571/1,689	85/85	5.7/5.3
Weekday Evening	2,038	2,070/2,191	2,105/2,226	35/35	1.7/1.6
Saturday Midday	1,907	1,936/2,047	2,014/2,125	78/78	4.0/3.8

**OPEN SPACE/LANDSCAPING:**

The applicant’s submittal for landscaping in all cases meets the town’s requirements and the number of shrubs and trees exceed the town’s requirements. The lot requires 30% open space and the project is providing 35%.

<b>LANDSCAPE SCHEDULE</b>					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
<b>SHADE TREES</b>					
AROG	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3 1/2" CAL.	B-B
GB	3	GINKGO BILOBA	MAIDENHAIR TREE GINKGO	2 1/2-3 1/2" CAL.	B-B
GTIK	2	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEYLOCUST	2 1/2-3 1/2" CAL.	B-B
SUBTOTAL:	8				
<b>EVERGREEN TREES</b>					
TOE	18	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	6-7'	B-B
SUBTOTAL:	18				
<b>DECIDUOUS SHRUBS</b>					
MP	11	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	30-36"	B-B
SUBTOTAL:	11				
<b>EVERGREEN SHRUBS</b>					
PMM	24	PINUS MUGO MUGUS	DWARF MUGO PINE	24-30"	CONTAINER
TMD	83	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B-B
SUBTOTAL:	107				
<b>ORNAMENTAL GRASSES</b>					
CAKF	54	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	24" HT. MIN.	CONTAINER
SUBTOTAL:	54				

**DRAINAGE:**

Although the project is not located within the 100-year flood plain as shown on the Flood Insurance Rate Map Number 330096, dated September 25, 2009. The town’s stormwater engineer did not have any comments about the site plan’s stormwater plan or drainage system.

**PARKING:**

The project plans to provide twenty (20) total spaces with one (1) space being handicapped (and van) accessible. A waiver has been requested from the requirement of thirty-eight (38) spaces for the amount of seats and employees.

**LIGHTING PLAN:**

The plan appears consistent with best management practices for light pollution at the property’s boundary lines and the town’s regulations.

**BUILDING ELEVATIONS:**

Staff supports the building as shown and believes the colors, roofline and general architectural ‘feel’ to strike a balance between corporate needs/templating and the goals of the town of Milford.

**WAIVERS: (See discussion related to the waivers in the Staff Recommendation below)**

The applicant has requested two (2) waivers as part of the major site plan. The first waiver regards a reduction in the required parking as required in §6.05.4 Table of Off-Street Parking which would require 38 spaces and the project plans to provide twenty (20) spaces). Given that the project will have shared parking agreements with the adjacent plaza, Staff supports this waiver/reduction. It is anticipated that much of this project will utilize the drive-thru and that the amount of parking provided will be sufficient.

The second waiver pertains to §6.08.7(A) which requires a landscape strip ten (10) feet in width between paved area and abutting property lines or public ROW. The project will maintain this buffer along the Nashua St. (public ROW) frontage, but is asking to have the requirement waived to the new northern property line adjacent to the plaza’s parking field. Staff believes that the landscaping in general as part of this project which exceeds the town’s requirements makes up for this requirement being requested to be waived.

## **INTERDEPARTMENTAL REVIEWS:**

**Ambulance:** No comments.

### **Assessing:**

1. There are two additional existing buildings on this parcel. Shouldn't they be depicted on the plan?
2. Also, shouldn't the actual and proposed lot numbers be displayed on this plan? (existing lot ID is 44-6, not 6)
3. This is the 2nd "Minor subdivision" on this parcel in less than 2 months. First was the Bank building (St Mary's CU). At what point does it become a major subdivision, and might it behoove all parties to get one overall plan? Should the St. Mary's proposed subdivision be displayed on the plan?
4. Will there be enough parking spaces for all entities after subdivision for another business since this will result in reducing the available spaces for the existing businesses?

### **Building Department:**

### **Conservation Commission:**

**Fire Department:** No comments.

### **Heritage Commission:**

**Police Department:** No comments.

### **Public Works:**

1. Drainage ties into private property drainage? Is it ok? Easements for?
2. Easements for all utilities will be needed.
3. Should the concrete walkway extend to road edge for future sidewalk on that side?
4. No pavement thickness or gravels indicated
5. Road patch detail is not Town approved
6. Who holds a service contract for the Stormceptor? Who will monitor?

**SoRLAC:** N/A

### **Water Utilities:**

**Stormwater:** No comments.

### **Zoning Administrator:**

### **Planning Department:**

1. MINOR SUBDIVISION: The new lot being created as part of SD2021-05 will be Map 44 Lot 6-2 as a new lot 6-1 was created (being created) for the St. Mary's Bank. The minor subdivision drawing prior to recording should be resubmitted showing this lot. Staff can coordinate with the applicant for the line work or to contact the engineer of record to receive this. All references on the subdivision plan drawings should be revised to refer to Lot 6-2, throughout.
2. SITE PLAN: Change all references as it pertains to this project from Proposed Lot 6-1 to Proposed Lot 6-2 throughout.
3. SITE PLAN: There was discussion at the Planning Board's conceptual review about pedestrian connections to the north (the parking area as part of the Lordens Plaza). Staff supports this connection and the plan should be revised to extend the sidewalk at the side of the building or at a minimum, provide striping designating a pedestrian path as was discussed at the aforementioned conceptual hearing.
4. SITE PLAN: Table 1 of the *Traffic Impact Assessment* omits the Saturday midday peak-month volumes referred to in subscript letter d.
5. SITE PLAN: Staff remains concerned about the relative lack of queuing space (ten (10) vehicles). Analysis provided by a traffic engineer on the town's zoning board of administration shows that based on *Kendall's Notation on the Mathematical Theory of Probability* and *Andrey Markov's Queue Theory*, up to eighteen (18) vehicles may be



queuing at the 95<sup>th</sup> percentile. Given the short distances involved between the site's entrance off of the entrance drive aisle and Nashua St., this is problematic. Staff has observed other locations in the general area with many more than ten (10) vehicles queuing.

6. SITE PLAN: Has the applicant applied for an amended NHDOT access permit?
7. SITE PLAN: The exit only driveway at the NW corner of the new lot warrants a site distance evaluation because of the turning movement there into the internal roadway system of the plaza.
8. SITE PLAN: Staff is slightly concerned that the project's impact will result in the Eastern Driveway of the Lordens Plaza changing from LOS C to LOS D under the 2022 Build volumes. There should be additional analysis done in coordination with NHDOT on whether any changes to the signalization at this intersection are warranted.
9. SITE PLAN: There was nothing included within the site plan regarding potential signage. There was discussion at the conceptual meeting regarding signage but nothing was shown here.

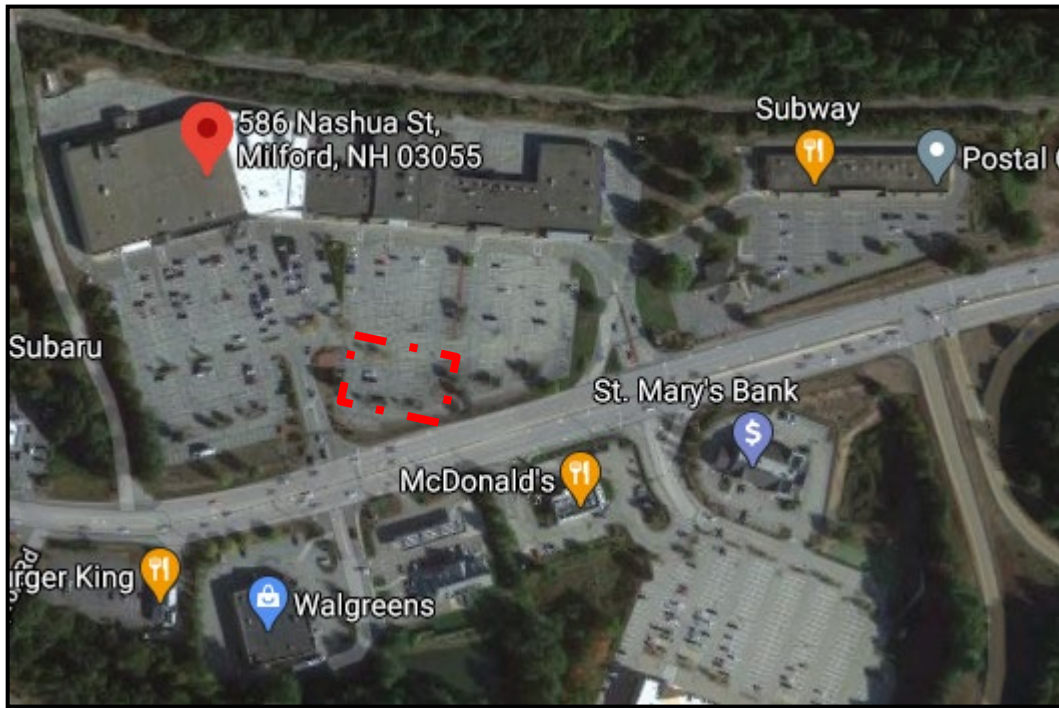
Comments and recommendations provide an overview of areas needed to be addressed at the Public Hearing or shown as part of the application:

**STAFF RECOMMENDATIONS:**

The applicant should be prepared to address all of the comments raised by the Planning Board, Conservation Commission, Town Consultants, Staff, and public pertaining to the Subdivision Plan and Major Site Plan.. **Due to a noticing issue related to the waivers not being individually noticed, the Planning Board will not be able to take action on the two requested waivers at the 3-16 Planning Board Meeting. Hence, the item will need to be re-advertised listing the waivers, and completed at the 4-20-21 Planning Board Meeting. Staff feels comfortable having the initial discussion at the 3-16 Meeting, which will allow the applicant to get input and direction from the initial meeting.**

Additionally, because of the complexities of the Traffic Impact Analysis, Staff is requesting Planning Board input on whether it would prefer that Staff seek the input of a 3<sup>rd</sup> party engineering firm to assist the Community Development Department in its review.

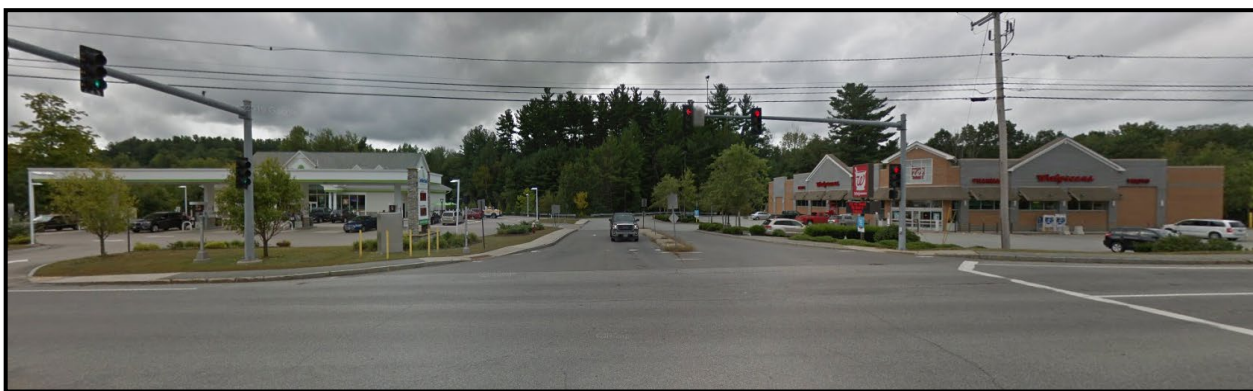
**Aerial of 586 Nashua Street, Map 44 Lot 6.**



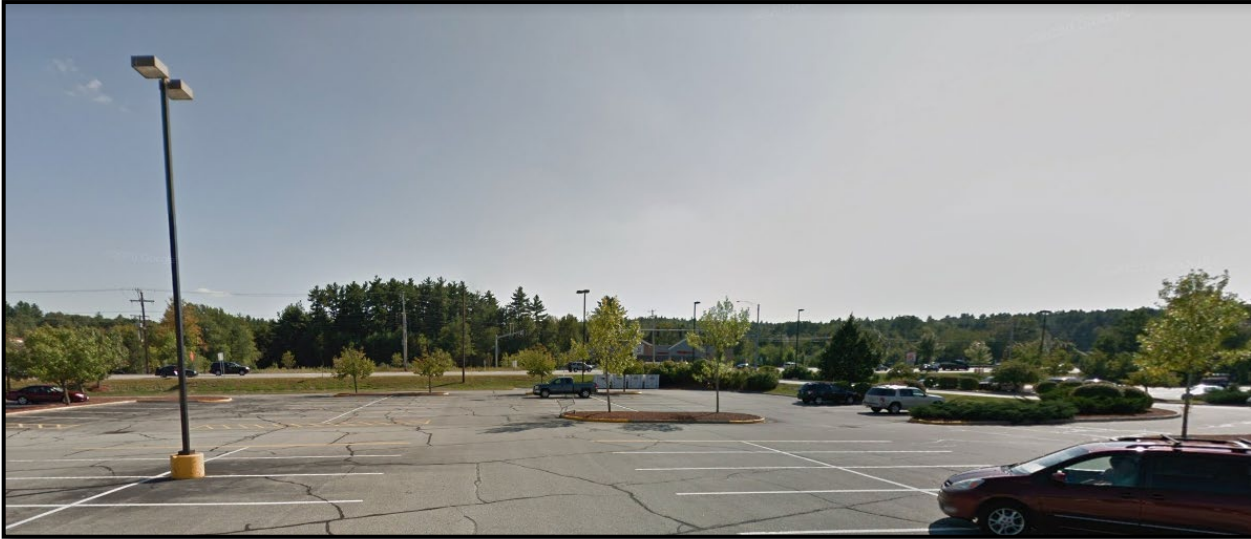
**Existing Conditions at the frontage along Nashua St. looking north.**



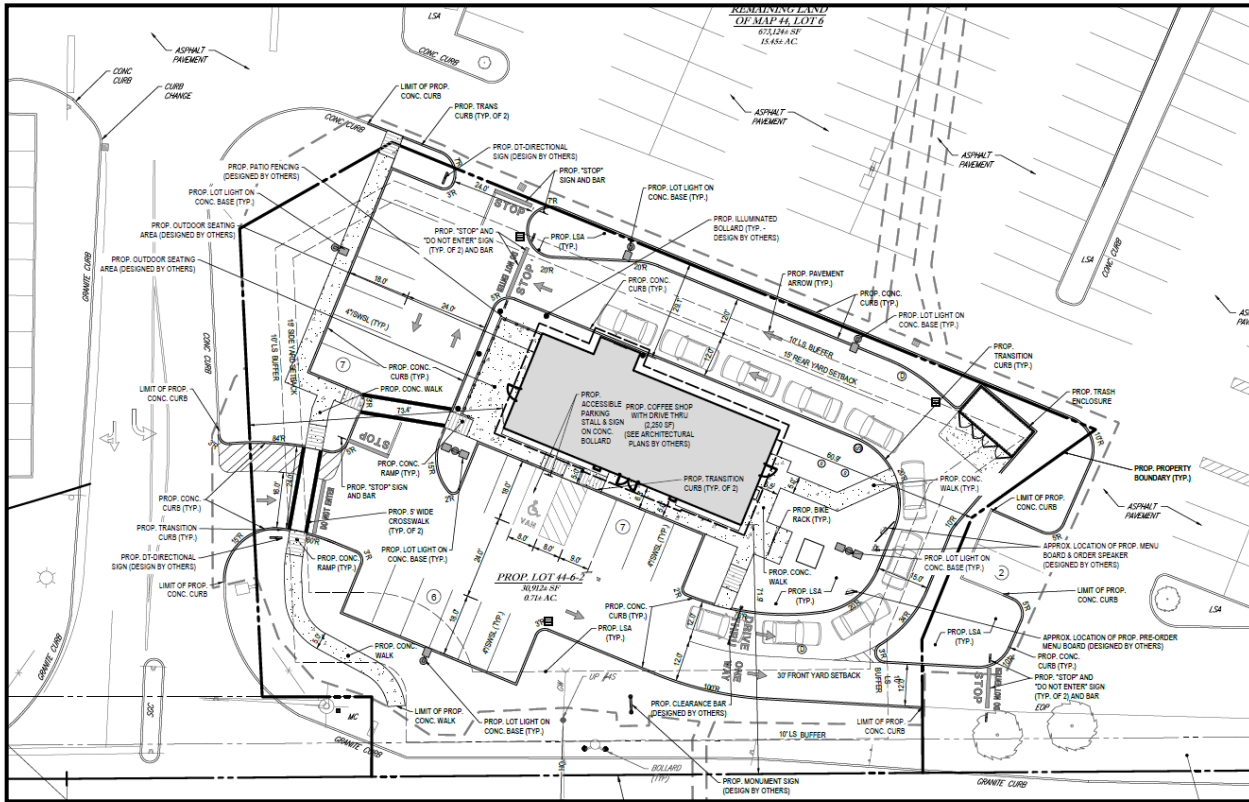
**Existing conditions looking south from the western driveway access**



The general area of the plaza parking lot (proposed Lot 6-2) in which the project is located (looking south).

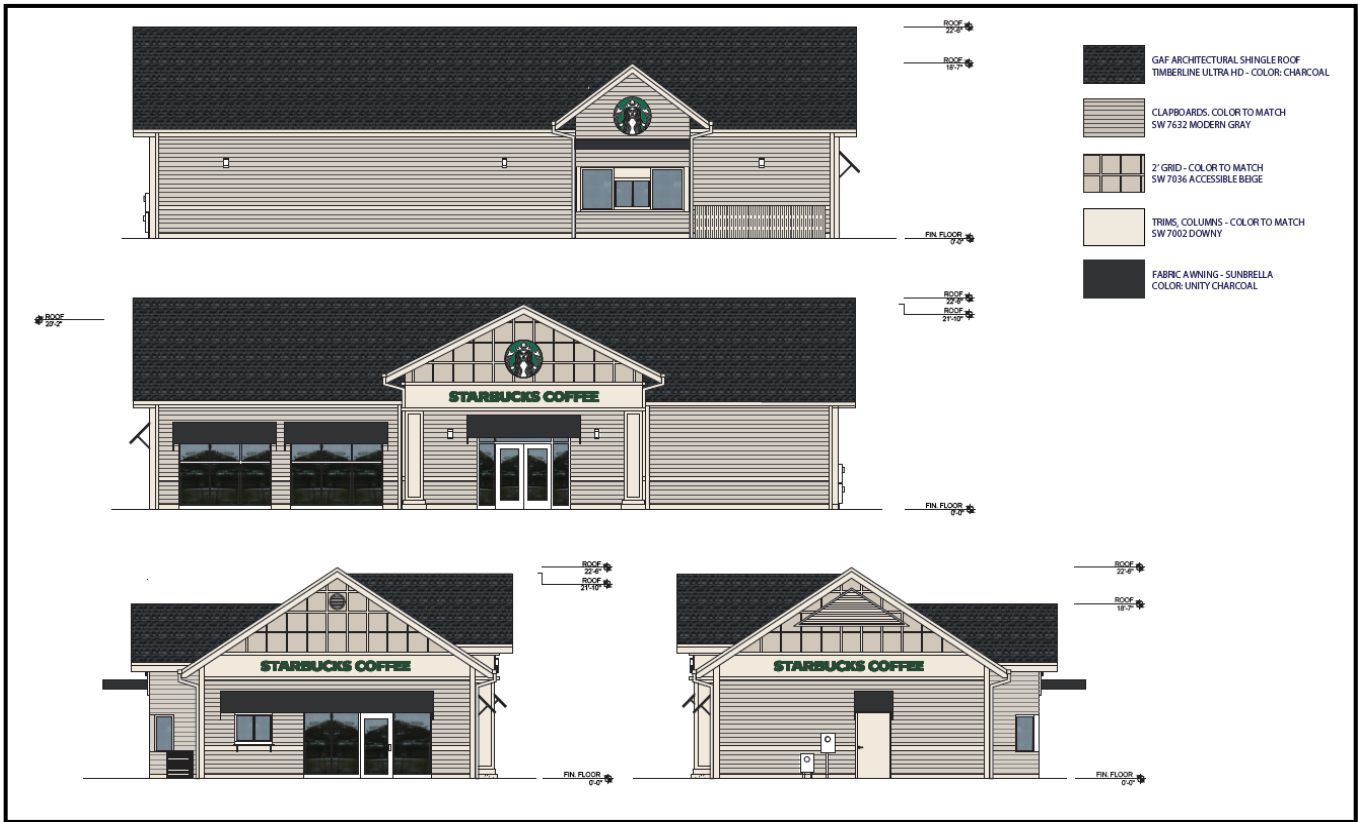


Site Plan Sheet showing the access drive aisle, the proposed building and the queuing for ten vehicles





# Building Elevations (two options)







# PROPOSED SITE PLAN DOCUMENTS

FOR  
**BRIDGE33 CAPITAL**

PROPOSED  
**COFFEE SHOP WITH DRIVE-THROUGH**

LOCATION OF SITE:  
586 NASHUA STREET, TOWN OF MILFORD  
HILLSBOROUGH COUNTY, NEW HAMPSHIRE  
MAP #44, LOT #6

## TOWN OF MILFORD PLANNING BOARD

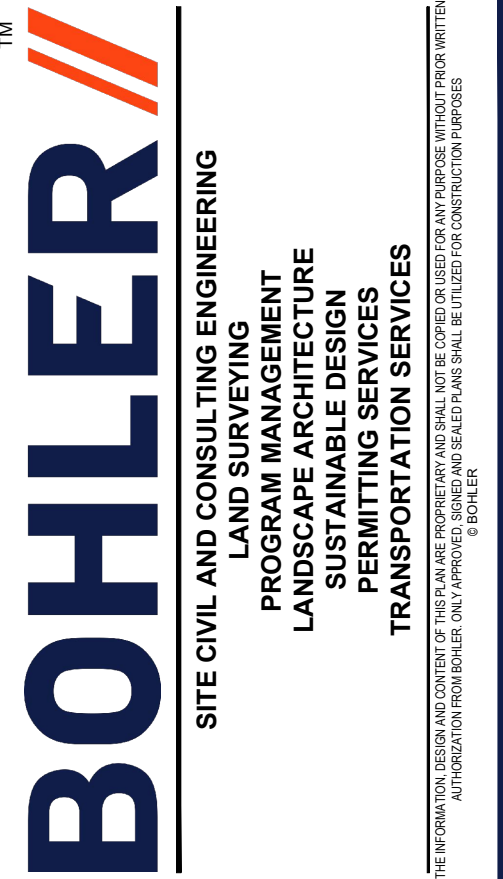
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## PROPERTY OWNER

SIGNATURE	DATE
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## DRAWING SHEET INDEX

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BOUNDARY & PARTIAL TOPOGRAPHIC, UTILITY SURVEY (BY OTHERS)	2 SHEETS



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DRAWN BY:	DJA
CHECKED BY:	MKB
DATE:	02/11/2021
CAD I.D.:	W201298-CVL-0

## SITE DEVELOPMENT PLANS FOR

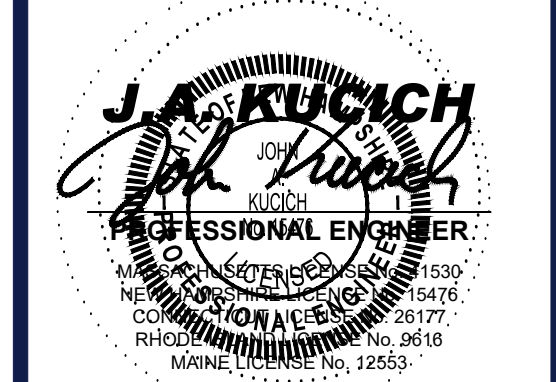
**BRIDGE33 CAPITAL**

PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
MAP #44, LOT #6  
586 NASHUA STREET  
TOWN OF MILFORD  
HILLSBOROUGH COUNTY,  
NEW HAMPSHIRE



352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900

www.BohlerEngineering.com

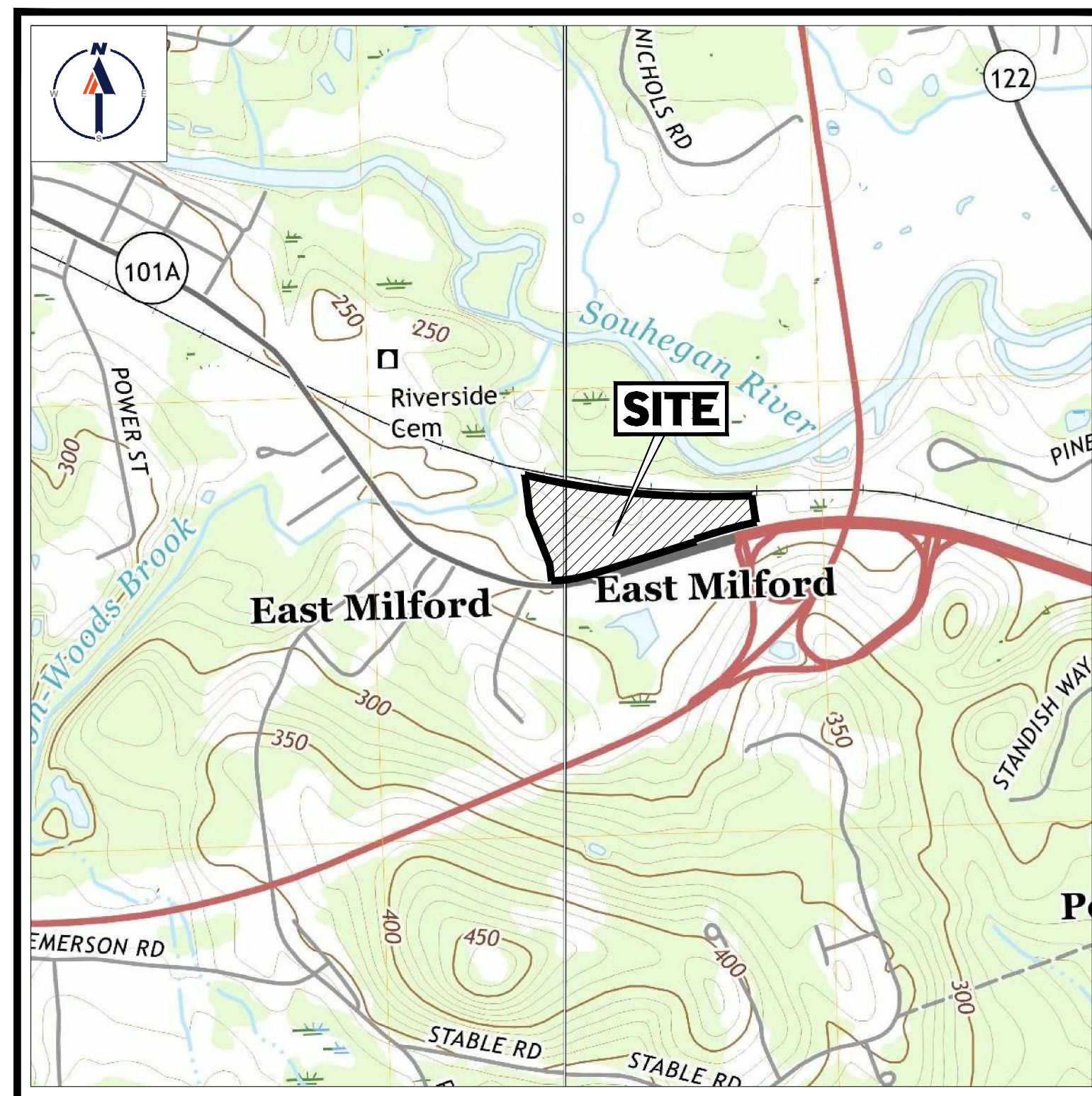


SHEET TITLE:

**COVER SHEET**

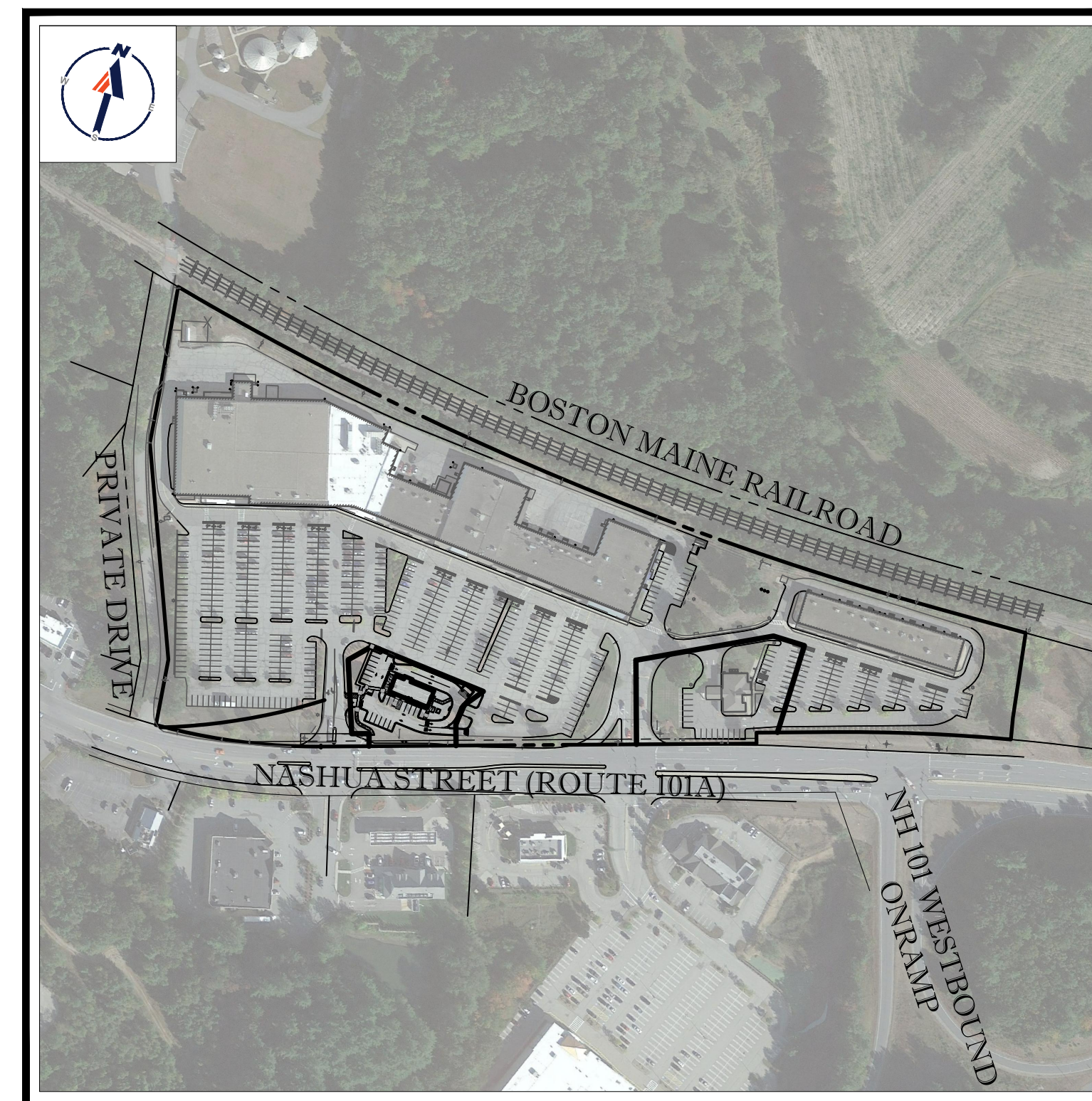
SHEET NUMBER:  
**C-101**

ORG. DATE - 02/11/2021



**USGS MAP**

SCALE: 1" = 1,000'  
SOURCE: MILFORD AND SOUTH MERRIMACK NEW HAMPSHIRE USGS QUADRANGLE



**SITE MAP**

SCALE: 1" = 250'

## WAIVER REQUESTS:

THE FOLLOWING WAIVERS ARE REQUESTED FROM THE TOWN OF MILFORD DEVELOPMENT REGULATIONS:

### 6.05.4 - TABLE OF OFF-STREET PARKING:

REQUIRED: "RESTAURANTS: FAST FOOD" USE REQUIRES 0.6 SPACES PER SEAT PLUS 1 SPACE PER EMPLOYEE, OR A TOTAL OF THIRTY-EIGHT (38) REQUIRED PARKING SPACES FOR THE PROPOSED COFFEE SHOP WITH FIFTY (50) INTERIOR SEATS AND UP TO EIGHT (8) EMPLOYEES.

REQUESTED: TWENTY (20) PARKING SPACES ARE PROPOSED FOR THE COFFEE SHOP ON THE PROPOSED LOT TO BE CREATED FOR SAME. THE PROPOSED COFFEE SHOP IS LOCATED WITHIN LORDENS PLAZA AND WILL HAVE RIGHTS TO PARKING AND ACCESS WITHIN SAME. OVERALL LORDENS PLAZA IS PROPOSED TO CONTAIN PARKING IN EXCESS OF THAT REQUIRED FOR ALL USES ON-SITE. PLEASE REFER TO THE OVERALL SITE PLAN AND SITE PLAN WITHIN THE PROPOSED SITE PLAN DOCUMENTS FOR DETAILED PARKING CALCULATIONS FOR LORDENS PLAZA.

### 6.08.7 (A) - LANDSCAPING PARKING LOTS AND ACCESS WAYS:

REQUIRED: A LANDSCAPED STRIP AT LEAST TEN (10) FEET IN WIDTH SHALL BE LOCATED BETWEEN THE PAVED AREAS AND THE ABUTTING PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.

REQUESTED: RELIEF FROM THE LANDSCAPE BUFFER REQUIREMENTS FOR PROPOSED INTERIOR PROPERTY BOUNDARIES ASSOCIATED WITH LORDENS PLAZA, WITH A LANDSCAPE BUFFER PROVIDED ALONG NASHUA STREET. THE PROJECT PROPOSES INCREASE LANDSCAPED AREA WITHIN THE AREA OF THE PROPOSED DEVELOPMENT AND INCREASE THE EXISTING LANDSCAPE BUFFER TO NASHUA STREET.

## TOWN OF MILFORD NOTES:

1. THE PURPOSE OF THIS PLAN IS TO REFLECT THE PROPOSED SITE DEVELOPMENT AT THE SUBJECT PROPERTY FOR SUBMISSION TO THE TOWN OF MILFORD PLANNING BOARD.
2. AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
3. WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
4. OPEN SPACE CALCULATIONS: 35.1% (10,850± SF TOTAL AREA)
5. THE PROJECT IS SUBJECT TO POLICE IMPACT FEES IN ACCORDANCE WITH THE TOWN OF MILFORD.
6. THE PROJECT AREA IS NOT LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.
7. NO WETLANDS HAVE BEEN IDENTIFIED ON THE SUBJECT PROPERTY.

## REFERENCE PLANS

THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "BOUNDARY & PARTIAL TOPOGRAPHIC, UTILITY SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, DATED 12/22/20.
- "ALTANSPS LAND TITLE SURVEY", PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC., DATED 06/27/19.

## SITE INFORMATION

1. APPLICANT:  
B33 LORDENS PLAZA, LLC  
1109 1ST AVENUE, SUITE 205  
SEATTLE, WA 98101
2. OWNER:  
B33 LORDENS PLAZA, LLC  
9330 W. SAHARA AVENUE  
LAS VEGAS, NV 89117
3. PARCEL:  
MAP #44, LOT 6  
586 NASHUA STREET  
TOWN OF MILFORD  
HILLSBOROUGH COUNTY, NEW HAMPSHIRE

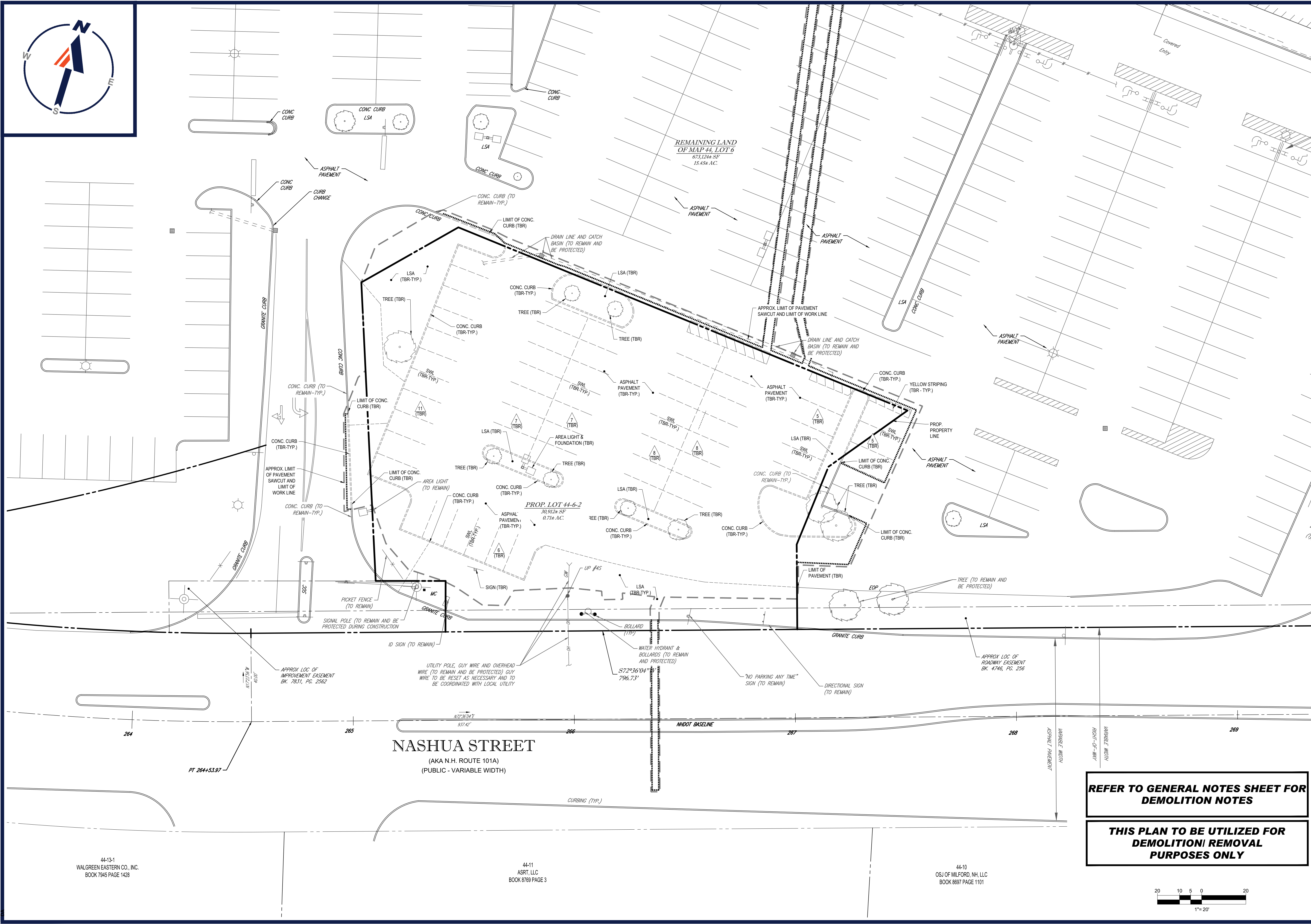
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**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

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 CHECKED BY: MKB  
 DATE: 02/11/2021  
 CAD I.D.: W201298-CVL-0

**SITE DEVELOPMENT PLANS**  
 FOR

**BRIDGE33 CAPITAL**

PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
 MAP #44, LOT #6  
 586 NASHUA STREET  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY,  
 NEW HAMPSHIRE

**BOHLER**  
 352 TURNPIKE ROAD  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9900  
 www.BohlerEngineering.com

**J. KUCICH**  
 JOHN KUCICH  
 PROFESSIONAL ENGINEER  
 REG. NO. 1530  
 EXP. DATE 07/31/2025  
 CH. NO. 26177  
 RHEC. NO. 9618  
 MAINE, L.P. NO. 12353

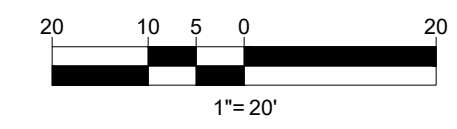
**REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES**

**THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY**

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C-201**

ORG. DATE - 02/11/2021



P:\20\W201298\DRAWINGS\PLAN SETS\REV\W201298-CVL-0-3-LAYOUT-C-201-DEM0

44-13-1  
 WALGREEN EASTERN CO., INC.  
 BOOK 7845 PAGE 1428

44-11  
 ASRT, LLC  
 BOOK 8769 PAGE 3

44-10  
 OSJ OF MILFORD, NH, LLC  
 BOOK 8687 PAGE 1101









ZONING ANALYSIS TABLE (PROP. LOT)			
ZONING DISTRICT	COMMERCIAL ZONE		
OVERLAY DISTRICT	N/A		
REQUIRED PERMIT	PLANNING BOARD SITE PLAN REVIEW		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	20,000 SF	N/A	30,912± SF
MIN. LOT WIDTH	150 FT	N/A	159.1± FT
MIN. LOT FRONTAGE	150 FT	N/A	159.1± FT
MIN. FRONT SETBACK	30 FT	N/A	71.9± FT
MIN. SIDE SETBACK	15 FT	N/A	60.9± FT
MIN. REAR SETBACK	15 FT	N/A	29.1± FT
MIN. LANDSCAPE BUFFER	10 FT	N/A	0 FT (E)
MAX. BUILDING HEIGHT	40 FT	N/A	20.5 FT
MIN. OPEN SPACE	30%	N/A	35.1% (1)
PARKING SPACES	38 SPACES	N/A	20 SPACES (W)
ACCESS. PARKING SPACES	1 SPACE	N/A	1 SPACE
PARKING STALL CRITERIA STANDARD: 9 FT x 18 FT	USE/CATEGORY: FAST FOOD	0.6 PER SEAT, PLUS 1 PER EMPLOYEE	
SHOPPING CENTERS: 10 FT x 20 FT	REQUIRED PARKING CALCULATION:	TBD TOTAL SEATS, TBD EMPLOYEES	
ACCESS: 10 FT x 20 FT		34 SEATS X 0.6 SPACES PER SEAT = 20.4 = 21 SPACES	
		8 EMPLOYEES X 1 SPACE PER EMPLOYEE = 8 SPACES	
		TOTAL SPACES REQUIRED = 29 SPACES	
ACCESSIBLE PARKING CRITERIA STANDARD:	1-25 SPACES	= 1 MIN. ACCESSIBLE SPACE	
		1 ACCESSIBLE VAN SPACE PER 6 STANDARD ACCESSIBLE SPACES (MIN.)	
VAN:	8 FT x 18 FT STALL (MIN.)	8 FT x 18 FT AISLE (MIN.)	

(1) OVERALL INCREASE IN OPEN SPACE/LANDSCAPING AS A RESULT OF THE PROJECT (2,867± SF)

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 SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
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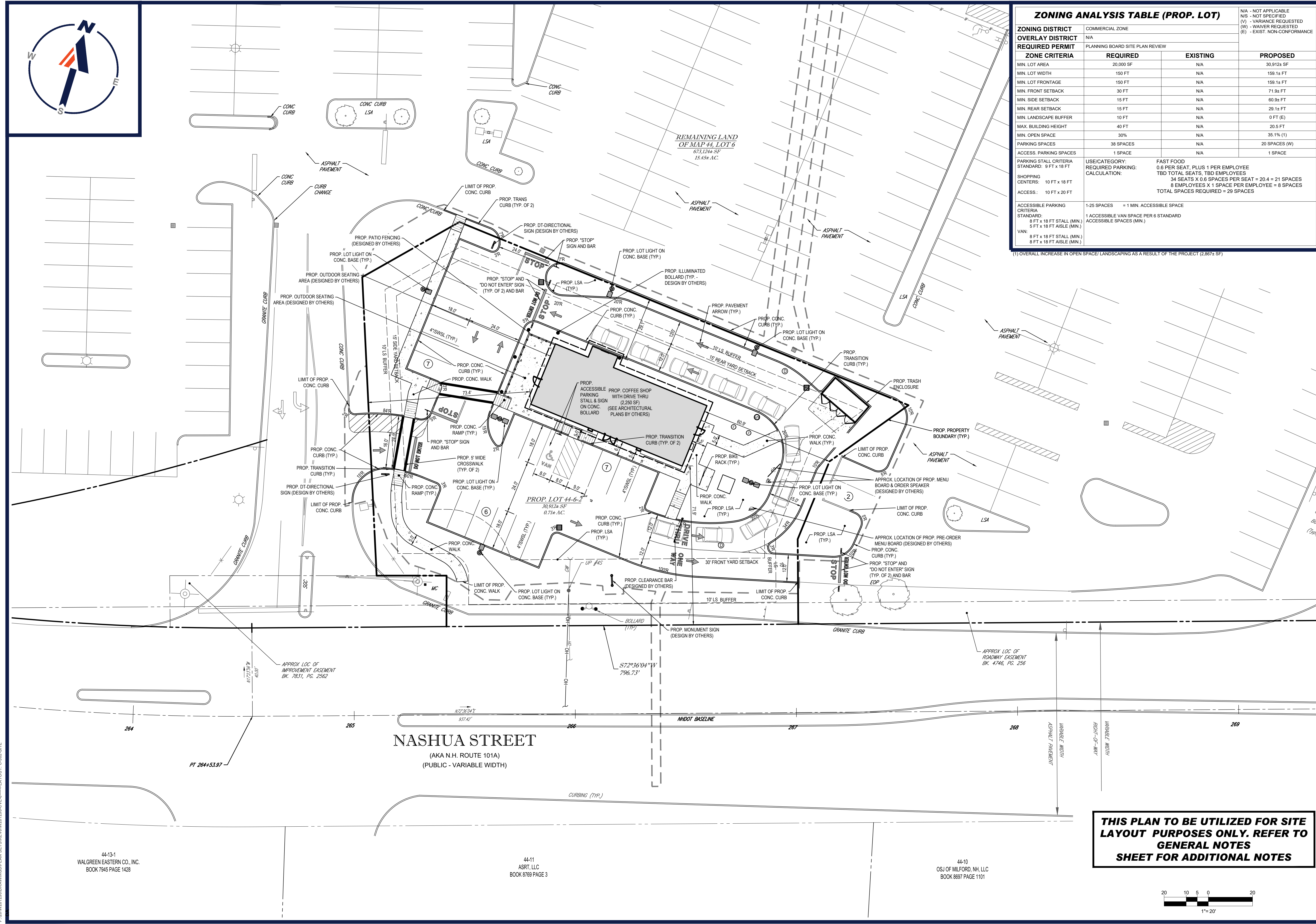
PROJECT No.: W201298  
 DRAWN BY: DJA  
 CHECKED BY: MKB  
 DATE: 02/11/2021  
 CAD I.D.: W201298-CVL-0

PROJECT: **SITE DEVELOPMENT PLANS**  
 FOR **BRIDGE33 CAPITAL**  
 PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
 MAP #44, LOT #6  
 586 NASHUA STREET  
 HILLSBOROUGH COUNTY, NEW HAMPSHIRE

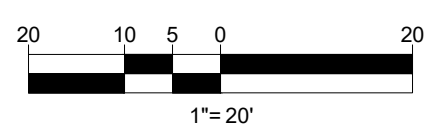
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 Phone: (508) 480-9900  
 www.BohlerEngineering.com

**J. A. KUCICH**  
 PROFESSIONAL ENGINEER  
 No. 15330  
 No. 15470  
 No. 26177  
 No. 9618  
 No. 12353

SHEET TITLE: **SITE LAYOUT PLAN**  
 SHEET NUMBER: **C-302**  
 ORG. DATE - 02/11/2021



**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES**



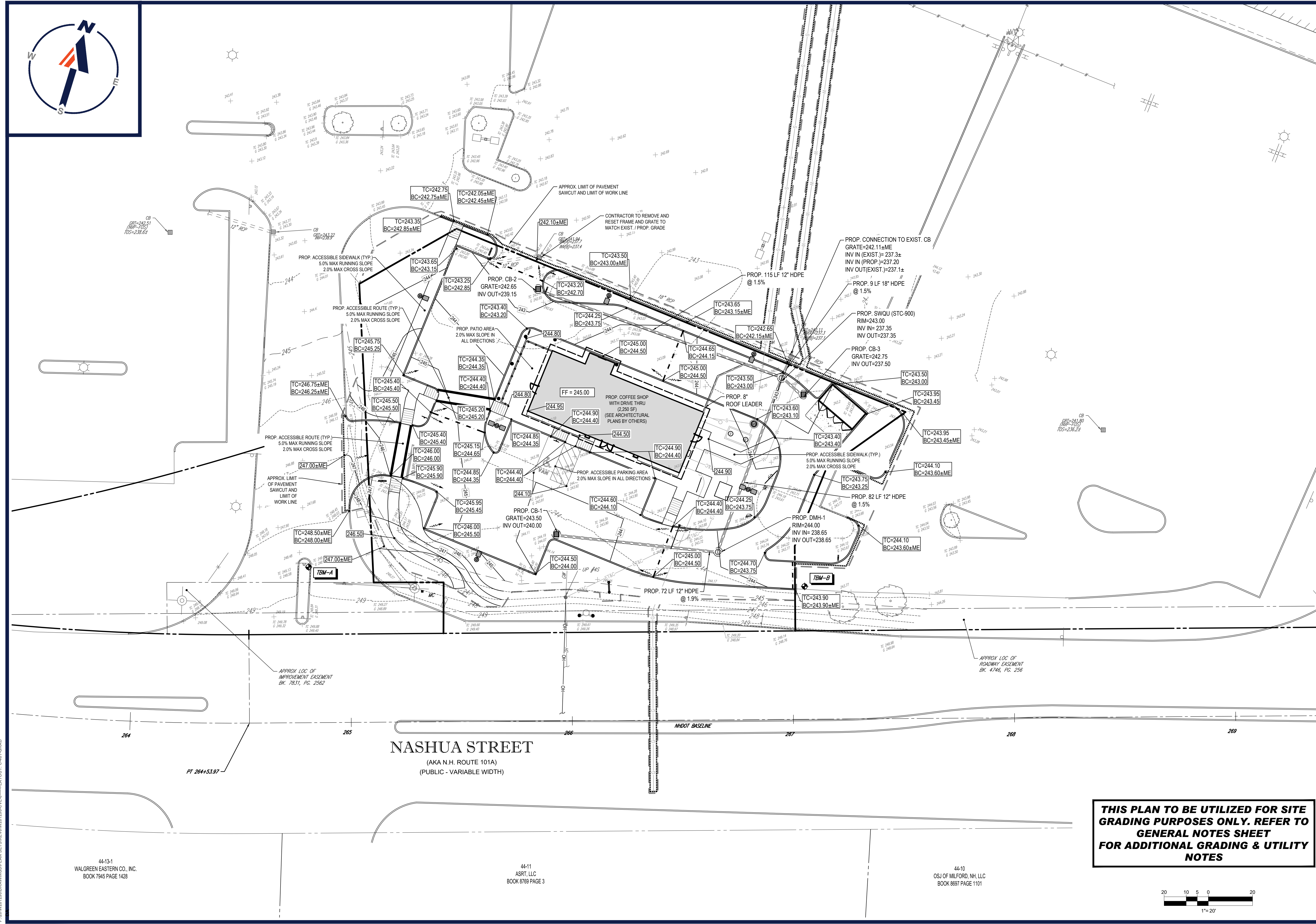
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44-13-1  
 WALGREEN EASTERN CO., INC.  
 BOOK 7945 PAGE 1428

44-11  
 ASRT, LLC  
 BOOK 8789 PAGE 3

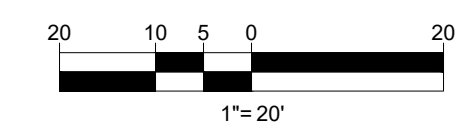
44-10  
 OSJ OF MILFORD, NH, LLC  
 BOOK 8697 PAGE 1101





**NASHUA STREET**  
 (AKA N.H. ROUTE 101A)  
 (PUBLIC - VARIABLE WIDTH)

**THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES**



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 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
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 TRANSPORTATION SERVICES

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PROJECT No.: W201298  
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 DATE: 02/11/2021  
 CAD I.D.: W201298-CVL-0

**SITE DEVELOPMENT PLANS**  
 FOR

**BRIDGE33 CAPITAL**  
 PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
 MAP #44, LOT #6  
 586 NASHUA STREET  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY,  
 NEW HAMPSHIRE

**BOHLER**  
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**J. KUCICH**  
 PROFESSIONAL ENGINEER  
 No. 1530  
 NH REG. ENGINEER  
 No. 26177  
 RHEC No. 9618  
 MARINE No. 12553

SHEET TITLE:  
**GRADING AND DRAINAGE PLAN**  
 SHEET NUMBER:  
**C-401**  
 ORG. DATE - 02/11/2021

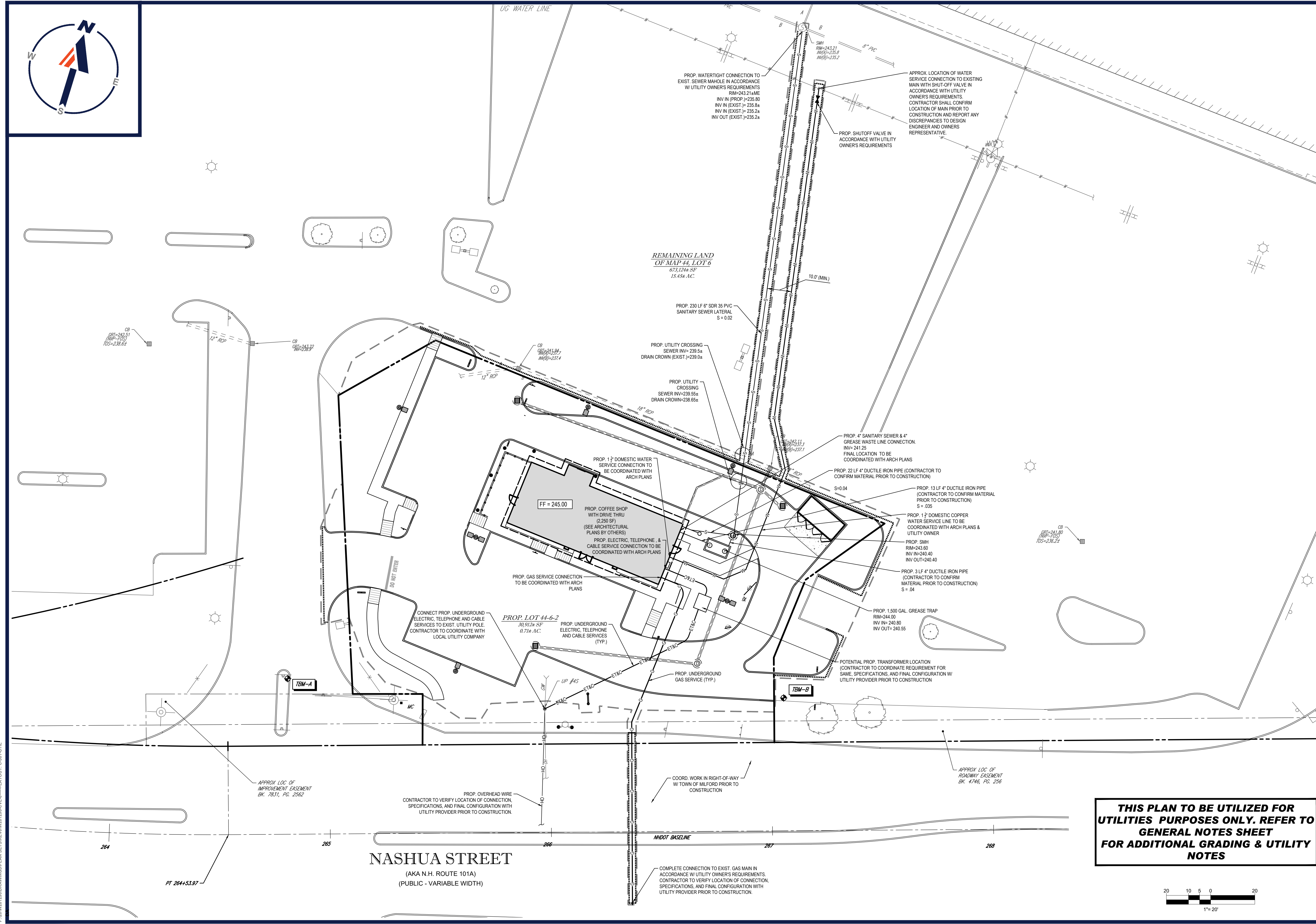
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44-13-1  
 WALGREEN EASTERN CO., INC.  
 BOOK 7945 PAGE 1428

44-11  
 ASRT, LLC  
 BOOK 8769 PAGE 3

44-10  
 OSJ OF MILFORD, NH, LLC  
 BOOK 8697 PAGE 1101



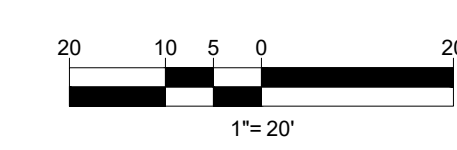


REMAINING LAND  
OF MAP #4, LOT 6  
673,124 sq. ft.  
15.456 AC.

PROP. LOT #4-6-2  
30,912 sq. ft.  
0.714 AC.

FF = 245.00

**THIS PLAN TO BE UTILIZED FOR  
UTILITIES PURPOSES ONLY. REFER TO  
GENERAL NOTES SHEET  
FOR ADDITIONAL GRADING & UTILITY  
NOTES**



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DATE: 02/11/2021  
CAD I.D.: W201298-CVL-0

**SITE DEVELOPMENT PLANS**

FOR  
**BRIDGE33 CAPITAL**  
PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
MAP #44, LOT #6  
586 NASHUA STREET  
TOWN OF MILFORD  
HILLSBOROUGH COUNTY,  
NEW HAMPSHIRE

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**J. A. KUCICH**  
Professional Engineer  
No. 1530  
No. 6476  
No. 26177  
No. 9618  
No. 12353

**UTILITY PLAN**

SHEET NUMBER:  
**C-501**

ORG. DATE - 02/11/2021

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HERITAGE ESTATES APARTMENTS, LLC BOOK 6051 PAGE 1788

44-4 SKA PROPERTIES, LLC BOOK 8807 PAGE 148

44-2 TOWN OF MILFORD BOOK 2621 PAGE 535

44-2 TOWN OF MILFORD BOOK 2621 PAGE 535

44-4-1 CARLOS & MARIA ANDRADE BOOK 5155 PAGE 1702

44-4-1 CARLOS & MARIA ANDRADE BOOK 5155 PAGE 1702

44-5 WEST RIVER ROAD, LLC BOOK 8601 PAGE 158

44-13 BURGER KING CORP. #6602 BOOK 5564 PAGE 610

44-13-1 WALGREEN EASTERN CO., INC. BOOK 7945 PAGE 1428

44-11 ASRT, LLC BOOK 8769 PAGE 3

44-10 OSJ OF MILFORD, NH, LLC BOOK 8697 PAGE 1101

44-10 OSJ OF MILFORD, NH, LLC BOOK 8697 PAGE 1101

PRIVATE DRIVE (PRIVATE - 50' WIDE)

APPROX. LOCATION OF EXIST. PUMP STATION

APPROX. LOCATION OF EXIST. GRAVITY SEWER LINE

REMAINING LAND OF MAP #4, LOT 6 673,124± SF 15.45± AC.

PROP. LOT 44-6-2 30,972± SF 0.71± AC

EXIST. 3,212± SF BANK

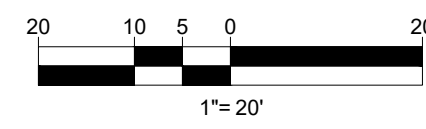
PROP. LOT 44-6-1 48,620± SF 1.12± AC

EXIST. 128,108± SF SHOPPING CENTER

EXIST. 18,085± SF SHOPPING CENTER

NASHUA STREET (AKA N.H. ROUTE 101A) (PUBLIC - VARIABLE WIDTH)

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES



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**SITE DEVELOPMENT PLANS**  
 FOR  
**BRIDGE33 CAPITAL**  
 PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
 MAP #44, LOT #6  
 586 NASHUA STREET  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY,  
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**J. K. KOUCH**  
 PROFESSIONAL ENGINEER  
 REG. NO. 1530  
 RES. NO. 6476  
 CH. NO. 26177  
 RHEID. NO. 9618  
 MAINE, L. NO. 12353

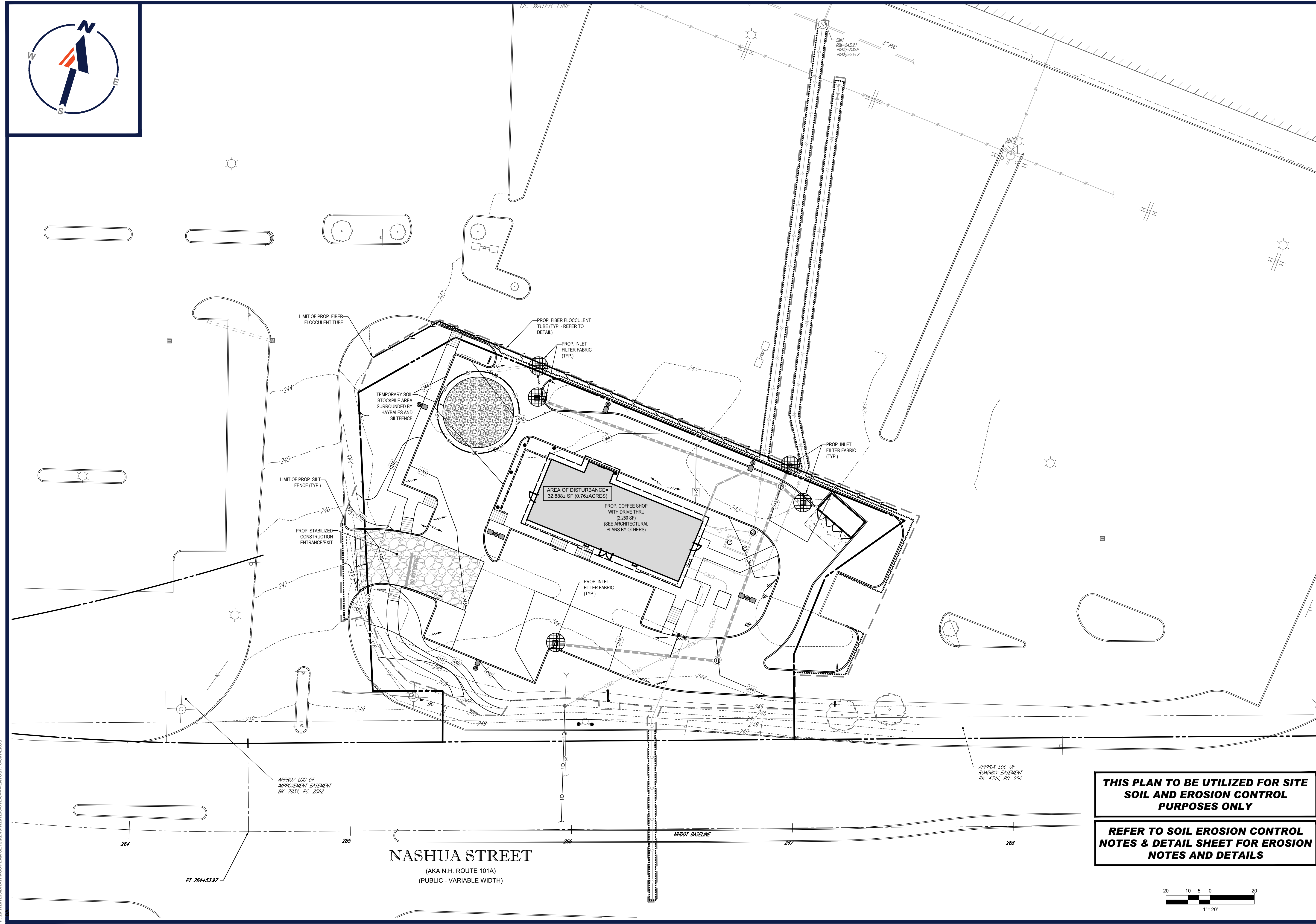
SHEET TITLE:  
**OVERALL UTILITY PLAN**

SHEET NUMBER:  
**C-502**

ORG. DATE - 02/11/2021

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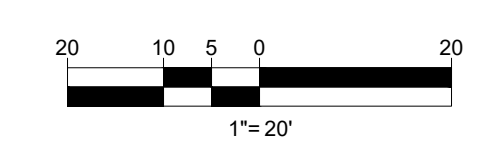
PROJECT No.: W201298  
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**SITE DEVELOPMENT PLANS**  
 FOR  
**BRIDGE33 CAPITAL**  
 PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
 MAP #44, LOT #6  
 586 NASHUA STREET  
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**J. KUCICH**  
 JOHN KUCICH  
 PROFESSIONAL ENGINEER  
 REG. NO. 15330  
 EXPIRES 12/31/2024  
 CH. NO. 26177  
 R.H. NO. 9618  
 MARINE, L. NO. 12353

**THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY**  
**REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS**

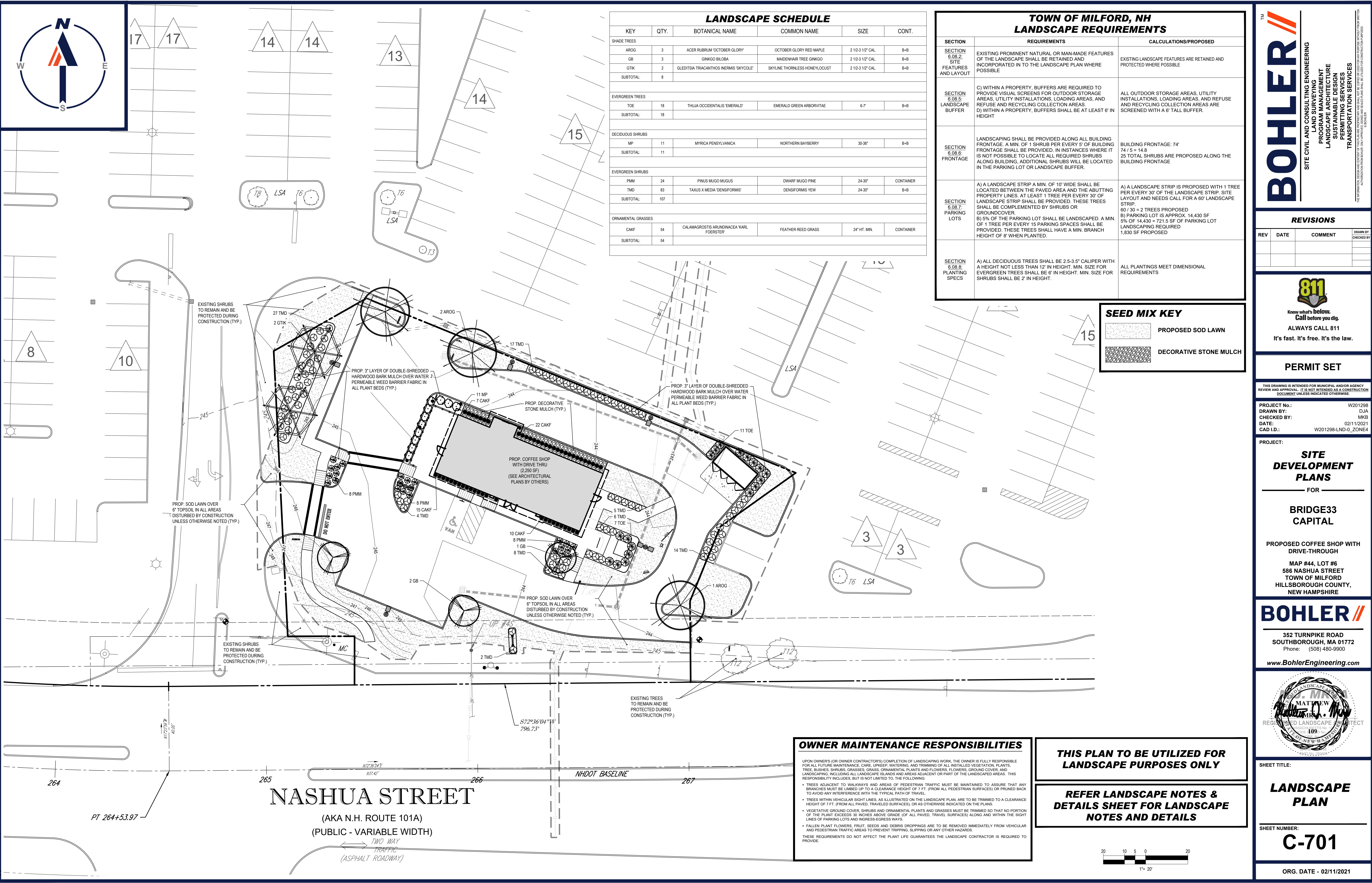


SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**  
 SHEET NUMBER:  
**C-601**  
 ORG. DATE - 02/11/2021









### LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
<b>SHADE TREES</b>					
AROG	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3 1/2' CAL.	B+B
GB	3	GINKGO BILOBA	MADENHAIR TREE GINKGO	2 1/2-3 1/2' CAL.	B+B
GTK	2	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEYLOCUST	2 1/2-3 1/2' CAL.	B+B
SUBTOTAL:	8				
<b>EVERGREEN TREES</b>					
TOE	18	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	6-7'	B+B
SUBTOTAL:	18				
<b>DECIDUOUS SHRUBS</b>					
MP	11	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	30-36"	B+B
SUBTOTAL:	11				
<b>EVERGREEN SHRUBS</b>					
PMM	24	PINUS MUGO MUGUS	DWARF MUGO PINE	24-30"	CONTAINER
TMD	83	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B
SUBTOTAL:	107				
<b>ORNAMENTAL GRASSES</b>					
CAKF	54	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	24" HT. MIN.	CONTAINER
SUBTOTAL:	54				

### TOWN OF MILFORD, NH LANDSCAPE REQUIREMENTS

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
SECTION 6.08.2: SITE FEATURES AND LAYOUT	EXISTING PROMINENT NATURAL OR MAN-MADE FEATURES OF THE LANDSCAPE SHALL BE RETAINED AND INCORPORATED IN TO THE LANDSCAPE PLAN WHERE POSSIBLE	EXISTING LANDSCAPE FEATURES ARE RETAINED AND PROTECTED WHERE POSSIBLE
SECTION 6.08.5: LANDSCAPE BUFFER	C) WITHIN A PROPERTY, BUFFERS ARE REQUIRED TO PROVIDE VISUAL SCREENS FOR OUTDOOR STORAGE AREAS, UTILITY INSTALLATIONS, LOADING AREAS, AND REFUSE AND RECYCLING COLLECTION AREAS. D) WITHIN A PROPERTY, BUFFERS SHALL BE AT LEAST 6' IN HEIGHT	ALL OUTDOOR STORAGE AREAS, UTILITY INSTALLATIONS, LOADING AREAS, AND REFUSE AND RECYCLING COLLECTION AREAS ARE SCREENED WITH A 6' TALL BUFFER.
SECTION 6.08.6: FRONTAGE	LANDSCAPING SHALL BE PROVIDED ALONG ALL BUILDING FRONTAGE. A MIN. OF 1 SHRUB PER EVERY 5' OF BUILDING FRONTAGE SHALL BE PROVIDED. IN INSTANCES WHERE IT IS NOT POSSIBLE TO LOCATE ALL REQUIRED SHRUBS ALONG BUILDING, ADDITIONAL SHRUBS WILL BE LOCATED IN THE PARKING LOT OR LANDSCAPE BUFFER.	BUILDING FRONTAGE: 74' 74' / 5' = 14.8 25 TOTAL SHRUBS ARE PROPOSED ALONG THE BUILDING FRONTAGE
SECTION 6.08.7: PARKING LOTS	A) A LANDSCAPE STRIP A MIN. OF 10' WIDE SHALL BE LOCATED BETWEEN THE PAVED AREA AND THE ABUTTING PROPERTY LINES. AT LEAST 1 TREE PER EVERY 30' OF LANDSCAPE STRIP SHALL BE PROVIDED. THESE TREES SHALL BE COMPLEMENTED BY SHRUBS OR GROUND COVER. B) 5% OF THE PARKING LOT SHALL BE LANDSCAPED. A MIN. OF 1 TREE PER EVERY 15 PARKING SPACES SHALL BE PROVIDED. THESE TREES SHALL HAVE A MIN. BRANCH HEIGHT OF 8' WHEN PLANTED.	A) A LANDSCAPE STRIP IS PROPOSED WITH 1 TREE PER EVERY 30' OF THE LANDSCAPE STRIP. SITE LAYOUT AND NEEDS CALL FOR A 60' LANDSCAPE STRIP. 60' / 30' = 2 TREES PROPOSED B) PARKING LOT IS APPROX. 14,430 SF 5% OF 14,430 = 721.5 SF OF PARKING LOT LANDSCAPING REQUIRED 1,830 SF PROPOSED
SECTION 6.08.8: PLANTING SPECS	A) ALL DECIDUOUS TREES SHALL BE 2.5-3.5" CALIPER WITH A HEIGHT NOT LESS THAN 12' IN HEIGHT. MIN. SIZE FOR EVERGREEN TREES SHALL BE 6' IN HEIGHT. MIN. SIZE FOR SHRUBS SHALL BE 2' IN HEIGHT.	ALL PLANTINGS MEET DIMENSIONAL REQUIREMENTS

#### SEED MIX KEY

- PROPOSED SOD LAWN
- DECORATIVE STONE MULCH

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 DATE: 02/11/2021  
 CAD I.D.: W201298-LND-0\_ZONE4

### SITE DEVELOPMENT PLANS

FOR

## BRIDGE33 CAPITAL

PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
 MAP #44, LOT #6  
 586 NASHUA STREET  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY,  
 NEW HAMPSHIRE

## BOHLER

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SHEET TITLE:

## LANDSCAPE PLAN

SHEET NUMBER:

# C-701

ORG. DATE - 02/11/2021

#### OWNER MAINTENANCE RESPONSIBILITIES

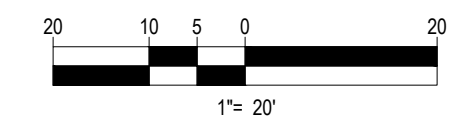
UPON OWNERS (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE CARE, IRRIGATION, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION PLANTS (TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE BIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

**THIS PLAN TO BE UTILIZED FOR  
LANDSCAPE PURPOSES ONLY**

**REFER LANDSCAPE NOTES &  
DETAILS SHEET FOR LANDSCAPE  
NOTES AND DETAILS**



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**LANDSCAPE SPECIFICATIONS**

1. SCOPE OF WORK:  
 1.1. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS  
 2.1. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.  
 2.2. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.  
 2.3. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN

2.3.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.  
 2.3.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.  
 2.4. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES (DETAILS).

2.5. FERTILIZER  
 2.5.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.  
 2.5.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

2.6. PLANT MATERIAL  
 2.6.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).  
 2.6.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.  
 2.6.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.

2.6.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME AS TO DAMAGE THE BARK OR BREAK BRANCHES.  
 2.6.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.  
 2.6.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.  
 2.6.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.  
 2.6.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES  
 3.1. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.  
 3.2. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURNED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS  
 4.1. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.  
 4.2. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.  
 4.3. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION  
 5.1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.  
 5.2. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE, OR APPROVED EQUIV, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8") ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.  
 5.3. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.  
 5.4. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS  
 6.1. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.  
 6.2. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDS ON SITE CONDITIONS.  
 6.3. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.  
 6.3.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.  
 6.3.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 20% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE USED TO INCREASE DRAINAGE.  
 6.3.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING  
 7.1. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.  
 7.2. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").  
 7.3. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.  
 7.4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING  
 8.1. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.  
 8.2. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY VERNIFIED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.  
 8.3. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.  
 8.4. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6A]):  
 8.4.1. 20 POUNDS GRO-POWER OR APPROVED SOIL CONDITIONER/FERTILIZER  
 8.4.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER  
 8.5. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING  
 9.1. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.  
 9.2. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN A MUDDY OR FROZEN CONDITION.  
 9.3. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.  
 9.4. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.  
 9.5. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

9.6. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:  
 9.6.1. PLANTS: MARCH 15 TO DECEMBER 15  
 9.6.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1  
 9.6.3. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.  
 9.7. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

- |                         |                       |
|-------------------------|-----------------------|
| ACER RUBRUM             | PLATANUS X ACERIFOLIA |
| BETULA VARIETIES        | POPULUS VARIETIES     |
| CARPINUS VARIETIES      | PRUNUS VARIETIES      |
| CRATAEGUS VARIETIES     | PYRUS VARIETIES       |
| KOELREUTERIA            | QUERCUS VARIETIES     |
| LIQUIDAMBAR STYRACIFLUA | TILIA TOMENTOSA       |
| LIRODENDRON TULIPIFERA  | ZELKOVA VARIETIES     |

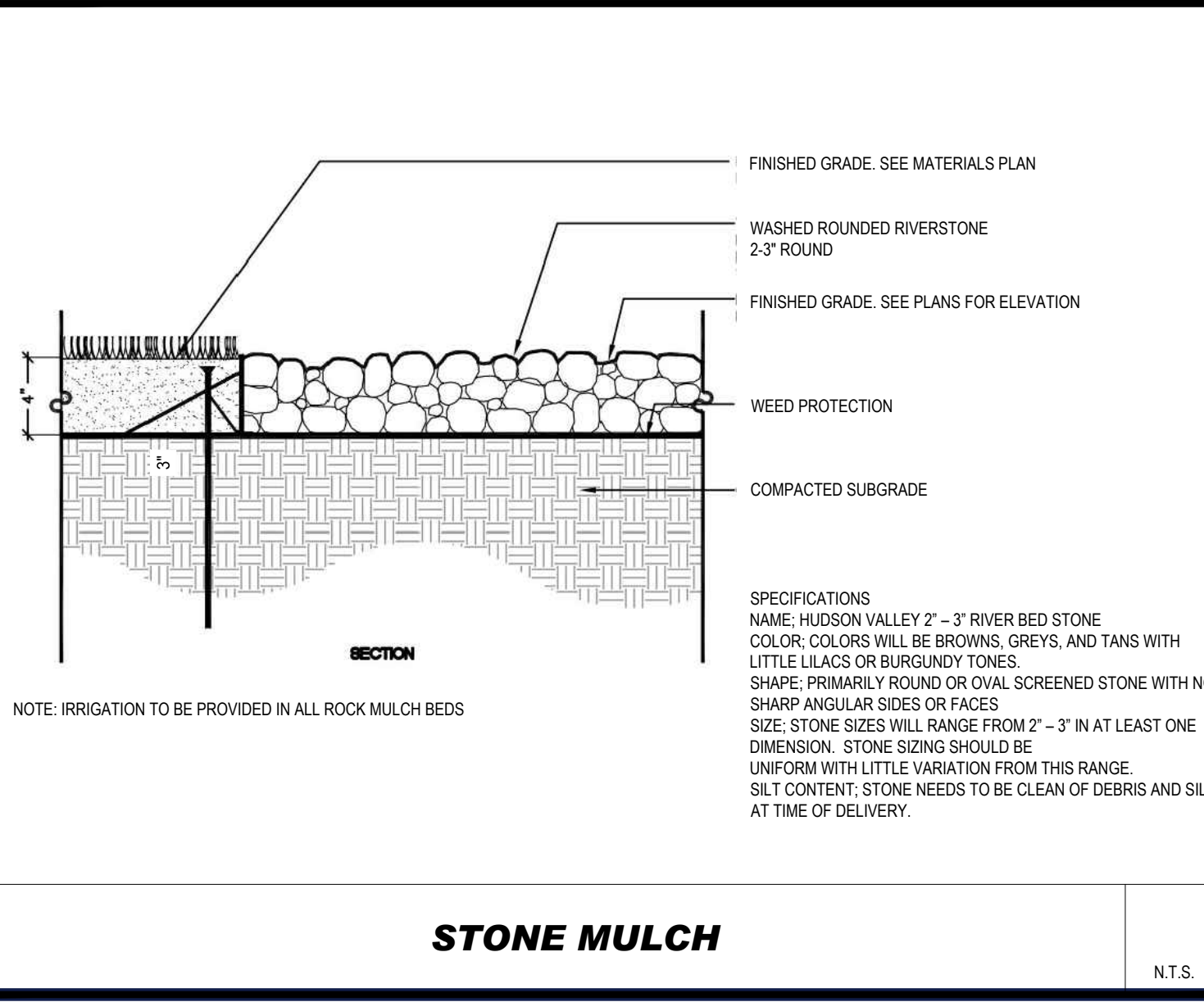
9.8. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:  
 9.8.1. 1 PART PEAT MOSS  
 9.8.2. 1 PART COMPOSTED COW MANURE BY VOLUME  
 9.8.3. 3 PARTS TOPSOIL BY VOLUME  
 9.8.4. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:  
 9.8.4.1. 2 TABLETS PER 1 GALLON PLANT  
 9.8.4.2. 3 TABLETS PER 5 GALLON PLANT  
 9.8.4.3. 4 TABLETS PER 15 GALLON PLANT  
 9.8.4.4. LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK  
 9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.  
 9.10. ALL PLANTS SHALL BE DUG SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.  
 9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.  
 9.12. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.  
 9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.  
 9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.  
 9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPANTING (WHEN REQUIRED)  
 10.1. ALL TRANSPANTING SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.  
 10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.  
 10.3. PLANTS SHALL NOT BE DUG FOR TRANSPANTING BETWEEN APRIL 10 AND JUNE 30.  
 10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.  
 10.5. TRANSPANTING SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.  
 10.6. F TRANSPANTING DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

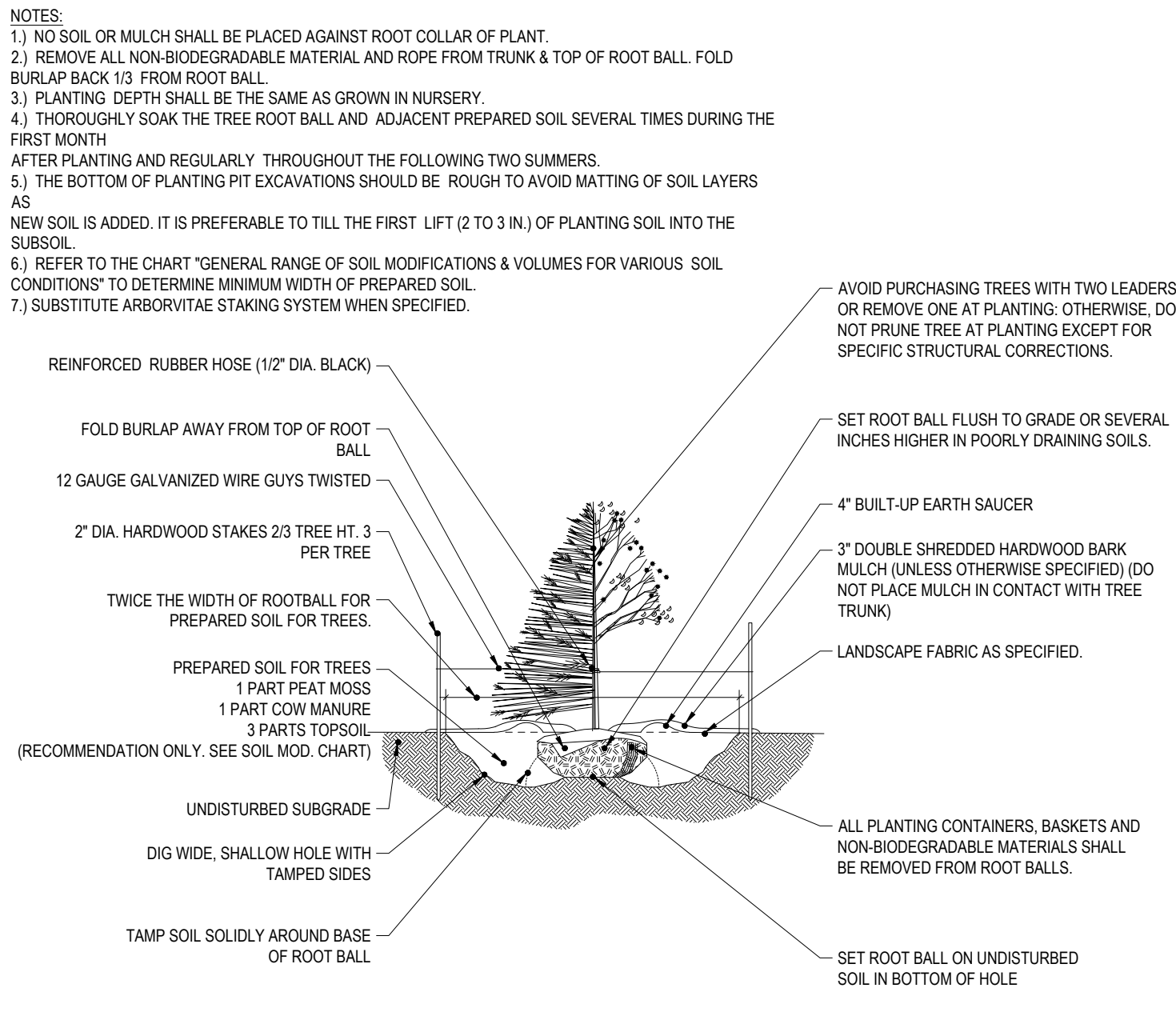
11. WATERING  
 11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.  
 11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.  
 11.3. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE  
 12.1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.  
 12.2. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.  
 12.3. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.  
 12.4. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING. REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

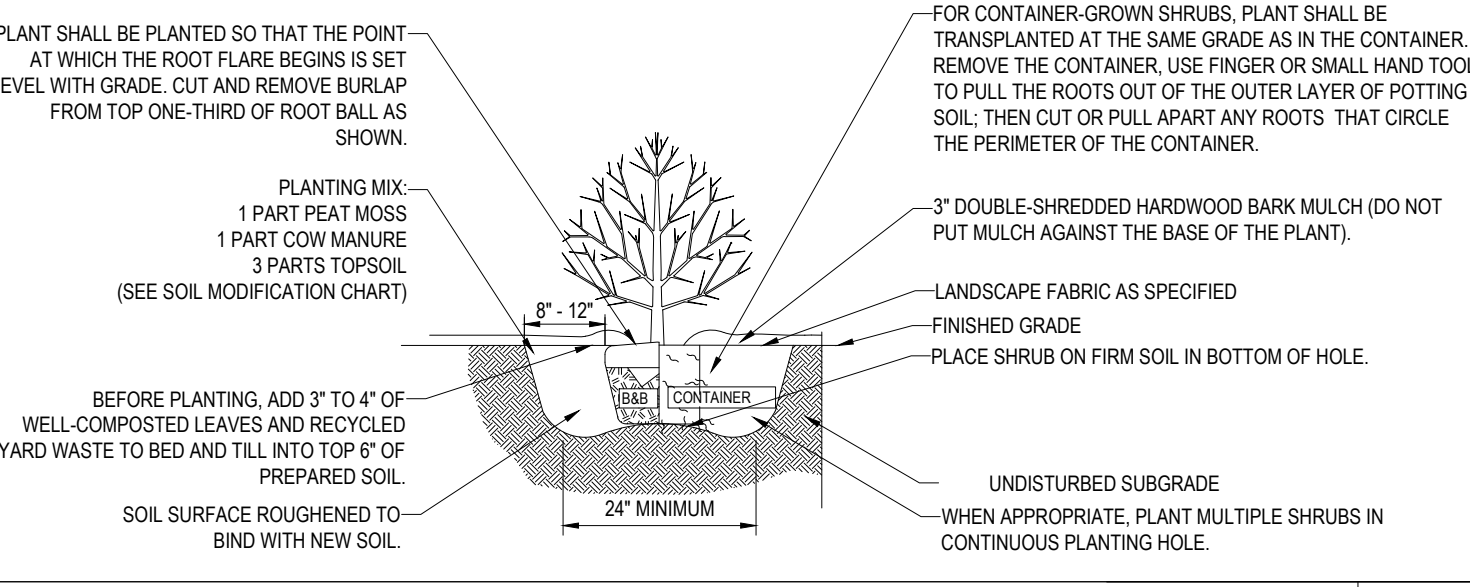
13. CLEANUP  
 13.1. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.  
 13.2. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.  
 14. MAINTENANCE (ALTERNATIVE BID)  
 14.1. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.



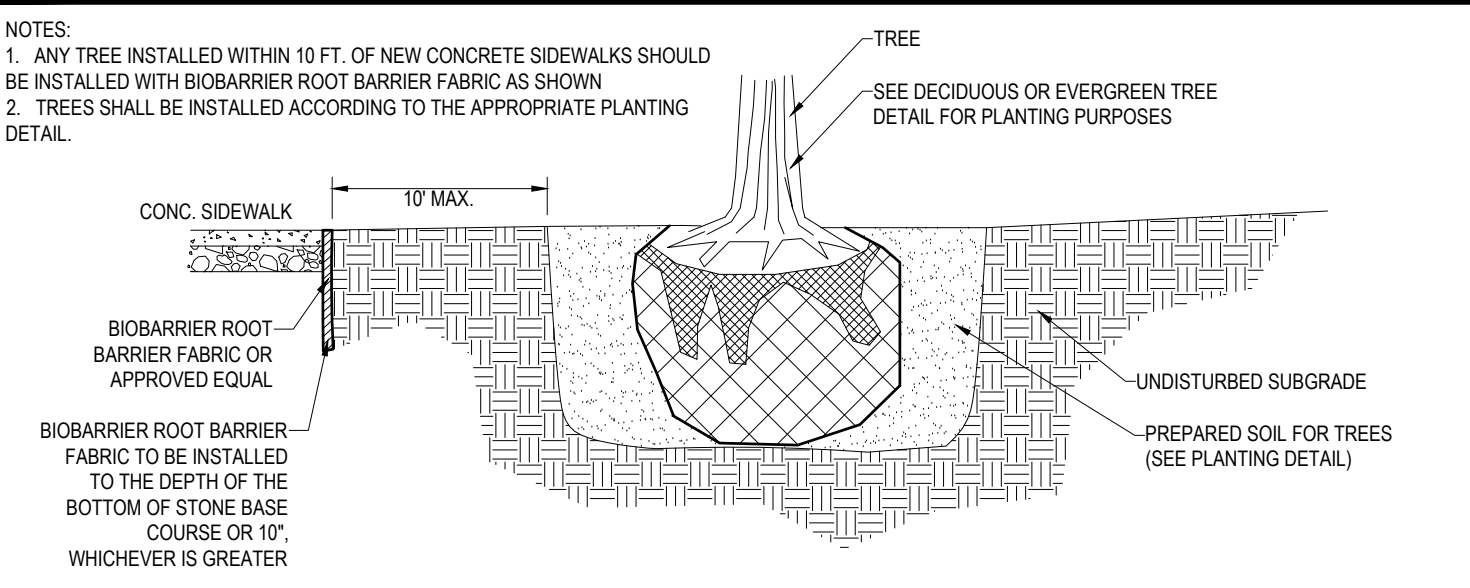
**STONE MULCH** N.T.S.



**TREE PLANTING DETAIL** N.T.S.



**SHRUB PLANTING DETAIL** N.T.S.



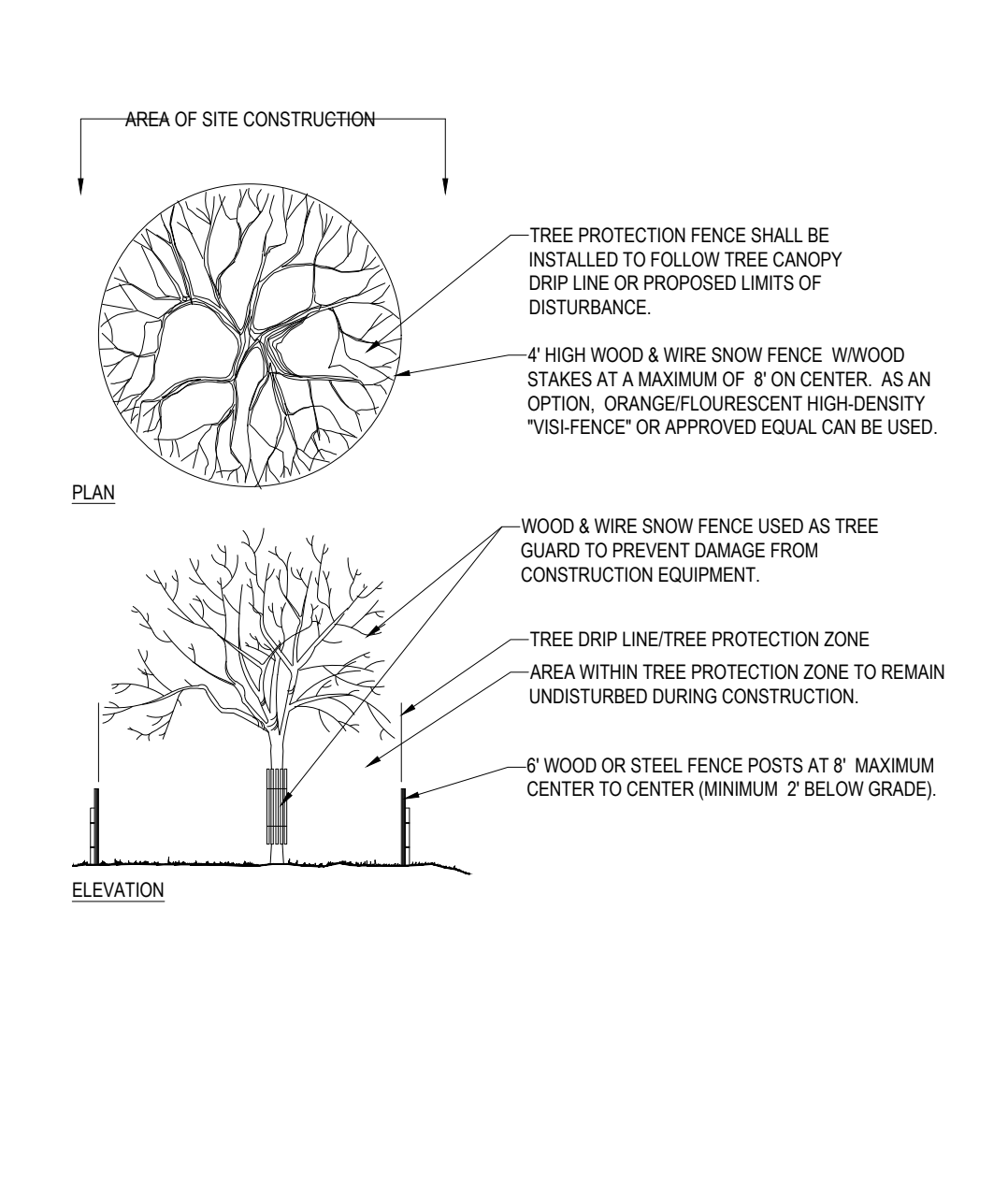
**BIOBARRIER ROOT BARRIER DETAIL** N.T.S.

**METHODS AND MATERIALS**  
 1. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.  
 2. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.  
 3. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH).  
 4. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE.  
 5. FOR DRAUGHT SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.  
 6. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.  
**II. SITE PREPARATION**  
 A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.  
 B. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS INTERCEPTOR DITCHES, DIKES AND TERRACES, EROSION STOPS, AND DE-SILTING BASINS.  
**III. SOIL PREPARATION**  
 A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP-DRESSING. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS:  

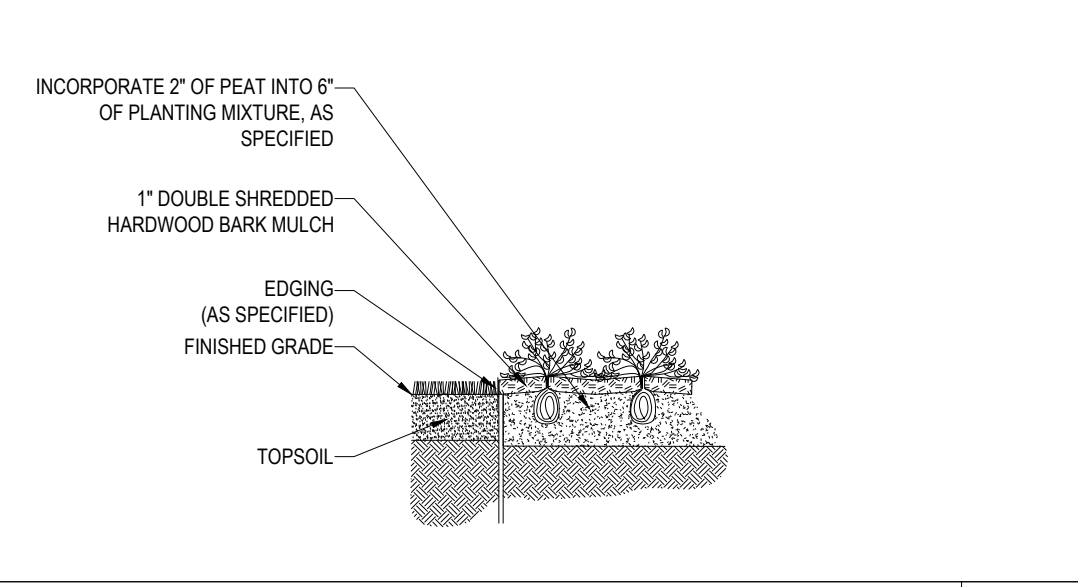
SOIL TEXTURE	TONS/ACRE	LB'S/1000 SQ. FT
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	4	180
SANDY LOAM, LOAM, SILT LOAM	3	135
LOAMY SAND, SAND	2	90

 B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCOING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.  
 C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO SOIL CONTACT AND REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.  
 D. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.  
**III. SOD PLACEMENT**  
 A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.  
 B. PLACE SOD STRIPS WITH SNUG, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.  
 C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TO PREVENT Voids WHICH WOULD CAUSE DRYING OF THE ROOTS.  
 D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 3/4 INCH WIDE).  
 E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.  
 F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS, AND CONTINUE IRRIGATION THROUGHOUT ENTIRE SEASON.  
**IV. TOP-DRESSING** IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUSPENDED FERTILIZER, THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.  
 A. SPRING INSTALLATION OF SOD WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-20-10 OR EQUIVALENT AT 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET BETWEEN MARCH 15 AND APRIL 1.  
 B. FALL INSTALLATION OF SOD WILL REQUIRE THE ABOVE BETWEEN SEPTEMBER 1 AND OCTOBER 15.

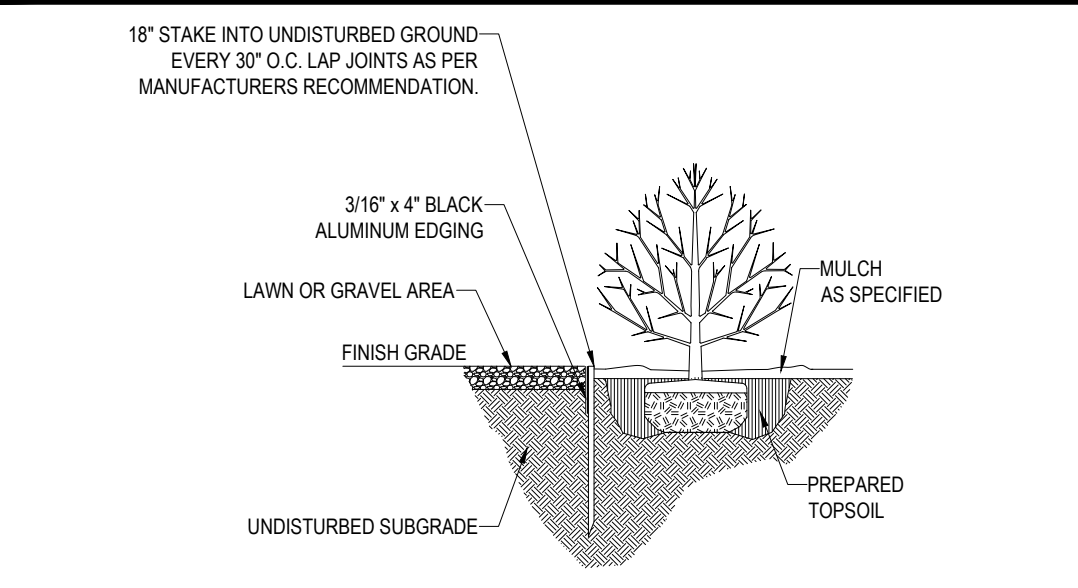
**STANDARD FOR PERMANENT STABILIZATION WITH SOD**



**TREE PROTECTION DURING SITE CONSTRUCTION** N.T.S.



**GROUNDCOVER PLANTING** N.T.S.



**BLACK ALUMINUM EDGING** N.T.S.

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 PROJECT No.: W201298  
 DRAWN BY: DJA  
 CHECKED BY: MKB  
 DATE: 02/11/2021  
 CAD I.D.: W201298-LND-0\_ZONE4

**SITE DEVELOPMENT PLANS**  
 FOR  
**BRIDGE33 CAPITAL**  
 PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
 MAP #44, LOT #6  
 586 NASHUA STREET  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY,  
 NEW HAMPSHIRE

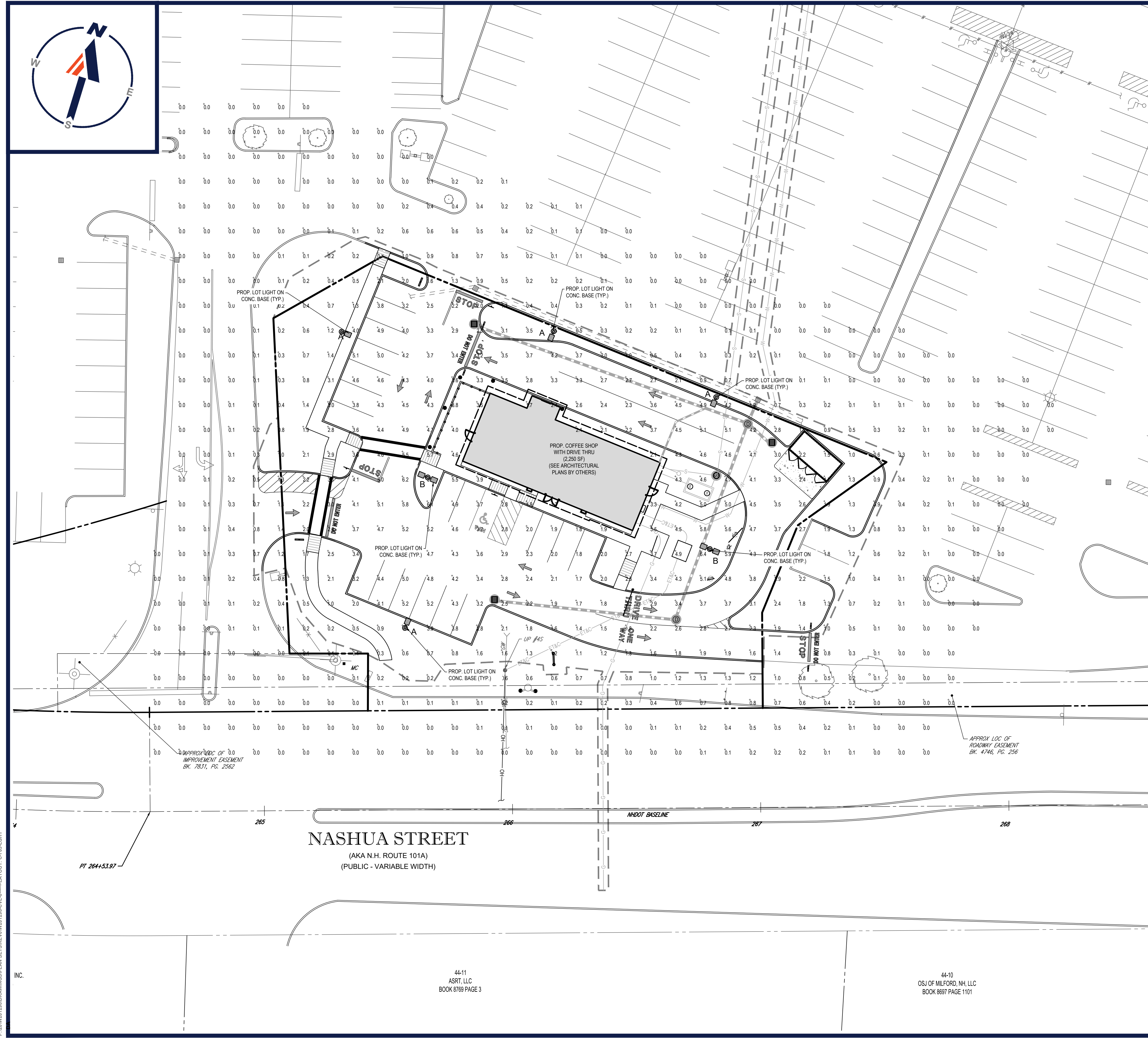
**BOHLER**  
 352 TURNPIKE ROAD  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9900  
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LANDSCAPE ARCHITECT  
 MATT W. BOHLER  
 REGISTERED LANDSCAPE ARCHITECT  
 STATE OF NEW HAMPSHIRE  
 109  
 1981-2024

SHEET TITLE:  
**LANDSCAPE NOTES AND DETAILS**  
 SHEET NUMBER:  
**C-702**  
 ORG. DATE - 02/11/2021

P:\20\201298\DRAWINGS\PLAN SETS\REV\W201298-LND-0\_ZONE4-1-LAYOUT-C-702-LAYOUT





**LIGHTING NOTES**

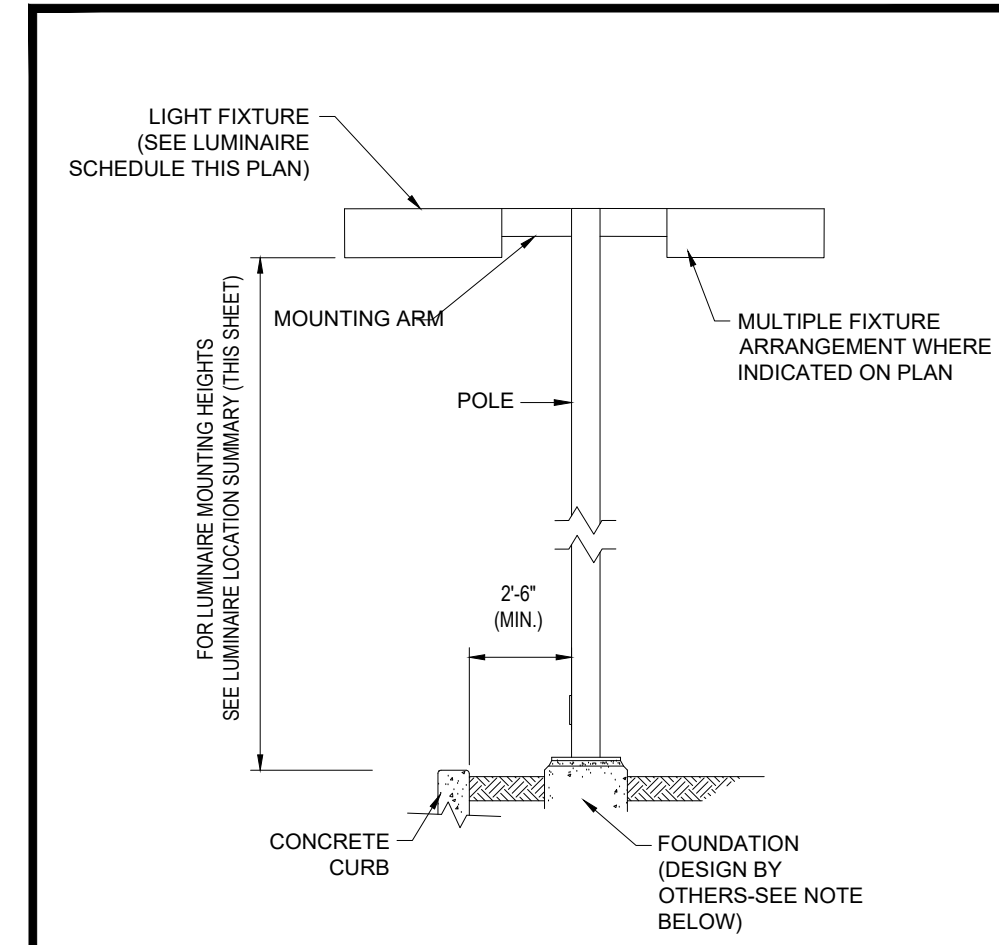
1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
8. IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
11. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

**NUMERIC SUMMARY**

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
AREA SUMMARY	ILLUMINANCE	FC	3.28	6.7	0.2	16.40	33.50

**LUMINAIRE SCHEDULE**

SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	MOUNTING HEIGHT	DESCRIPTION
ⓐ	4	SINGLE	14,851	0.9	20 FT	PHILLIPS GARDCO ECOFORM LED WITH SHIELD ECF-S-32L-12A-NW-G2-3-HIS (TYPE V)
ⓑ	2	DOUBLE @ 180°	15,956	0.9	20 FT	PHILLIPS GARDCO ECOFORM LED ECF-S-32L-12A-NW-G2-5 (TYPE V)



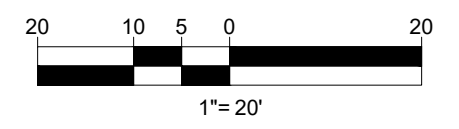
**AREA LIGHT DETAIL**

N.T.S.

NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**



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PROJECT No.:	W201298
DRAWN BY:	DJA
CHECKED BY:	MKB
DATE:	02/11/2021
CAD I.D.:	W201298-CVL-0

**SITE DEVELOPMENT PLANS**  
FOR

**BRIDGE33 CAPITAL**  
  
PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
MAP #44, LOT #6  
586 NASHUA STREET  
TOWN OF MILFORD  
HILLSBOROUGH COUNTY,  
NEW HAMPSHIRE

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352 TURNPIKE ROAD  
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Phone: (508) 480-9900  
www.BohlerEngineering.com

**J. K. KUCICH**  
Professional Engineer  
No. 1530  
No. 6476  
No. 26177  
No. 9618  
No. 12353

SHEET TITLE:

**LIGHTING PLAN**

SHEET NUMBER:  
**C-703**

ORG. DATE - 02/11/2021

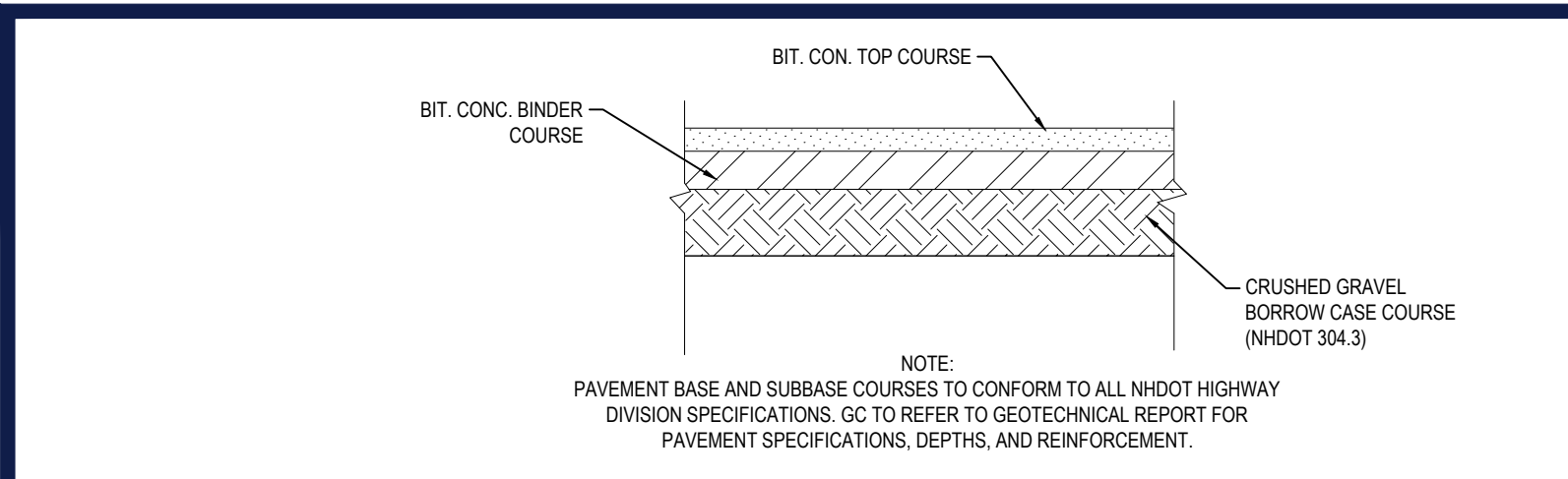
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INC.

44-11  
ASRT, LLC  
BOOK 8769 PAGE 3

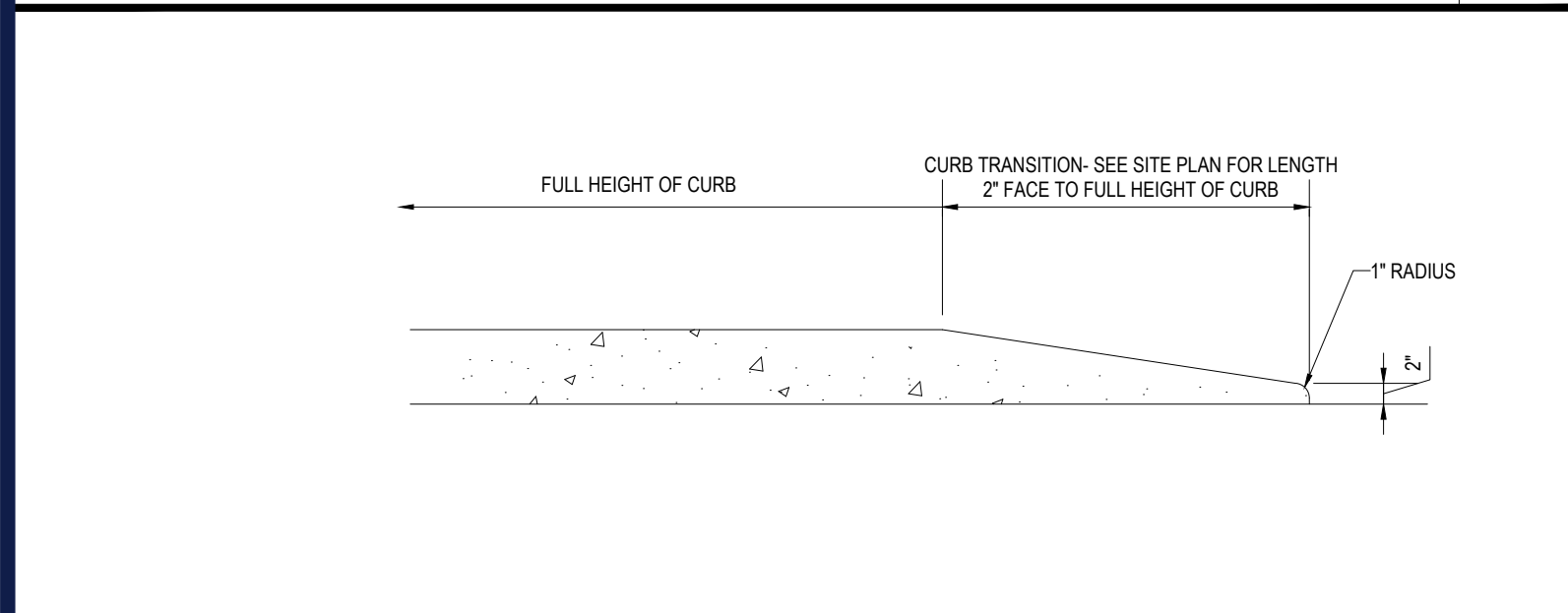
44-10  
OSJ OF MILFORD, NH, LLC  
BOOK 8697 PAGE 1101





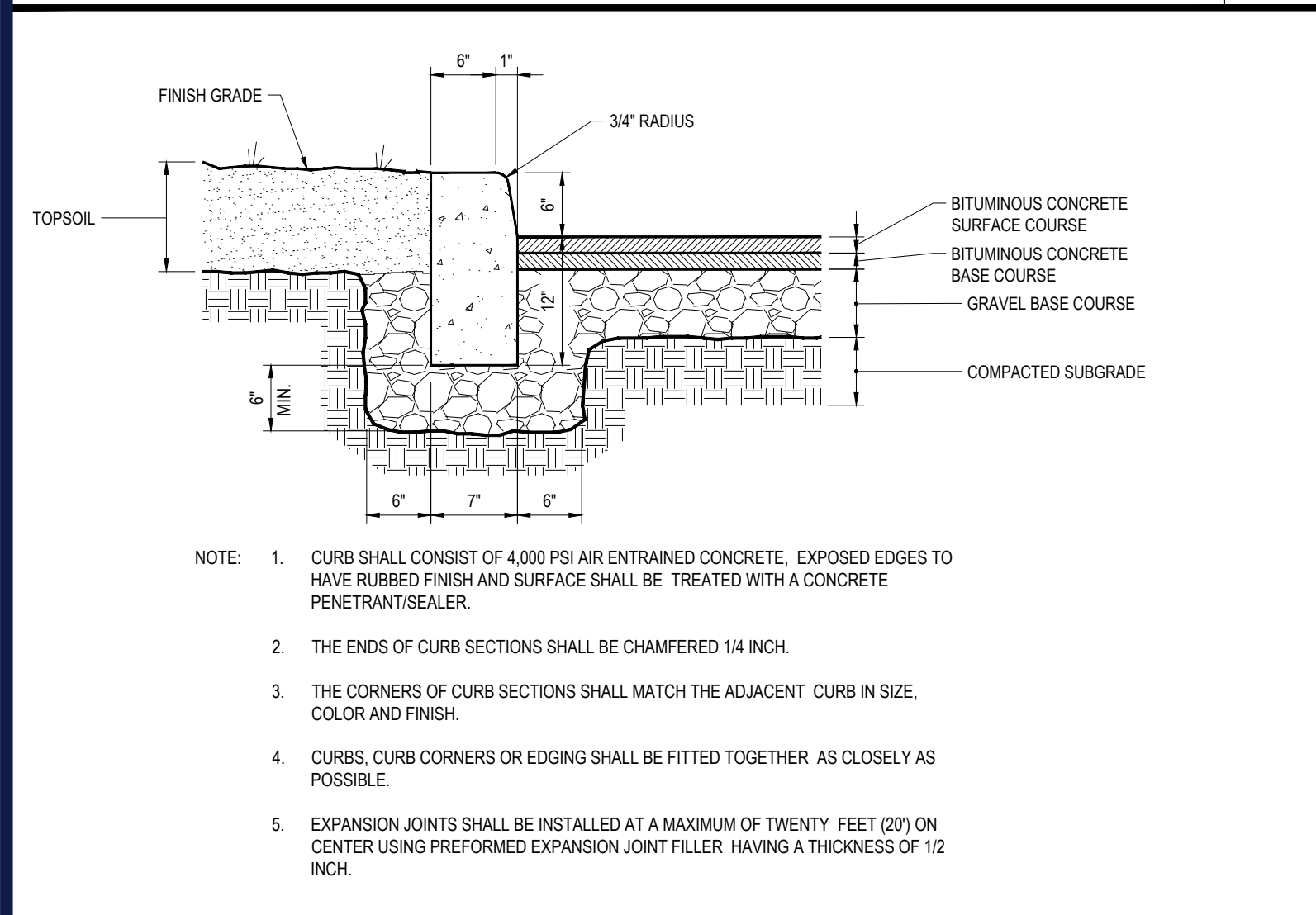
**ASPHALT PAVEMENT SECTION**

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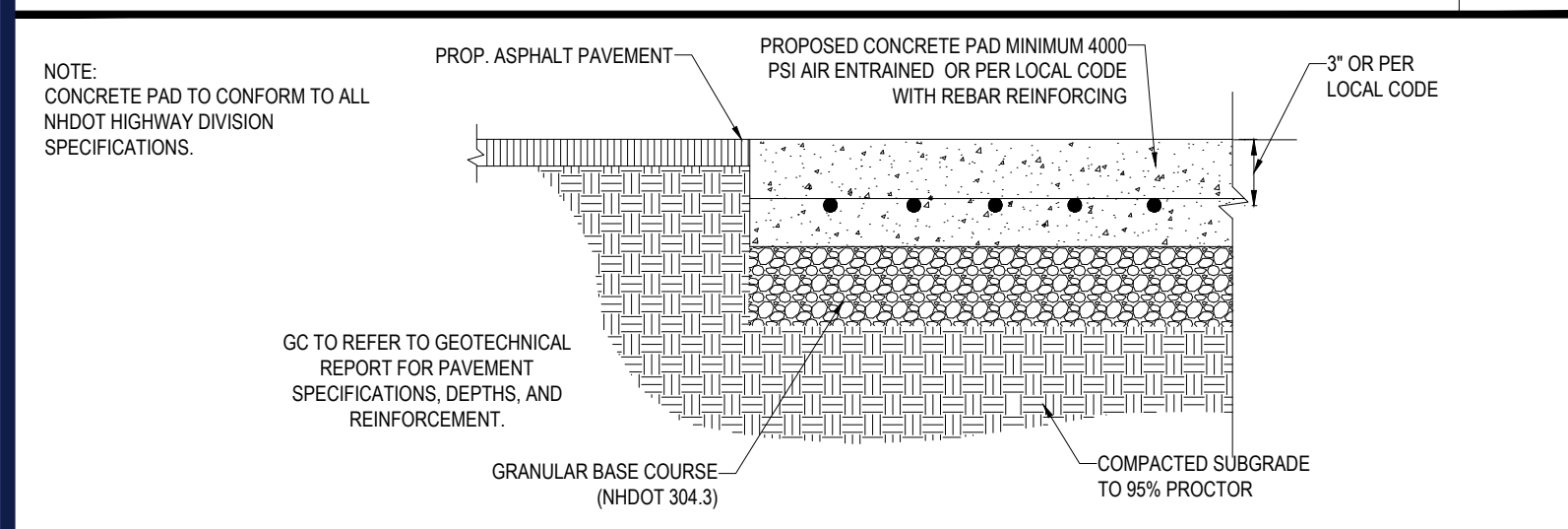
**TRANSITION CURB DETAIL**

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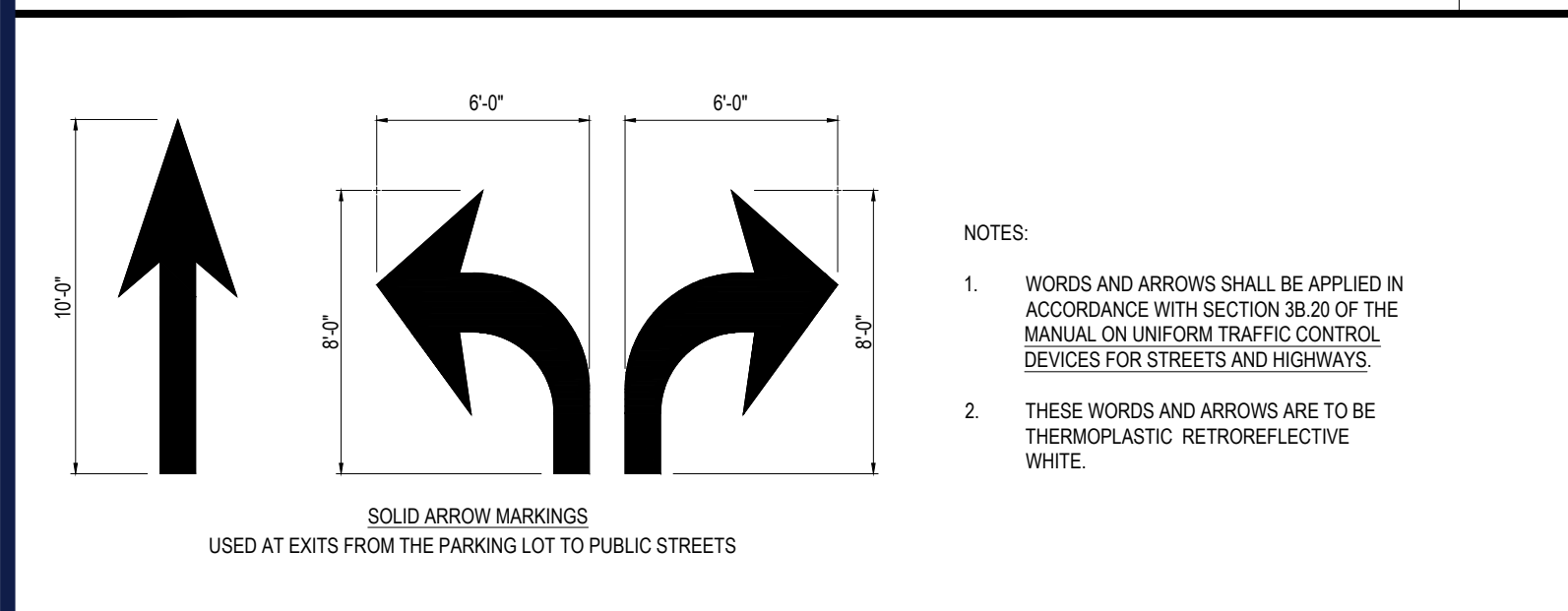
**PRE-CAST CONCRETE CURBING**

N.T.S.



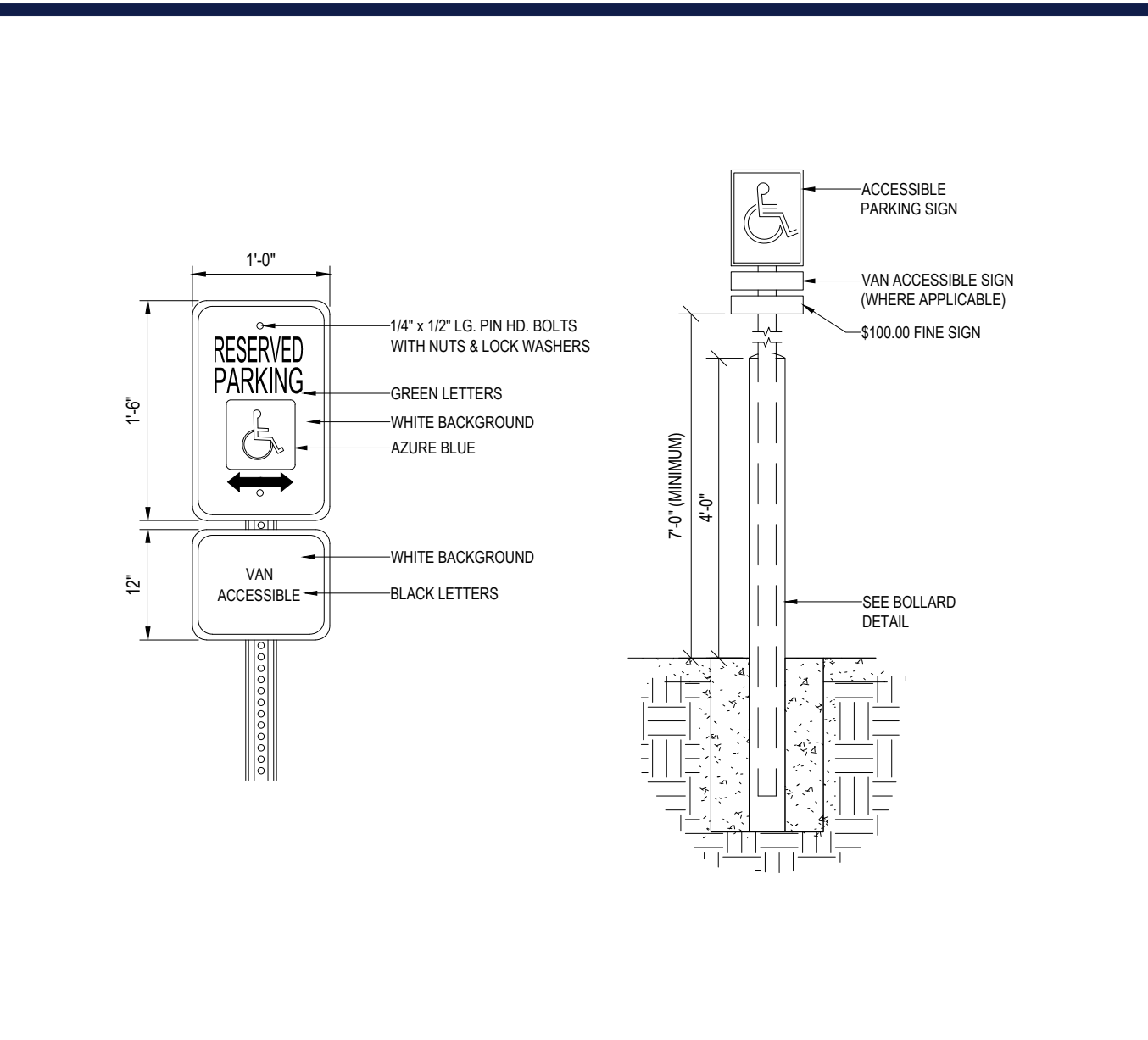
**CONCRETE PAD DETAIL**

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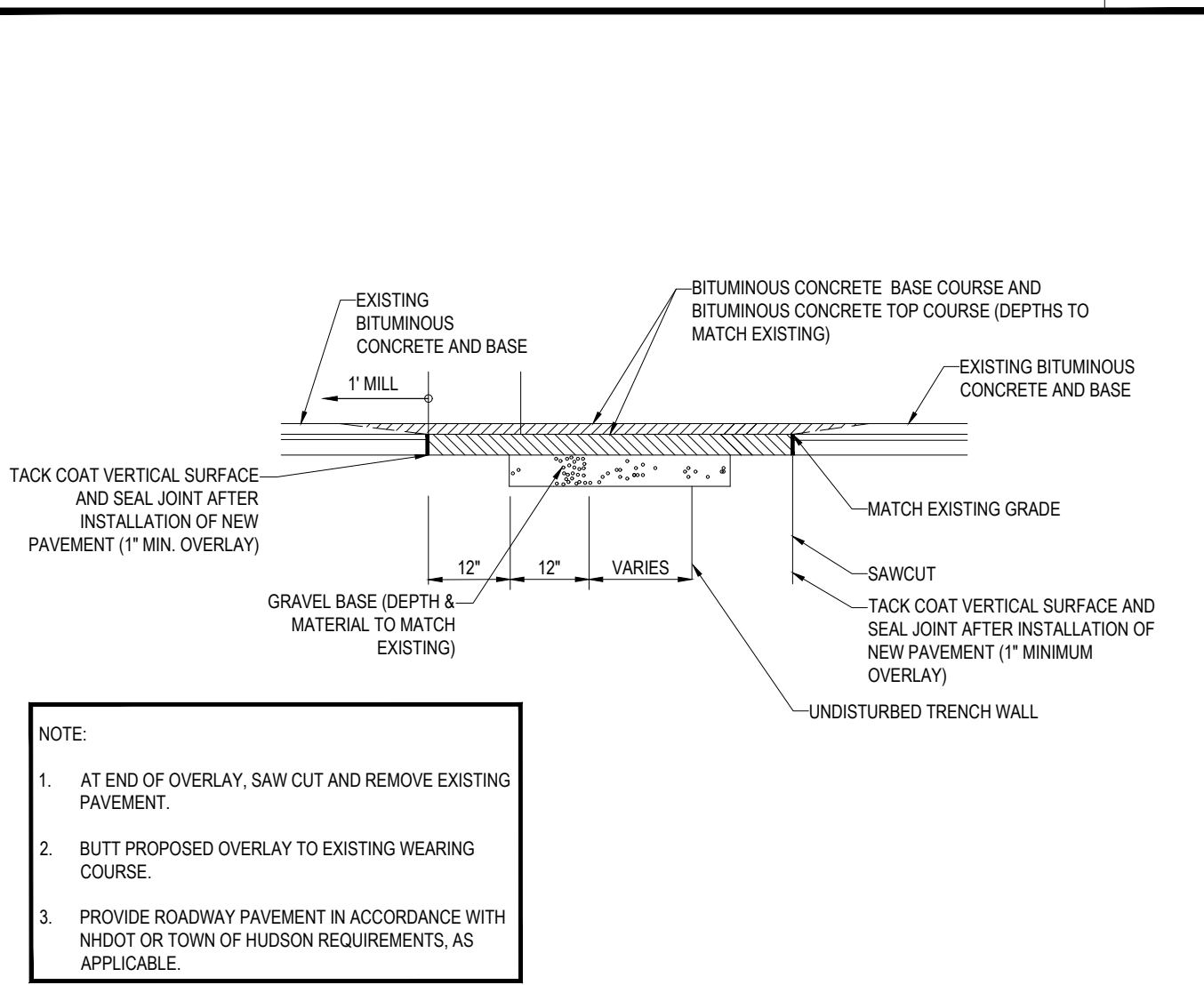
**PAVEMENT MARKINGS DETAIL**

N.T.S.



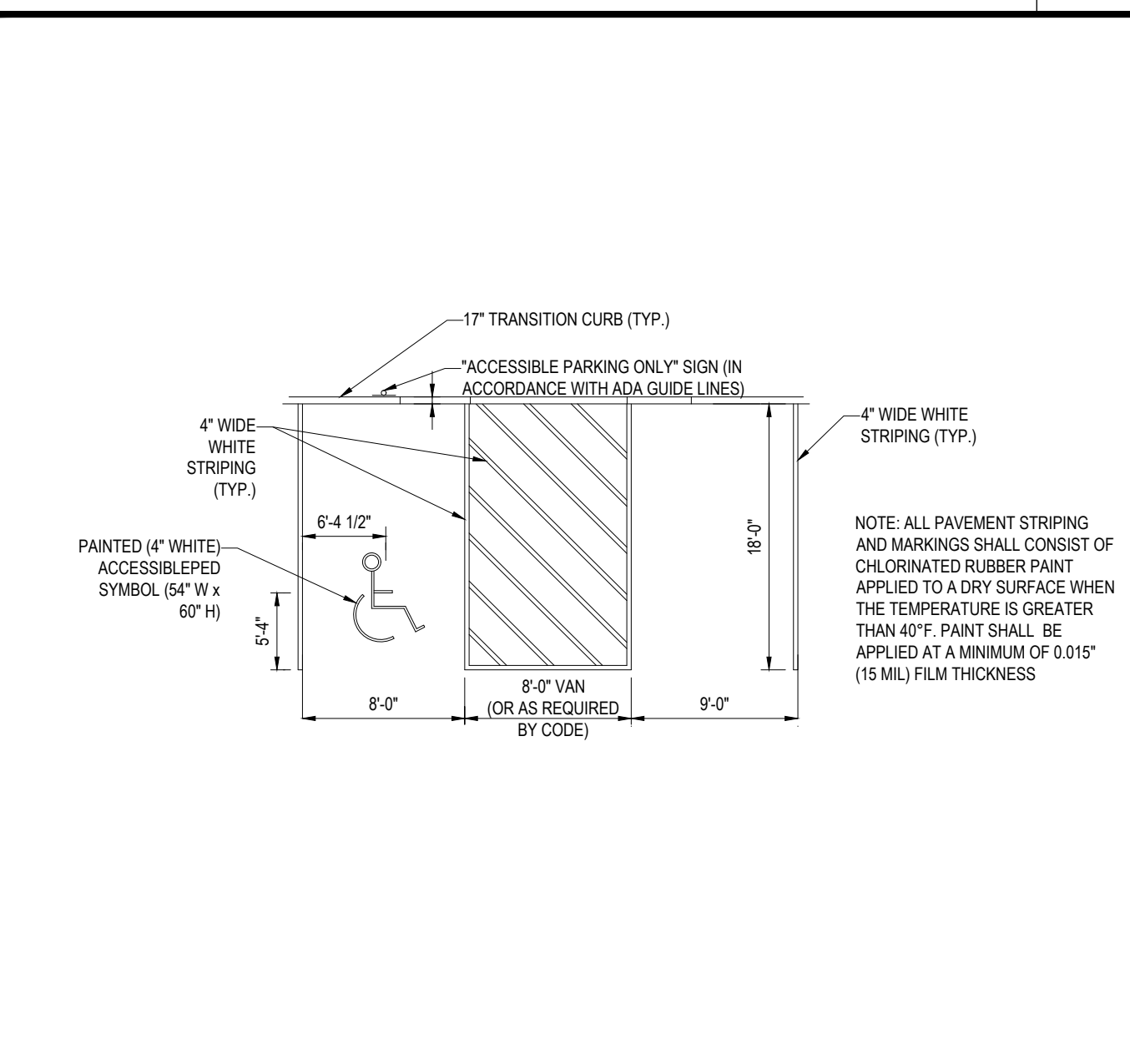
**ACCESSIBLE PARKING SIGN WI BOLLARD DETAIL**

N.T.S.



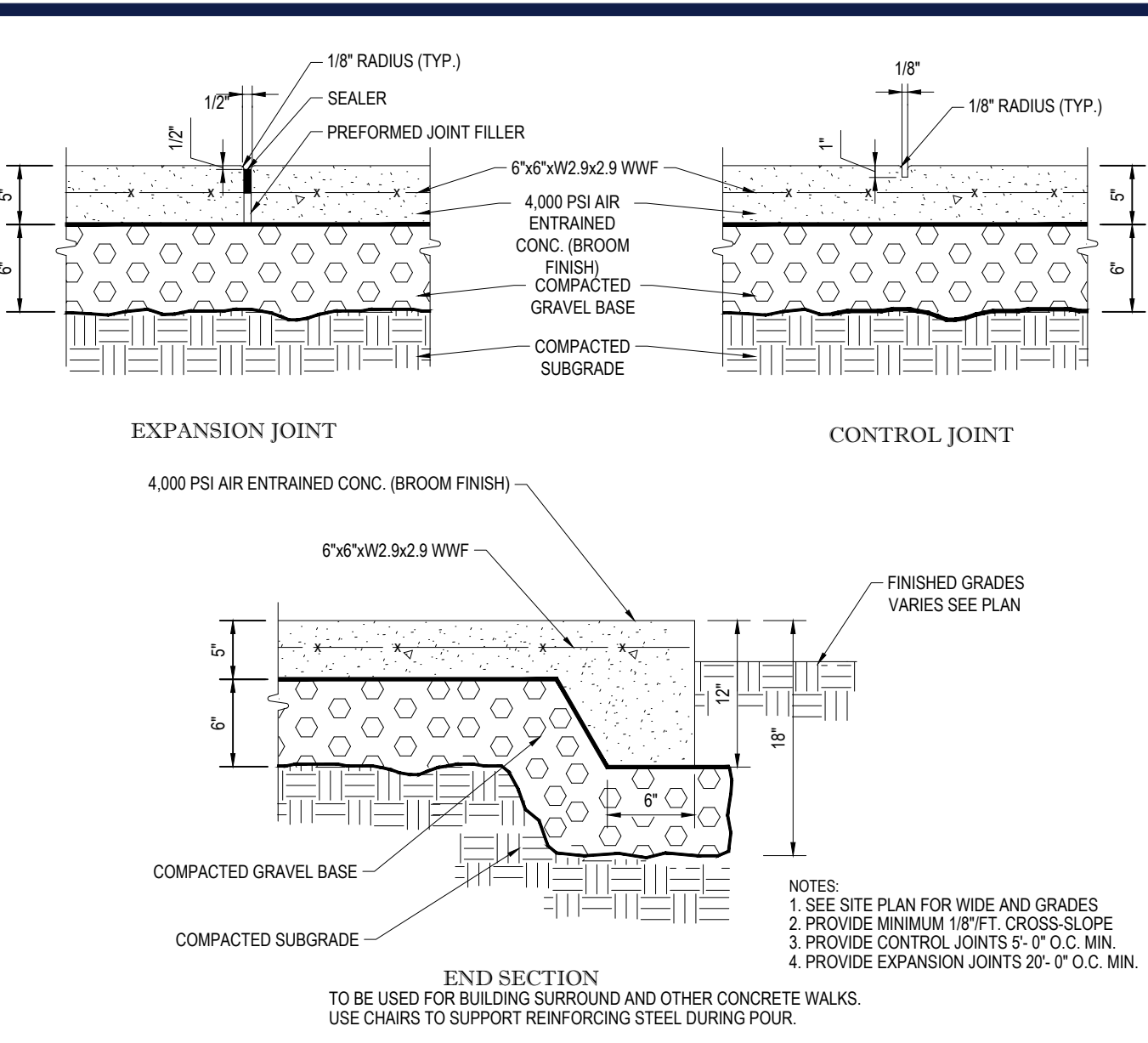
**ROADWAY PATCHING DETAIL**

N.T.S.



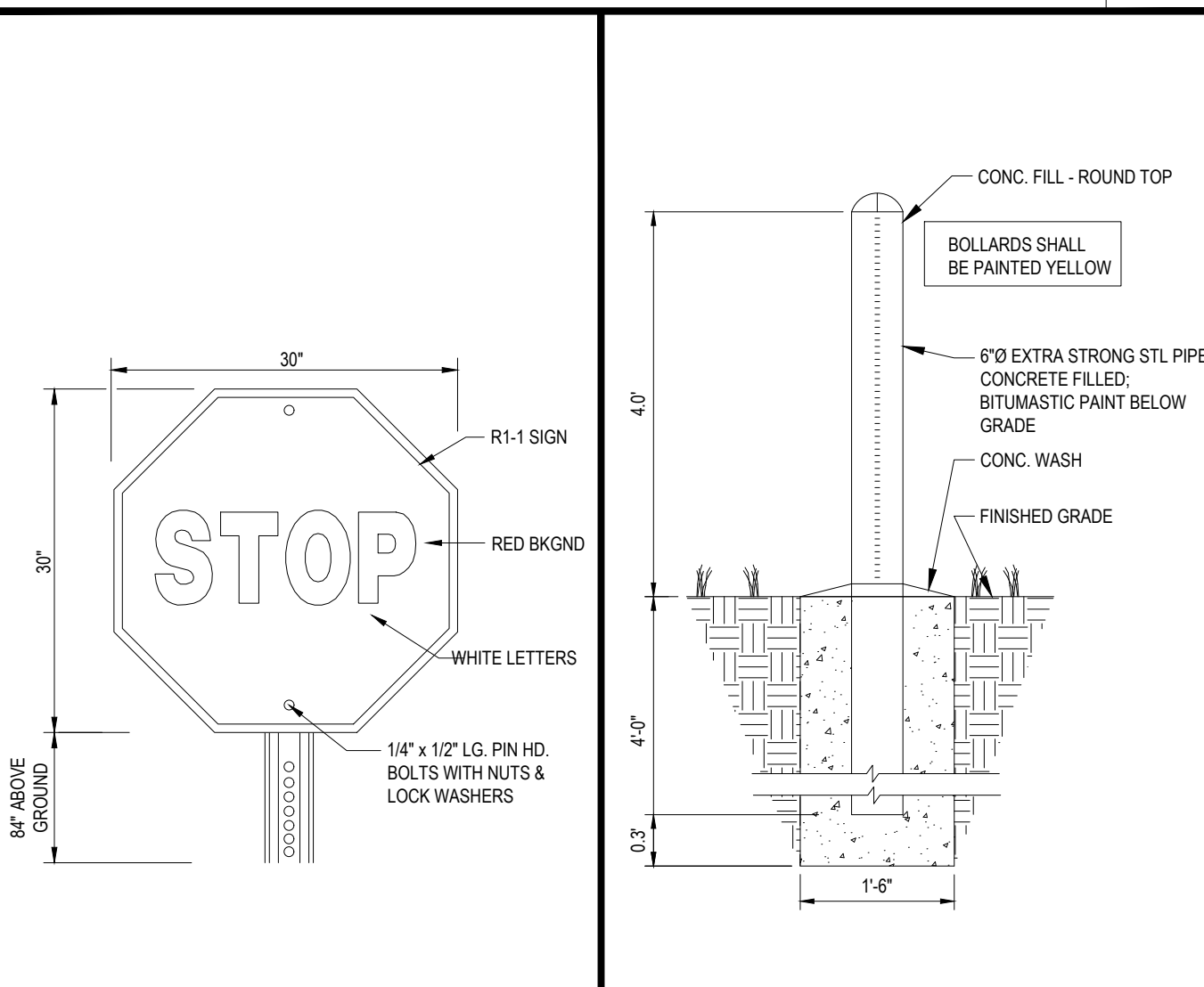
**ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING DETAIL**

N.T.S.



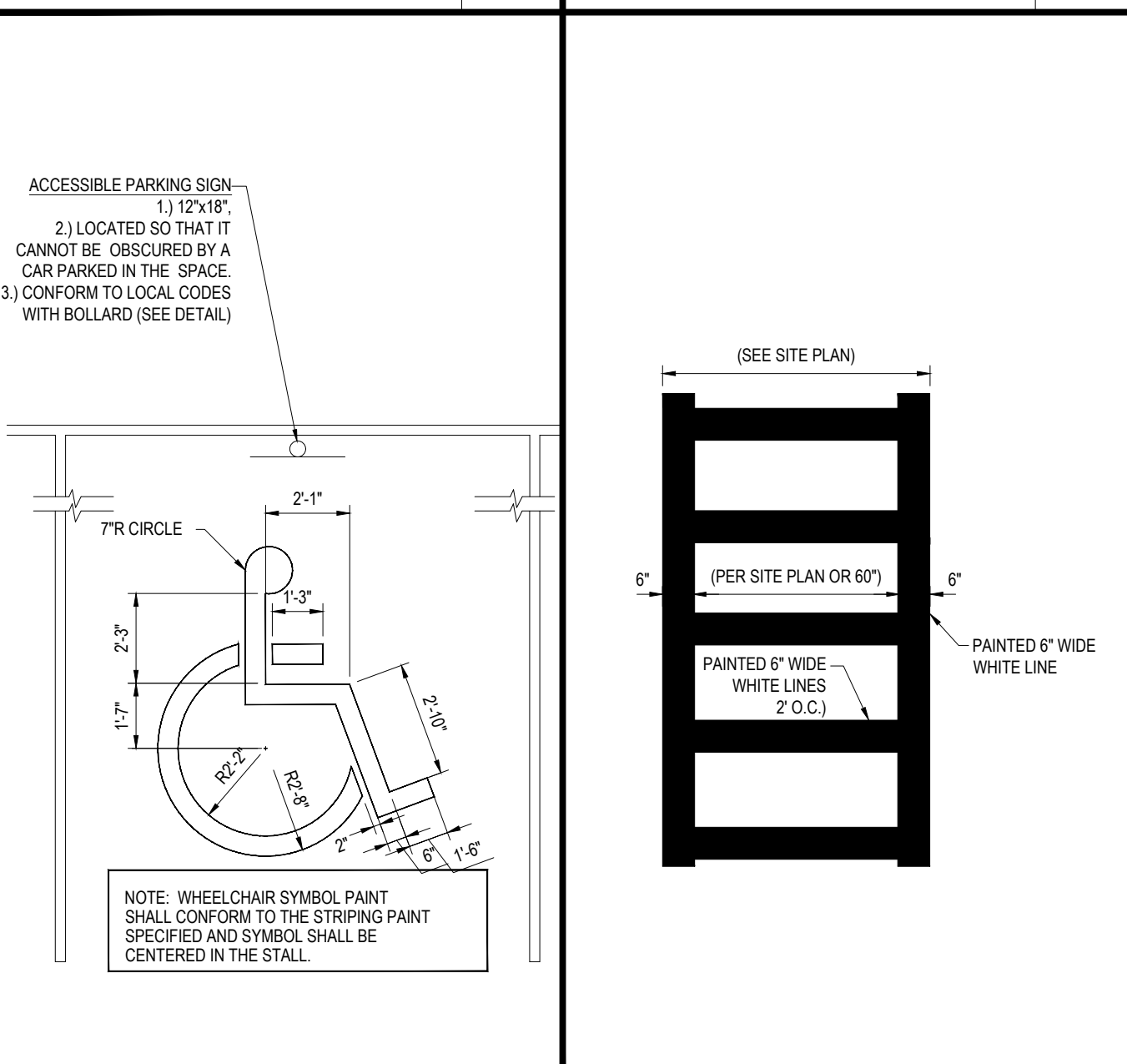
**MONOLITHIC CONG. SIDEWALK DETAILS**

N.T.S.



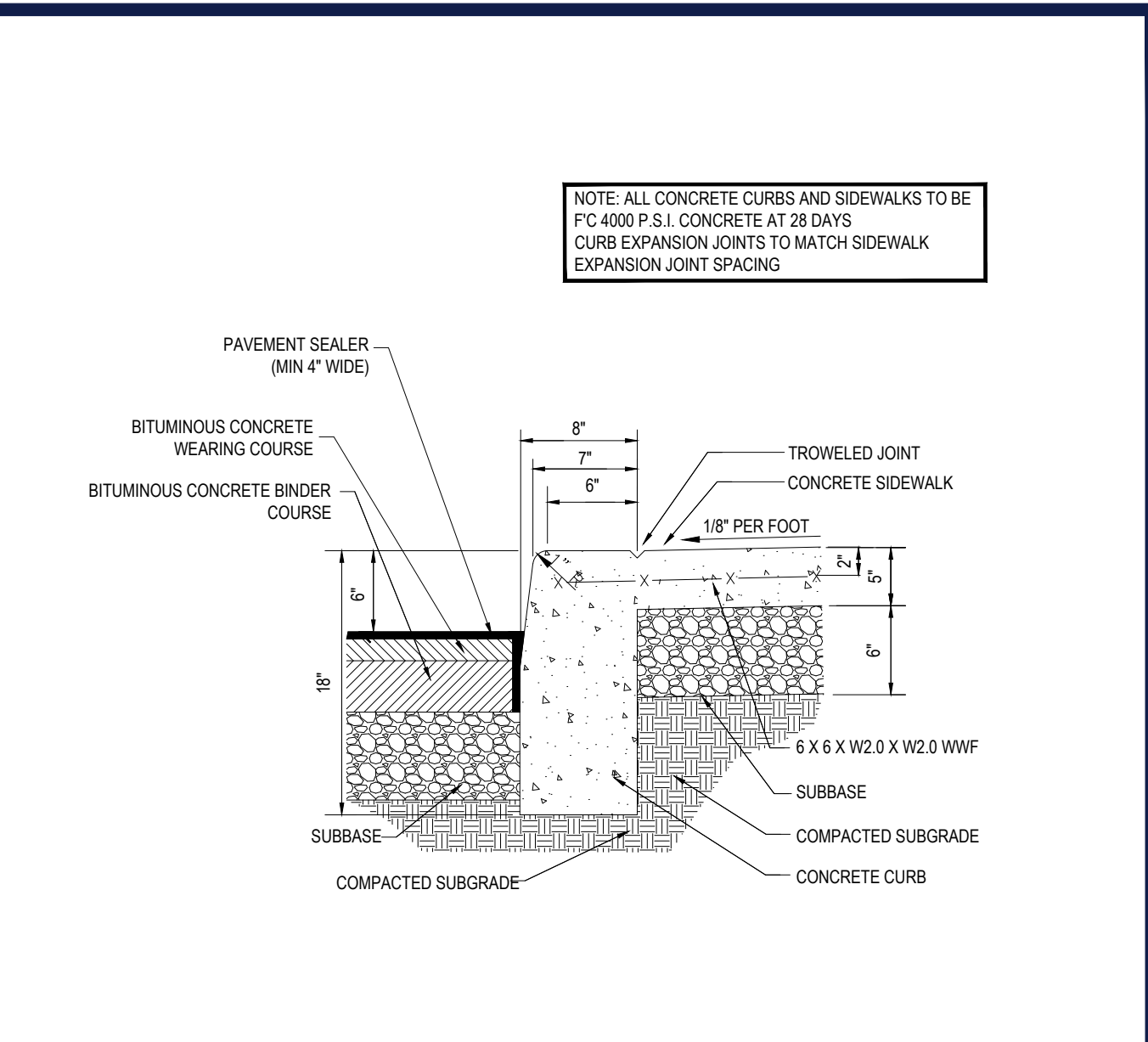
**'STOP' SIGN**

N.T.S.



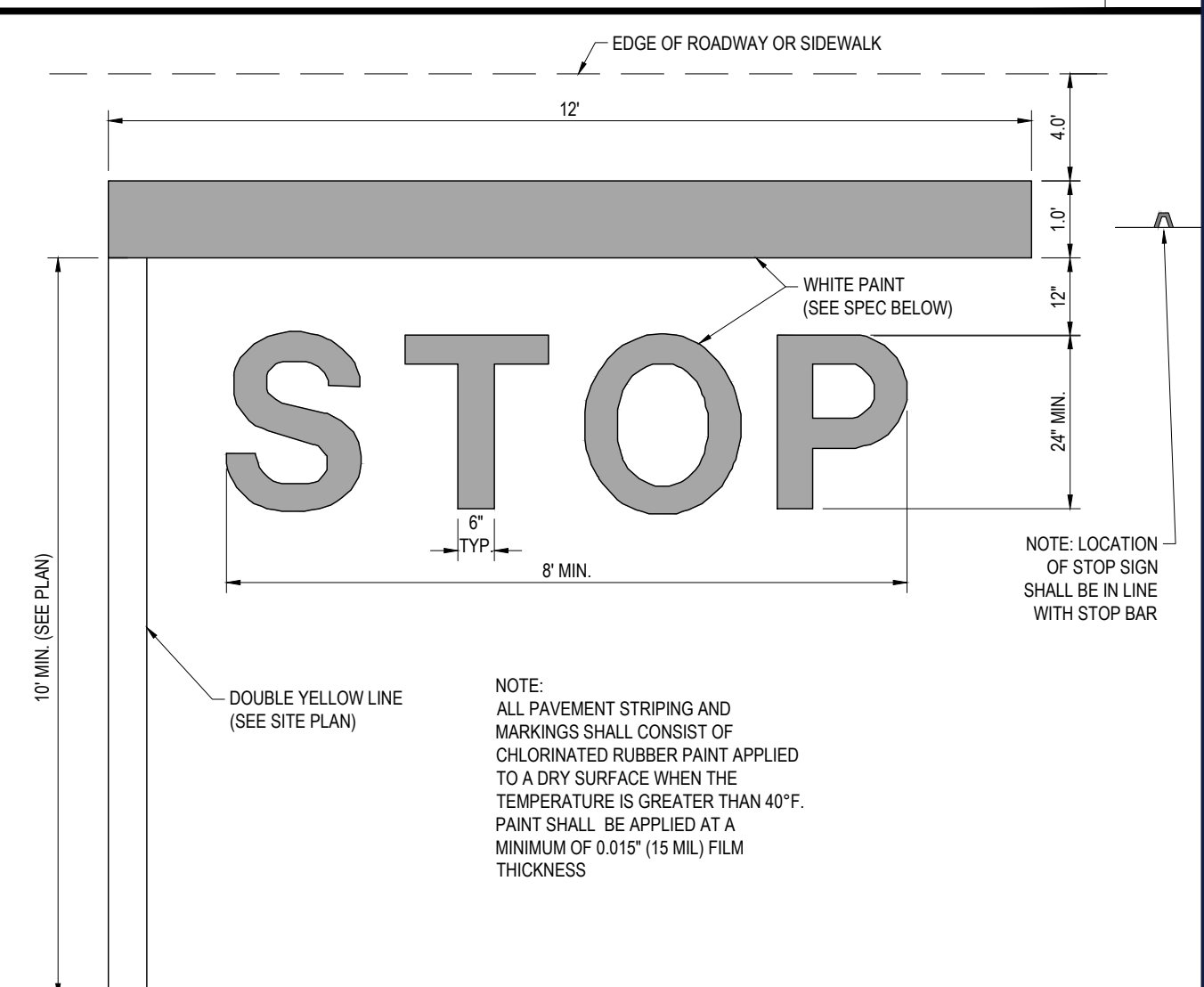
**ACCESSIBLE PARKING STALL PAINTING DETAIL**

N.T.S.



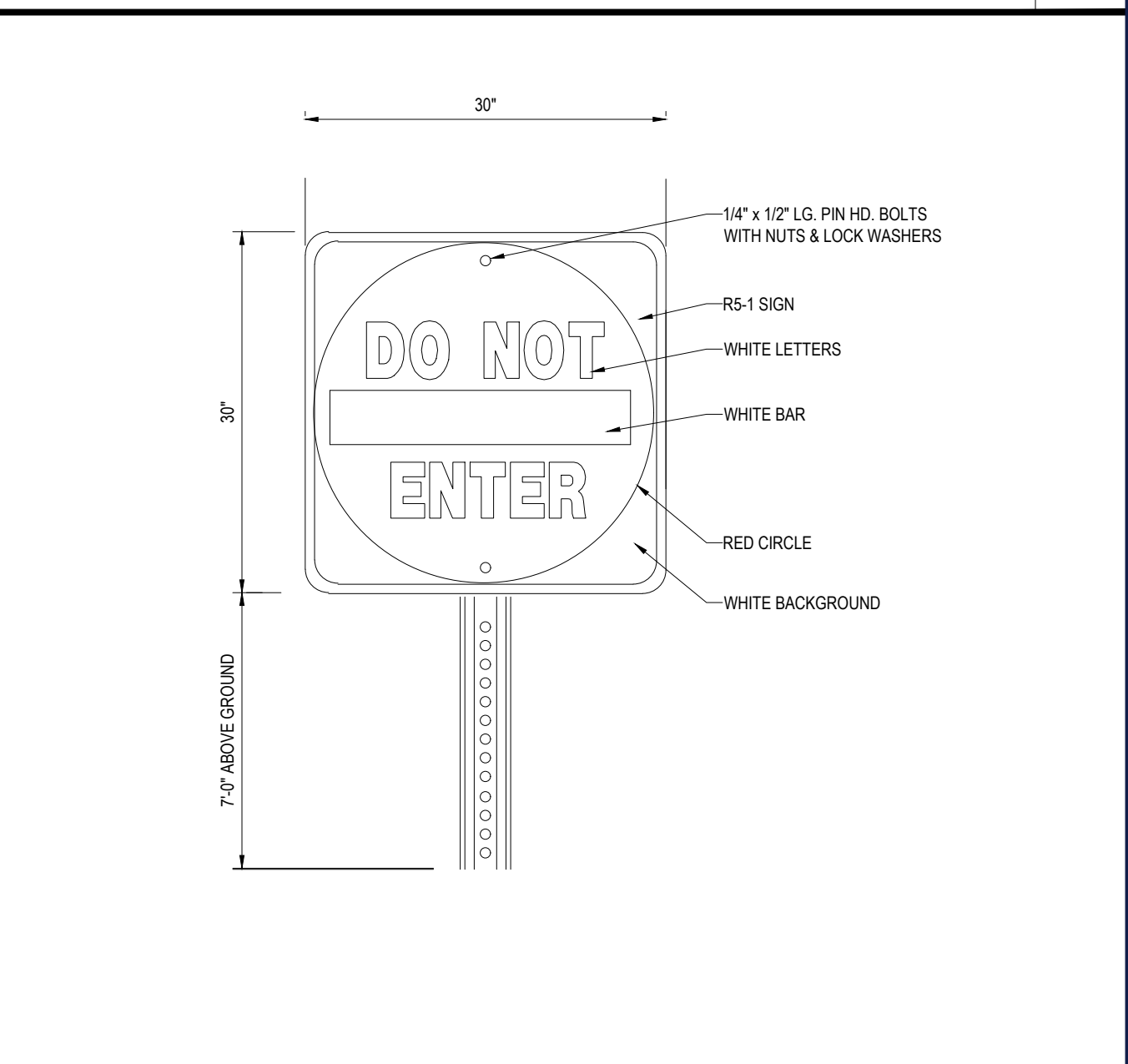
**CURB DETAIL WI MONOLITHIC SIDEWALK ON-SITE**

N.T.S.



**'STOP' BAR DETAIL**

N.T.S.



**"DO NOT ENTER" SIGN**

N.T.S.

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PROJECT No.: W201298  
DRAWN BY: DJA  
CHECKED BY: MKB  
DATE: 02/11/2021  
CAD I.D.: W201298-CVL-0

**SITE DEVELOPMENT PLANS**  
FOR  
**BRIDGE33 CAPITAL**  
PROPOSED COFFEE SHOP WITH DRIVE-THROUGH  
MAP #44, LOT #6  
586 NASHUA STREET  
TOWN OF MILFORD  
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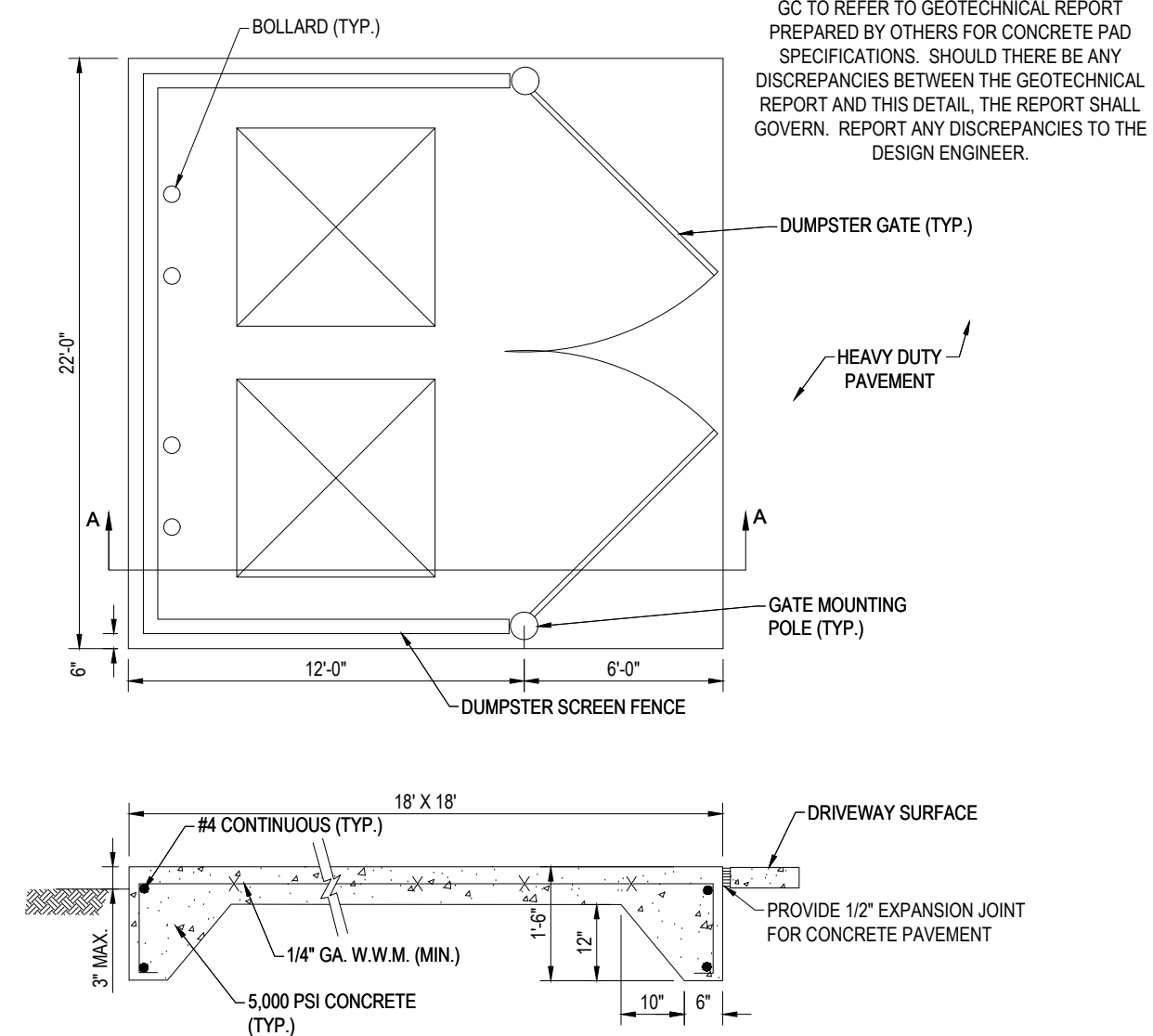
**J. KRUCICH**  
Professional Engineer  
No. 14176  
No. 26177  
No. 26178  
No. 26179  
No. 26180  
No. 26181  
No. 26182  
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No. 26194  
No. 26195  
No. 26196  
No. 26197  
No. 26198  
No. 26199  
No. 26200

SHEET TITLE:  
**DETAIL SHEET**  
SHEET NUMBER:  
**C-901**  
ORG. DATE - 02/11/2021

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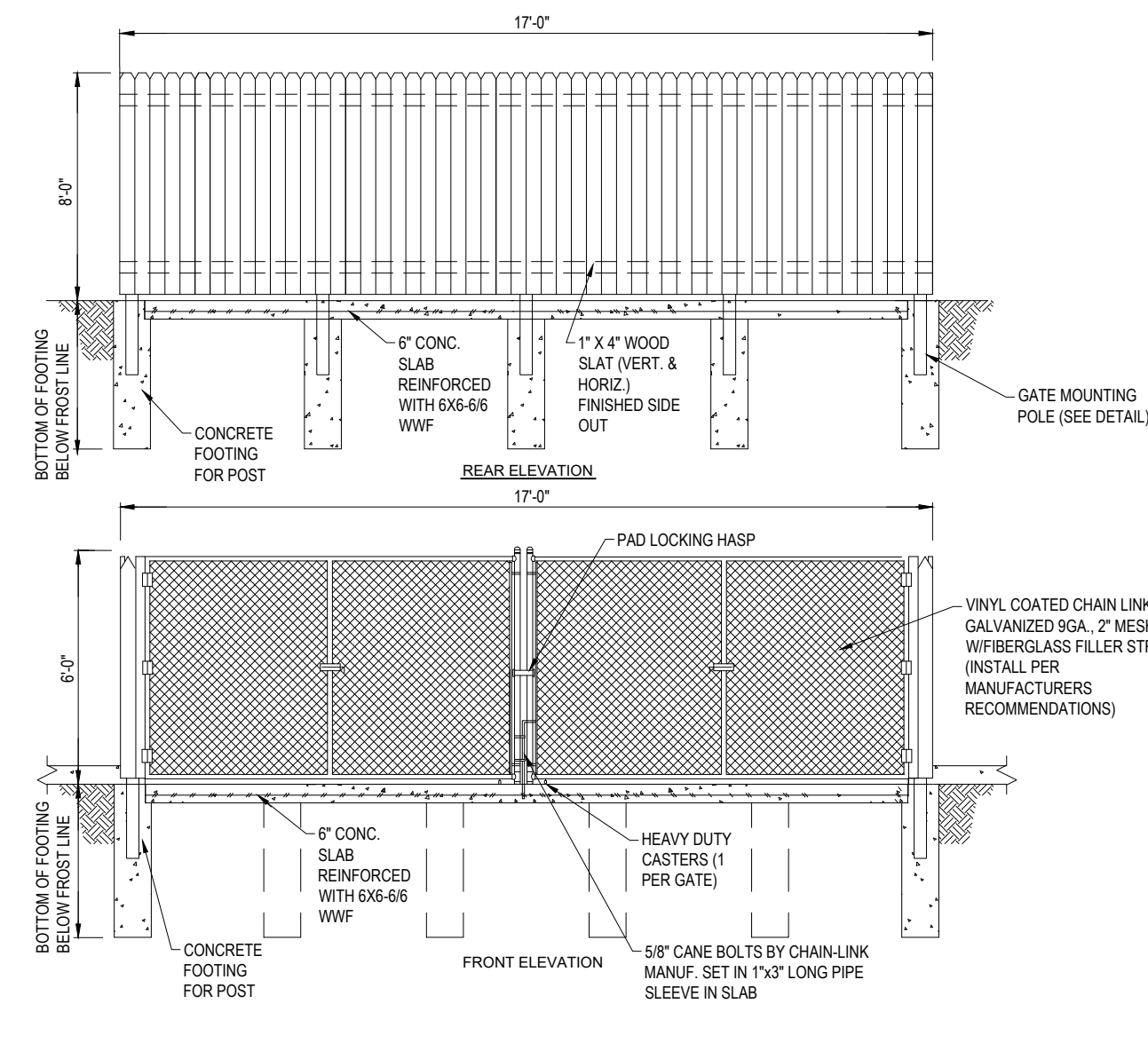
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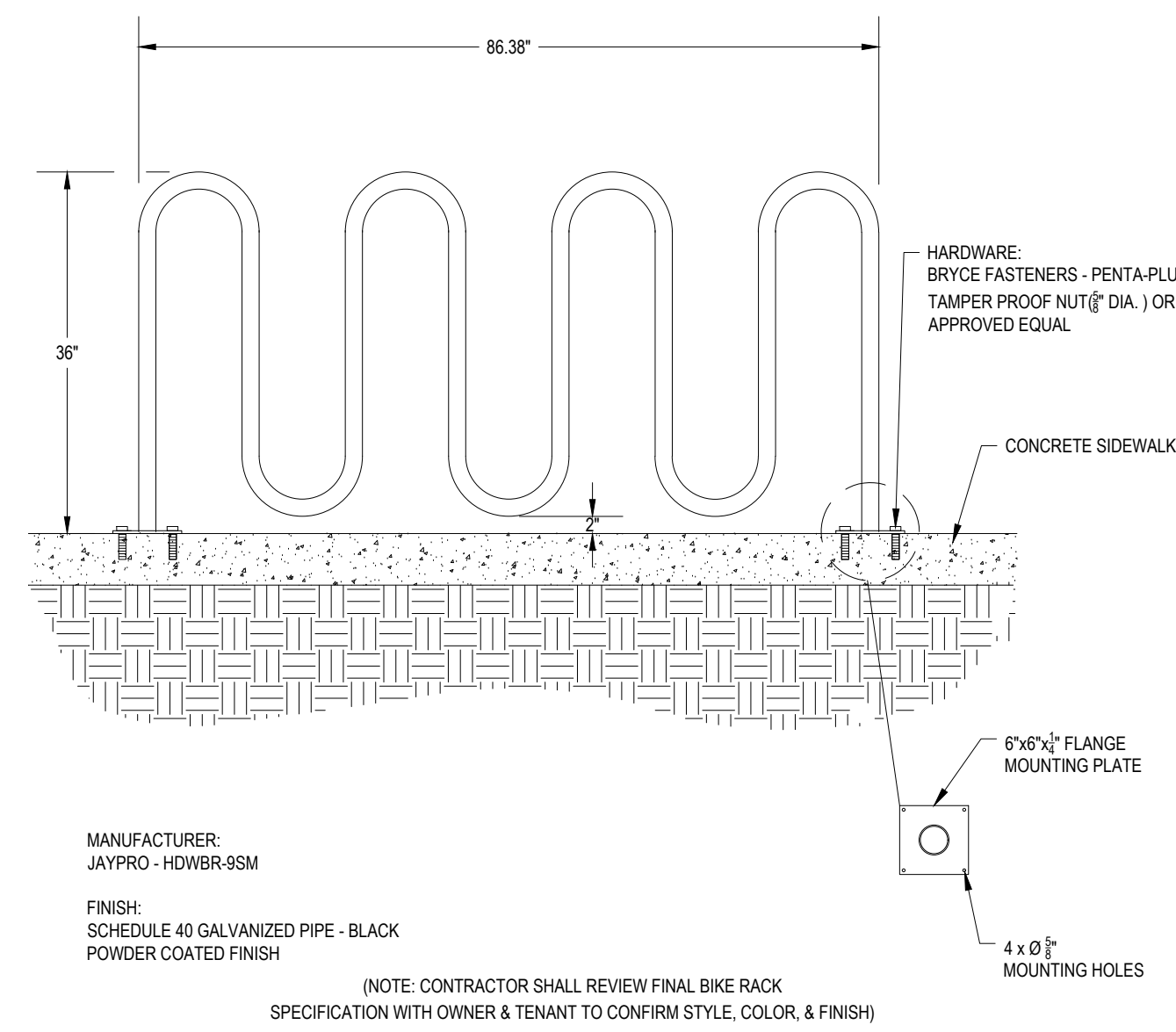
**DUMPSTER PAD WITH SCREENING**

N.T.S.



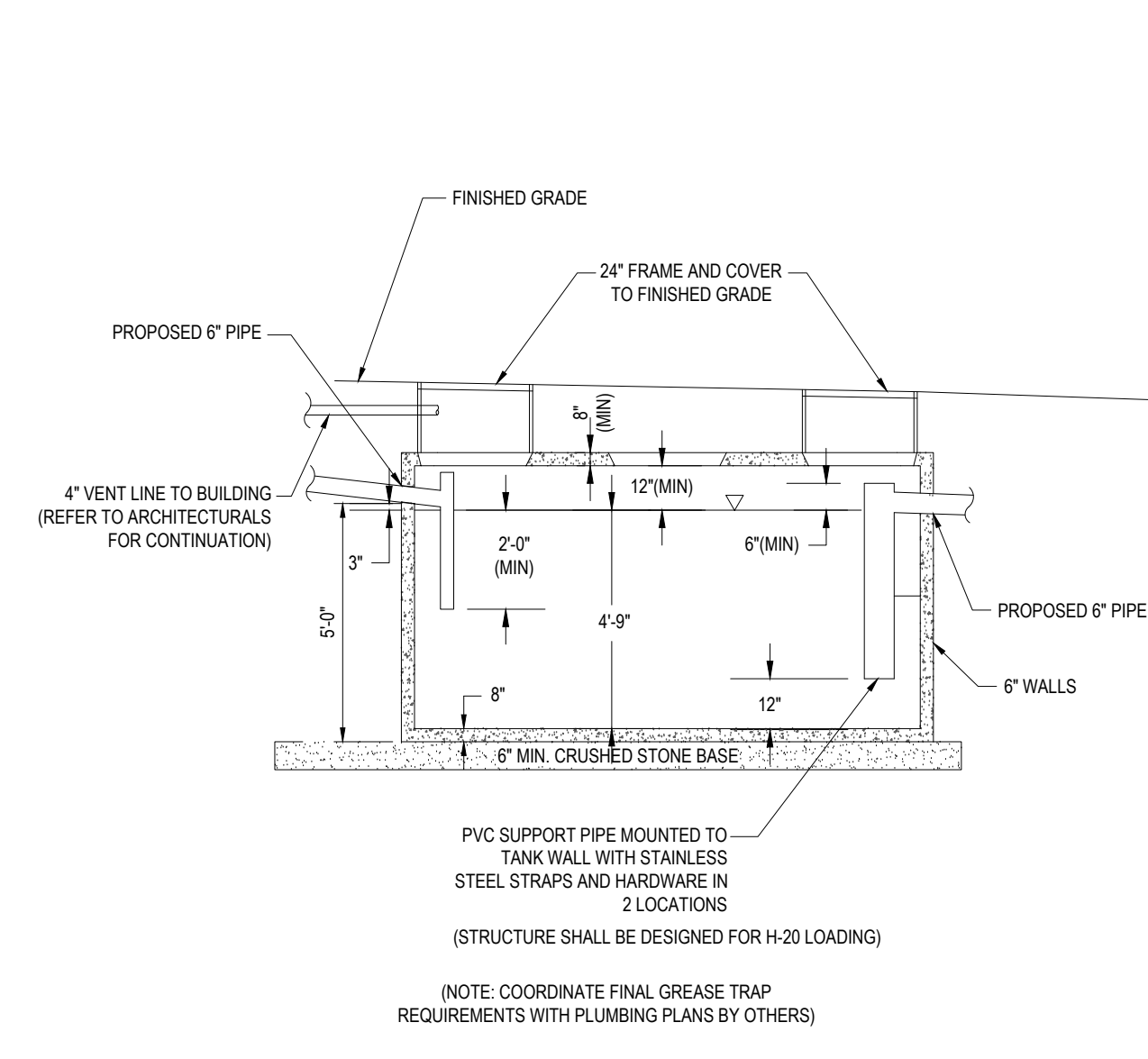
**STOCKADE FENCE TRASH ENCLOSURE DETAIL**

N.T.S.



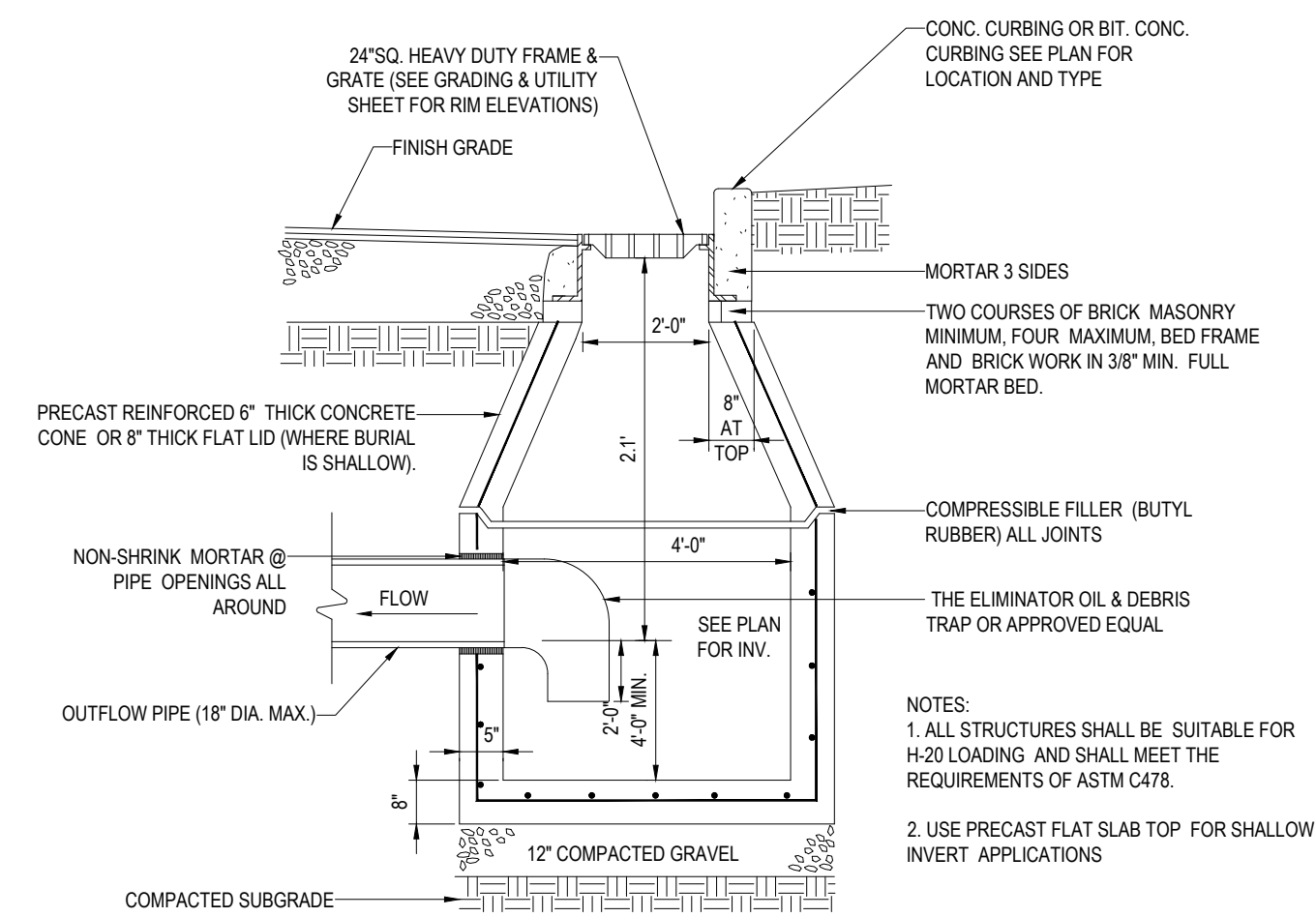
**BIKE RACK**

N.T.S.



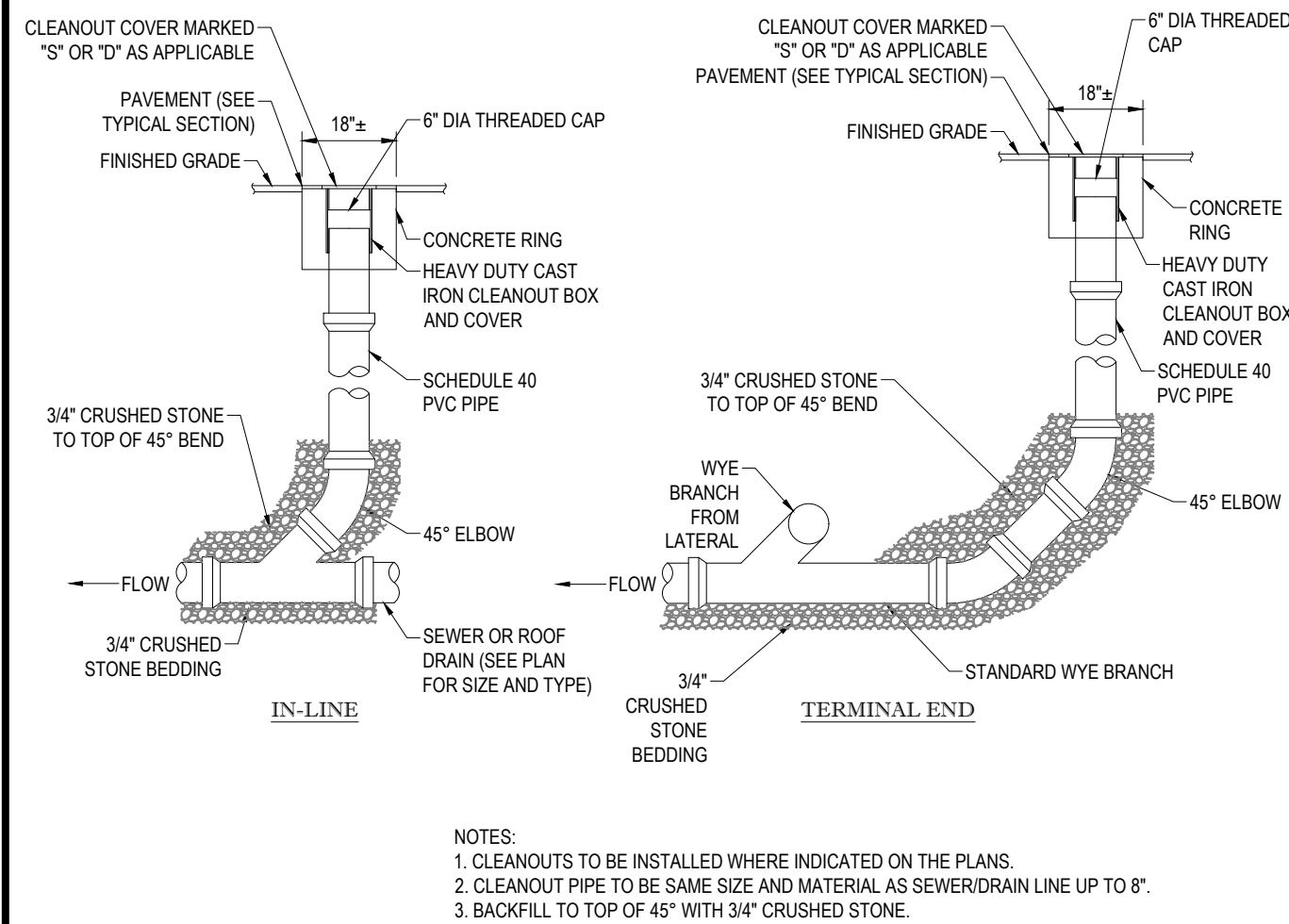
**1,500 GALLON GREASE TRAP DETAIL**

N.T.S.



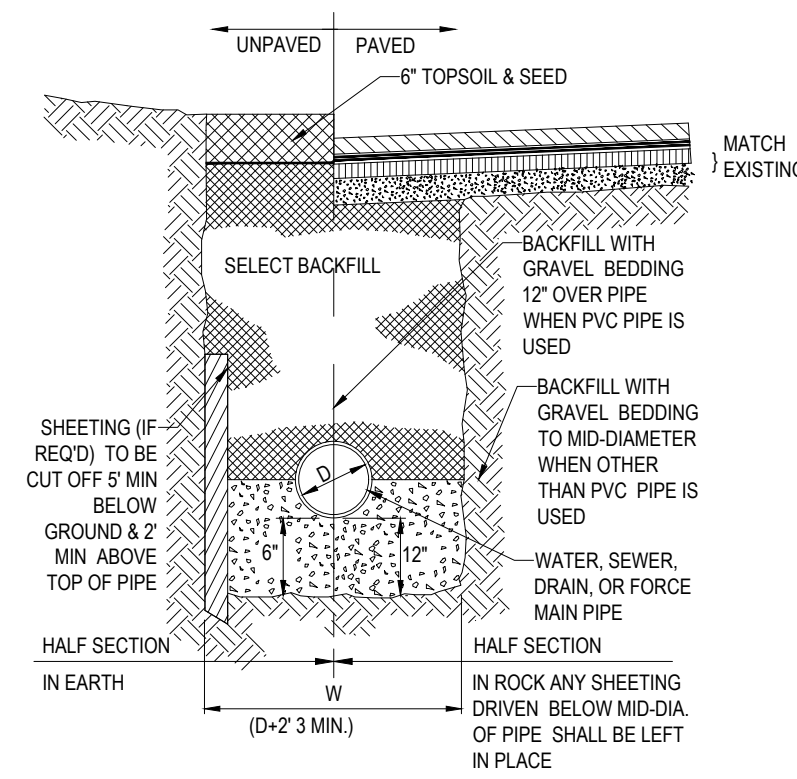
**PRECAST CONCRETE DEEP SUMP CATCH BASIN DETAIL**

N.T.S.



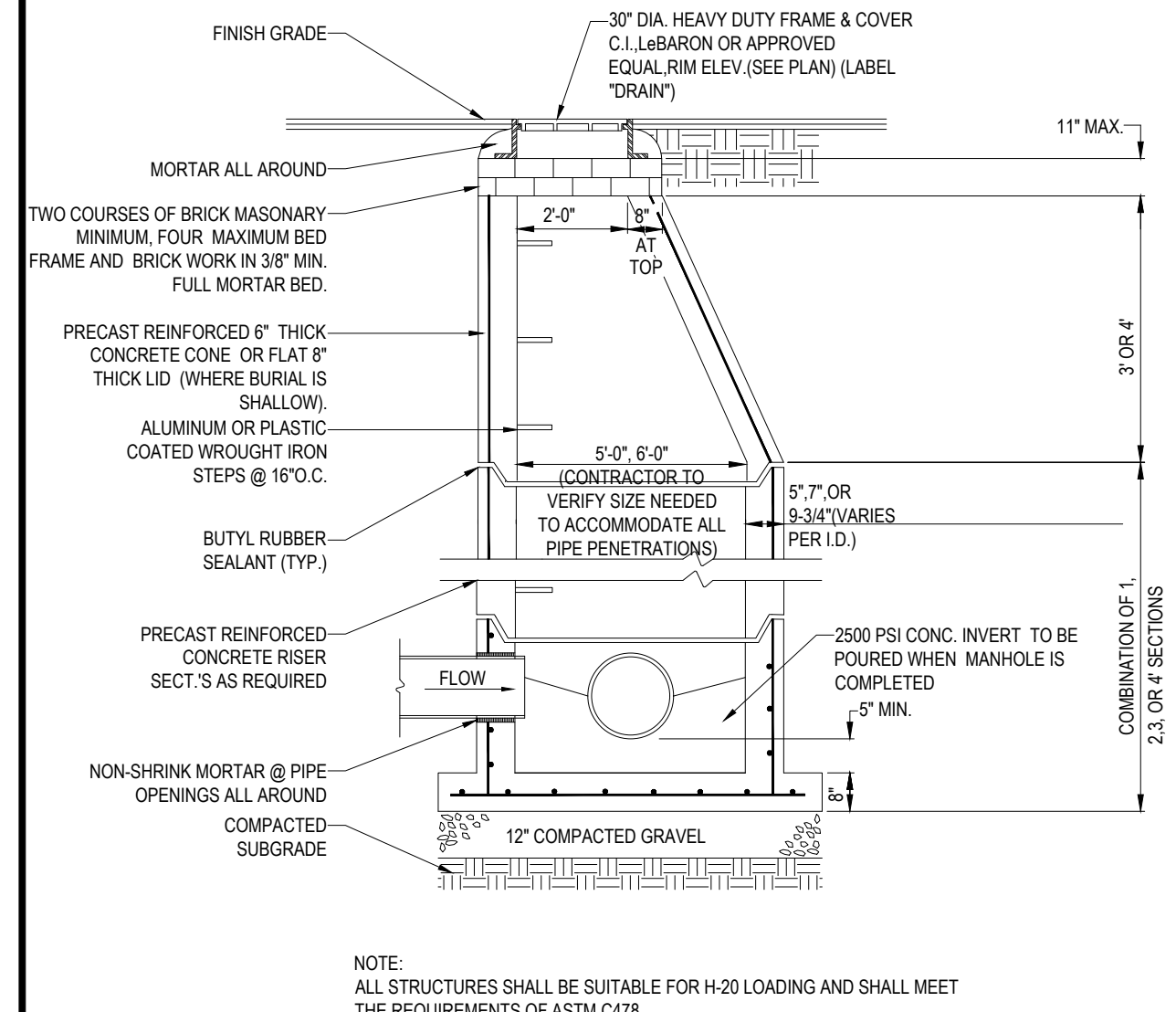
**CLEANOUT DETAIL**

N.T.S.



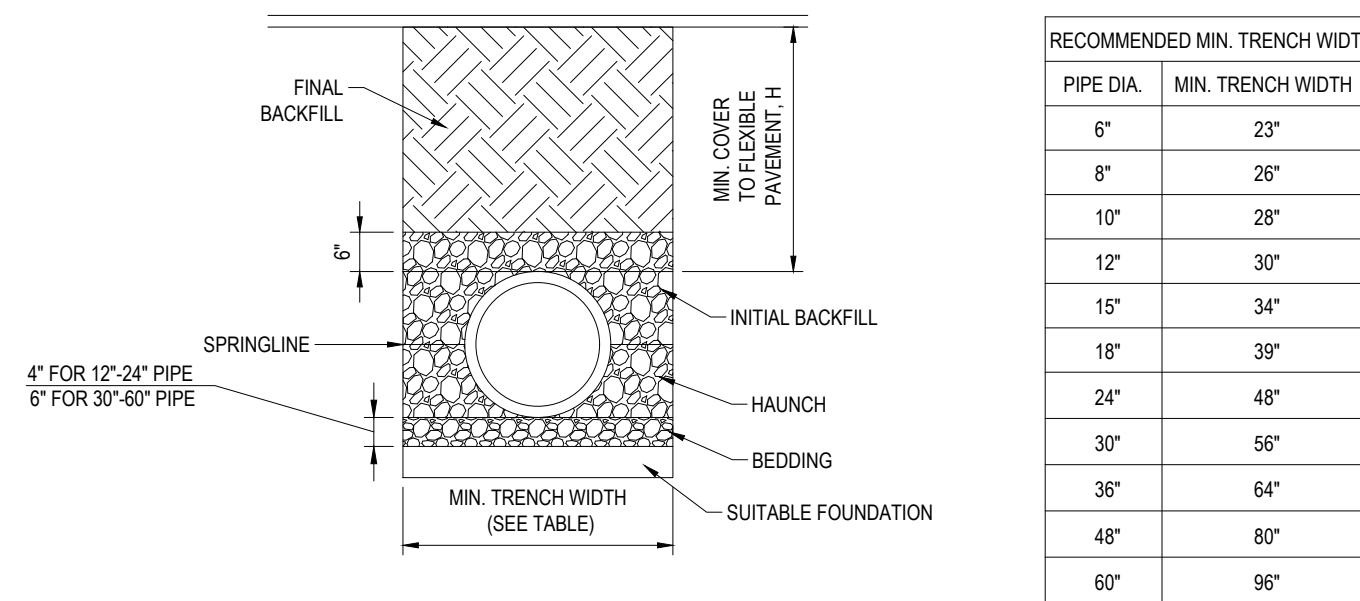
**TYPICAL UTILITY TRENCH**

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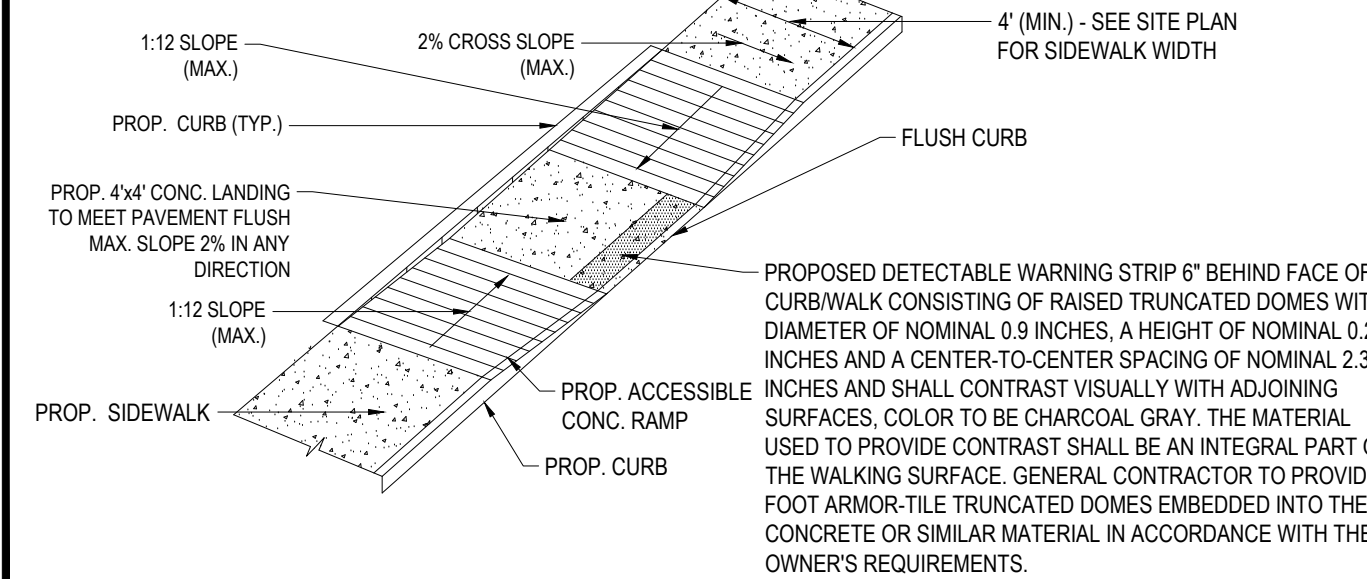
**TYP. PRECAST CONCRETE MANHOLE STORM DRAIN**

N.T.S.



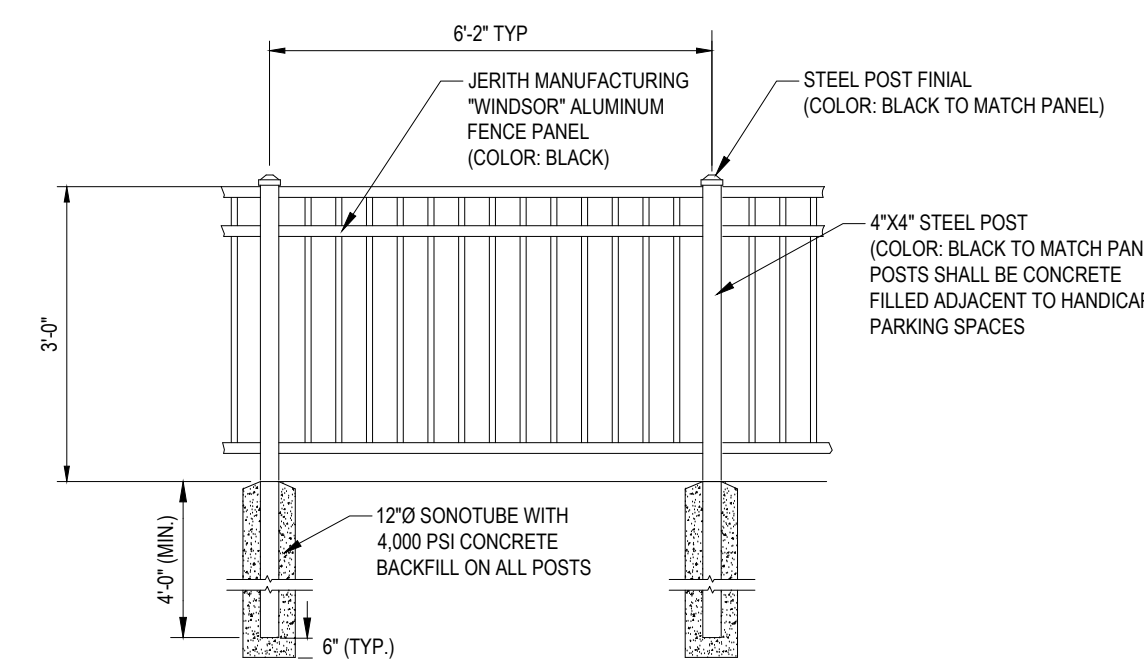
**HDPE STORMDRAIN TRENCH**

N.T.S.



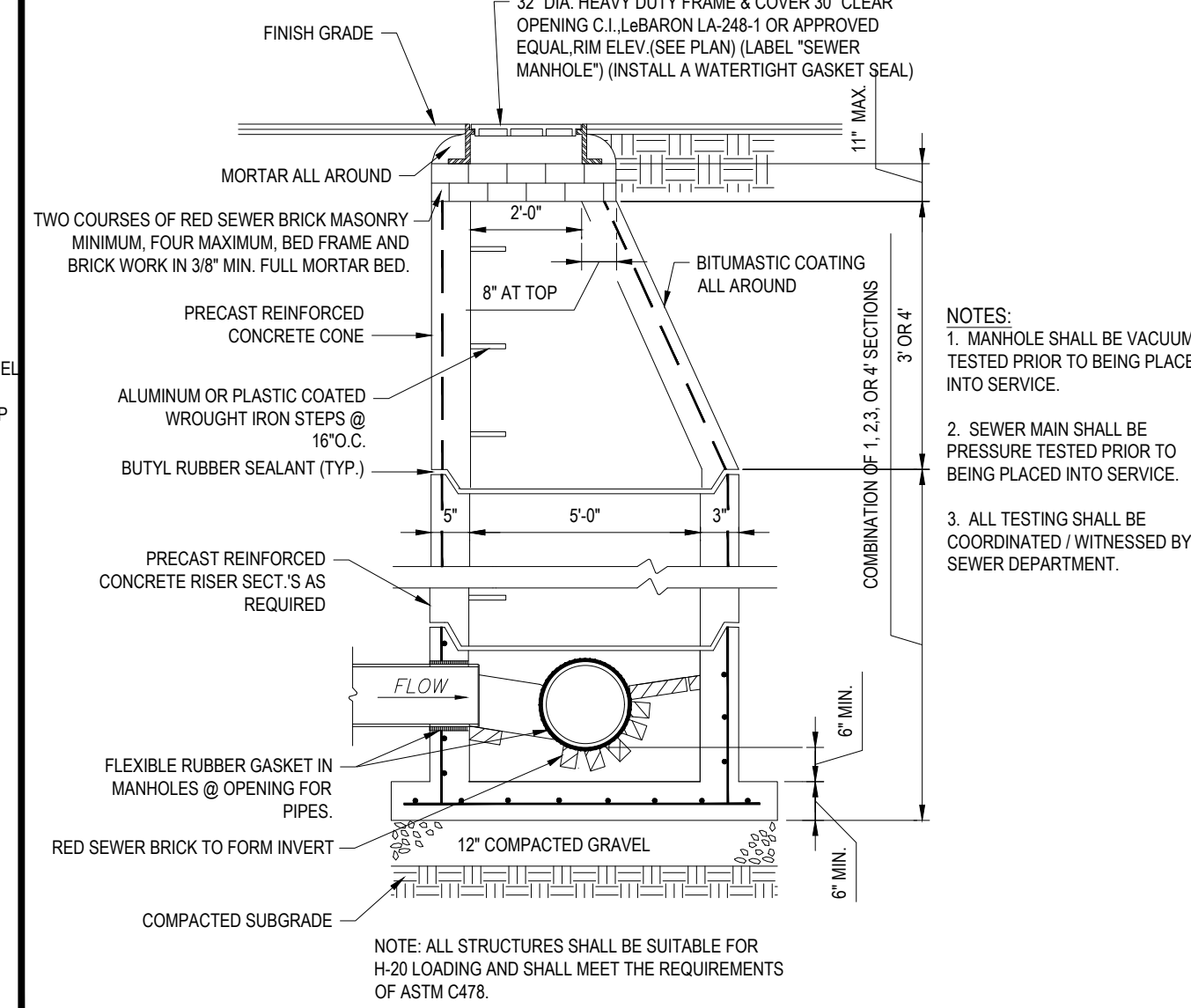
**ACCESSIBLE RAMP**

N.T.S.



**PATIO SEATING FENCE DETAIL**

N.T.S.



**TYP. PRECAST CONCRETE SANITARY MANHOLE**

N.T.S.

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PROJECT No.: W201298  
DRAWN BY: DJA  
CHECKED BY: MKB  
DATE: 02/11/2021  
CAD I.D.: W201298-CVL-0

**SITE DEVELOPMENT PLANS**

FOR

**BRIDGE33 CAPITAL**

PROPOSED COFFEE SHOP WITH DRIVE-THROUGH

MAP #44, LOT #6  
586 NASHUA STREET  
TOWN OF MILFORD  
HILLSBOROUGH COUNTY,  
NEW HAMPSHIRE

**BOHLER**

352 TURNPIKE ROAD  
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Phone: (508) 480-9900

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**J. K. KUCICH**

PROFESSIONAL ENGINEER

MAINE REG. NO. 14616  
CONTRACT REG. NO. 86177  
RHD REG. NO. 9618  
MAINE REG. NO. 12553

SHEET TITLE:  
**DETAIL SHEET**

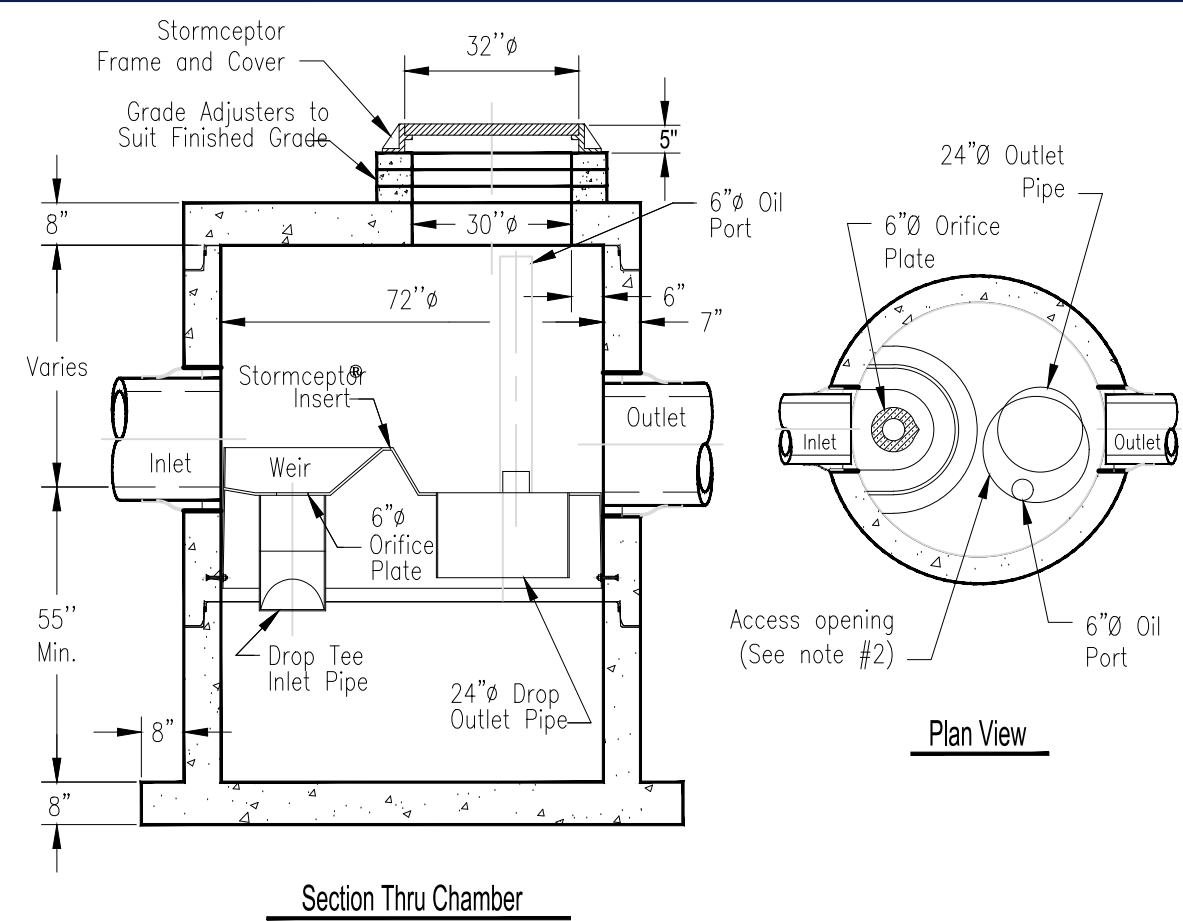
SHEET NUMBER:  
**C-902**

ORG. DATE - 02/11/2021

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- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
  3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725180, #5753115, #5849181, #6068765, #6371650.
  4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

**STORMCEPTOR STC 900**

N.T.S.



SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
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**PERMIT SET**  
 MKB

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W201298  
 DRAWN BY: DJA  
 CHECKED BY: MKB  
 DATE: 02/11/2021  
 CAD I.D.: W201298-CVL-0

PROJECT:

**SITE DEVELOPMENT PLANS**

FOR

**BRIDGE33 CAPITAL**

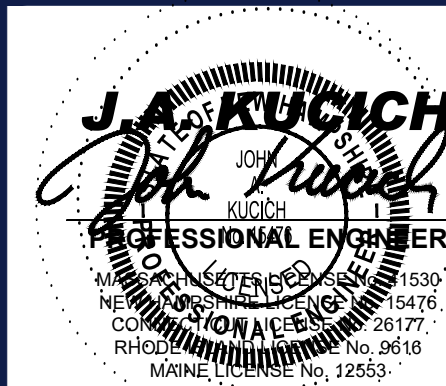
PROPOSED COFFEE SHOP WITH DRIVE-THROUGH

MAP #44, LOT #6  
 586 NASHUA STREET  
 TOWN OF MILFORD  
 HILLSBOROUGH COUNTY,  
 NEW HAMPSHIRE



352 TURNPIKE ROAD  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9900

www.BohlerEngineering.com



SHEET TITLE:

**DETAIL SHEET**

SHEET NUMBER:

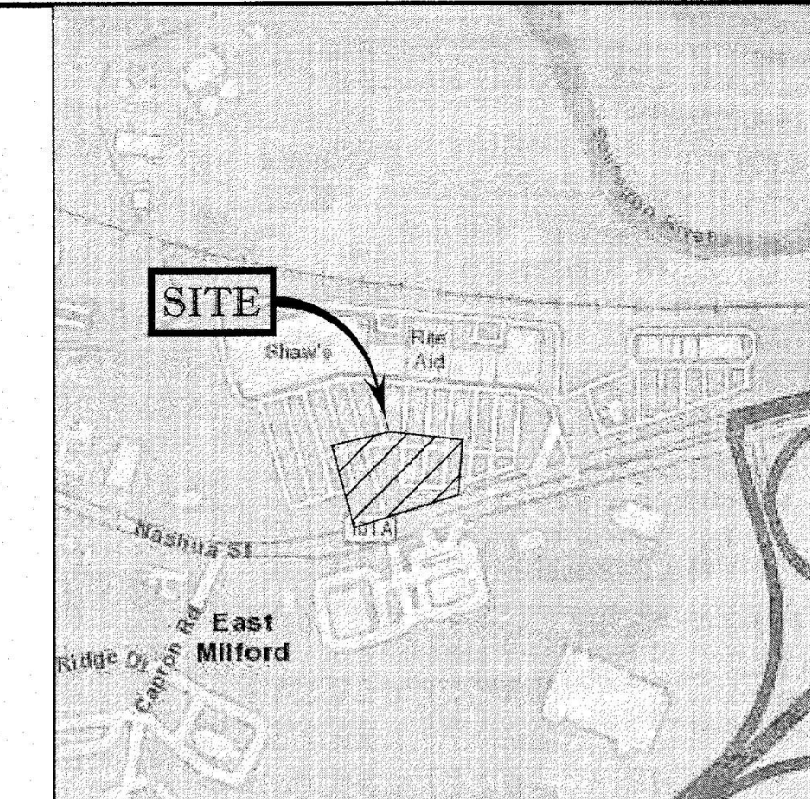
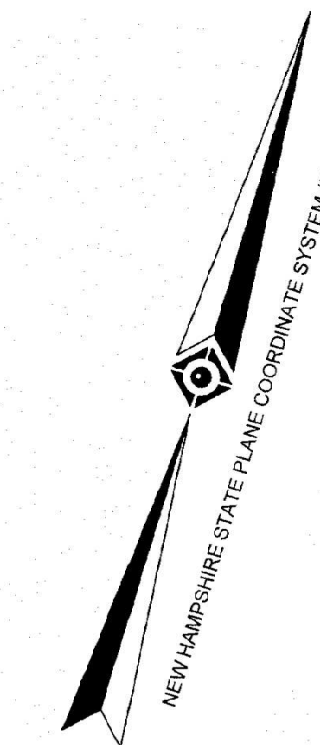
**C-903**

ORG. DATE - 02/11/2021



LEGEND

NHB NEW HAMPSHIRE HIGHWAY BOUND



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE

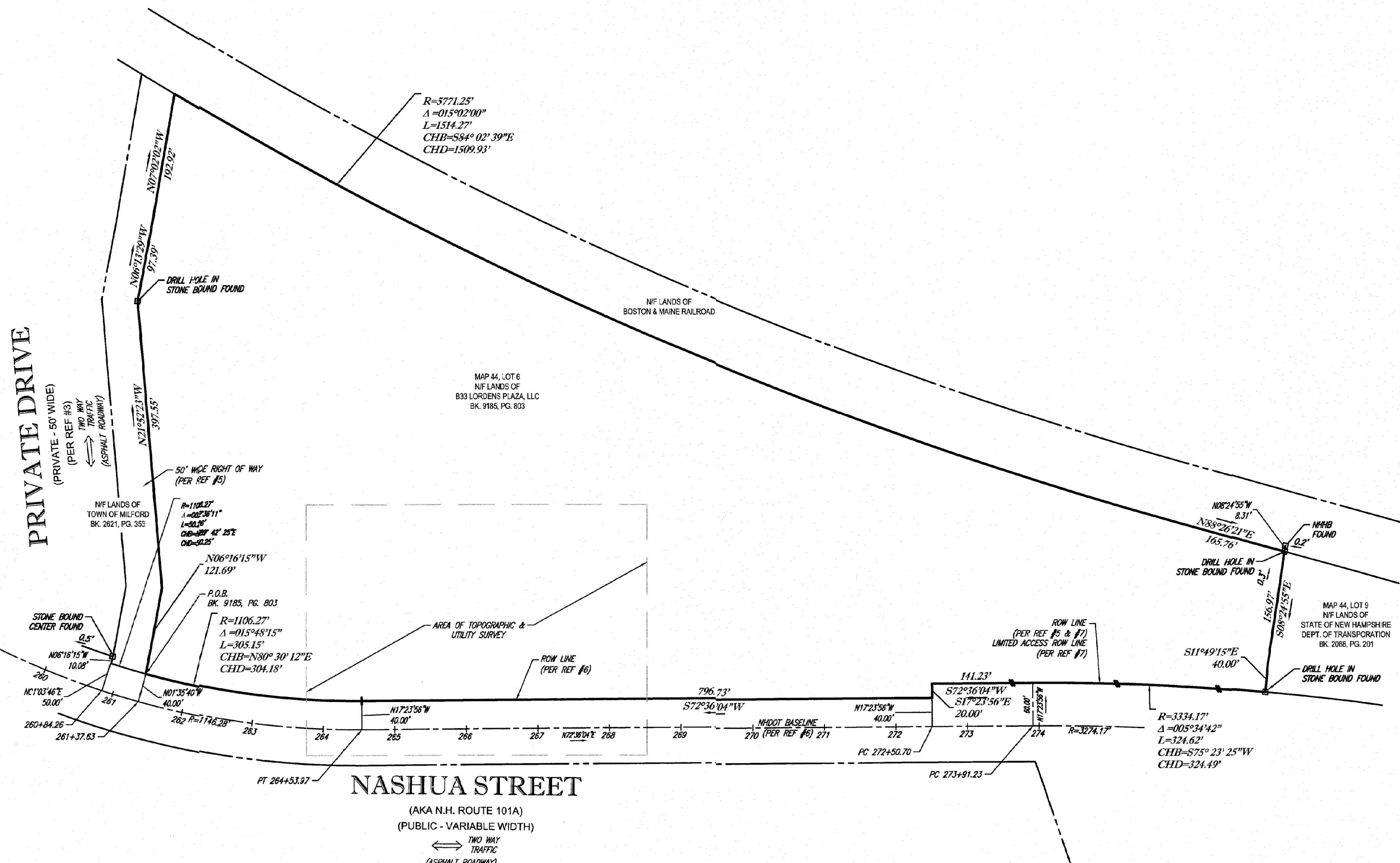
NOTES:

- PROPERTY KNOWN AS LOT 6 AS SHOWN ON THE GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE OF THE TOWN OF MILFORD, HILLSBOROUGH COUNTY, STATE OF NEW HAMPSHIRE, MAP NO. 44.
  - AREA = 752,706 SQUARE FEET OR 17.280 ACRES
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS), TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:  
TBM-A: MAG NAIL SET IN CONCRETE ISLAND. ELEVATION = 249.18'  
TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT. ELEVATION = 243.74'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
  - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

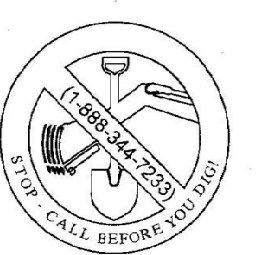
REFERENCES:

- THE GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE OF MILFORD, HILLSBOROUGH COUNTY, MAP NO. 44.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) PANEL 473 OF 701," MAP NUMBER 53011C425, MAP EFFECTIVE DATE: SEPTEMBER 25, 2009.
- MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR LORDENS PLAZA, NYS PROJECT NO. 201902877-001, 588 NASHUA STREET, MILFORD, NH 03055," PREPARED FOR BOOK & CLARK CORPORATION, AN NYS COMPANY, BY HOLDEN ENGINEERING & SURVEYING, INC., DATED AUGUST 14, 2019. THREE SHEETS.
- UNDERGROUND WATER FACILITY MAPPING PROVIDED BY MILFORD WATER UTILITIES.
- MAP ENTITLED "PERIMETER SURVEY, SHAW'S LORDEN PLAZA, MILFORD, N.H.," PREPARED BY KIMBALL CHASE COMPANY, INC., DATED JULY 13, 1987. RECORDED WITH THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #21521.
- MAP ENTITLED "PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT NO. F-FG 010-1(2), N.H. PROJECT NO. P-2419, SOUTH SIDE HIGHWAY," PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, DATED JANUARY 31, 1956. SHEETS 7 & 8 OF 115.
- MAP ENTITLED "PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, F 018 1(4), N.H. PROJECT NO. P-72598, CONTRACT NO. 1," PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, DATED AUGUST 12, 1970. SHEETS 83 OF 499.

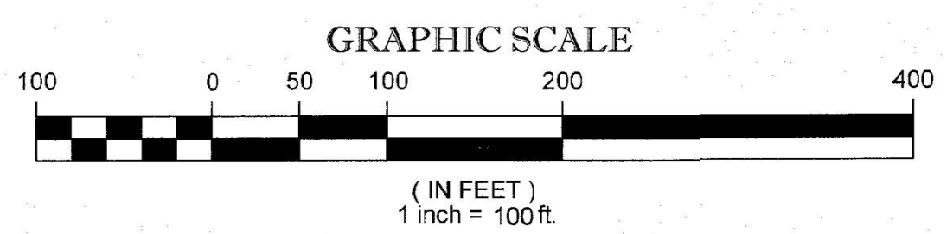
SEE SHEET 2 OF 2 FOR TOPOGRAPHY & SITE FEATURES



CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. REPRODUCTION OF THIS SURVEY OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

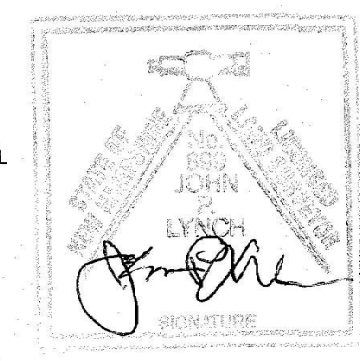


THE STATE OF NEW HAMPSHIRE REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.		FIELD DATE 12-4-2020	BOUNDARY & PARTIAL TOPOGRAPHIC, UTILITY SURVEY	
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.		FIELD BOOK NO 20-16 MA	BRIDGE33 CAPITAL	
		FIELD BOOK PG 51	586 NASHUA STREET	
		FIELD CREW S.B.H.	MAP 44, LOT 6	
		DRAWN R.J.K.	TOWN OF MILFORD, HILLSBOROUGH COUNTY	
		REVIEWED R.J.K.	STATE OF NEW HAMPSHIRE	
		APPROVED J.P.L.	DATE 12-22-2020	SCALE 1"=100'
			FILE NO 03-200348	DWG. NO 1 OF 2

**JOHN P. LYNCH**  
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #699



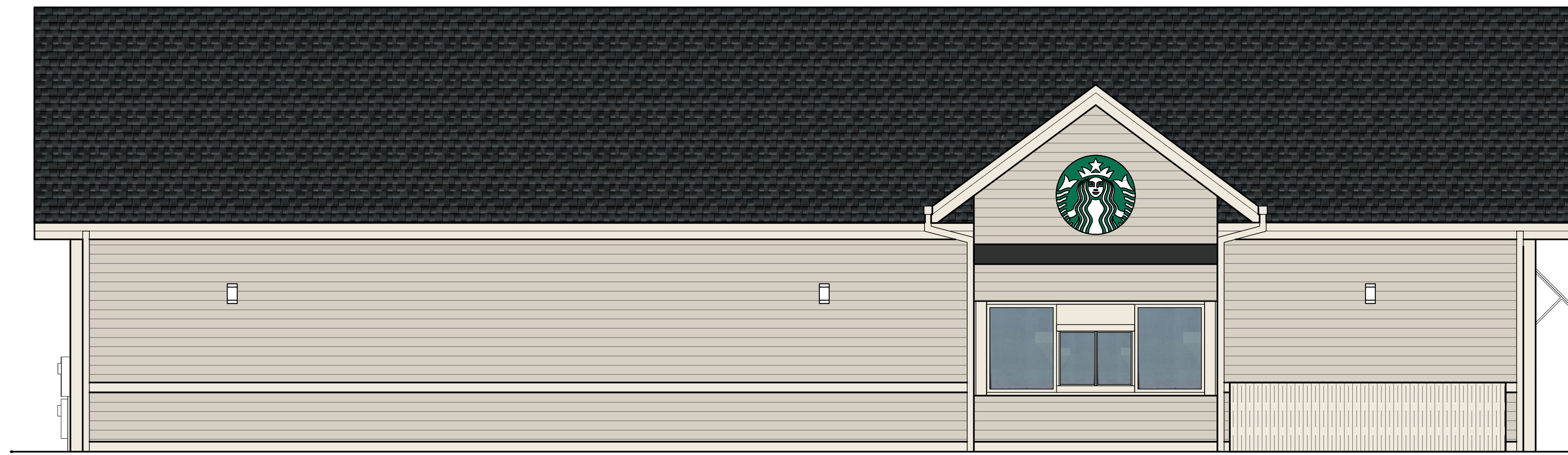
**CONTROL POINT ASSOCIATES, INC.**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
508.948.3000 • 508.948.3003 FAX

ALBANY, NY 518-217-5910  
CHALFONT, PA 215-712-3800  
HAUPPAUGE, NY 631-580-3845  
MANHATTAN, NY 646-780-0411  
MT LAUREL, NJ 609-857-2099  
WARREN, NJ 908-668-2099









ROOF  
22'-6"

ROOF  
18'-7"

FIN. FLOOR  
0'-0"

GAF ARCHITECTURAL SHINGLE ROOF  
TIMBERLINE ULTRA HD - COLOR: CHARCOAL

CLAPBOARDS. COLOR TO MATCH  
SW 7632 MODERN GRAY

2' GRID - COLOR TO MATCH  
SW 7036 ACCESSIBLE BEIGE

TRIMS, COLUMNS - COLOR TO MATCH  
SW 7002 DOWNY

FABRIC AWNING - SUNBRELLA  
COLOR: UNITY CHARCOAL

ROOF  
20'-2"



ROOF  
22'-6"

ROOF  
21'-10"

FIN. FLOOR  
0'-0"

ROOF  
22'-6"

ROOF  
21'-10"

FIN. FLOOR  
0'-0"

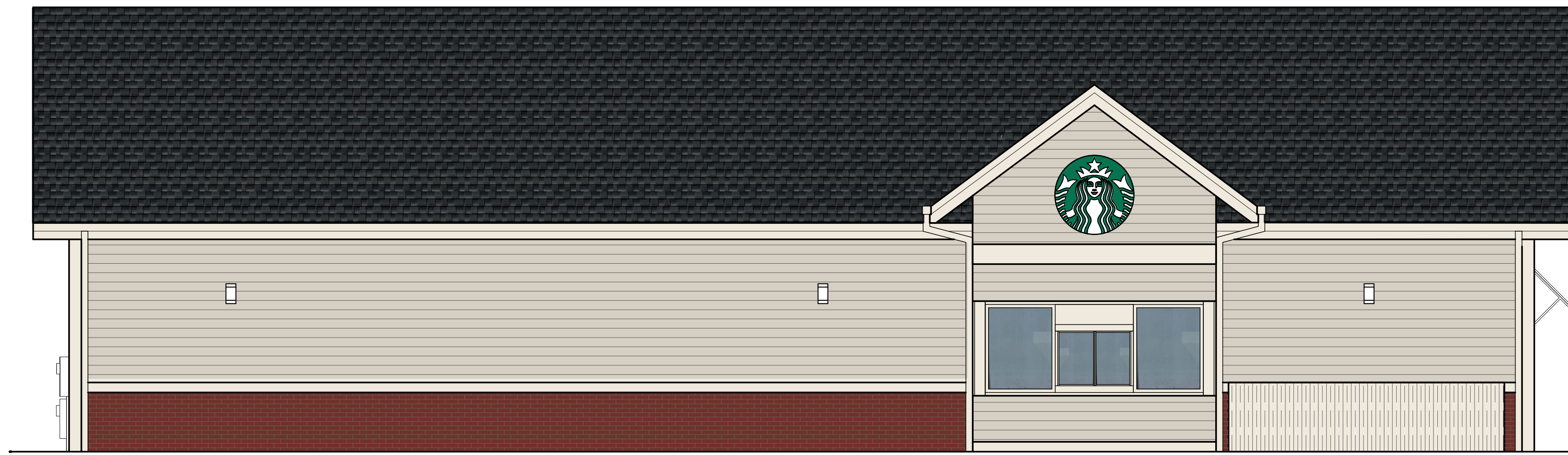


ROOF  
22'-6"

ROOF  
18'-7"

FIN. FLOOR  
0'-0"





ROOF 22'-6"

ROOF 18'-7"

FIN. FLOOR 0'-0"

GAF ARCHITECTURAL SHINGLE ROOF  
TIMBERLINE ULTRA HD - COLOR: CHARCOAL

CLAPBOARDS, COLOR TO MATCH  
SW 7632 MODERN GRAY

2' GRID - COLOR TO MATCH  
SW 7036 ACCESSIBLE BEIGE

BRICK - COLOR TO MATCH  
SW 7593 RUSTIC RED

TRIMS, COLUMNS - COLOR TO MATCH  
SW 7002 DOWNY

FABRIC AWNING - SUNBRELLA  
COLOR: UNITY CHARCOAL

ROOF 20'-2"



ROOF 22'-6"

ROOF 21'-10"

FIN. FLOOR 0'-0"

ROOF 22'-6"  
ROOF 21'-10"



FIN. FLOOR 0'-0"



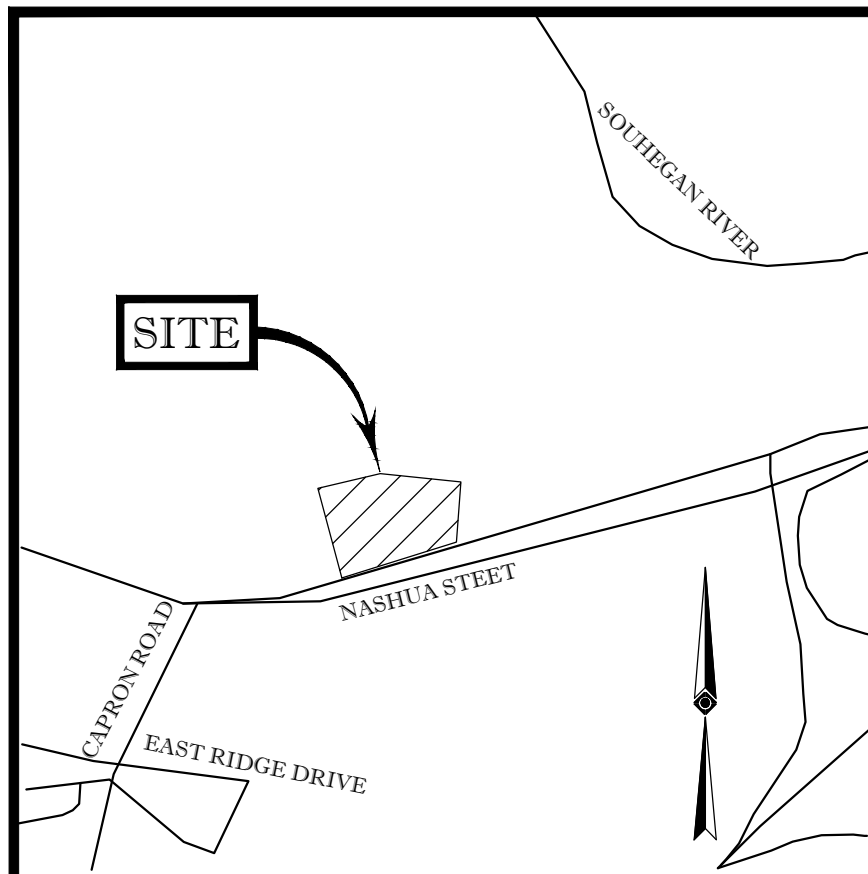
ROOF 22'-6"

ROOF 18'-7"

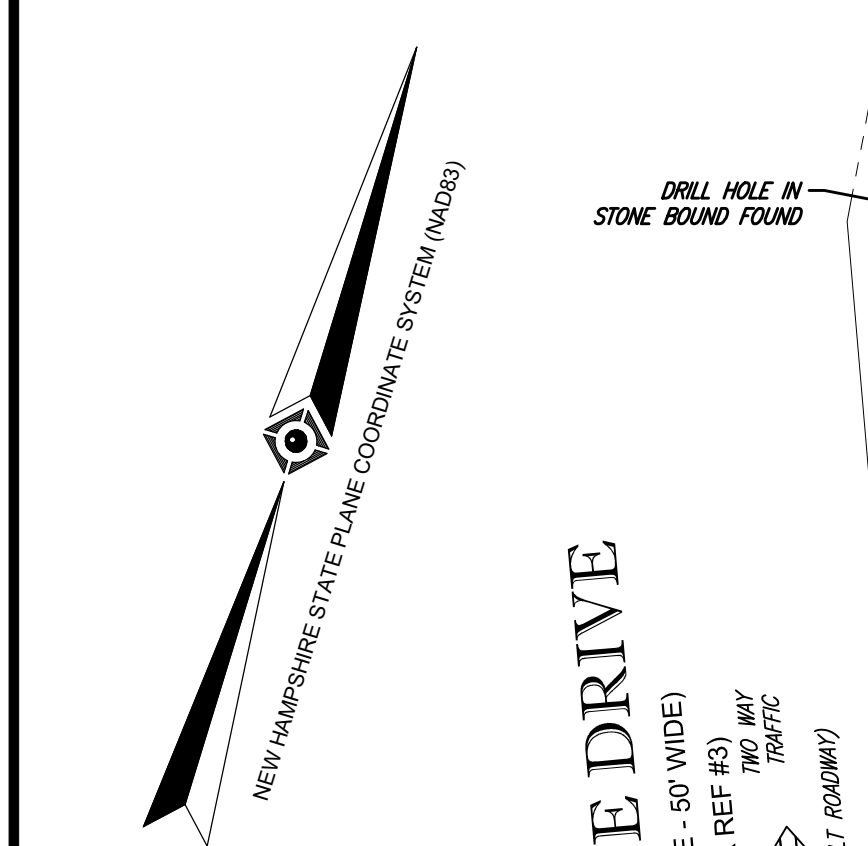
FIN. FLOOR 0'-0"

**LORDENS PLAZA  
STARBUCKS CAFE - SCHEME B**

MILFORD, NH  
MARCH 2, 2021



LOCUS MAP (NOT TO SCALE)

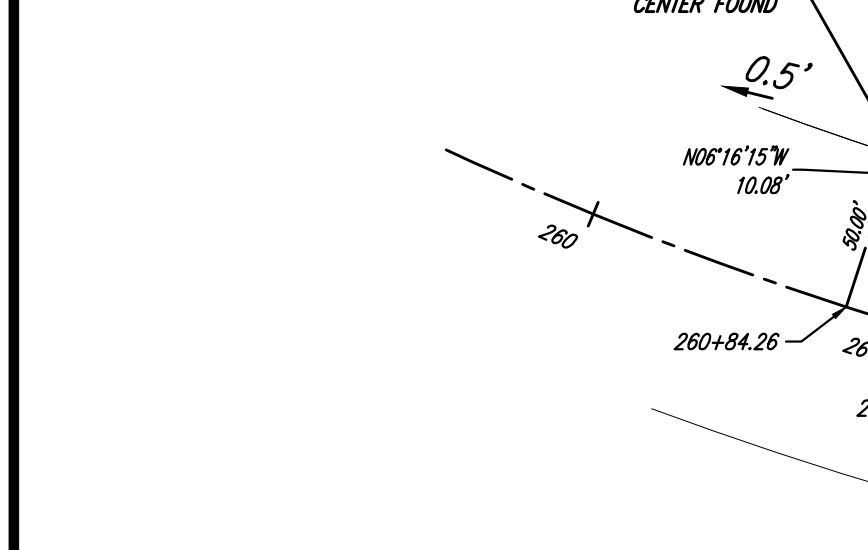


PRIVATE DRIVE  
(PRIVATE - 50' WIDE)  
(PER REF #3)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

ZONING INFORMATION  
COMMERCIAL 'C' DISTRICT  
SOURCE: TOWN OF MILFORD ZONING ORDINANCE

ITEMS	REQUIRED
MIN LOT AREA	20,000 SQ. FT.
MIN FRONTAGE	150 FT
MIN FRONT YARD	30 FT
MIN SIDE YARD	15 FT
MIN REAR YARD	15 FT
MAX BUILDING HEIGHT	40 FT

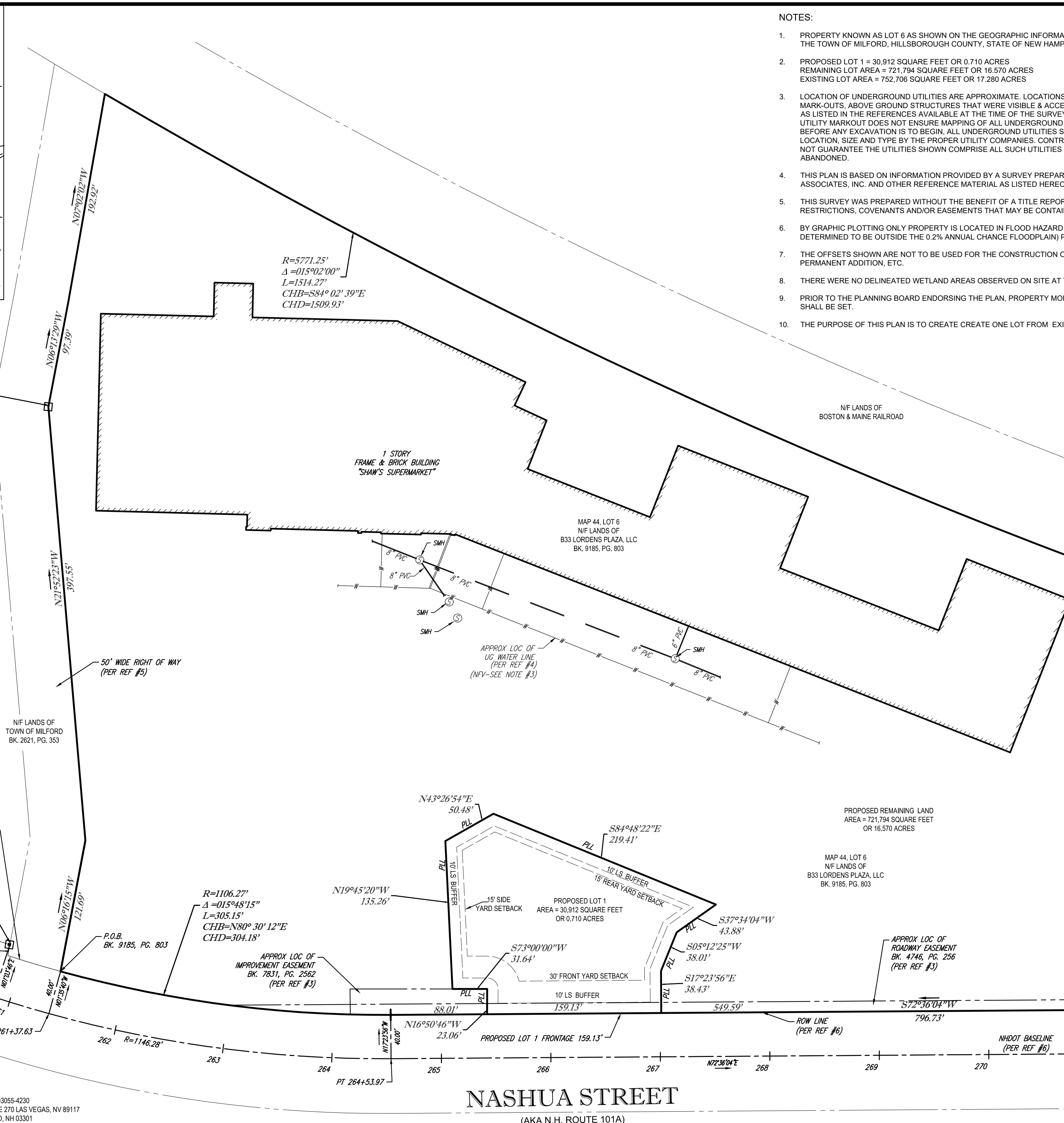
NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.



PROPERTY OWNER MAILING ADDRESSES  
 MAP 44 LOT 2 TOWN OF MILFORD UNION SQ MILFORD, NH 03055-4230  
 MAP 44 LOT 6 833 LORDEN PLAZA LLC 9330 W. SAHARA AVE SUITE 270 LAS VEGAS, NV 89117  
 MAP 44 LOT 9 NH STATE OF DOT-ROW 29 HAZEN DRIVE CONCORD, NH 03301

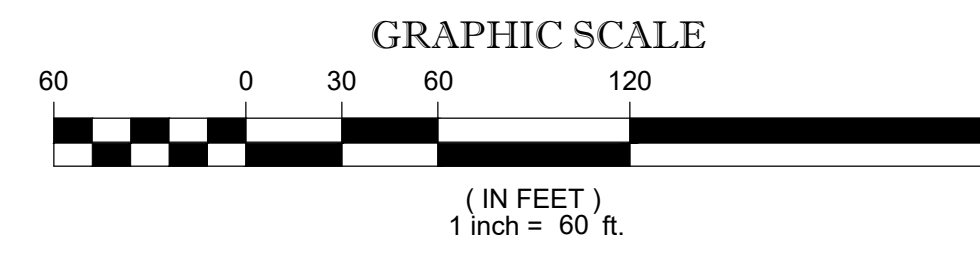
APPROVED BY THE MILFORD PLANNING BOARD

FOR USE OF REGISTER OF DEEDS



NASHUA STREET  
(AKA N.H. ROUTE 101A)  
(PUBLIC - VARIABLE WIDTH)  
TWO WAY TRAFFIC

PROPERTY OWNER  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



- NOTES:
- PROPERTY KNOWN AS LOT 6 AS SHOWN ON THE GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE OF THE TOWN OF MILFORD, HILLSBOROUGH COUNTY, STATE OF NEW HAMPSHIRE, MAP NO. 44.
  - PROPOSED LOT 1 = 30,912 SQUARE FEET OR 0.710 ACRES  
REMAINING LOT AREA = 721,794 SQUARE FEET OR 16.570 ACRES  
EXISTING LOT AREA = 752,706 SQUARE FEET OR 17.280 ACRES
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
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  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - THERE WERE NO DELINEATED WETLAND AREAS OBSERVED ON SITE AT THE TIME OF SURVEY.
  - PRIOR TO THE PLANNING BOARD ENDORSING THE PLAN, PROPERTY MONUMENTS FOR PROPOSED LOT 1 SHALL BE SET.
  - THE PURPOSE OF THIS PLAN IS TO CREATE ONE LOT FROM EXISTING MAP 44 LOT 6.

- REFERENCES:
- THE GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE OF MILFORD, HILLSBOROUGH COUNTY, MAP 44.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) PANEL 478 OF 701," MAP NUMBER 33011C0478D, MAP EFFECTIVE DATE: SEPTEMBER 25, 2009.
  - MAP ENTITLED "ALTA NPS LAND TITLE SURVEY FOR LORDENS PLAZA, NV5 PROJECT NO. 20190277-001, 586 NASHUA STREET, MILFORD, NH, 03005," PREPARED FOR BOCK & CLARK CORPORATION, AN NV5 COMPANY, BY HOLDEN ENGINEERING & SURVEYING, INC., DATED AUGUST 14, 2019. THREE SHEETS.
  - UNDERGROUND WATER FACILITY MAPPING PROVIDED BY MILFORD WATER UTILITIES.
  - MAP ENTITLED "PERIMETER SURVEY, SHAW'S LORDEN PLAZA, MILFORD, N.H.," PREPARED BY KIMBALL CHASE COMPANY, INC., DATED JULY 13, 1987. RECORDED WITH THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #21521.
  - MAP ENTITLED "PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT NO. F-FG 010-1(2), N.H. PROJECT NO. P-2419, SOUTH SIDE HIGHWAY," PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, DATED JANUARY 31, 1956. SHEETS 7 & 8 OF 116.
  - MAP ENTITLED "PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, F 018-1(4), N.H. PROJECT NO. P-7259B, CONTRACT NO. 1," PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, DATED AUGUST 12, 1970. SHEETS 83 OF 499.

FOR USE OF REGISTER OF DEEDS

LEGEND

	HYDRANT		SANITARY/SEWER MANHOLE
	WATER VALVE		CATCH BASIN OR INLET
	OVERHEAD WIRES		TREE & TRUNK SIZE
	APPROX. LOC. UNDERGROUND WATER LINE		PARKING SPACE COUNT
	UTILITY POLE		DEPRESSED CURB
	GUY WIRE		SOLID WHITE LINE
	TRAFFIC SIGNAL POLE		SOLID YELLOW LINE
	AREA LIGHT		DOUBLE YELLOW LINE
	SIGN		BUILDING
	PAINTED ARROWS		BUILDING FOOTPRINT AREA
	EDGE OF PAVEMENT		POLYVINYL CHLORIDE PIPE
	LANDSCAPED AREA		REINFORCED CONCRETE PIPE
	METAL COVER		PROPOSED LOT LINE
	TYPICAL		CONCRETE CURB
			GRANITE CURB
			LANDSCAPING BUFFER

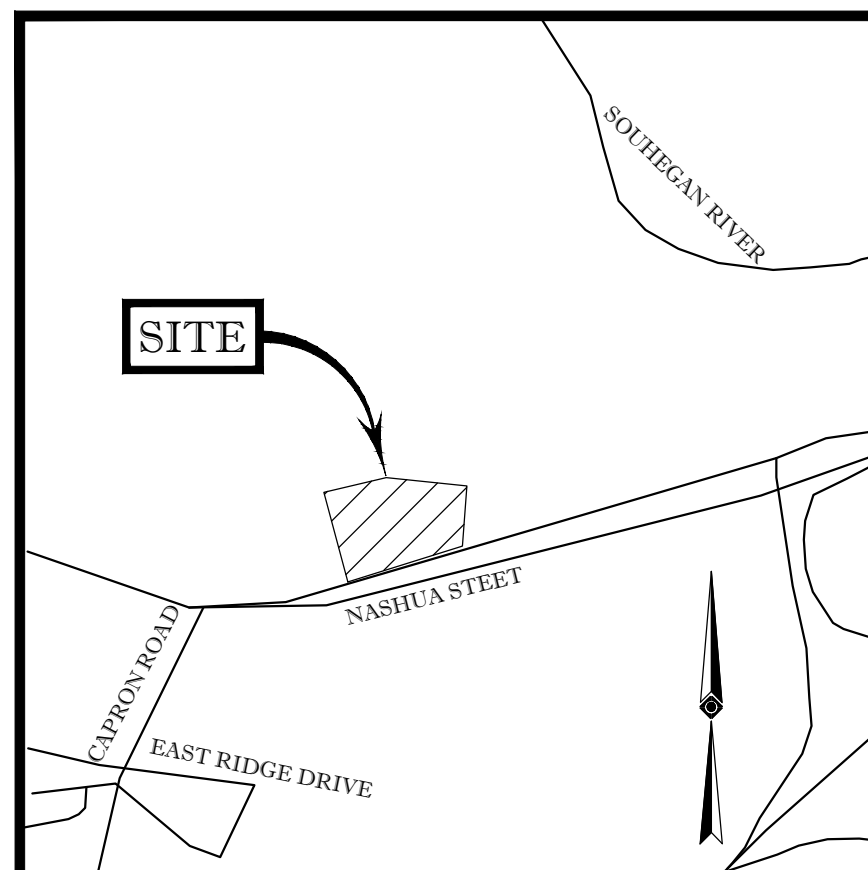
THIS IS TO CERTIFY THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND NO NEW STREETS OR WAYS ARE SHOWN.  
NOT A VALID ORIGINAL DOCUMENT UNLESS STAMPED WITH AN INK SEAL.

FIELD DATE	12-4-2020	SUBDIVISION PLAN
FIELD BOOK NO.	20-16 MA	<b>BRIDGE33 CAPITAL</b>
FIELD BOOK PG.	51	586 NASHUA STREET MAP 44, LOT 6 TOWN OF MILFORD, HILLSBOROUGH COUNTY STATE OF NEW HAMPSHIRE
FIELD CREW	S.B.H.	<b>CONTROL POINT ASSOCIATES, INC.</b>
DRAWN	R.J.K.	ALBANY, NY 518-217-5010 CHALFONT, PA 315-712-9800 HAUPPAUGE, NY 631-580-2645 MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0199
REVIEWED	J.P.L.	352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX
APPROVED	J.P.L.	DATE
DATE	2-12-21	SCALE
SCALE	1"=60'	FILE NO.
FILE NO.	03-200348	DWG. NO.
DWG. NO.	1 OF 2	

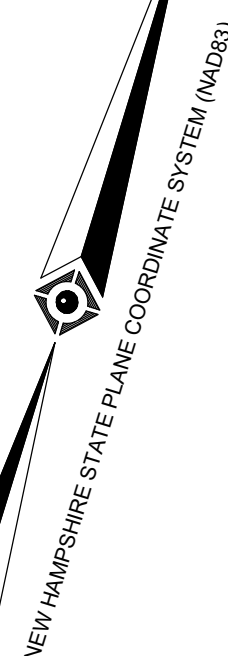
**JOHN P. LYNCH**  
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #899

DATE \_\_\_\_\_





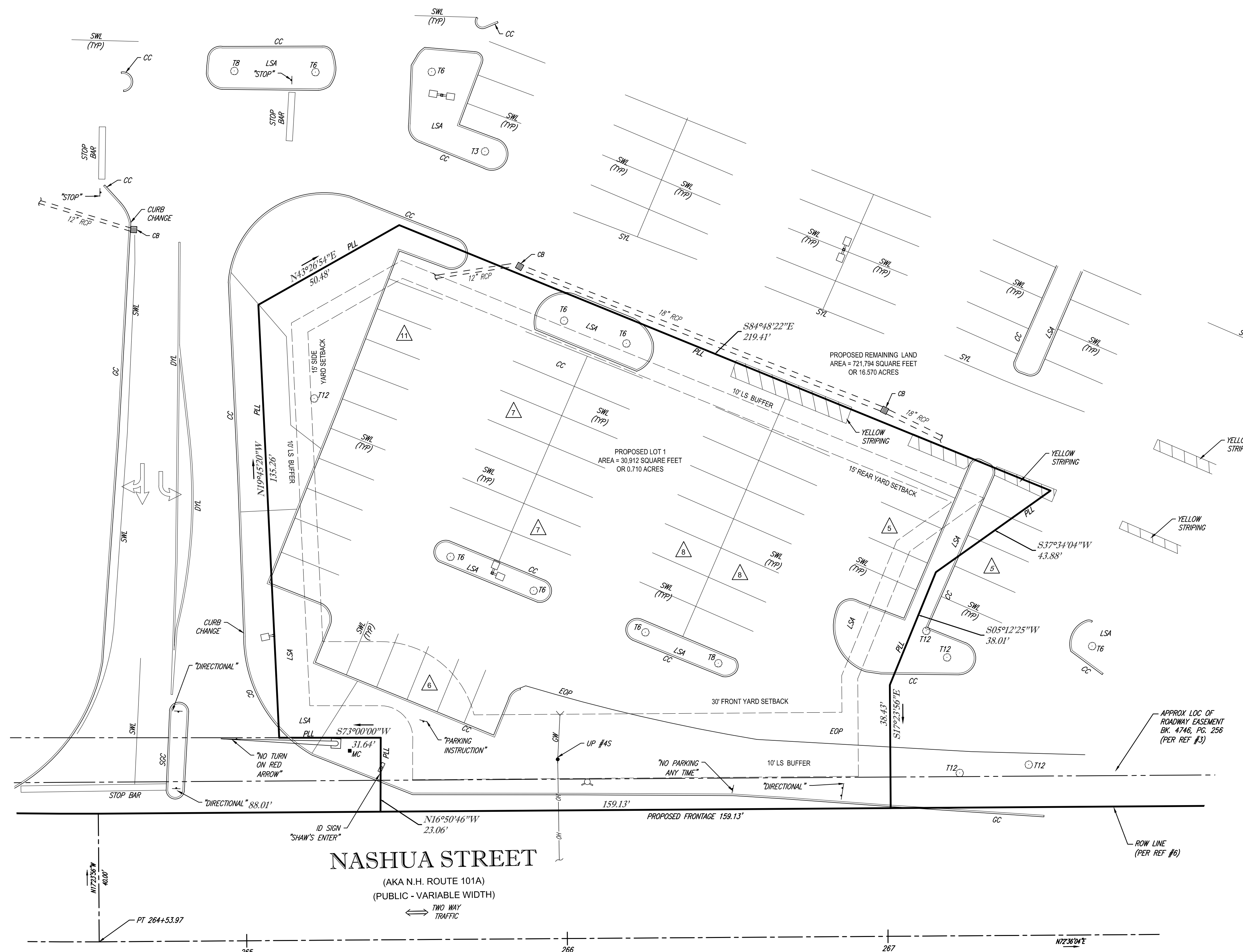
LOCUS MAP (NOT TO SCALE)



ZONING INFORMATION  
COMMERCIAL 'C' DISTRICT  
SOURCE: TOWN OF MILFORD ZONING ORDINANCE

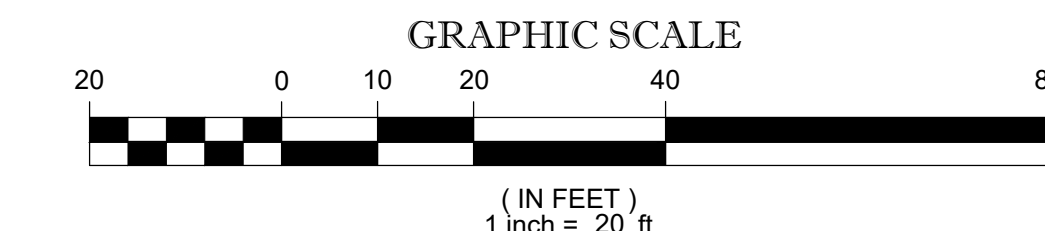
ITEMS	REQUIRED
MIN LOT AREA	20,000 SQ. FT.
MIN FRONTAGE	150 FT
MIN FRONT YARD	30 FT
MIN SIDE YARD	15 FT
MIN REAR YARD	15 FT
MAX BUILDING HEIGHT	40 FT

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.



LEGEND

	HYDRANT		SANITARY/SEWER MANHOLE
	WATER VALVE		CATCH BASIN OR INLET
	OVERHEAD WIRES		TREE & TRUNK SIZE
	APPROX. LOC. UNDERGROUND WATER LINE		PARKING SPACE COUNT
	UTILITY POLE		DEPRESSED CURB
	GUY WIRE		SWL SOLID WHITE LINE
	TRAFFIC SIGNAL POLE		SYL SOLID YELLOW LINE
	AREA LIGHT		DYL DOUBLE YELLOW LINE
	SIGN		BLDG BUILDING
	PAINTED ARROWS		BFPA BUILDING FOOTPRINT AREA
	EDGE OF PAVEMENT		PVC POLYVINYL CHLORIDE PIPE
	LANDSCAPED AREA		RCP REINFORCED CONCRETE PIPE
	METAL COVER		PLL PROPOSED LOT LINE
	(TYP)		CC CONCRETE CURB
			GC GRANITE CURB
			LS BUFFER LANDSCAPING BUFFER



OWNER  
B33 LORDEN PLAZA, LLC  
9330 W. SAHARA AVE SUITE 270  
LAS VEGAS, NV 89117  
APPLICANT  
B33 LORDENS PLAZA, LLC  
1109 1ST AVENUE SUITE 205  
SEATTLE, WA 98101

SEE SHEET 1 OF 2 FOR NOTES AND REFERENCES

PROPERTY OWNER MAILING ADDRESSES

MAP 44 LOT 2	TOWN OF MILFORD	1 UNION SQ MILFORD, NH 03055-4230
MAP 44 LOT 6	B33 LORDEN PLAZA LLC	9330 W. SAHARA AVE SUITE 270 LAS VEGAS, NV 89117
MAP 44 LOT 9	NH STATE OF DOT-ROW	29 HAZEN DRIVE CONCORD, NH 03301

APPROVED BY THE  
MILFORD PLANNING BOARD



THE STATE OF NEW HAMPSHIRE REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

PROPERTY OWNER  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

THIS IS TO CERTIFY THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND NO NEW STREETS OR WAYS ARE SHOWN.  
NOT A VALID ORIGINAL DOCUMENT UNLESS STAMPED WITH AN INK SEAL.

JOHN P. LYNCH  
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #899

DATE

FIELD DATE	12-4-2020	SUBDIVISION PLAN			
FIELD BOOK NO.	20-16 MA	BRIDGE33 CAPITAL			
FIELD BOOK PG.	51	586 NASHUA STREET			
FIELD CREW	S.B.H.	MAP 44, LOT 6			
DRAWN	R.J.K.	TOWN OF MILFORD, HILLSBOROUGH COUNTY			
REVIEWED	J.P.L.	STATE OF NEW HAMPSHIRE			
APPROVED	J.P.L.	DATE	2-12-21	SCALE	1"=20'
		FILE NO.	03-200348	DWG. NO.	2 OF 2

**Trip Generation Summary - Proposed Starbucks - Milford, NH**

Time Period

	Starbucks 2250	Pass-By Starbucks	New Trips
Weekday Morning Peak Hour			
Entering	102	-80	22
Exiting	98	-80	18
Total	200	-160	40
Weekday Evening Peak Hour			
Entering	49	-39	10
Exiting	49	-39	10
Total	98	-78	20
Saturday Midday Peak Hour			
Entering	99	-79	20
Exiting	99	-79	20
Total	198	-158	40
Weekday Daily	1,846	-1,476	370
Saturday Daily	1,820	-1,456	364

## **ANALYSIS RESULTS**

Level-of-service and vehicle queue analyses were conducted for 2021 Existing, 2022 and 2032 No-Build, and 2022 Opening-Year and 2032 Build peak-month conditions for the intersections within the study area. The results of the intersection capacity analyses are summarized in Table 5 with detailed analysis results presented in the Appendix.

The following is a summary of the level-of-service and vehicle queue analyses for the intersections within the study area.

### **Signalized Intersections**

#### **Nashua Street at Lorden Plaza Eastern Driveway and Ocean State Job Lot Plaza Driveway**

Under 2021 Existing, 2022 No-Build, and 2032 No-Build conditions, this signalized intersection operates at an overall LOS C during the weekday morning peak, weekday evening peak hour and Saturday midday peak hour. Under future 2022 Build and 2032 Build conditions this location is projected to operate at LOS D or better during all three time periods, with Project-related traffic increases resulting in increases to overall delays of approximately 2 seconds or less as compared to future No-Build conditions.

#### **Nashua Street at Lorden Plaza Western Driveway and Walgreens/Cumberland Farms Driveway**

Under 2021 Existing, 2022 No-Build, and 2032 No-Build conditions, the intersection operates at an overall LOS C during the weekday morning peak, weekday evening peak hour and Saturday midday peak hour. Under future 2022 Build and 2032 Build conditions this location is projected to continue to operate at LOS C during all three time periods, with Project-related traffic increases resulting in increases to overall delays of approximately 2 seconds or less as compared to future No-Build conditions.

**Trip Generation Summary - Proposed Starbucks - Milford, NH**

Time Period

	Starbucks 2250	Pass-By Starbucks	New Trips
Weekday Morning Peak Hour			
Entering	102	-80	22
Exiting	98	-80	18
Total	200	-160	40
Weekday Evening Peak Hour			
Entering	49	-39	10
Exiting	49	-39	10
Total	98	-78	20
Saturday Midday Peak Hour			
Entering	99	-79	20
Exiting	99	-79	20
Total	198	-158	40
Weekday Daily	1,846	-1,476	370
Saturday Daily	1,820	-1,456	364

## **ANALYSIS RESULTS**

Level-of-service and vehicle queue analyses were conducted for 2021 Existing, 2022 and 2032 No-Build, and 2022 Opening-Year and 2032 Build peak-month conditions for the intersections within the study area. The results of the intersection capacity analyses are summarized in Table 5 with detailed analysis results presented in the Appendix.

The following is a summary of the level-of-service and vehicle queue analyses for the intersections within the study area.

### **Signalized Intersections**

#### **Nashua Street at Lorden Plaza Eastern Driveway and Ocean State Job Lot Plaza Driveway**

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#### **Nashua Street at Lorden Plaza Western Driveway and Walgreens/Cumberland Farms Driveway**

Under 2021 Existing, 2022 No-Build, and 2032 No-Build conditions, the intersection operates at an overall LOS C during the weekday morning peak, weekday evening peak hour and Saturday midday peak hour. Under future 2022 Build and 2032 Build conditions this location is projected to continue to operate at LOS C during all three time periods, with Project-related traffic increases resulting in increases to overall delays of approximately 2 seconds or less as compared to future No-Build conditions.

## **CONCLUSIONS AND RECOMMENDATIONS**

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### **CONCLUSIONS**

VAI has completed a detailed assessment of the potential impacts on the transportation infrastructure associated with the construction of a Starbucks restaurant with a drive-through lane within the existing Lorden Plaza located off Nashua Street in Milford, New Hampshire. This study was conducted in consultation with the Town of Milford and NHDOT, and was performed in general accordance with NHDOT guidelines for the preparation of TISs, and the standards of the Traffic Engineering and Transportation Planning Professions for the preparation of such reports. The following specific areas have been evaluated as they relate to the Project: i) Project access requirements; ii) potential off-site improvements; and iii) safety considerations; under existing and future conditions, both with and without the Project.

As a result of this assessment, we have concluded the following with respect to the Project:

1. Using trip-generation statistics published by the ITE<sup>4</sup> for similar land uses as those proposed and applying the appropriate pass-by trip reductions, the Project is expected to generate approximately 40 new vehicle trips (22 entering and 18 exiting) during the weekday morning peak hour, approximately 20 new vehicle trips (10 entering and 10 exiting) during the weekday evening peak hour and approximately 40 new vehicle trips (20 entering and 20 exiting) during the Saturday midday peak hour. On a daily basis the Project is expected to generate 370 new trips (185 entering and 185 exiting) on a typical Saturday and 364 new trips (182 entering and 182 exiting) on a typical Saturday.
2. In general, the Project is not expected to have a significant impact on motorist delays or vehicle queuing at the study intersections over anticipated future conditions without the Project (No-Build conditions) with overall delays projected to increase by 2 seconds or less as compared to future No-Build conditions.
3. No notable safety deficiencies were identified in the vicinity of the site, with low crash history at the intersections that serve the site.

Based on the findings above, we have concluded that the Project is appropriately designed and located to afford safe and efficient access and circulation, and that the additional traffic associated

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<sup>4</sup>Ibid 3.



approximately 40 new vehicle trips (20 entering and 20 exiting) during the Saturday midday peak hour. On a daily basis the Project is expected to generate 370 new trips (185 entering and 185 exiting) on a typical weekday and 364 new trips (182 entering and 182 exiting) on a typical Saturday.

### **Trip Distribution and Assignment**

The directional distribution of generated trips to and from the Project site was determined based on a review of existing traffic patterns along the Nashua Street corridor during each time period under evaluation. Specifically, during the weekday morning peak hour approximately 60 percent of new site traffic is expected to arrive and depart from the west, with approximately 60 percent of new traffic arriving and departing to the east during the weekday evening peak hour. During the Saturday midday approximately 55 percent of traffic is expected to arrive and depart to the west. Based on these arrival and departure patterns, additional traffic expected to be generated by the Project was assigned on the study area roadway network as shown on Figure 6.

### **FUTURE TRAFFIC VOLUMES - BUILD CONDITION**

The 2022 Opening-Year Build and 2032 Build condition traffic-volumes were developed by adding the traffic expected to be generated by the Project to the 2022 Opening Year No-Build and 2032 No-Build conditions. The resulting 2022 Opening-Year Build condition weekday morning, weekday evening, and Saturday midday peak-month peak-hour traffic volumes are graphically depicted on Figure 7, with the corresponding 2032 Build condition peak-month peak-hour traffic volumes depicted on Figure 8.

A summary of peak-hour projected traffic-volume increases outside of the immediate study area that is the subject of this assessment are shown in Table 3. These volumes are based on the expected increases from the Project.

**Table 3**  
**PEAK-HOUR TRAFFIC-VOLUME INCREASES**

Location/Peak Hour	2021 Existing	No-Build (2022/2032)	Build (2022/2032)	Traffic-Volume Increase No-Build vs. Build (2022/2032)	Percent Increase No-Build vs. Build (2022/2032)
<i>Nashua Street at Lorden Plaza East Driveway:</i>					
Weekday Morning	1,476	1,497/1,617	1,512/1,632	26/26	1.0/0.9
Weekday Evening	2,047	2,071/2,197	2,083/2,209	17/17	0.6/0.5
Saturday Midday	1,923	1,945/2,060	1,963/2,078	33/33	0.9/0.9
<i>Nashua Street at Lorden Plaza West Driveway:</i>					
Weekday Morning	1,459	1,486/1,604	1,571/1,689	85/85	5.7/5.3
Weekday Evening	2,038	2,070/2,191	2,105/2,226	35/35	1.7/1.6
Saturday Midday	1,907	1,936/2,047	2,014/2,125	78/78	4.0/3.8