

TOWN OF MILFORD, NEW HAMPSHIRE OFFICE OF COMMUNITY DEVELOPMENT

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STAFF MEMO

Date: March 1, 2021

To: Town of Milford Planning Board

From: Jason Cleghorn, Town Planner

Subject: <u>SP2021-07</u> and <u>SD2021-05</u> B33 Lordens Plaza (applicants/owners), 586 Nashua St., Map 44, Lot 6. Public Hearing for the review of a major site plan related to the construction of a proposed 2,250 s.f. coffee shop with drive thru lane and a minor subdivision to create a 30,912 s.f. lot from the overall Lordens Plaza for the purposes of the construction on this pad site within the Commercial "C" zoning district.

BACKGROUND:

The applicant is before the Planning Board seeking approval of a major site plan related to the construction of a proposed 2,250 s.f. coffee shop with drive-thru lane; and a minor subdivision to create a 30,912 s.f. lot (6-2) from the overall Lordens Plaza for the purposes of the proposed construction on this pad site within the Commercial "C" zoning district.

ADDRESS:

586 Nashua St. (Lordens Plaza)

EXISTING USE:

The property is currently vacant and part of the overall Lordens Plaza parking field.

LOT AREA:

The overall property (the entire plaza) totals approximately 16.16 acres. The lot proposed as part of the minor subdivision would be 30,912 s.f. (0.71 ac).

APPLICATION STATUS:

The application is complete and ready to be accepted. The Board will need to make a determination of regional impact.

NOTICES:

Notices were sent to all property abutters on February 24, 2021.

ZONING DISTRICT/INFORMATION:

The subject property is within the Commercial "C" District: The intent of this District is to provide areas for those businesses, institutional, financial, governmental and compatible residential uses which constitute the commercial requirements of the Town.

Zoning Ordinance § 5.05.1 (C) permits restaurants as an Acceptable Use.

As it pertains to the minor subdivision, the 30,912 s.f. proposed lot exceeds the zoning ordinance's requirement of 20,000 s.f. and 150 feet of frontage.

EXISTING CONDITIONS:

The area in which this project would be constructed is located in an existing area of parking nearest the western driveway entrance to Lordens Plaza, and the adjacent signalized intersection within Nashua Street. The pad site is pushed forward

near the southern edge of the parcel which will have frontage along Nashua St. This project is a 0.70 acre portion of the overall 16.16 acre plaza.

TRAFFIC AND ACCESS MANAGEMENT:

The applicant's engineer provided a thorough Traffic Impact Assessment commiserate with current traffic engineering standards. The project is expected to generate approximately 370 total new trips per weekday and 364 on a typical Saturday, with around forty (40) of those trips being peak-hour trips.

Staff has some concern with the limited number of queuing space for vehicle storage onsite being limited to ten (10) vehicles. Observations elsewhere with comparable properties and uses have shown queuing far in excess of these amounts.

Additionally, staff is concerned about the limited space for the turning movement off of the access drive aisle and its short distance away from Nashua Street.

It should also be noted that the project's impact moves the Eastern Driveway at the plaza (not the driveway closest to the proposed construction) from LOS "C" to LOS "D", one level from considered failing, or LOS "F".

Trip Generation Summary - Proposed Starbucks - Milford, NH					
Time Period					
	Size	Starbucks 2250	Pass-By Starbucks	New Trips	
Weekday Morning Peak Hour					
Entering		102	-80	22	
Exiting		98	-80	18	
Total		200	-160	40	
Weekday Evening Peak Hour					
Entering		49	-39	10	
Exiting		49	-39	10	
Total		98	-78	20	
Saturday Midday Peak Hour					
Entering		99	-79	20	
Exiting		99	-79	20	
Total		198	-158	40	
Weekday Daily		1,846	-1,476	370	
Saturday Daily		1,820	-1,456	364	

Table 3 PEAK-HOUR TRAFFIC-VOLUME INCREASES

Location/Peak Hour	2021 Existing	No-Build (2022/2032)	Build (2022/2032)	Traffic-Volume Increase No-Build vs. Build (2022/2032)	Percent Increase No-Build vs. Build (2022/2032)
Nashua Street at Lorden					
Plaza East Driveway:					
Weekday Morning	1,476	1,497/1,617	1,512/1,632	26/26	1.0/0.9
Weekday Evening	2,047	2,071/2,197	2,083/2,209	17/17	0.6/0.5
Saturday Midday	1,923	1,945/2,060	1,963/2,078	33/33	0.9/0.9
Nashua Street at Lorden Plaza West Driveway:					
Weekday Morning	1,459	1,486/1,604	1,571/1,689	85/85	5.7/5.3
Weekday Evening	2,038	2,070/2,191	2,105/2,226	35/35	1.7/1.6
Saturday Midday	1,907	1,936/2,047	2,014/2,125	78/78	4.0/3.8

OPEN SPACE/LANDSCAPING:

The applicant's submittal for landscaping in all cases meets the town's requirements and the number of shrubs and trees exceed the town's requirements. The lot requires 30% open space and the project is providing 35%.

LANDSCAPE SCHEDULE									
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.				
SHADE TREES				•					
AROG	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3 1/2" CAL.	B+B				
GB	3	GINKGO BILOBA	MAIDENHAIR TREE GINKGO	2 1/2-3 1/2" CAL.	B+B				
GTIK	2	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE THORNLESS HONEYLOCUST	2 1/2-3 1/2" CAL.	8+B				
SUBTOTAL:	8								
EVERGREEN TREES									
TOE	18	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	6-7"	8+B				
SUBTOTAL:	18								
DECIDUOUS SHRUBS									
MP	11	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	30-36*	8+8				
SUBTOTAL: 11									
EVERGREEN SHRUBS									
PMM	PMM 24 PINUS MUGO MUGUS		DWARF MUGO PINE	24-30*	CONTAINER				
TMD	83	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B				
SUBTOTAL: 107									
ORNAMENTAL GRASSE	s								
CAKF	54	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	24" HT. MIN.	CONTAINER				
SUBTOTAL:	54								

DRAINAGE:

Although the project is not located within the 100-year flood plain as shown on the Flood Insurance Rate Map Number 330096, dated September 25, 2009. The town's stormwater engineer did not have any comments about the site plan's stormwater plan or drainage system.

PARKING:

The project plans to provide twenty (20) total spaces with one (1) space being handicapped (and van) accessible. A waiver has been requested from the requirement of thirty-eight (38) spaces for the amount of seats and employees.

LIGHTING PLAN:

The plan appears consistent with best management practices for light pollution at the property's boundary lines and the town's regulations.

BUILDING ELEVATIONS:

Staff supports the building as shown and believes the colors, roofline and general architectural 'feel' to strike a balance between corporate needs/templating and the goals of the town of Milford.

WAIVERS: (See discussion related to the waivers in the Staff Recommendation below)

The applicant has requested two (2) waivers as part of the major site plan. The first waiver regards a reduction in the required parking as required in <u>§6.05.4 Table of Off-Street Parking</u> which would require 38 spaces and the project plans to provide twenty (20 spaces). Given that the project will have shared parking agreements with the adjacent plaza, Staff supports this waiver/reduction. It is anticipated that much of this project will utilize the drive-thru and that the amount of parking provided will be sufficient.

The second waiver pertains to $\underline{\$6.08.7(A)}$ which requires a landscape strip ten (10) feet in width between paved area and abutting property lines or public ROW. The project will maintain this buffer along the Nashua St. (public ROW) frontage, but is asking to have the requirement waived to the new northern property line adjacent to the plaza's parking field. Staff believes that the landscaping in general as part of this project which exceeds the town's requirements makes up for this requirement being requested to be waived.

INTERDEPARTMENTAL REVIEWS:

Ambulance: No comments.

Assessing:

- 1. There are two additional existing buildings on this parcel. Shouldn't they be depicted on the plan?
- 2. Also, shouldn't the actual and proposed lot numbers be displayed on this plan? (existing lot ID is 44-6, not 6)
- 3. This is the 2nd "Minor subdivision" on this parcel in less than 2 months. First was the Bank building (St Mary's CU). At what point does it become a major subdivision, and might it behoove all parties to get one overall plan? Should the St. Mary's proposed subdivision be displayed on the plan?
- 4. Will there be enough parking spaces for all entities after subdivision for another business since this will result in reducing the available spaces for the existing businesses?

Building Department:

Conservation Commission:

Fire Department: No comments.

Heritage Commission:

Police Department: No comments.

Public Works:

- 1. Drainage ties into private property drainage? Is it ok? Easements for?
- 2. Easements for all utilities will be needed.
- 3. Should the concrete walkway extend to road edge for future sidewalk on that side?
- 4. No pavement thickness or gravels indicated
- 5. Road patch detail is not Town approved
- 6. Who holds a service contract for the Stormceptor? Who will monitor?

SoRLAC: N/A

Water Utilities:

Stormwater: No comments.

Zoning Administrator:

Planning Department:

- 1. <u>MINOR SUBDIVISION</u>: The new lot being created as part of SD2021-05 will be Map 44 Lot 6-2 as a new lot 6-1 was created (being created) for the St. Mary's Bank. The minor subdivision drawing prior to recording should be resubmitted showing this lot. Staff can coordinate with the applicant for the line work or to contact the engineer of record to receive this. All references on the subdivision plan drawings should be revised to refer to Lot 6-2, throughout.
- 2. <u>SITE PLAN</u>: Change all references as it pertains to this project from Proposed Lot 6-1 to Proposed Lot 6-2 throughout.
- 3. <u>SITE PLAN</u>: There was discussion at the Planning Board's conceptual review about pedestrian connections to the north (the parking area as part of the Lordens Plaza). Staff supports this connection and the plan should be revised to extend the sidewalk at the side of the building or at a minimum, provide striping designating a pedestrian path as was discussed at the aforementioned conceptual hearing.
- 4. <u>SITE PLAN</u>: Table 1 of the *Traffic Impact Assessment* omits the Saturday midday peak-month volumes referred to in subscript letter d.
- 5. <u>SITE PLAN</u>: Staff remains concerned about the relative lack of queuing space (ten (10) vehicles). Analysis provided by a traffic engineer on the town's zoning board of administration shows that based on *Kendall's Notation on the Mathematical Theory of Probability* and *Andrey Markov's Queue Theory*, up to eighteen (18) vehicles may be

queuing at the 95th percentile. Given the short distances involved between the site's entrance off of the entrance drive aisle and Nashua St., this is problematic. Staff has observed other locations in the general area with many more than ten (10) vehicles queuing.

- 6. <u>SITE PLAN</u>: Has the applicant applied for an amended NHDOT access permit?
- 7. <u>SITE PLAN</u>: The exit only driveway at the NW corner of the new lot warrants a site distance evaluation because of the turning movement there into the internal roadway system of the plaza.
- 8. <u>SITE PLAN</u>: Staff is slightly concerned that the project's impact will result in the Eastern Driveway of the Lordens Plaza changing from <u>LOS C to LOS D</u> under the 2022 Build volumes. There should be additional analysis done in coordination with NHDOT on whether any changes to the signalization at this intersection are warranted.
- 9. <u>SITE PLAN</u>: There was nothing included within the site plan regarding potential signage. There was discussion at the conceptual meeting regarding signage but nothing was shown here.

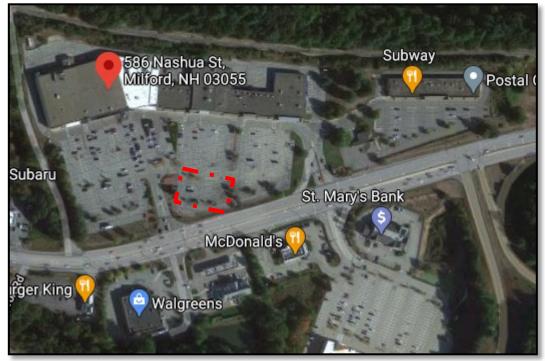
Comments and recommendations provide an overview of areas needed to be addressed at the Public Hearing or shown as part of the application:

STAFF RECOMMENDATIONS:

The applicant should be prepared to address all of the comments raised by the Planning Board, Conservation Commission, Town Consultants, Staff, and public pertaining to the Subdivision Plan and Major Site Plan.. <u>Due to a</u> noticing issue related to the waivers not being individually noticed, the Planning Board will not be able to take action on the two requested waivers at the 3-16 Planning Board Meeting. Hence, the item will need to be re-advertised listing the waivers, and completed at the 4-20-21 Planning Board Meeting. Staff feels comfortable having the initial discussion at the 3-16 Meeting, which will allow the applicant to get input and direction from the initial meeting.

Additionally, because of the complexities of the Traffic Impact Analysis, Staff is requesting Planning Board input on whether it would prefer that Staff seek the input of a 3rd party engineering firm to assist the Community Development Department in its review.

Aerial of 586 Nashua Street, Map 44 Lot 6.



Existing Conditions at the frontage along Nashua St. looking north.

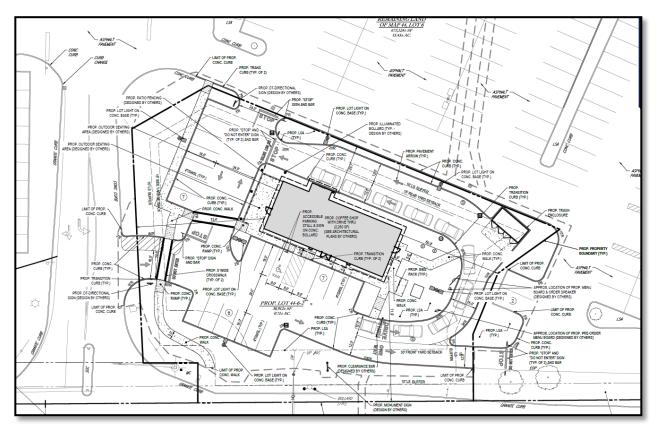


Existing conditions looking south from the western driveway access



The general area of the plaza parking lot (proposed Lot 6-2) in which the project is located (looking south).

Site Plan Sheet showing the access drive aisle, the proposed building and the queuing for ten vehicles



Building Elevations (two options)





PROPOSED SITE PLAN DOCUMENTS

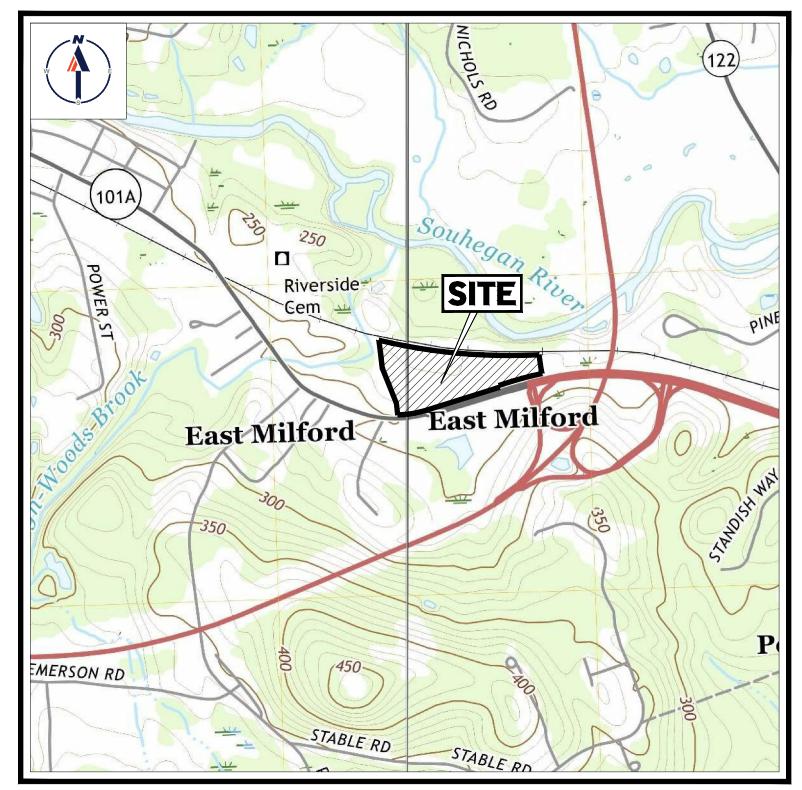
TOWN OF MILFORD PLANNING BOARD

SIGNATURE	DATE
SIGNATURE	DATE

PROPERTY OWNER

DATE

SIGNATURE

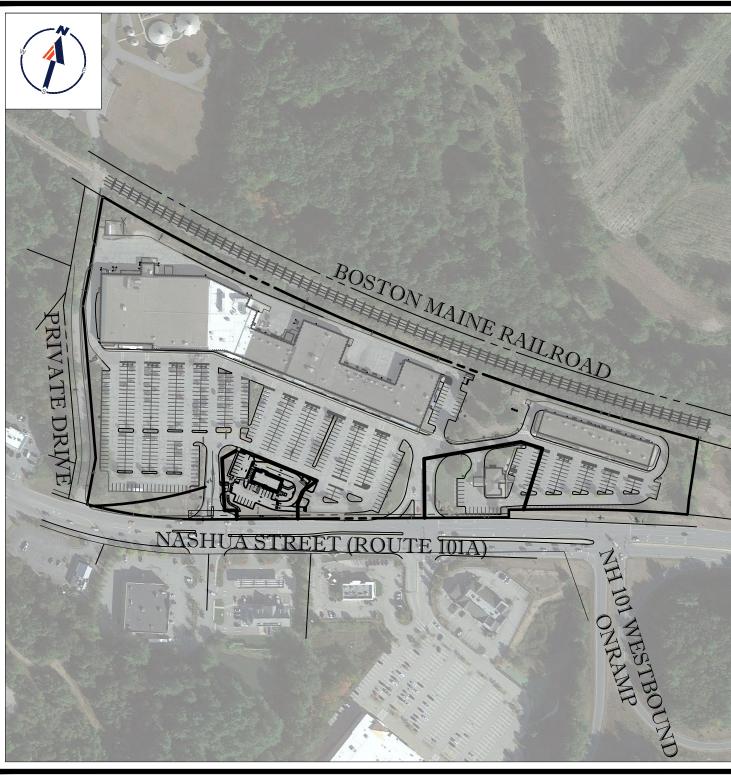


USGS MAP SCALE: 1" = 1,000' SOURCE: MILFORD AND SOUTH MERRIMACK NEW HAMPSHIRE USGS QUADRANGLE

BRIDGE33 CAPITAL

- FOR _____

PROPOSED **COFFEE SHOP WITH DRIVE-THROUGH** LOCATION OF SITE: **586 NASHUA STREET, TOWN OF MILFORD** HILLSBOROUGH COUNTY, NEW HAMPSHIRE MAP #44, LOT #6



SITE MAP SCALE: 1" = 250'



DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
OVERALL SITE LAYOUT PLAN	C-301
SITE LAYOUT PLAN	C-302
GRADING AND DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
OVERALL UTILITY PLAN & PROFILE	C-502
EROSION AND SEDIMENT CONTROL PLAN	C-601
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES AND DETAILS	C-702
LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
BOUNDARY & PARTIAL TOPOGRAPHIC, UTILITY SURVEY (BY OTHERS)	2 SHEETS

WAIVER REQUESTS:

THE FOLLOWING WAIVERS ARE REQUESTED FROM THE TOWN OF MILFORD DEVELOPMENT REGULATIONS:

6.05.4 - TABLE OF OFF-STREET PARKIN

REQUIRED: "RESTAURANTS: FAST FOOD" USE REQUIRES 0.6 SPACES PER SEAT PLUS 1 SPACE PER EMPLOYEE, OR A TOTAL OF THIRTY-EIGHT (38) REQUIRED PARKING SPACES FOR THE PROPOSED COFFEE SHOP WITH FIFTY (50) INTERIOR SEATS AND UP TO FIGHT (8) EMPLOYEES

REQUESTED. TWENTY (20) PARKING SPACES ARE PROPOSED FOR THE COFFEE SHOP ON THE PROPOSED LOT TO BE CREATED FOR SAME. THE PROPOSED COFFEE SHOP IS LOCATED WITHIN LORDENS PLAZA AND WILL HAVE RIGHTS TO ARKING AND ACCESS WITHIN SAME. OVERALL, LORDENS PLAZA IS PROPOSED CONTAIN PARKING IN EXCESS OF THAT REQUIRED FOR ALL USES ON-SITE. PLEASE REFER TO THE OVERALL SITE PLAN AND SITE PLAN WITHIN THE PROPOSED SITE PLAN DOCUMENTS FOR DETAILED PARKING CALCULATIONS FOR ORDENS PLAZA.

6.08.7 (A) - LANDSCAPING PARKING LOTS AND ACCESS WAYS

REQUIRED: A LANDSCAPED STRIP AT LEAST TEN (10) FEET IN WIDTH SHALL BE LOCATED BETWEEN THE PAVED AREAS AND THE ABUTTING PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.

REQUESTED: RELIEF FROM THE LANDSCAPE BUFFER REQUIREMENTS FOR PROPOSED INTERIOR PROPERTY BOUNDARIES ASSOCIATED WITH LORDENS PLAZA, WITH A LANDSCAPE BUFFER PROVIDED ALONG NASHUA STREET. THE PROJECT PROPOSES INCREASE LANDSCAPED AREA WITHIN THE AREA OF THE PROPOSED DEVELOPMENT AND INCREASE THE EXISTING LANDSCAPE BUFFER TO NASHUA STREET.

TOWN OF MILFORD NOTES:

- 1. THE PURPOSE OF THIS PLAN IS TO REFLECT THE PROPOSED SITE DEVELOPMENT AT THE SUBJECT PROPERTY FOR SUBMISSION TO THE TOWN OF MILFORD PLANNING BOARD.
- AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A
- WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- 4. OPEN SPACE CALCULATIONS: 35.1% (10,850± SF TOTAL AREA)

CERTIFICATE OF OCCUPANCY BEING ISSUED.

- 5. THE PROJECT IS SUBJECT TO POLICE IMPACT FEES IN ACCORDANCE WITH THE TOWN OF MILFORD.
- 6. THE PROJECT AREA IS NOT LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.
- 7. NO WETLANDS HAVE BEEN IDENTIFIED ON THE SUBJECT PROPERTY.

REFERENCE PLANS

THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN: • "BOUNDARY & PARTIAL TOPOGRAPHIC, UTILITY SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, DATED 12/22/20.

• "ALTA/NSPS LAND TITLE SURVEY", PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC., DATED 06/27/19.

SITE INFORMATION

- APPLICANT: B33 LORDENS PLAZA, LLC 1109 1ST AVENUE, SUITE 205
- SEATTLE, WA 98101 2. OWNER:
- B33 LORDENS PLAZA, LLC 9330 W. SAHARA AVENUE LAS VEGAS, NV 89117
- PARCEL: MAP 44, LOT 6

586 NASHUA STREET TOWN OF MILFORD HILLSBOROUGH COUNTY, NEW HAMPSHIRE



GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
- "BOUNDARY & PARTIAL TOPOGRAPHIC, UTILITY SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, DATED 12/22/20. "ALTA/NSPS LAND TITLE SURVEY". PREPARED BY HOLDEN ENGINEERING & SURVEYING. INC., DATED 06/27/19
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY
- ALL ACCESSIBLE (A/K/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED. AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS. 4.
- RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL 5. REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION. 6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN. OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION MILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK
- CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS
- PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE 8 LATEST ARCHITECTURAL PLANS (INCLUDING BUT NOT LIMITED TO STRUCTURAL MECHANICAL ELECTRICAL PLUMBING AND FIRE SUPPRESSION PLAN WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER. IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST
- 1. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN 9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE 10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT STRUCTURES FTC WHICH ARE TO REMAIN FITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN. AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES. PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT
- . THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE. ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OF PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH 1 APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES, CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- 5. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- 3. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- 7 THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
- 8. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING. AND ITS PAST. PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, 19 EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED UNDER THE LAW INDEMNIEY DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND 1 ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY ED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS 17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO INSURANCE HEREUNDER.
- BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS SUCH AS SHOP DRAWINGS PRODUCT DATA SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY. OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HERELINDER BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT 18 INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- 20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, 20. SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT 2 DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONA INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.
- 21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT 23. PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME
- 22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.
- 23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT 24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE
- WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER 27 INCURS
- 5. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
- 26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
- AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS. 28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND 29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS
- SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE. 29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES 30. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.
- WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES. INCLUDING THOSE OF SUBCONTRACTORS. ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO 31 LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE 30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER. THE USE OF THE
- WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

- VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONSTRUCTION

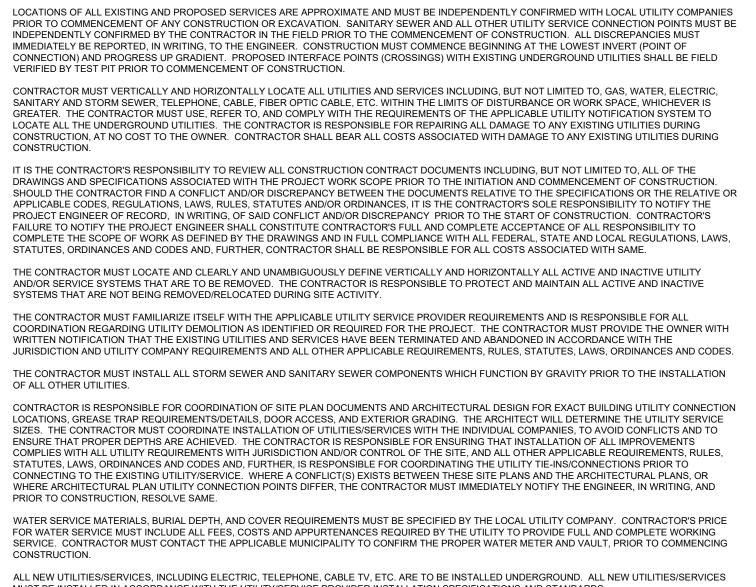
- SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- OF ALL OTHER UTILITIES
- CONSTRUCTION.

PRIOR TO CONSTRUCTION, RESOLVE SAME.

- MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS
- ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.
- FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
- TRENCHING PROCEDURES.
- PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING NOT BE PERMITTED

- PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.
- INAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME
- 19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND
- THE CONSTRUCTION OCCURS
- STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT SCHEDULE 40 UNLESS INDICATED OTHERWISE.
- UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS: FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034 FOR PIPES MORE THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034
- OF STRUCTURE.
- LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

- INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME



GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE EOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS. RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR

LL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS. AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS

THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH IURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA. AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND

PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. DURING THE INSTALLATION OF SANITARY SEWER. STORM SEWER, AND ALL UTILITIES. THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND

THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE. THE CONTRACTOR MUST EXTEND ALL LINES. INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE. MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST

COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS 1.0% ON ALL CONCRETE SURFACES: AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES). O PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.

PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES

CONTROL CONTRACTOR MUST IMMEDIATELY NOTICY THE DESIGN ENGINEER IN WRITING OF ANY DISCREPANCIES AND/OR CONFLICTS CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND

DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS. ELEVATIONS IDENTIFIED ARE FOR

THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE

JOINTS, WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR

 FOR PIPE WITHIN 10 FT. OF BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS. 25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER

26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING

SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE. THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION. ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED

7. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES 28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE

CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER. SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY

 "BOUNDARY & PARTIAL TOPOGRAPHIC, UTILITY SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, DATED 12/22/20. "ALTA/NSPS LAND TITLE SURVEY", PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC., DATED 06/27/19

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U et seg.) AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RE

- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CON' MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRU OF THE NEW SITE IMPROVEMENTS
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHL ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIV DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL. STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO: A.OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURIS THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
- B.NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE
- C.INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- D.IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADV. ANY EXCAVATION. E.LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND
- WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITII
- G.ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOT THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY REQUIREMENTS.
- H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- I IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLA SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCC SUCH MATERIALS.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION, CONTRACTOR MUST PROCEED WITH THE DEMOLI SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY
- THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRU AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OF OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF A REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
- 9. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, C MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLA SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- 10. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKELLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE
- 11. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPEC SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- 12. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MAI UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY
- 13 CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS STREETS SIL WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORI TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY
- 14. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION
- THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDAN FEDERAL STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTU IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETUR ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION
- 16 CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED PERSONS AT ANY TIME
- 17. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF B FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTI
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, M SEQUENCING TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE FEDERAL LOCAL AND JURIS REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- 19. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE DISPOSAL ACTIVITIES TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST
- 20. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANE PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (ACCESSIBLE) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND AN' MODIFICATIONS REVISIONS OR UPDATES TO SAME FINISHED SURFACES ALONG THE ACCESSIBLE ROLITE OF TRAVEL FROM PARKING SPACE PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE AD/ AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

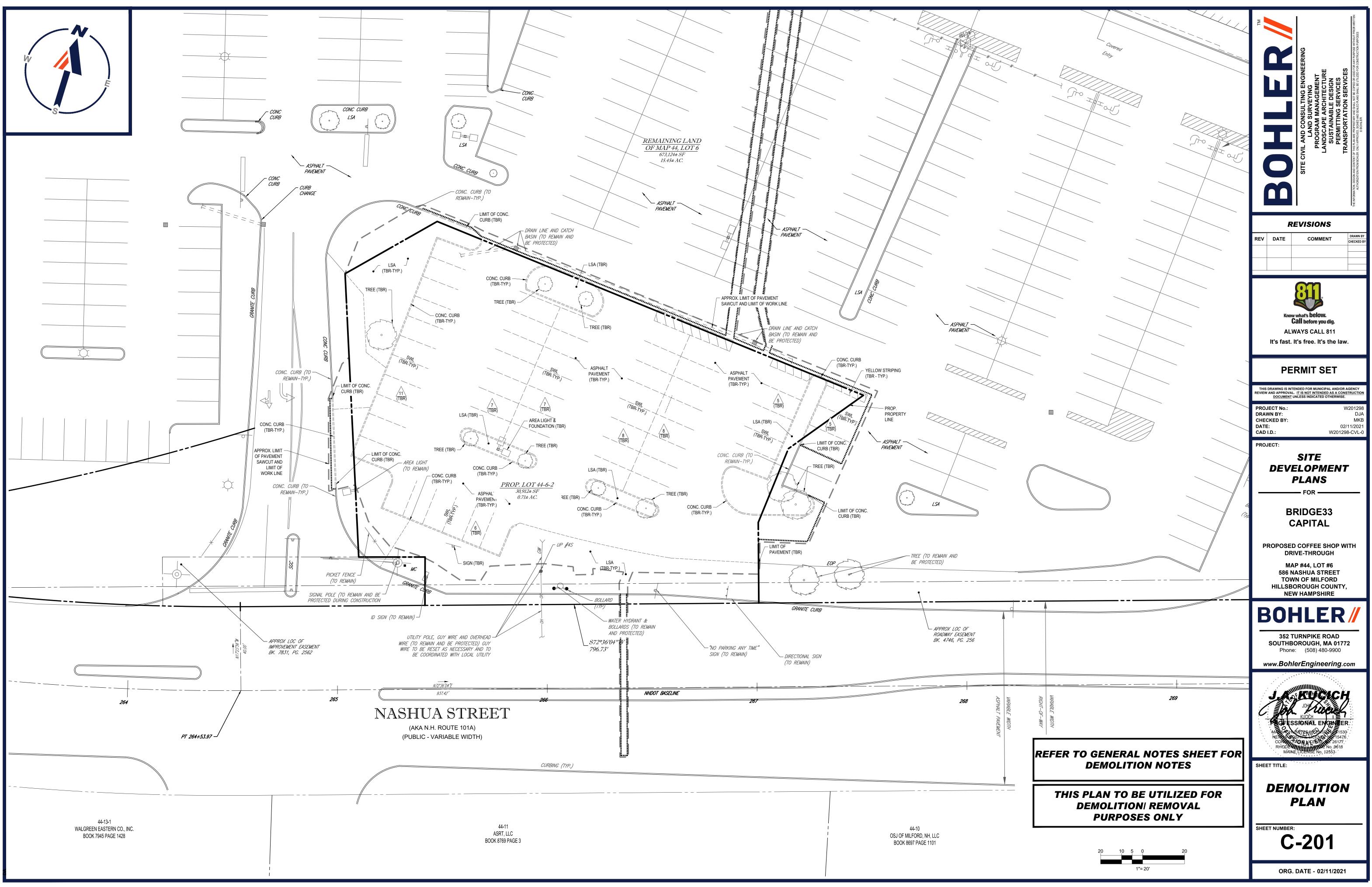
- PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET
- LANDINGS MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMIN/ 2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AN HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MU ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POS DRAINAGE.
- DOORWAYS MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WI OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFEREN INCORPORATED BY CODE.)
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR RESPECT FROM WHAT IS SHOWN ON THE PLANS. IN WRITING, BEFORE COMMENCEMENT OF WORK, CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COST REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION

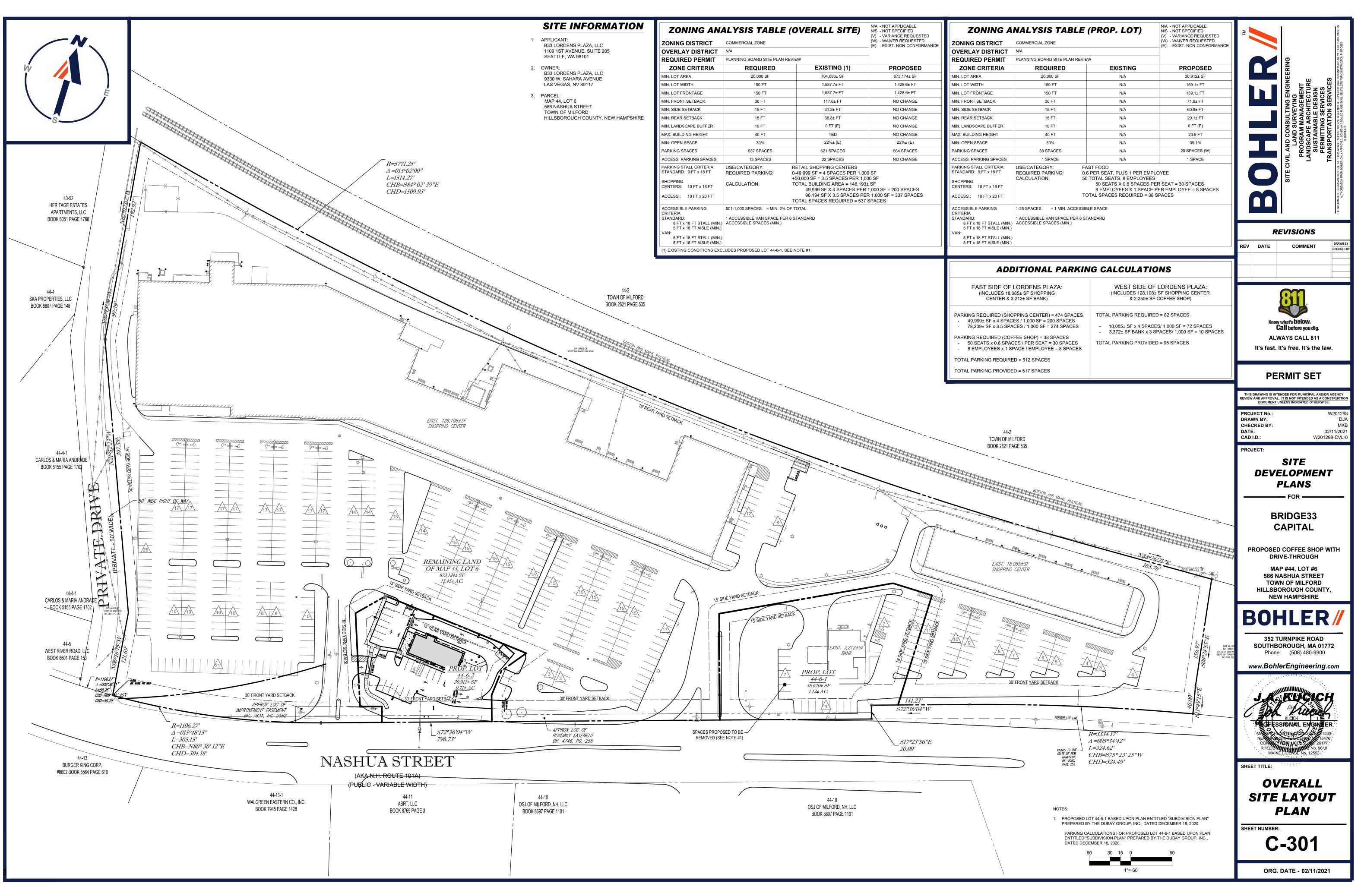
REFER TO LIGHTING PLAN FOR TYPICAL LIGHTING NOTES AND TABLES

	ITPICAL	. ADE	SREVI	ATIONS
KEY	DESCRIPTION CURE		KEY	
R TC	TOP CURB			TO BE REMOVED AND REPLACED
BOC	BACK OF CURE	3	TBR	TO BE REMOVED
BW	BOTTOM OF WALL G	RADE	TPF	TREE PROTECTION FEND
TW	TOP OF WALL	TOP OF WALL		BUILDING
EXIST.	EXISTING		SF	SQUARE FEET
N BM.	BENCHMARK			SEWER MANHOLE
F EOP	CENTERLINE			DRAIN MANHOLE
FF	FINISHED FLOO	R	STM. SAN.	SANITARY
F V.I.F.	VERIFY IN FIELD	D	CONC.	CONCRETE
R, GC	GENERAL CONTRAC	CTOR	ARCH.	ARCHITECTURAL
HP	HIGH POINT		DEP.	DEPRESSED
LP	LOW POINT		R	RADIUS
N TYP.	TYPICAL		MIN.	MINIMUM
E PC.			MAX.	MAXIMUM
ро. р. рт.	POINT OF CURVAT		No. / # W.	WIDE
F PI.	POINT OF INTERSEC		DEC.	DECORATIVE
PVI.	POINT OF VERTIC		ELEV.	ELEVATION
_{S,} STA.	STATION		UNG.	UNDERGROUND
S GRT	GRATE		R.O.W.	RIGHT OF WAY
INV.	INVERT		LF	LINEAR FOOT
DIP			LOD	
H PVC	POLYVINYL CHLORID		LOW	LIMIT OF WORK
RCP	PIPE REINFORCED CONC PIPE	CRETE	±	PLUS OR MINUS
E S	SLOPE		•	DEGREE
ME	MEET EXISTING	G	Ø / DIA.	DIAMETER
R	EXISTING		RTY LINE BACK	PROPOSED
H		EASE	MENT	
-	0		JRB MANHOLE	
:	S	SEWER	MANHOLE	0 0 0 1
,		CATC	H BASIN	()
		WETLA	ND FLAG	
-	· · ·		ND LINE	53.52
_	× 54.83 × TC 54.58	TOP & BO	DTTOM OF	TC=54.32 BC=53.82
	<i>G 53.78</i> 53		JRB	50
1			ARROW	<u>5%</u>
	$\langle \neg$		ARROW	Ŷ
G-	G	-		GG
<i>T</i>		TELEPH	ONE LINE	TT
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= = =	: = = = = = = = 		M PIPE	
	 /10\		G COUNT	(4)
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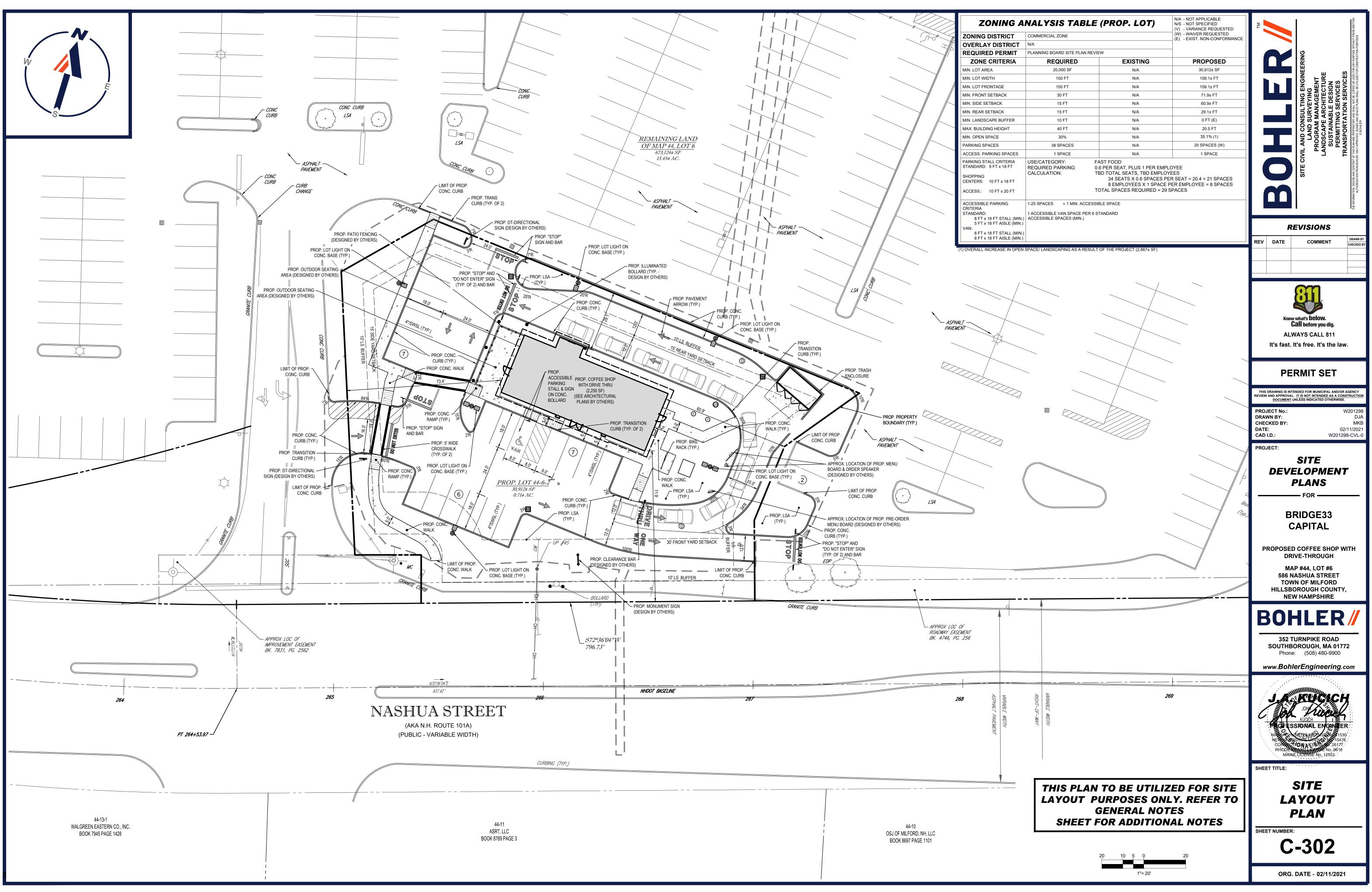




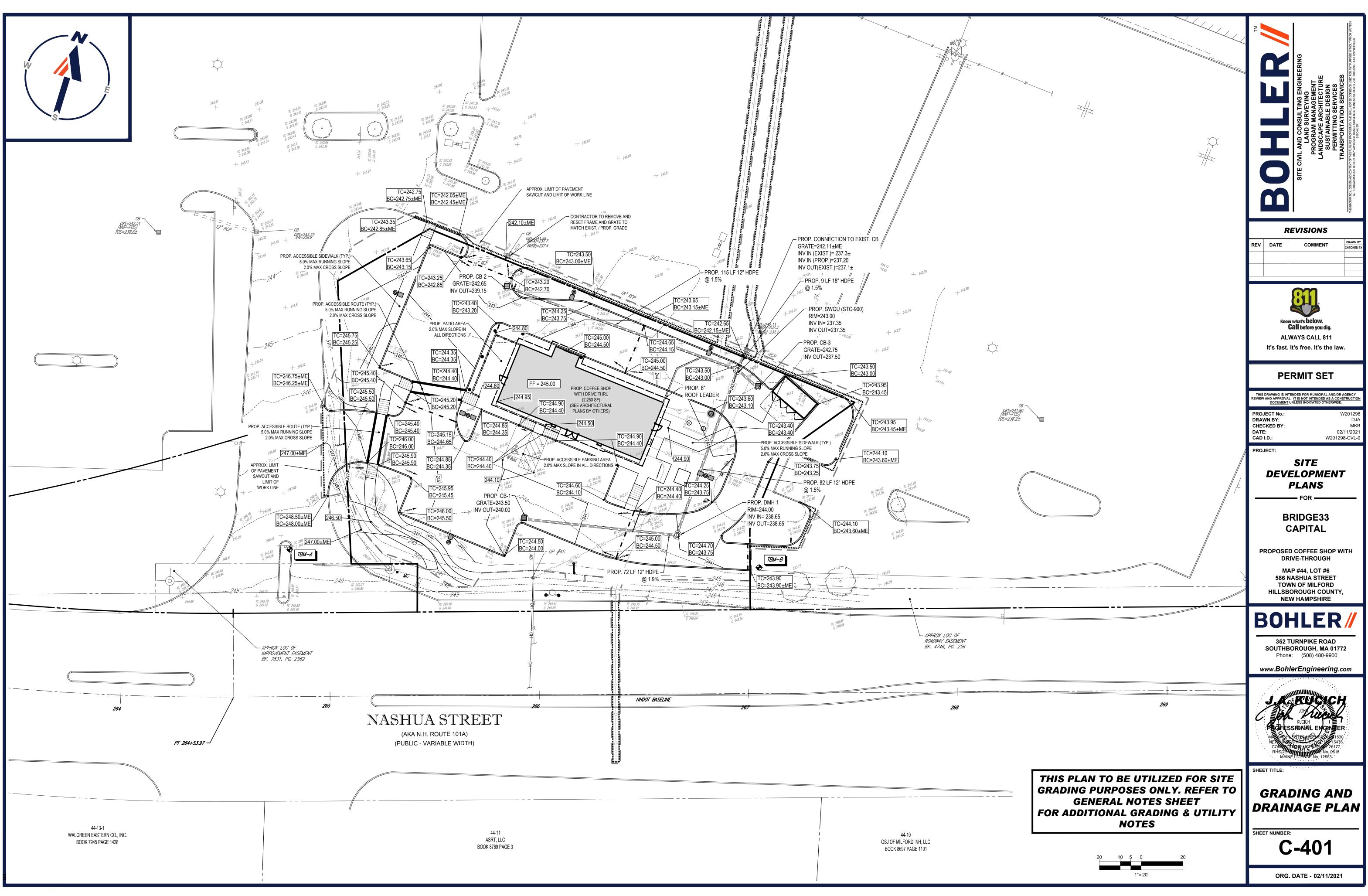
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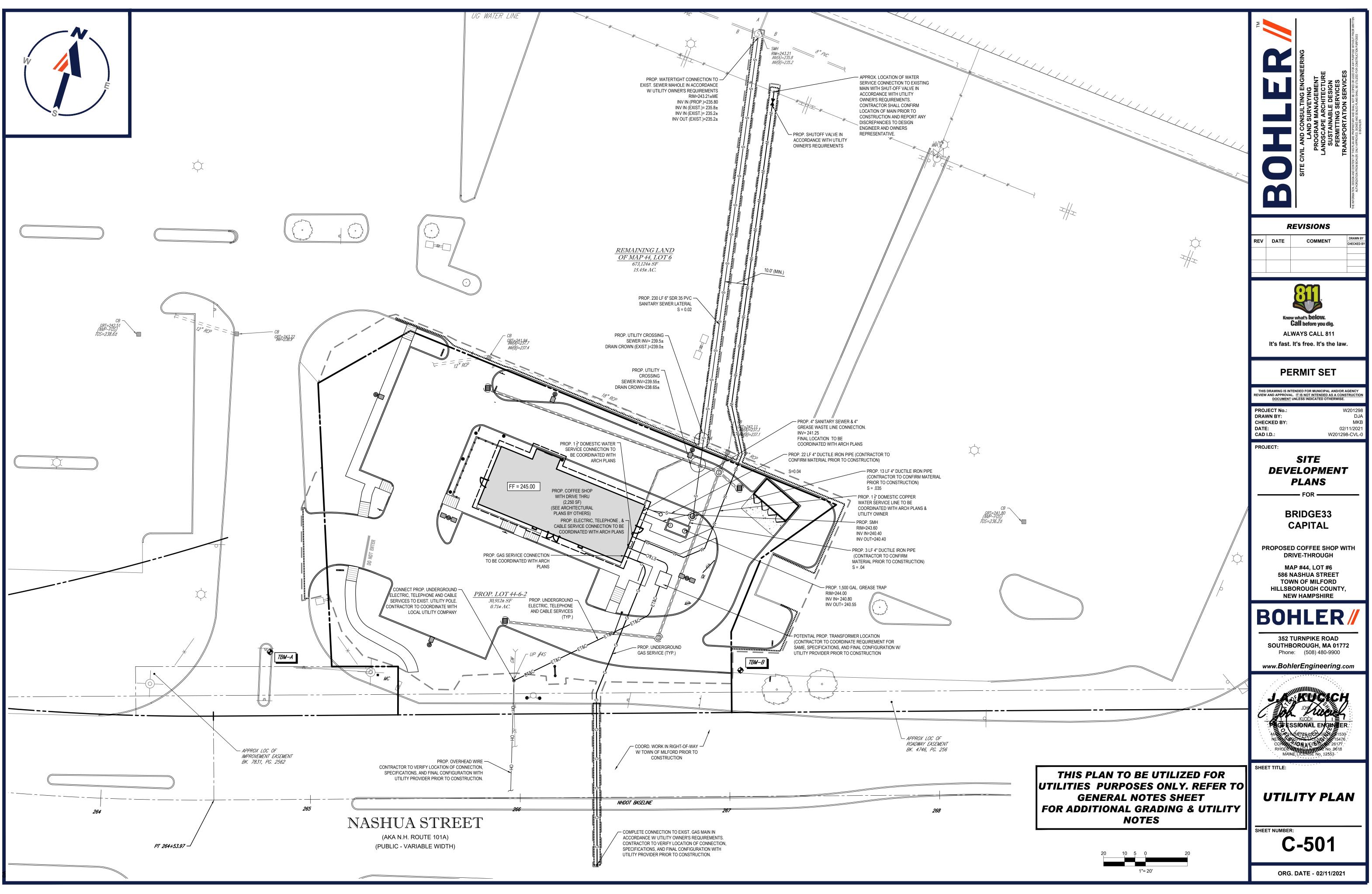
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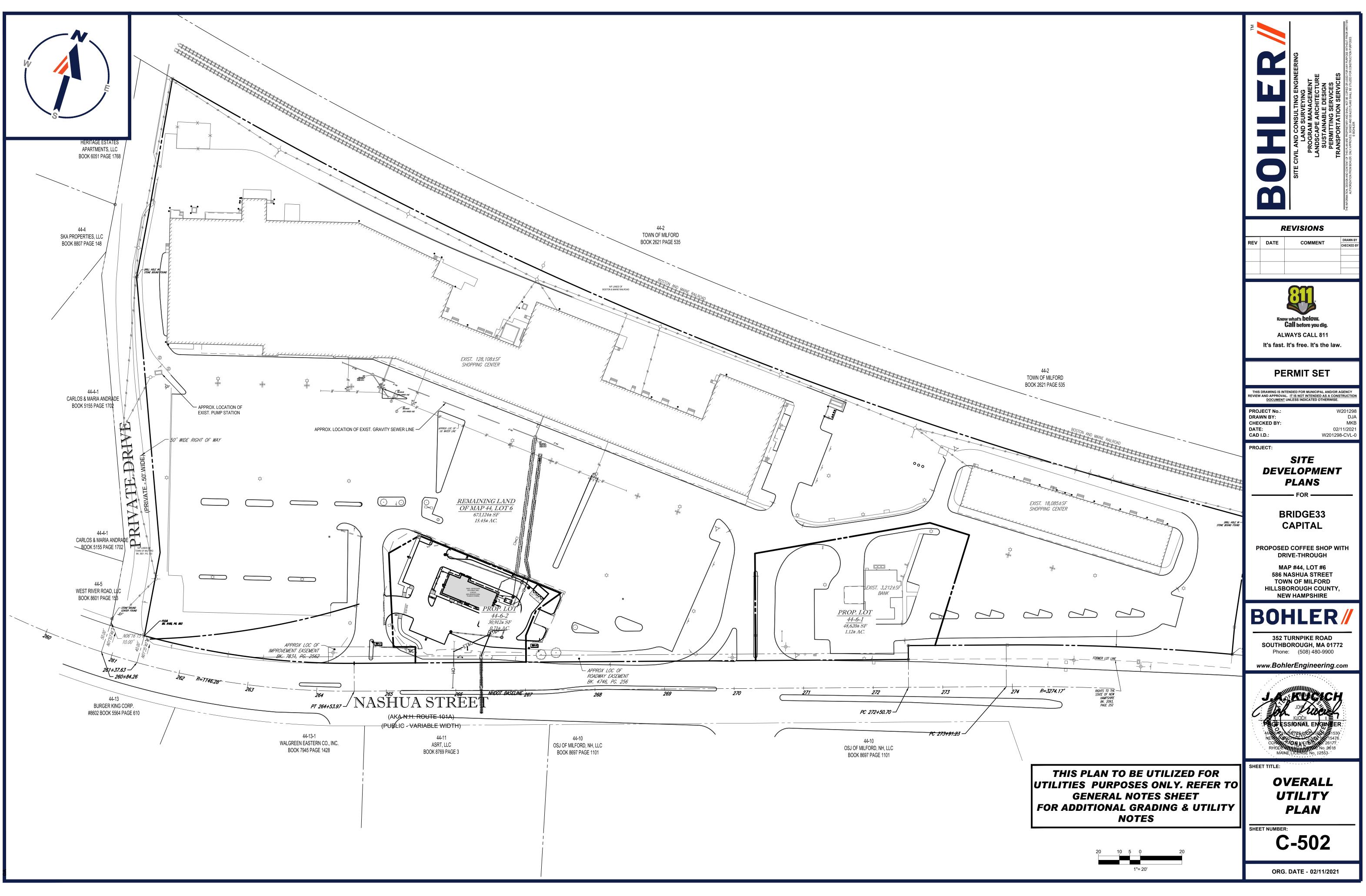
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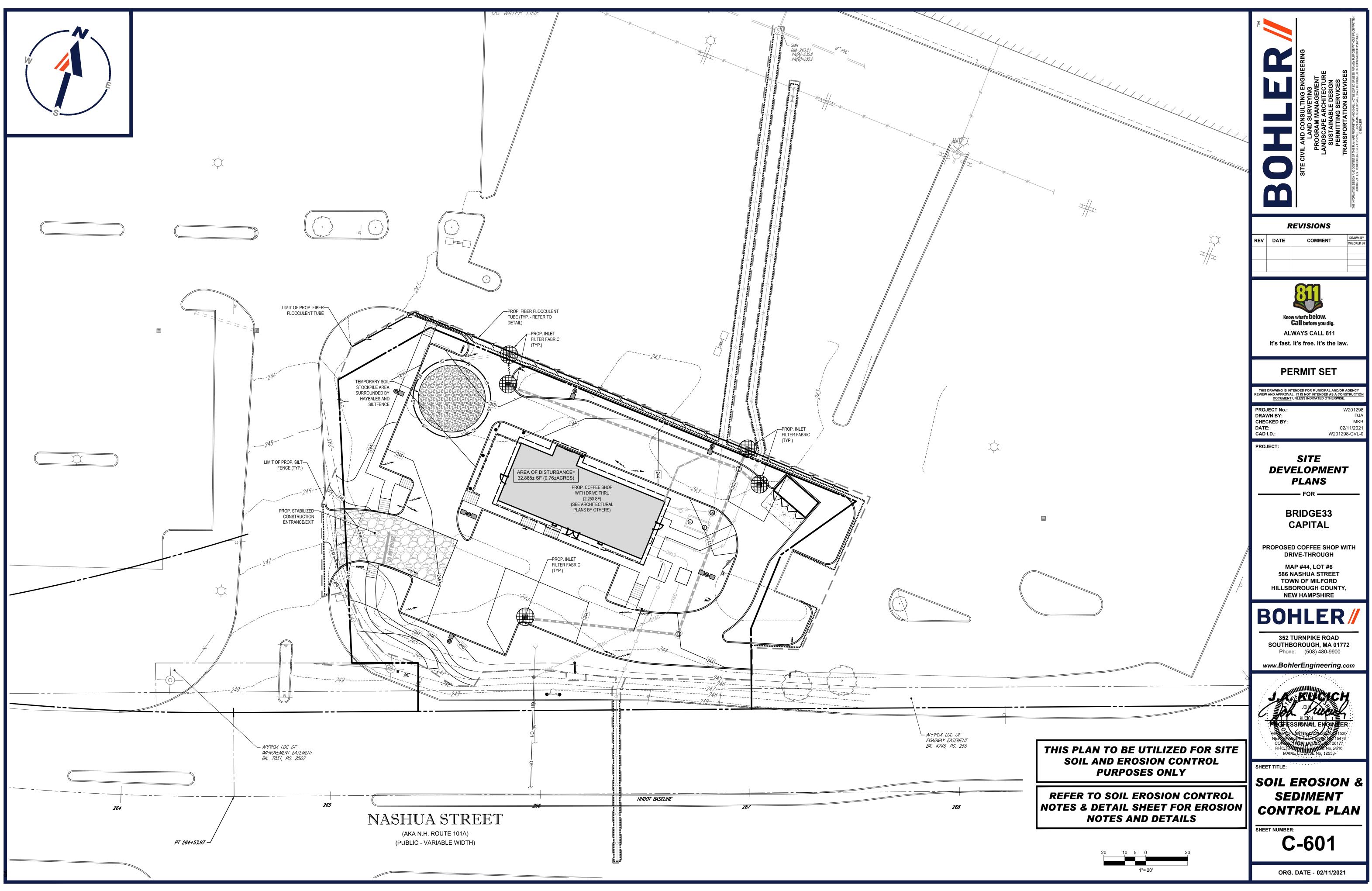


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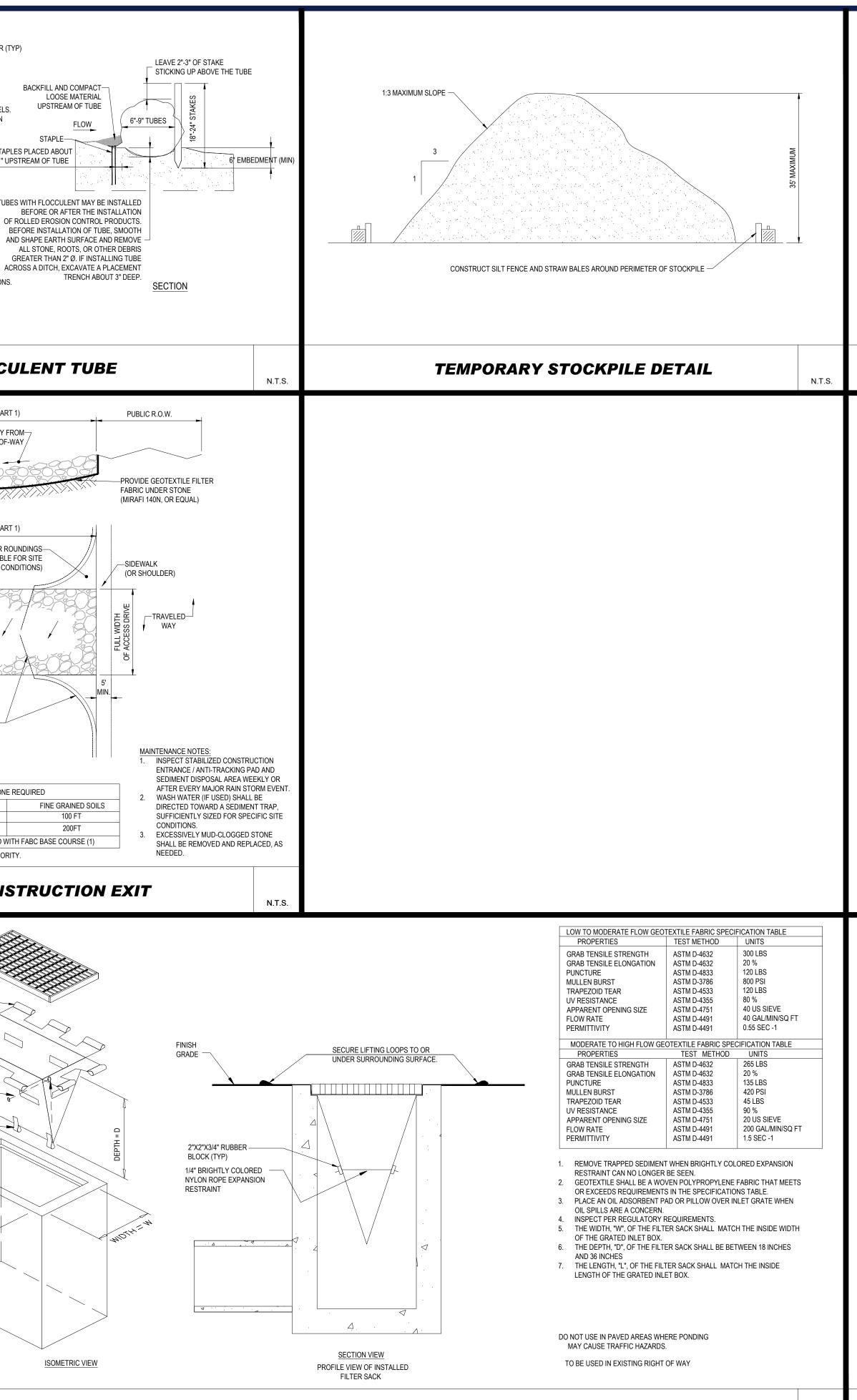
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EROSION AND SEDIMENT CONTROL NOTES	1' OVERLAP (MIN.)	E ↓6"-8" WIRE STAPLES
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.		
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).	-6"-9" TUB	
 SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%. 	PLUMPED UP TUBE ABOUT 1" UPSTREAM AND DRIVE STAKES	OTHERWISE SPACED 2 ON CENTER. (TYP) PLAN STAPL
 INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5. 	GENERAL GUIDEL TUBE TRENCHES FO SLOPE GRADIENT	NES FOR SPACING OF R SLOPE INSTALLATIONS TUBE INTERVAL
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.		15 FEET 25 FEET 35 FEET 50 FEET OF S FOR SPACING OF TUBE
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).	TRENCHES FOR CH SLOPE 2%	ANNEL INSTALLATIONS AN TUBE INTERVAL 25 FEET
 IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD. 	REPLACE TUBES WITH FLOCCULENT PER	AC
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.		
 DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED 		
AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:		FIBER FLOCCU
10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES,		
OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF).	2"-3" CLEAN ANGULAR CRUSHED STONE (6" MIN. THICKNESS)	"L" = 50' MIN. (SEE CHART PITCH TO DRAIN AWAY FR
10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.		PUBLIC RIGHT-OF-V
10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.	EXISTING GROUND	MARINA RA
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.	-	"L" = 50' MIN. (SEE CHART
12. WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.		PROVIDE CORNER RO (AS APPLICABLE SPECIFIC CON
 ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED, MULCH 		
LOCATION MULCH RATE (1000 SF)		
WINDY AREA SHREDDED OR CHOPPED CORNSTALKS 185-275 POUNDS	ACCESS DRIVE	
STRAW (ANCHORED)* 100 POUNDS MODERATE TO HIGH JUTE MESH OR EXCELSIOR MAT AS REQUIRED	GRADE TO	
VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	PLAN VIEW AWA PUBLIC RO	ADWAY CONSTRUCTION
GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	SEE EROSION CONTROL PLA SITE SPECIFIC CONSTRUCTION P STORMWATER MANAGEMENT REQUIREI	ERIOD (AS APPLICABLE)
* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.	CHART 1	
<u>MULCH ANCHORING</u> ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL	PERCENT SLOPE OF ROADWAY	LENGTH OF STONE COARSE GRAINED SOILS 50 FT
AREAS AND ROAD DITCHES MAY BE PERMITTED. EROSION CONTROL NOTES DURING WINTER CONSTRUCTION	2% TO 5%	100 FT ENTIRE ENTRANCE STABILIZED WI
1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.	(1) AS PRESCRIBED BY LOCAL ORDINA	ICE OR OTHER GOVERNING AUTHORI
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.	STA	BILIZED CONS
 EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE 		~
 AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW 	INLET G	
 AN AREA STALL BE CONSIDERED TO HAVE BEEN STABLIZED WHEN EXPOSED SOM ACES HAVE BEEN ETHER MOLENTED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE 	LOOPS SIZED FO REBAR. LIFT FIL	
FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY	BAG FROM IN USING REBAR HAND OVERFLOW HOLES GEOTEXTILE BAC	ES.
THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS. 7. MULCHING REQUIREMENTS:	1/4" BRIGHTLY CO NYLON ROPE EXP/ RES	
7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.	LOOPS SIZED REBAR. USE REB. A HANDLE TO	AR FOR EMPTY
7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.	FILTER SAU SEDIMENT COLL LOC	
7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.		
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.		
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.	I ENGIR	
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION		
RUNOFF. 11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.		



INLET PROTECTION (GRATED INLETS)

CONSTRUCTION SEQUENCE

-REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

-LANDSCAPING PER LANDSCAPING PLAN

-PAVE PARKING LOT

-REMOVAL OF THE TEMPORARY SEDIMENT BASINS

-PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.

-FINAL GRADING OF ALL SLOPED AREAS

-SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH

-CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS

-CONSTRUCTION OF BUILDINGS

-CONSTRUCTION OF UTILITIES -STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING -INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)

-EARTHWORK AND EXCAVATION/FILLING AS NECESSARY

-CLEARING AND GRUBBING -INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS

-DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)

-DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)

-INSTALLATION OF INLET PROTECTION IN EXISTING CATCH BASINS (AS SHOWN)

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED: -INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN) -INSTALLATION OF EROSION CONTROL BARRIER (FIBER FLOCCULANT TUBE) (AS SHOWN)

AREA WITHIN TREE PROTECTION ZONE TO REMAIN UNDISTURBED DURING CONSTRUCTION - 4' WOOD & WIRE SNOW FENCE WITH STEEL STAKES 18' O.C. TREE PROTECTION DURING REVISIONS CONSTRUCTION N.T.S. REV DATE

- AREA WITHIN PROTECTION ZONE/TREE DRIP LINE FENCE TO

FOLLOW TREE DRIP LINE OR 6' FROM TRUNK, WHICHEVER IS

- 4' WOOD & WIRE SNOW FENCE WITH STEEL STAKES 18" O.C

- WOOD & WIRE SNOW FENCE USED AS TREE GUARD TO PREVENT DAMAGE FROM CONSTRUCTION EQUIPMENT

- TREE DRIP LINE/TREE PROTECTION ZONE

AREA OF SITE CONSTRUCTION

GREATER

ELEVATION



COMMENT

Know what's **below**. Call before you dig. ALWAYS CALL 811

It's fast. It's free. It's the law.

PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

SITE

DEVELOPMENT

PLANS

FOR -

BRIDGE33

CAPITAL

PROPOSED COFFEE SHOP WITH

PROJECT No.:

DRAWN BY: CHECKED BY:

PROJECT:

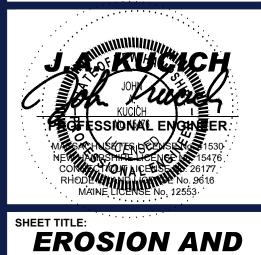
DATE: CAD I.D.: CHECKEI

W20129 DJA

W201298-CVL-

MKE 02/11/2021

DRIVE-THROUGH MAP #44, LOT #6 586 NASHUA STREET TOWN OF MILFORD HILLSBOROUGH COUNTY, **NEW HAMPSHIRE BOHLER** 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900 www.BohlerEngineering.com

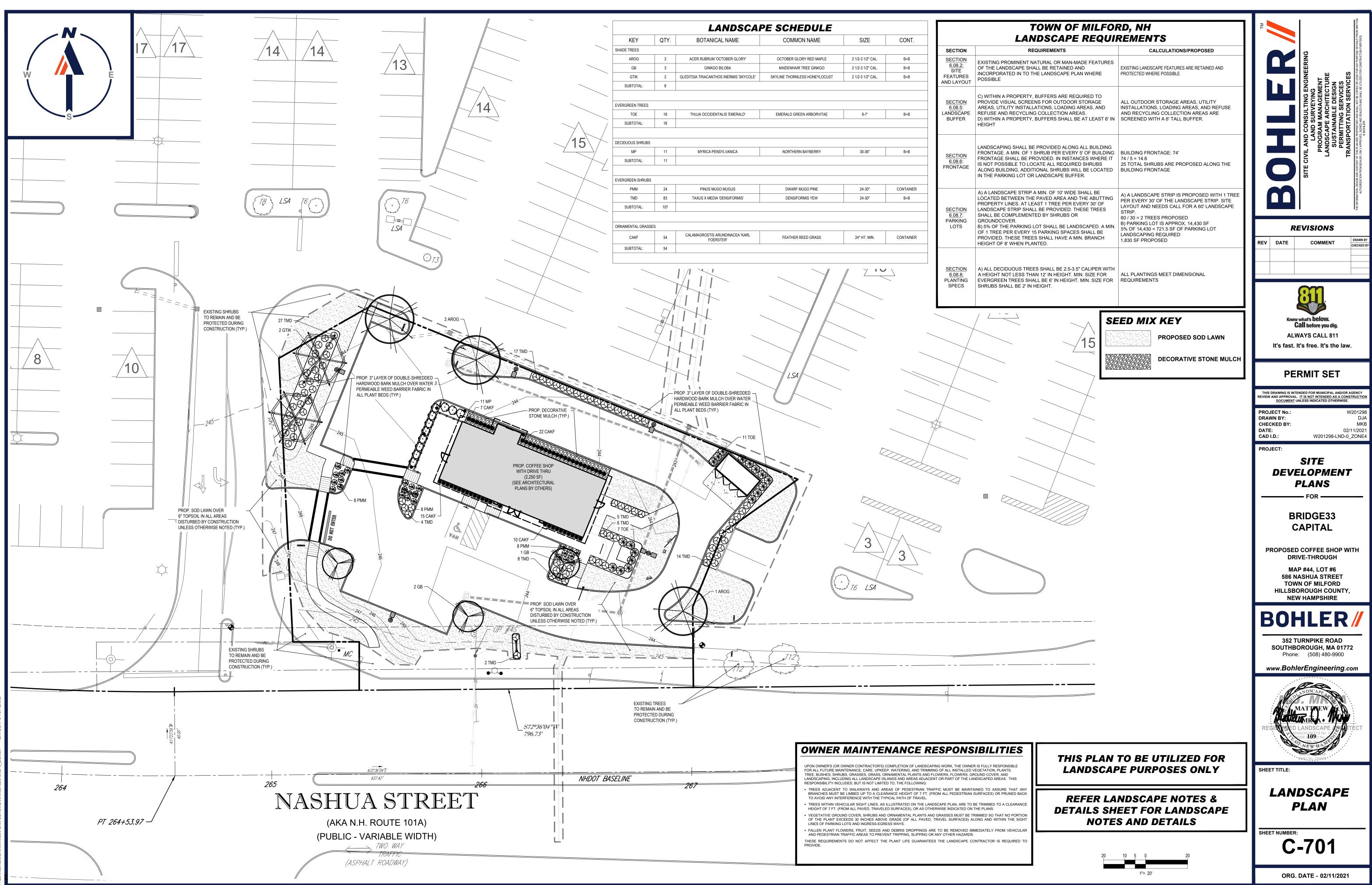




ORG. DATE - 02/11/2021

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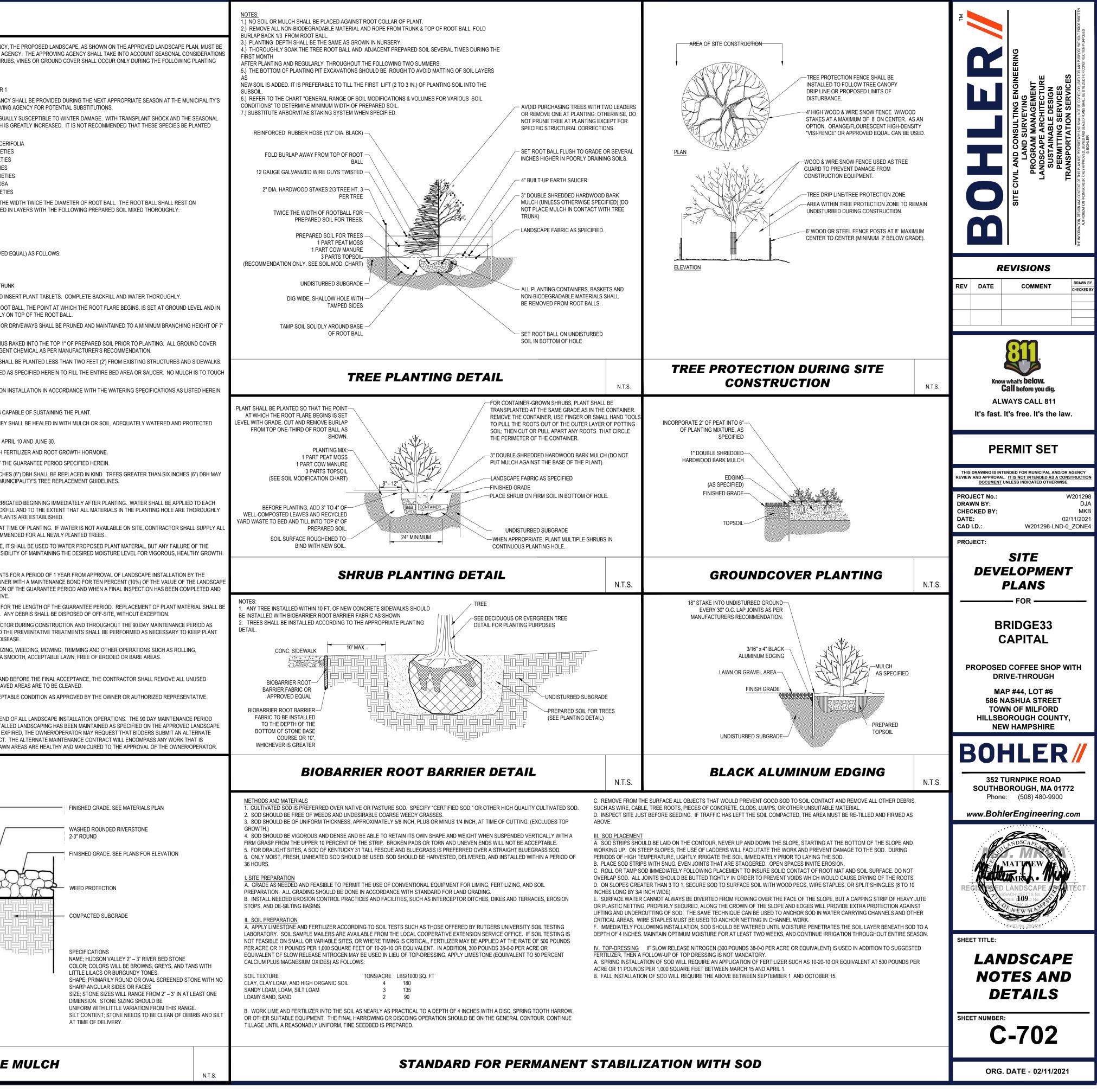
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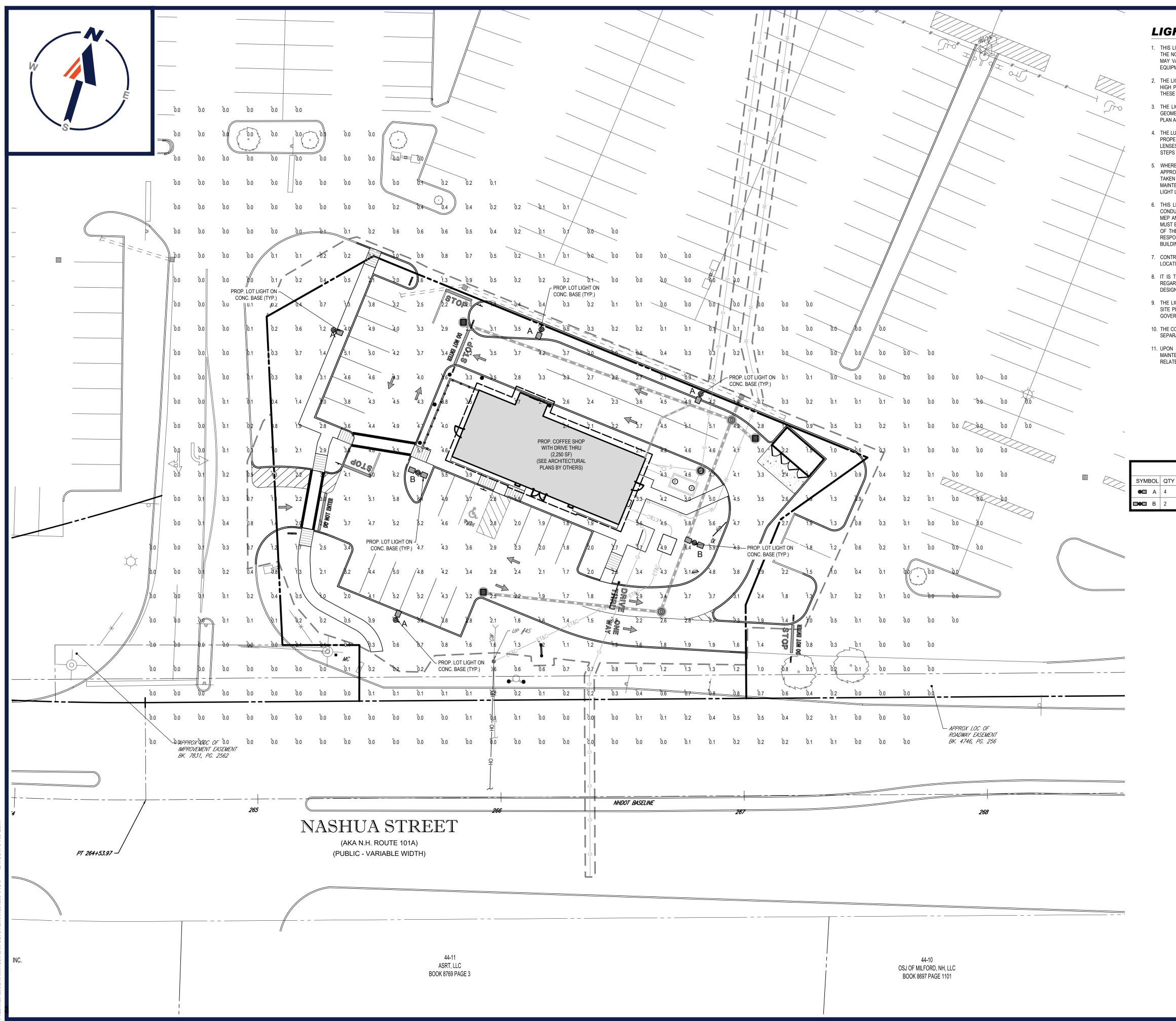
W201298\DRAWINGS\PLAN SETS\REV0\W201298-LND-0_ZONE4----->LAYOUT: (

LANDSCAPE SPECIFICATIONS

1. SC	OPE OF WORK:	9.6.	PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANC
1.1.	THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT,	0.0.	INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AT IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRI SEASONS:
2. MA	UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.	9.6.1.	
2.1.	GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.	9.6.2. 9.6.3.	LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER
2.2.	TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.	9.7.	DISCRETION. CONTRACTOR SHOULD CONTACT APPROVI FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSU
2.3.	LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT,	5.1.	LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH I DURING THE FALL PLANTING SEASON:
2.3.1	AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.		ACER RUBRUM PLATANUS X ACE BETULA VARIETIES POPULUS VARIET
2.3.2	SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.		CARPINUS VARIETIES POPOLOS VARIETI CRATAEGUS VARIETIES PRUNUS VARIETIES PYRUS VARIETIES PYRUS VARIETIES
2.4.	MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A <u>3"</u> THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES /DETAILS.		KOELREUTERIA QUERCUS VANETIES ULIQUIDAMBAR STYRACIFLUA TILIA TOMENTOS.
2.5.	FERTILIZER		LIRIODENDRON TULIPIFERA ZELKOVA VARIET
2.5.1	FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.	9.8.	PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH TH UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED
2.5.2	FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.	9.8.1. 9.8.2.	1 PART PEAT MOSS 1 PART COMPOSTED COW MANURE BY VOLUME
2.6. 2.6.1	PLANT MATERIAL ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST	9.8.3. 9.8.4.	
2.6.2	EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).	9.8.4. 9.8. 9.8.	4.1. 2 TABLETS PER 1 GALLON PLANT
2.6.3	PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR	9.8. 9.8.	4.3. 4 TABLETS PER 15 GALLON PLANT
2.6.4		9.9.	FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND I
	CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.	9.10.	ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROO THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY
2.6.5	DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.	9.11.	ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OF FROM GRADE.
2.6.6	CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.	9.12.	GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGE
2.6.7		9.13. 0.14	NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SH ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED
2.6.8	TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.		THE TRUNK OF THE TREE OR SHRUB.
3.1.	CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS. MATERIALS AND TOOLS SHALL BE PROPERLY STORED. STOCKPILED OR DISPOSED OF.		ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSPLANTING (WHEN REQUIRED)
3.2.	WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING	10.1. 10.2.	ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS C
4. <u>SIT</u>	ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE. E PREPARATIONS		FROM EXTREME HEAT, SUN AND WIND. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN A
4.1.	BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.	10.3. 10.4.	UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH F
4.2.	ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH	10.5. 10.6.	TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF T F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCH
	CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.	11. WA	BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MU
4.3.	CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE	11.1.	NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRI TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK
5. <u>TR</u>	MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK. EE PROTECTION	14.0	SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLA
5.1.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT	11.2.	SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT NECESSARY WATER. THE USE OF WATERING BAGS IS RECOM
5.2.	TREE PROTECTION ZONE SHALL BE HONORED. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL	11.3.	IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSI
	POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.	12. <u>GU/</u> 12.1.	<u>ARANTEE</u> THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT
5.3.	WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE		APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWN INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIV
5.4.	LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION	12.2.	ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FO
6. <u>SO</u>	ZONE. IL MODIFICATIONS	12.3.	CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. A TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACT
6.1.	CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.		SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND T MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DIS
6.2.	LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.		LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZI REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A S
6.3.	THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.	13. <u>CLE</u> 13.1.	ANUP UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AN
6.3.1	TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES	13.2.	MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAV THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEP
6.3.2	WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME)		NTENANCE (ALTERNATIVE BID):
0.0.2	AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.	14.1.	A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE EN ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTAI PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EX
6.3.3	MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.		MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAW
7.1.	UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.		
7.2.	LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).		
7.3.	ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.		
7.4.	ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.		
8. <u>TO</u> 8.1.	PSOILING CONTRACTOR SHALL PROVIDE A <u>6"</u> THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS.		
8.2.	TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN	. huu	
8.3.	PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING	_	K-BABBB
	AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.		
8.4.	ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4")		
8.4.1	IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]): 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER		
8.4.2. ° 5			
8.5. 9. <u>PL</u> 4	THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.	4 1 7 .	BECTION
9.1.	INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER	NOTE: IRRIG	GATION TO BE PROVIDED IN ALL ROCK MULCH BEDS
-	DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.		
9.2.	PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.		
9.3.	ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.		
9.4.	ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.		~=~~~
9.5.	POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.	Í	STONE



STANDARD FO	R PERMANENT	STABILIZATION W
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LIGHTING NOTES

1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.

2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.

THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.

4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.

5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.

6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.

7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.

8. IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.

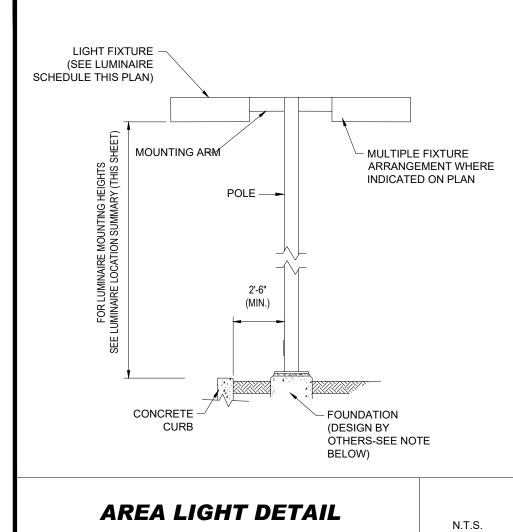
9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.

10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.

11. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

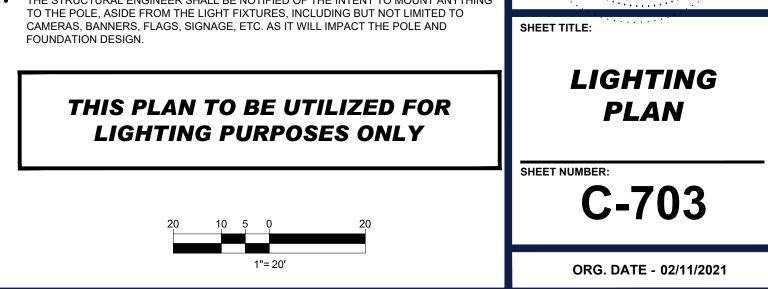
NUMERIC SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
AREA SUMMARY	ILLUMINANCE	FC	3.28	6.7	0.2	16.40	33.50

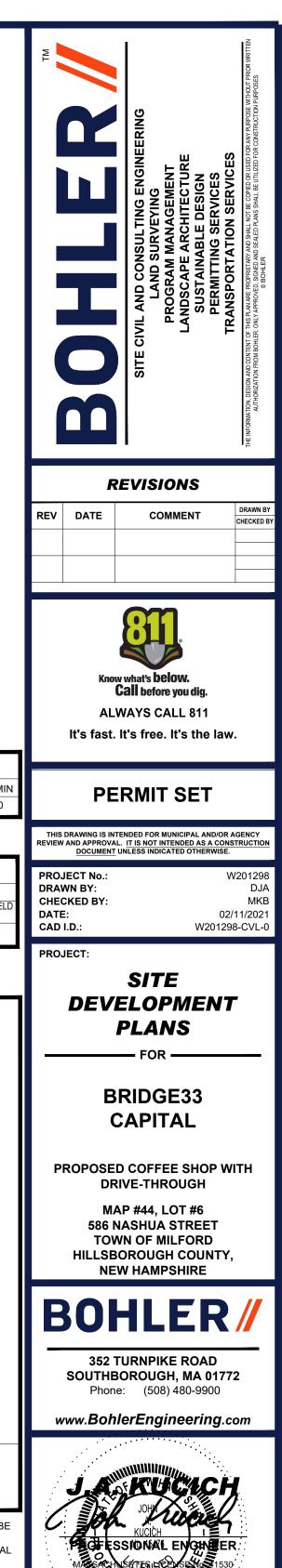
LUMINAIRE SCHEDULE								
ARRANGEMENT	LUMENS	LLF	MOUNTING HEIGHT	DESCRIPTION				
SINGLE	14,851	0.9	20 FT	PHILLIPS GARDCO ECOFORM LED WITH SHIELD ECF-S-32L-1.2A-NW-G2-3-HIS (TYPE V)				
DOUBLE @ 180°	15,956	0.9	20 FT	PHILLIPS GARDCO ECOFORM LED ECF-S-32L-1.2A-NW-G2-5 (TYPE V)				

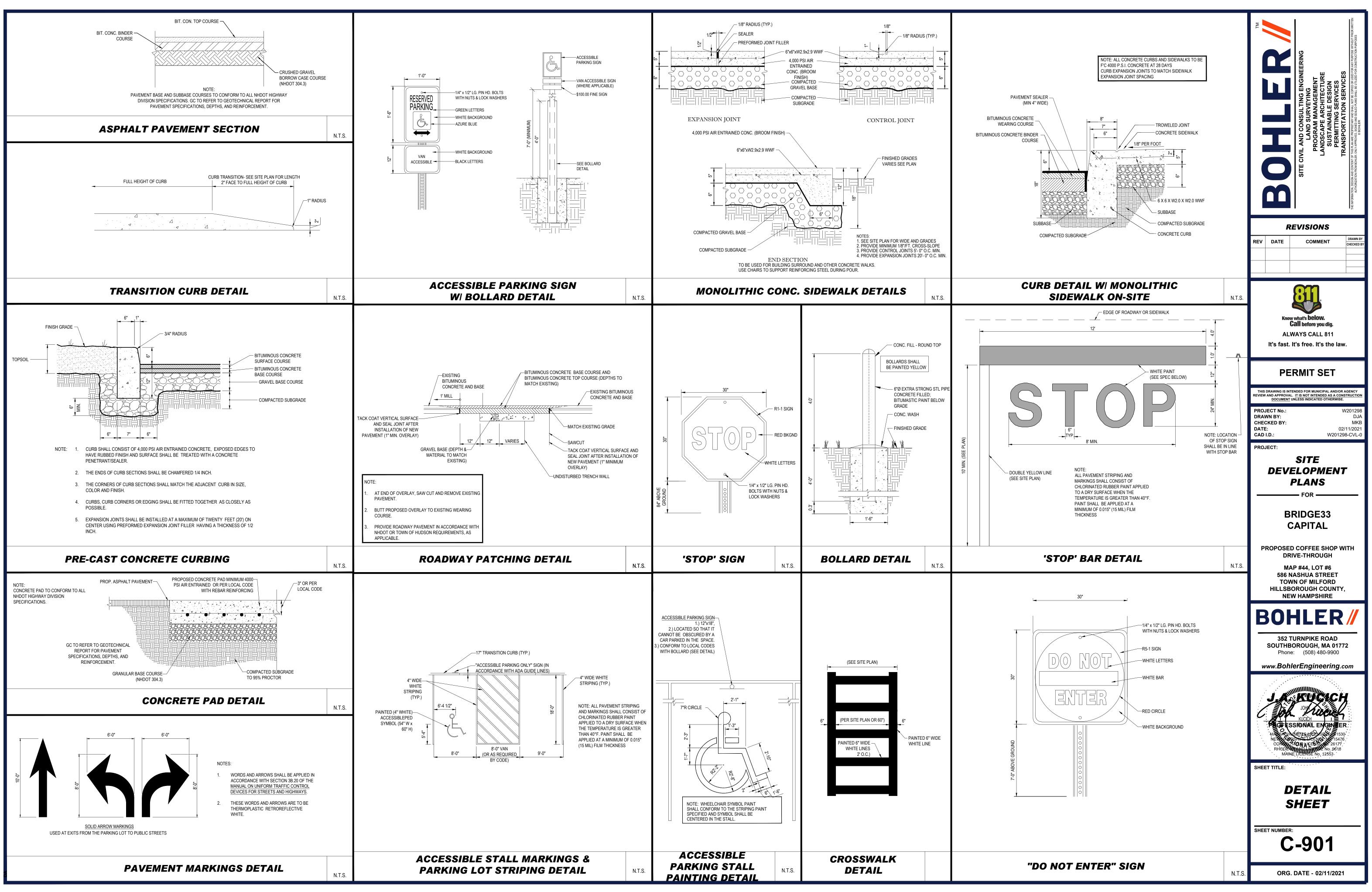


NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

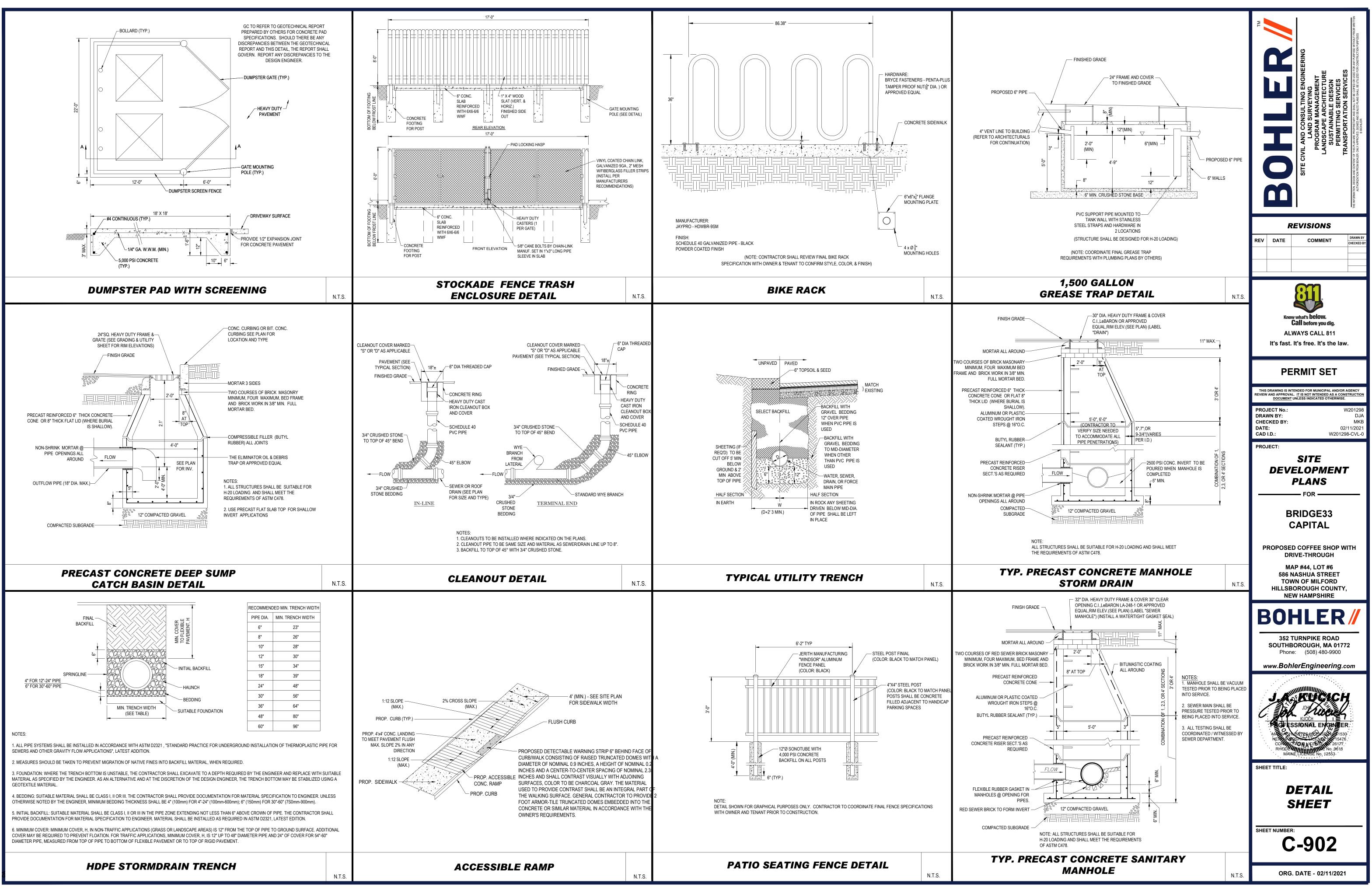
- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

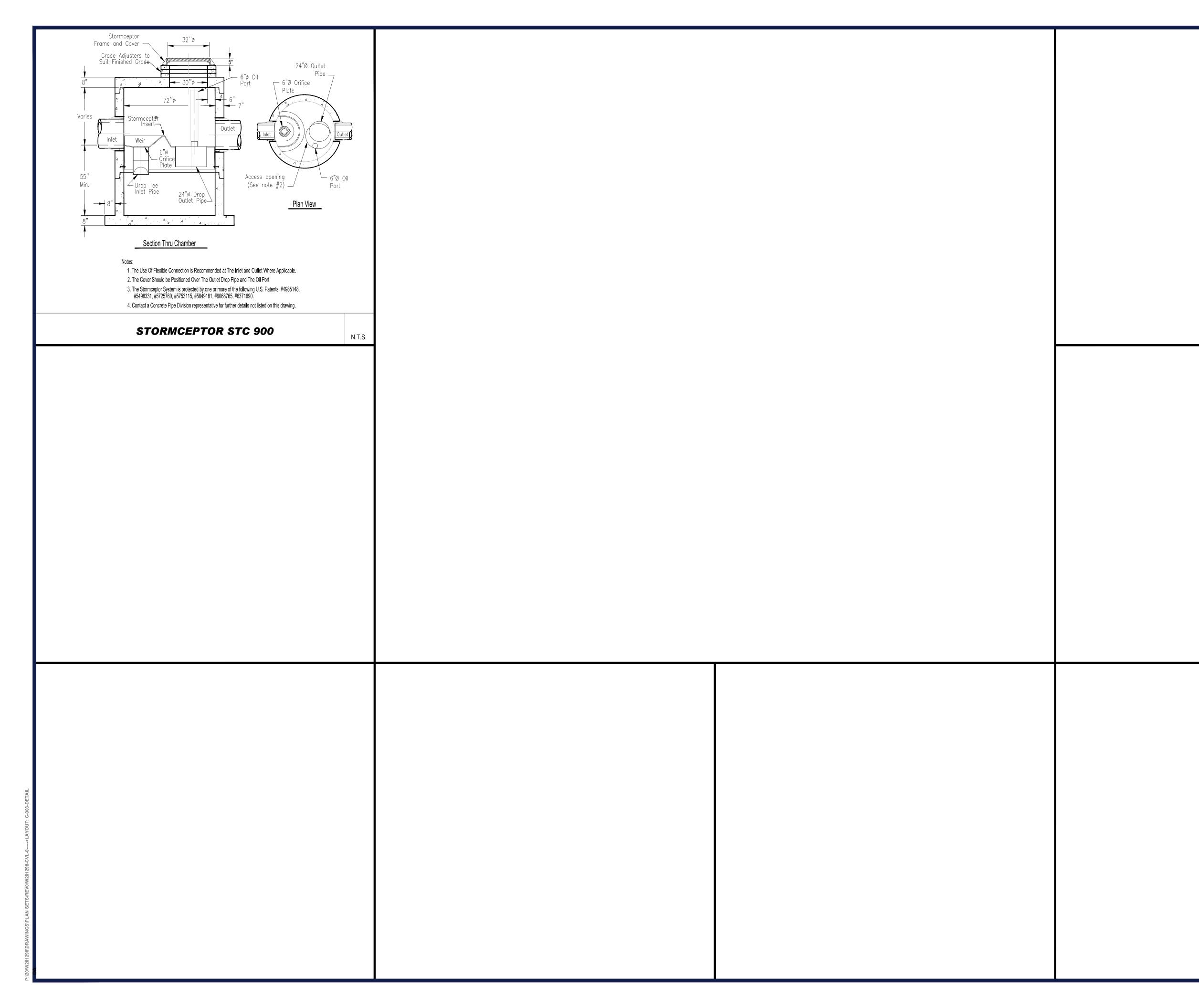




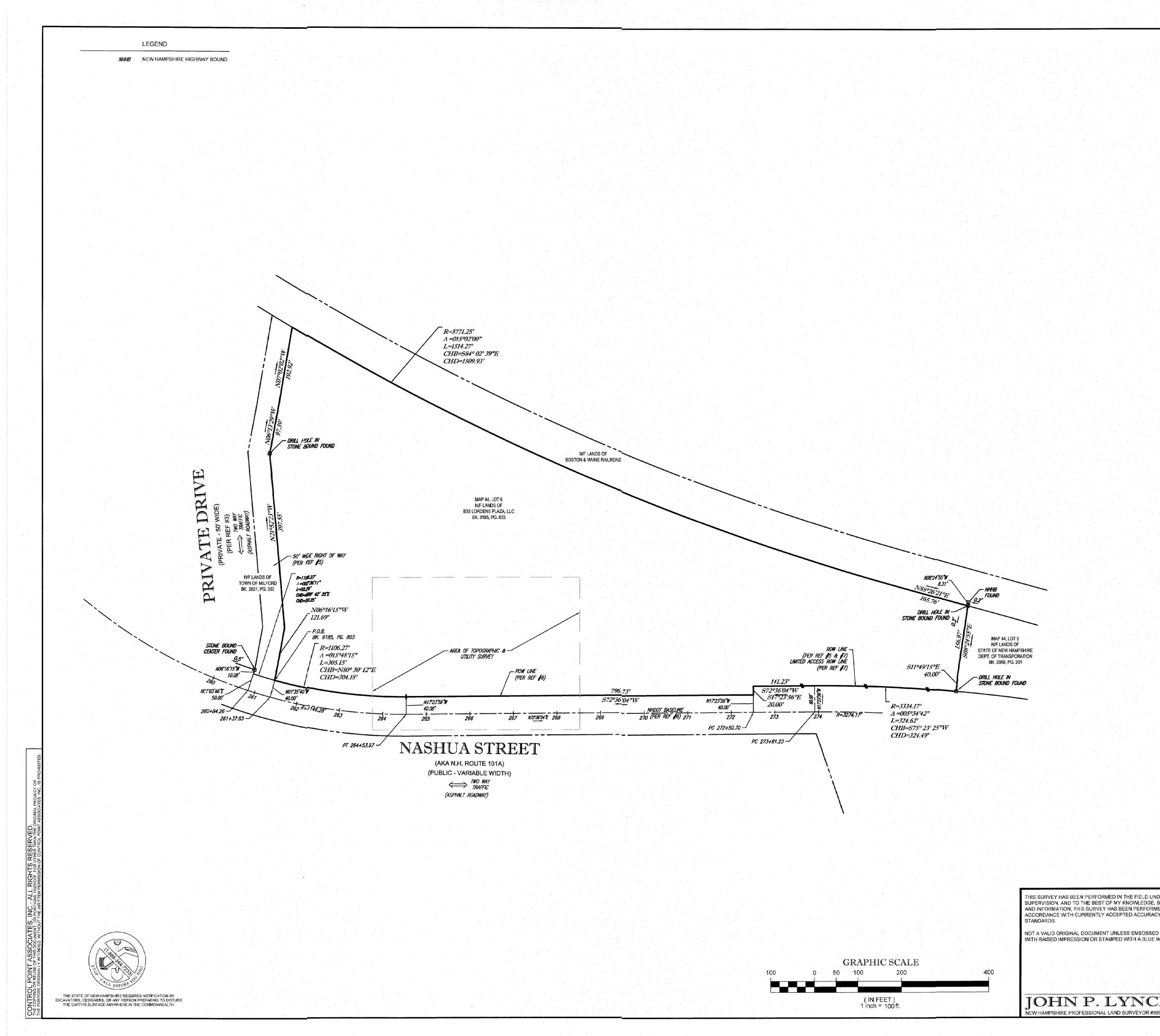


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REVISIONS
Know what's below.
Call before you dig. ALWAYS CALL 811
It's fast. It's free. It's the law.
06/22/2020 PER COORDINATION W/ MKB
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.
PROJECT No.: W201298 DRAWN BY: DJA
CHECKED BY: MKB DATE: 02/11/2021 CAD I.D.: W201298-CVL-0
PROJECT: SITE DEVELOPMENT PLANS FOR
BRIDGE33 CAPITAL
PROPOSED COFFEE SHOP WITH DRIVE-THROUGH
MAP #44, LOT #6 586 NASHUA STREET
TOWN OF MILFORD HILLSBOROUGH COUNTY, NEW HAMPSHIRE
BOHLER//
352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900 www.BohlerEngineering.com
HODE MARSHAR HEREN SENSE 1530 HORE HERENSE HEREN 15476 COMMENTAL HERENSE 15476 COMMENTAL HERENSE 15476 COMMENTAL HERENSE 15476 COMMENTAL HERENSE 15476 COMMENTAL HERENSE 15476
MAINE LICENSE No. 12553 SHEET TITLE:
DETAIL SHEET
SHEET NUMBER: C-903
C-303
ORG. DATE - 02/11/2021



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$\frac{DATE}{12} \frac{2}{22} \frac{2020}{2020}$	REVIEWED: R.J.K.	APPROVED: J.P.L.	date 12-22-2020	scale 1"=100'	FILE NO. 03-200348	dwg. no. 1 OI	= 2

- COMPANY, INC., DATED JULY 13, 1987. RECORDED WITH THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS
- 4. UNDERGROUND WATER FACILITY MAPPING PROVIDED BY MILFORD WATER UTILITIES. 5. MAP ENTITLED "PERIMETER SURVEY, SHAWS LORDEN PLAZA, MILFORD, N.H.," PREPARED BY KIMBALL CHASE
- 3. MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR LORDENS PLAZA, NV5 PROJECT NO. 201902877-001, 586 NASHUA STREET, MILFORD, NH, 03005," PREPARED FOR BOCK & CLARK CORPORATION, AN NV5 COMPANY, BY HOLDEN ENGINEERING & SURVEYING, INC., DATED AUGUST 14, 2019. THREE SHEETS.
- 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, HILLSBOROUGH COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) PANEL 478 OF 701," MAP NUMBER 33011C0478D, MAP EFFECTIVE DATE: SEPTEMBER 25, 2009.
- 1. THE GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE OF MILFORD, HILLSBOROUGH COUNTY, MAP 44.
- REFERENCES:

- 9. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT. 10. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2

OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED.

ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. 5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE

7. 😓 ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS

8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE,

TBM-A: MAG NAIL SET IN CONCRETE ISLAND. ELEVATION = 249.18'

ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT. ELEVATION = 243.74'

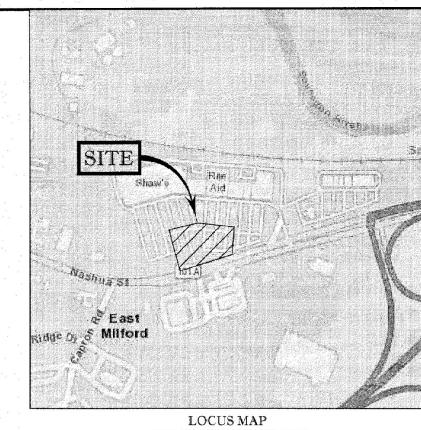
- ABANDONED. 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT
- UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR
- 1. PROPERTY KNOWN AS LOT 6 AS SHOWN ON THE GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE OF THE TOWN OF MILFORD, HILLSBOROUGH COUNTY, STATE OF NEW HAMPSHIRE; MAP NO. 44. 2. AREA = 752,706 SQUARE FEET OR 17.280 ACRES 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND
- © 2013 ESRI WORLD STREET MAPS NOT TO SCALE NOTES:

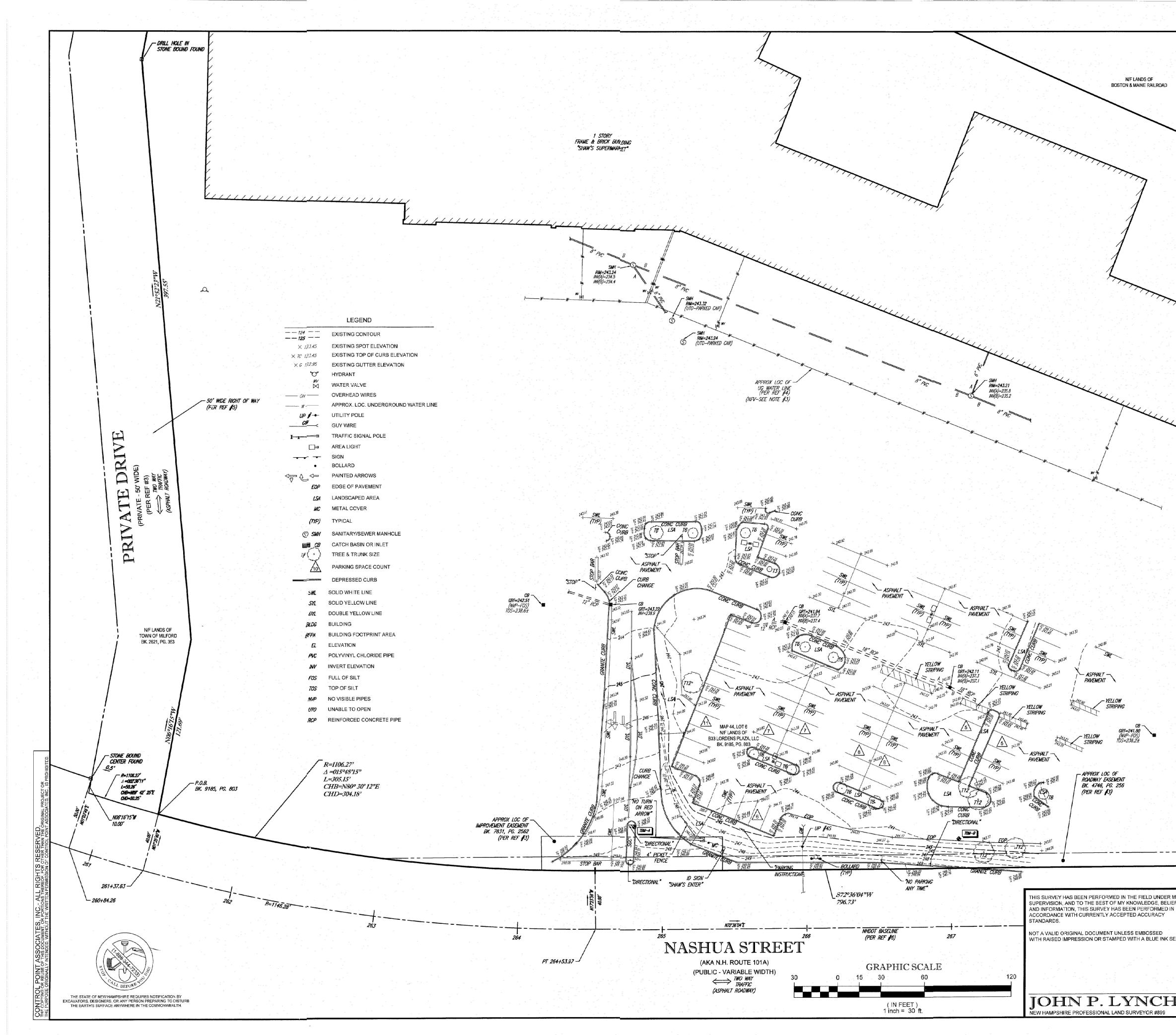
SURVEY

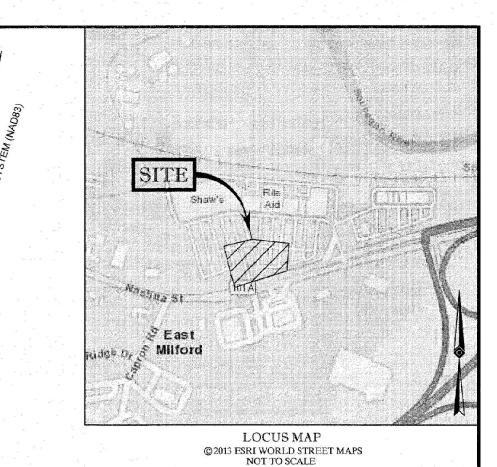
TEMPORARY BENCH MARKS SET:

PERMANENT ADDITION, ETC.

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NOTES:

3.

- PROPERTY KNOWN AS LOT 6 AS SHOWN ON THE GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE OF THE TOWN OF MILFORD, HILLSBOROUGH COUNTY, STATE OF NEW HAMPSHIRE; MAP NO. 44.
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- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- 5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS
- DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2 7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS
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- TBM-A: MAG NAIL SET IN CONCRETE ISLAND. ELEVATION = 249.18'
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- 8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- 9. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
- 10. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

REFERENCES:

- THE GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASE OF MILFORD, HILLSBOROUGH COUNTY, MAP 44.
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- 4. UNDERGROUND WATER FACILITY MAPPING PROVIDED BY MILFORD WATER UTILITIES.
- 5. MAP ENTITLED "PERIMETER SURVEY, SHAWS LORDEN PLAZA, MILFORD, N.H.," PREPARED BY KIMBALL CHASE COMPANY, INC., DATED JULY 13, 1987. RECORDED WITH THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #21521.
- 6. MAP ENTITLED "PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT NO. F-FG 010-1(2), N.H. PROJECT NO. P-2419, SOUTH SIDE HIGHWAY," PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, DATED JANUARY 31, 1956. SHEETS 7 & 8 OF 116.
- MAP ENTITLED "PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, F 018-1(4), N.H. PROJECT NO. P-7259B, CONTRACT NO. 1," PREPARED BY THE STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, DATED AUGUST 12, 1970. SHEETS 83 OF 499.

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ER MY ELIEF, D IN	FIELD DATE 12-4-2020 FIELD BOOK NO. 20-16 MA FIELD BOOK PG. 51	BOUNDARY & PARTIAL TOPOGRAPHIC, UTILITY SUR BRIDGE33 CAPITAL 586 NASHUA STREET MAP 44, LOT 6 TOWN OF MILFORD, HILLSBOROUGH COUNTY STATE OF NEW HAMPSHIRE					RVEY	
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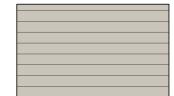




LORDENS PLAZA **STARBUCKS CAFE - SCHEME A**

> MILFORD, NH MARCH 2, 2021

GAF ARCHITECTURAL SHINGLE ROOF TIMBERLINE ULTRA HD - COLOR: CHARCOAL



CLAPBOARDS. COLOR TO MATCH SW 7632 MODERN GRAY

2' GRID - COLOR TO MATCH

SW 7036 ACCESSIBLE BEIGE



TRIMS, COLUMNS - COLOR TO MATCH SW 7002 DOWNY

FABRIC AWNING - SUNBRELLA COLOR: UNITY CHARCOAL

FIN. FLOOR 0'-0"

ROOF 22'-6"

ROOF 18'-7"

FIN. FLOOR 0'-0"





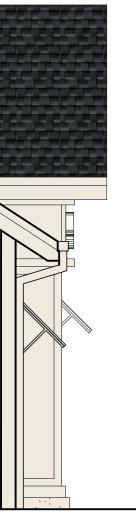








FIN. FLOOR 0'-0"



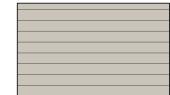


FIN. FLOOR 0'-0"

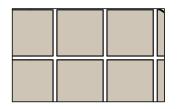
LORDENS PLAZA **STARBUCKS CAFE - SCHEME B**

MILFORD, NH MARCH 2, 2021

GAF ARCHITECTURAL SHINGLE ROOF TIMBERLINE ULTRA HD - COLOR: CHARCOAL

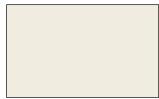


CLAPBOARDS. COLOR TO MATCH SW 7632 MODERN GRAY



2' GRID - COLOR TO MATCH SW 7036 ACCESSIBLE BEIGE

BRICK - COLOR TO MATCH SW 7593 RUSTIC RED

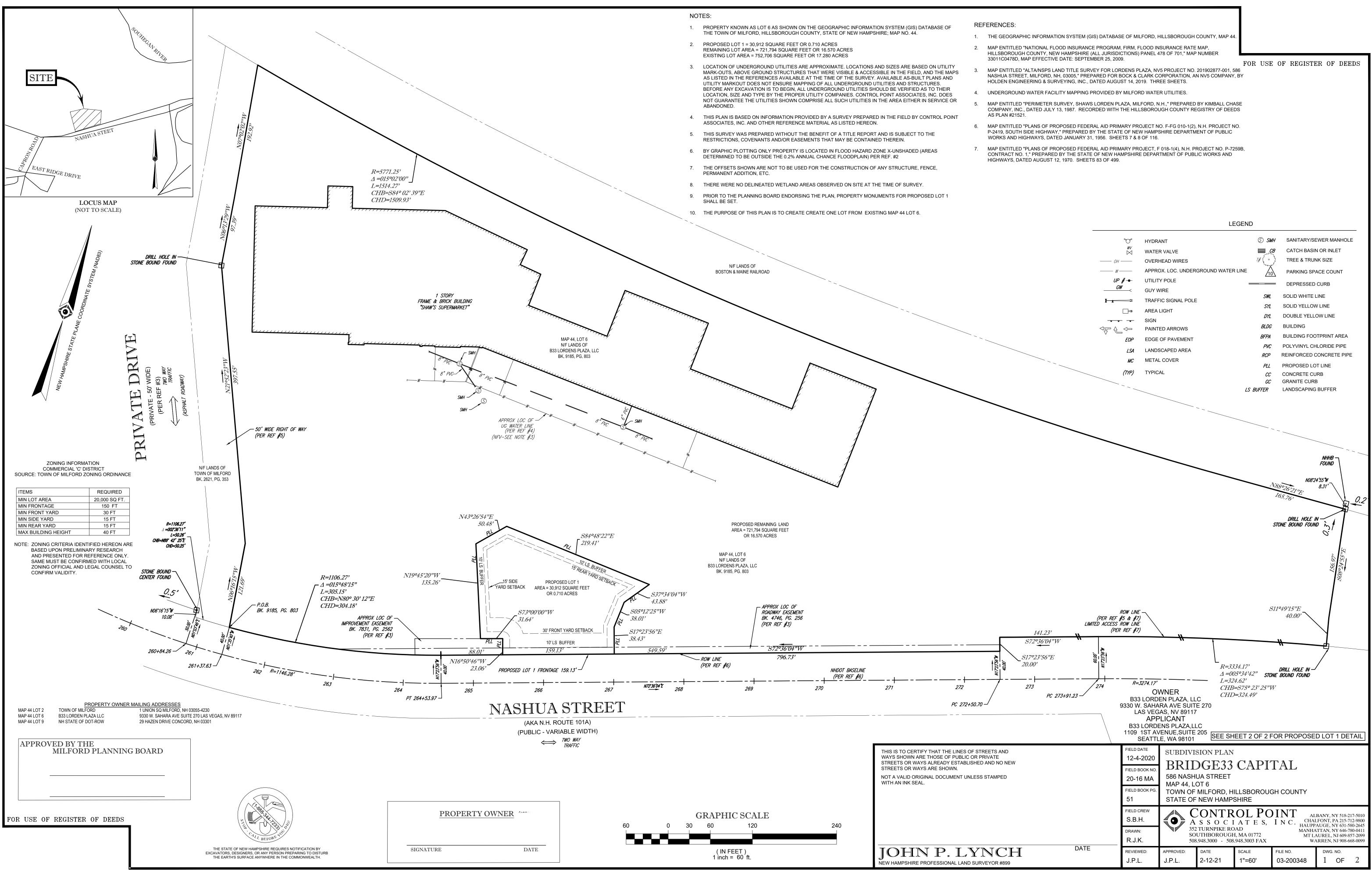


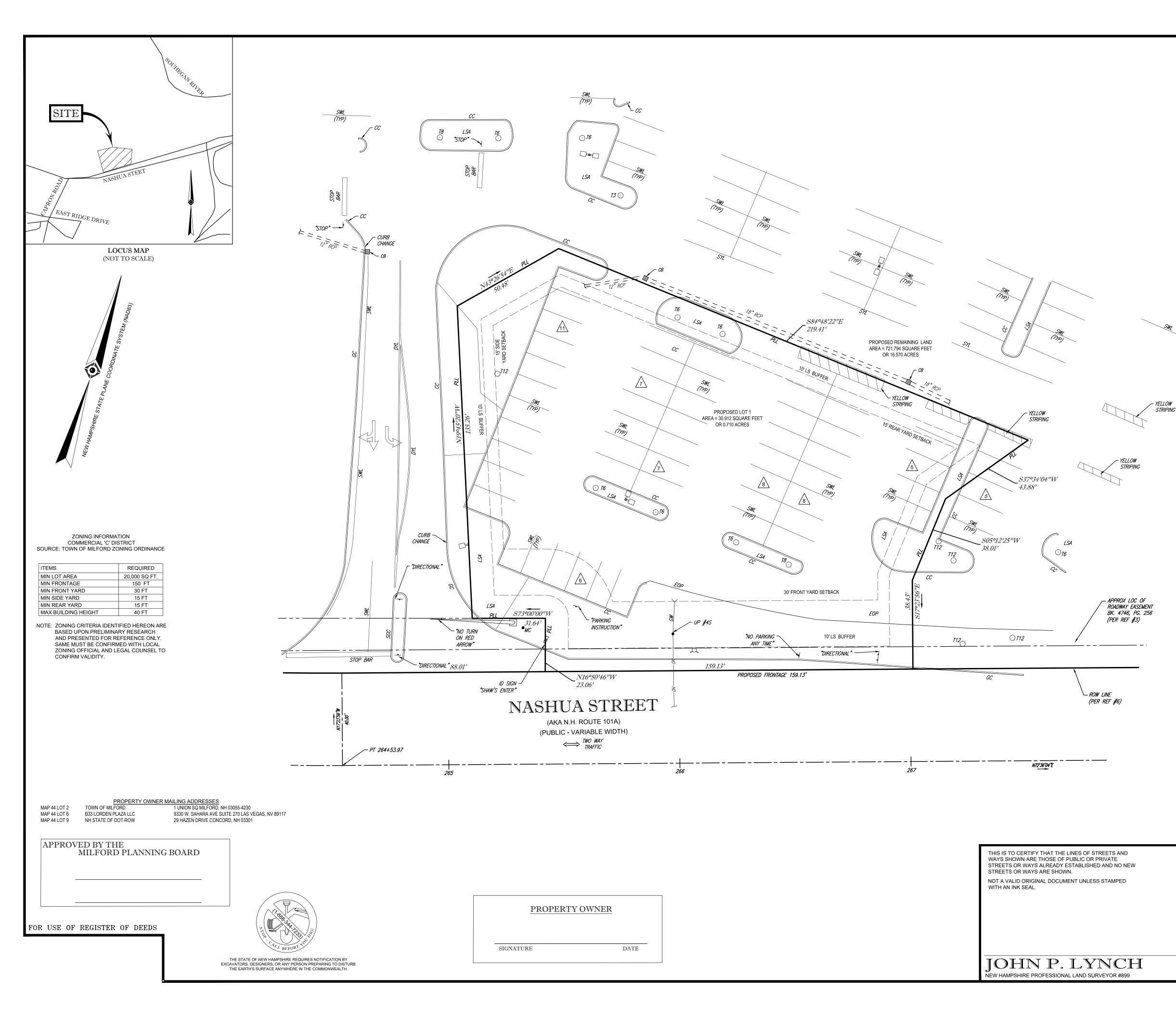
TRIMS, COLUMNS - COLOR TO MATCH SW 7002 DOWNY



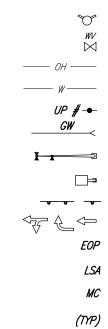








LEGEND



HYDRANT	© SMH	SANITARY/SEWER MANHOLE
WATER VALVE	CB_CB	CATCH BASIN OR INLET
OVERHEAD WIRES	<i>⊺#</i> { ∘ }	TREE & TRUNK SIZE
APPROX. LOC. UNDERGROUND WATER LINE		PARKING SPACE COUNT
UTILITY POLE		DEPRESSED CURB
GUY WIRE		
TRAFFIC SIGNAL POLE	SWL	SOLID WHITE LINE
	SYL	SOLID YELLOW LINE
AREA LIGHT	DYL	DOUBLE YELLOW LINE
SIGN	2.20	
PAINTED ARROWS	BLDG	BUILDING
EDGE OF PAVEMENT	BFPA	BUILDING FOOTPRINT AREA
LANDSCAPED AREA	PVC	POLYVINYL CHLORIDE PIPE
	RCP	REINFORCED CONCRETE PIPE
METAL COVER	PLI	PROPOSED LOT LINE
TYPICAL	- <u>-</u> -	CONCRETE CURB
	GC	GRANITE CURB
,	S BUFFFR	LANDSCAPING BUFFER
L	S DUITER	LANDGOALING BULLEN

20	0	10 20	PHIC SCA 40 (IN FEET) inch = 20 ft.		8	0
OWNER B33 LORDEN PLAZ 9330 W. SAHARA AVE LAS VEGAS, NV 8 APPLICAN B33 LORDENS PLA 1109 1ST AVENUE,S SEATTLE, WA 95	SUITE 270 39117 T ZA,LLC UITE 205	SEE SH	HEET 1 OF 2	FOR NOTES	AND REFEREN	CES
	FIELD DATE 12-4-2020 FIELD BOOK NO. 20-16 MA FIELD BOOK PG. 51	BRII 586 NASH MAP 44, LO TOWN OF	SION PLAN DGE33 UA STREET DT 6 MILFORD, H NEW HAMPS	ILLSBOROU		
DATE	FIELD CREW S.B.H. DRAWN: R.J.K. REVIEWED:	A 352 SO	CONTR SSOCI TURNPIKE RC UTHBOROUGH .948.3000 - 508 DATE	ATES, DAD I, MA 01772	INC. CHAI HAUPP MANHA MTLA	BANY, NY 518-217-5010 JFONT, PA 215-712-9800 AUGE, NY 631-580-2645 JTTAN, NY 646-780-0411 AUREL, NJ 609-857-2099 ARREN, NJ 908-668-0099 DWG. NO.
	J.P.L.	J.P.L.	2-12-21	1"=20'	03-200348	2 of 2

Trip Generation Summary - Proposed Starbucks - Milford, NH

Time Period

			Pass-By	
		Starbucks	Starbucks	New Trips
	Size	2250		
Weekday Morning Peak Hour Entering Exiting Total		102 98 200	-80 -80 -160	22 18 40
Weekday Evening Peak Hour Entering Exiting Total		49 49 98	-39 -39 -78	10 10 20
Saturday Midday Peak Hour Entering Exiting Total		99 99 198	-79 -79 -158	20 20 40
Weekday Daily		1,846	-1,476	370
Saturday Daily		1,820	-1,456	364

ANALYSIS RESULTS

Level-of-service and vehicle queue analyses were conducted for 2021 Existing, 2022 and 2032 No-Build, and 2022 Opening-Year and 2032 Build peak-month conditions for the intersections within the study area. The results of the intersection capacity analyses are summarized in Table 5 with detailed analysis results presented in the Appendix.

The following is a summary of the level-of-service and vehicle queue analyses for the intersections within the study area.

Signalized Intersections

Nashua Street at Lorden Plaza Eastern Driveway and Ocean State Job Lot Plaza Driveway

Under 2021 Existing, 2022 No-Build, and 2032 No-Build conditions, this signalized intersection operates at an overall LOS C during the weekday morning peak, weekday evening peak hour and Saturday midday peak hour. Under future 2022 Build and 2032 Build conditions this location is projected to operate at LOS D or better during all three time periods, with Project-related traffic increases resulting in increases to overall delays of approximately 2 seconds or less as compared to future No-Build conditions.

Nashua Street at Lorden Plaza Western Driveway and Walgreens/Cumberland Farms Driveway

Under 2021 Existing, 2022 No-Build, and 2032 No-Build conditions, the intersection operates at an overall LOS C during the weekday morning peak, weekday evening peak hour and Saturday midday peak hour. Under future 2022 Build and 2032 Build conditions this location is projected to continue to operate at LOS C during all three time periods, with Project-related traffic increases resulting in increases to overall delays of approximately 2 seconds or less as compared to future No-Build conditions.

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CONCLUSIONS

VAI has completed a detailed assessment of the potential impacts on the transportation infrastructure associated with the construction of a Starbucks restaurant with a drive-through lane within the existing Lorden Plaza located off Nashua Street in Milford, New Hampshire. This study was conducted in consultation with the Town of Milford and NHDOT, and was performed in general accordance with NHDOT guidelines for the preparation of TISs, and the standards of the Traffic Engineering and Transportation Planning Professions for the preparation of such reports. The following specific areas have been evaluated as they relate to the Project: i) Project access requirements; ii) potential off-site improvements; and iii) safety considerations; under existing and future conditions, both with and without the Project.

As a result of this assessment, we have concluded the following with respect to the Project:

- Using trip-generation statistics published by the ITE⁴ for similar land uses as those proposed and applying the appropriate pass-by trip reductions, the Project is expected to generate approximately 40 new vehicle trips (22 entering and 18 exiting) during the weekday morning peak hour, approximately 20 new vehicle trips (10 entering and 10 exiting) during the weekday evening peak hour and approximately 40 new vehicle trips (20 entering and 20 exiting) during the Saturday midday peak hour. On a daily basis the Project is expected to generate 370 new trips (185 entering and 185 exiting) on a typical Saturday and 364 new trips (182 entering and 182 exiting) on a typical Saturday.
- 2. In general, the Project is not expected to have a significant impact on motorist delays or vehicle queuing at the study intersections over anticipated future conditions without the Project (No-Build conditions) with overall delays projected to increase by 2 seconds or less as compared to future No-Build conditions.
- 3. No notable safety deficiencies were identified in the vicinity of the site, with low crash history at the intersections that serve the site.

Based on the findings above, we have concluded that the Project is appropriately designed and located to afford safe and efficient access and circulation, and that the additional traffic associated

⁴Ibid 3.

approximately 40 new vehicle trips (20 entering and 20 exiting) during the Saturday midday peak hour. On a daily basis the Project is expected to generate 370 new trips (185 entering and 185 exiting) on a typical weekday and 364 new trips (182 entering and 182 exiting) on a typical Saturday.

Trip Distribution and Assignment

The directional distribution of generated trips to and from the Project site was determined based on a review of existing traffic patterns along the Nashua Street corridor during each time period under evaluation. Specifically, during the weekday morning peak hour approximately 60 percent of new site traffic is expected to arrive and depart from the west, with approximately 60 percent of new traffic arriving and departing to the east during the weekday evening peak hour. During the Saturday midday approximately 55 percent of traffic is expected to arrive and depart to the west. Based on these arrival and departure patterns, additional traffic expected to be generated by the Project was assigned on the study area roadway network as shown on Figure 6.

FUTURE TRAFFIC VOLUMES - BUILD CONDITION

The 2022 Opening-Year Build and 2032 Build condition traffic-volumes were developed by adding the traffic expected to be generated by the Project to the 2022 Opening Year No-Build and 2032 No-Build conditions. The resulting 2022 Opening-Year Build condition weekday morning, weekday evening, and Saturday midday peak-month peak-hour traffic volumes are graphically depicted on Figure 7, with the corresponding 2032 Build condition peak-month peak-hour traffic volumes depicted on Figure 8.

A summary of peak-hour projected traffic-volume increases outside of the immediate study area that is the subject of this assessment are shown in Table 3. These volumes are based on the expected increases from the Project.

Location/Peak Hour	2021 Existing	No-Build (2022/2032)	Build (2022/2032)	Traffic-Volume Increase No-Build vs. Build (2022/2032)	Percent Increase No-Build vs. Build (2022/2032)
Nashua Street at Lorden					
Plaza East Driveway:					
Weekday Morning	1,476	1,497/1,617	1,512/1,632	26/26	1.0/0.9
Weekday Evening	2,047	2,071/2,197	2,083/2,209	17/17	0.6/0.5
Saturday Midday	1,923	1,945/2,060	1,963/2,078	33/33	0.9/0.9
Nashua Street at Lorden Plaza West Driveway:					
Weekday Morning	1,459	1,486/1,604	1.571/1.689	85/85	5.7/5.3
Weekday Evening	2,038	2,070/2,191	2,105/2,226	35/35	1.7/1.6
Saturday Midday	1,907	1,936/2,047	2,014/2,125	78/78	4.0/3.8

Table 3PEAK-HOUR TRAFFIC-VOLUME INCREASES