



STAFF MEMORANDUM

Date: May 10, 2022

To: Planning Board

From: Lincoln Daley, Community Development Director

Subject: **Case SP #2022-03 Amherst Label Realty, LLC, Tax Map 15, Lot 15, 15 Westchester Drive**
Public Hearing for a Major Site Plan to construct a 13,305 square foot building addition, stormwater management design, and related site and landscaping improvements within the Industrial zoning district.

BACKGROUND/PROPOSAL:

The applicant is before the Board seeking approval of a Major Site Plan to construct a 13,305 total square feet of industrial building additions, parking improvements, stormwater management design, and related site and landscaping improvements within the Industrial zoning district. The building additions will primarily serve as additional warehouse space. This will be the first public hearing for the application.

APPLICATION STATUS:

The application is complete and ready to be accepted. The Board will need to make a determination of regional impact.

NOTICES:

Notices were sent to all property abutters on May 3, 2022.

WAIVER REQUESTS:

The applicant submitted a request for waiver from Development Regulations, Section 6.05.4 to allow a reduction of required off-street parking.

LAND USE APPROVALS

On April 21, 2022, the applicant previously received a Special Exception from the Board of Adjustment from the Milford Zoning Ordinance, Article VI, Section 6.02.6 to disturb approximately 7,410 square feet of wetland buffer area to allow the installation of a infiltration basin and related site improvements in the Industrial 'I' Zoning District.

EXISTING USE/CONDITIONS:

The total area of Map 15, Lot 15 is approximately 6.66 acres (290,071 sf.) and contains 284 linear feet of frontage on Westchester Drive. The property contains an Amherst Label, a label warehousing and manufacturing facility with a building footprint of approximately 32,800 sf+/- and associated site features such as drive isles, parking, walkways and landscaping. The property is serviced by municipal water and waste water.

The project area is bordered by Elite Hydraulics to the north, Westchester Drive and multi-family residences to the east, a railroad to the south, and Tucker Brook to the west. Tucker Brook bisects the

overall property and the runoff generated by the property ultimately drains to the brook. As depicted in the plan set, the wetlands within the project area have been flagged. These wetlands include a high value wetland associated by Tucker Brook, a small pocket wetland within the 100-year flood plan, and a wetland created by a railroad and drainage ditch along the south property line.

ZONING DISTRICT/INFORMATION:

The subject property is within the Industrial ‘I’ District. The intent of the Industrial District is to provide areas for manufacturing, processing, assembly, wholesaling, research and development.. Each of the lots in their new configurations meet the lot sizes and frontages as required by Milford Zoning Ordinance, Section 5.06.

The properties also lie within the West Elm Overlay. The intent of this District is to encourage economic development in the West Elm Street Gateway District by enhancing, preserving and protecting the natural, historic and cultural resources of the Town.

TRAFFIC AND ACCESS MANAGEMENT:

The site will continue to be accessed by existing curb cuts off of Westchester Drive and the internal vehicle circulations and traffic patterns will primarily remain unchanged.

Snow storage will be managed on the southeast and northwest corners of the developed site as shown on the plan set. In addition, the applicant added a note to the plan stating that excess snow will be moved off site to an appropriate location.

PARKING

Sheet SP-2 of the Site Plan displays the parking calculation. Although, the plan calls for adding 14 additional parking spaces, the total number of required spaces being provided is 62 where 74 spaces area required. The applicant filed a waiver from Development Regulations, Section 6.05.4 to allow a reduction of required off-street parking down to 62 spaces.

PARKING SUMMARY			
DESCRIPTION	RATIO	REQUIRED	PROVIDED
EXISTING BUILDING (REMAINING)			
OFFICE	9,371 SF @1 SPACE PER 300 SF	31.2	32
WAREHOUSE	27,780 SF @ SPACE PER 1,000 SF	27.8	16
SUBTOTAL		59	48
PROPOSED BUILDING			
OFFICE	480 SF @1 SPACE PER 300 SF	1.6	2
WAREHOUSE	12,557 SF @1 SPACE PER 1,000 SF	12.6	12
SUBTOTAL		15	14
TOTAL		74	62 (3)
NOTES			
1. PARKING CALCULATION PER 6.05.4 TABLE OF OFF-STREET PARKING OF THE TOWN OF MILFORD DEVELOPMENT REGULATIONS.			
2. WAIVER REQUESTED FROM TOWN OF MILFORD DEVELOPMENT REGULATIONS SECTION 6.05.4 TABLE OF OFF-STREET PARKING TO ALLOW A REDUCTION OF 12 PARKING SPACES.			
3. "(#)" REPRESENTS THE NUMBER OF ADA SPACES WITHIN THE TOTAL.			

The applicant states in their waiver request that the company averages 45 employees per day. During periods of high demand, the company approximately 10 additional part-time employees for a limited time. The proposed 62 spaces exceed the maximum demand of 55 employees. Amherst Label has infrequent visits from customers. The 7 extra spaces should provide an adequate buffer for said customers. Lastly, the applicant states that granting the waiver reduces the need for impervious surface and size of the proposed infiltration basis and impact to the buffer. (See 4/16/22 Waiver Request)

The Board will be required to vote on the waiver request presented by the applicant.

DRAINAGE & STORMWATER MANAGEMENT:

The existing developed area will primarily be managed as it exists today by sheet flowing to northern and southern drainage swales along the property boundaries. The northern drainage swale located on Tax Map 15, Lot 15-1 is a pre-existing condition that manages stormwater from both properties. Stormwater located in rear developed portion of the property including the new addition will managed by way of a proposed retention pond.

The retention pond and drainage improvements are located in the delineated wetland buffer. As stated above, the applicant previously received a Special Exception from the Board of Adjustment from the Milford Zoning Ordinance, Article VI, Section 6.02.6 to disturb approximately 7,410 square feet of wetland buffer area to allow the installation of an infiltration basin and related site improvements.

The stormwater and drainage design has been reviewed by KVPpartners with minimal comments. (See 4/21/22 Review Letter). The comments have been addressed and added to the plan set.

BUILDING ELEVATIONS:

The applicant has provided building elevations that meet the intent of the Development Regulations and West Elm Overlay District. The primary addition will be located behind the existing industrial building and be of similar architectural massing and design as the existing building. The height of the building will not exceed 27 feet.

OPEN SPACE & LANDSCAPE DESIGN

Approximately 71% of the property will remain open space (30% min. required). The applicant is utilizing primarily existing established landscaping along the eastern (front) and southern portions of the property. To supplement the existing vegetation/trees, the applicant is proposed to add 2 red maples and 5 hick yews hedges located north of the new proposed 14 parking spaces. The majority of the new plantings will be located within and around the perimeter of the retention pond. The layout and design within this area have been reviewed and enhanced through input and guidance provided by the Conservation Commission.

STAFF COMMENTS:

Ambulance: No comments.

Conservation Commission: To be provided prior to the meeting.

Fire Department: No comments.

Heritage Commission: No comments.

Police Department: No comments.

Public Works: No comments.

Water / Waste Water: No comments.

Planning Department: All of Staff's comments have been addressed with the revised submitted plan set.

STAFF RECOMMENDATIONS:

The applicant should be prepared to address any of the comments raised by the Planning Board, Staff, and public pertaining to the Site Plan Application. Barring any/all input and recommendations from the Board, Staff recommends approving the application subject to revising the plan subject to staff and Board comments.

Aerial Photos of Subject Property



Street Photos of Subject Property



Subject Property Looking Southwest along Westchester Drive



Subject Property Looking West At First Entrance Drive

Subject Property Looking Southwest along Westchester Drive



Subject Property Looking Southwest along Westchester Drive



Subject Property Looking Northwest along Westchester Drive



Subject Property Looking Northwest From the Southeast Property Corner



April 21, 2022

Lincoln Daley, Community Development Director
Town of Milford
1 Union Square
Milford, NH 03055

**Re: Amherst Label Expansion (Tax Map 15, Lot 15)
Site Plan Drainage Review**

Dear Mr. Daley:

We reviewed the revised ten-sheet plan set and Drainage Report both dated March 10, 2022 and prepared by Meridian Land Services, Inc. in accordance with our agreement with the Town. The review was limited to stormwater elements of the project as directed. Based on that review, we offer the following comments:

1. Additional detail is required on the *Infiltration Basin – Typical Cross Section* including the width of the berm and the side slope rates (inside and outside the basin). Also, the basin detail notes “detention basin” however, the proposed pond is an infiltration basin. Also, clarify how the berm between the forebay and main basin will be constructed (materials, elevations, etc.)
2. It appears that there are opportunities along the north and south sides of the site to add stormwater management practices that will reduce the size of the stormwater basin in the wetland buffer zone. Please demonstrate why the proposed work is the least impactful alternative available to the buffer zone for this site.
3. Provide details for the proposed 12” steel pipe and catch basin (inlet) in the northwest corner of the parking lot.

If you have any questions or need any additional information, please feel free to contact me at 603-413-6650 or on my cell phone at 603-731-1562 or by email at MVignale@kvpllc.com.

Sincerely,

KV Partners LLC



Michael S. Vignale, P.E.
Principal Engineer



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April 13, 2022

Lincoln Dailey
Milford Town Planning Director
Town of Milford Planning Department
1 Union Square
Milford, NH 03055

**Re: Amherst Label Expansion
15 Westchester Dr
Map 15 Lot 15
Milford, NH 03055**

**Major Site Plan Application
Lot Line Adjustment Application
Stormwater Application**

Response Letter #1

Mr. Dailey:

Attached for review and approval, please find the following items as they relate to the above referenced project:

1. One (1) pdf 22" x 34" sets of Lot Line Adjustment Plan prepared by *Meridian Land Services, Inc.*;
2. One (1) pdf 22" x 34" sets of Construction Plans prepared by *Meridian Land Services, Inc.*;

In response to the Milford Town Staff Comments dated May 9, 2022 and the KV Partners LLC Third Party Review dated April 21, 2022, both received via email on May 10, 2022, please find the following responses to comments in order as received:

Milford Town Staff Comments

1. *Question – LLA Plan. Pursuant to Section 6.021 of the Development Regulations, all property bounds or lot line adjustments must be set and firmly established or a security in place before the Planning Board will give final approval to the plan. The Lot Line Adjustment Plan does not show all of the appropriate monumentation for the lots. Please revise and resubmit the subdivision plan to include all property monumentation (existing or to be set) around the perimeter Map 15, Lot 15.*

The LLA plan has been revised to show the property boundaries monuments to be set for the effected lot lines, as well as the one missing monument at the jog in the south property line.

The third paragraph of section 6.021 states that the boundaries will need to be set prior to the Board's final approval of the plan. We are requesting that Board allow the LLA to receive final approval and is recorded before the monuments are set with the condition that the monuments will be set prior to receiving a Certificate of Occupancy for the proposed building. This request is to allow the monuments



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to be set after construction is completed so they are not damaged during construction. This is also requested so that Parcel A shown on the LLA plans is conveyed to Lot 15-15 for them to construct the parking area. We do not want to improve Parcel A until the parcel is conveyed to Lot 15-15.

2. *Question – LLA Plan. The plan should be revised to show either in a comparison parcel table or in proximity to the parcel labels, the acres/square feet of each lot the existing lots prior to the lot line adjustment.*

Acknowledged. A comparison parcel table has been added to the LLA Plans.

3. *Question – LLA Plan. Notes 3 should be revised to read as follows, "Tax Map 15, Lot 15 & 15-1 are located in the Industrial 'I' Zoning District and West Elm Overlay District."*

Acknowledged. Note 3 has been revised to state "Tax Map 15, Lot 15 & 15-1 are located in the Industrial 'I' Zoning District and West Elm Overlay District. Lots may be subject to additional overlay districts not shown hereon."

4. *Question – Site Plan, Sheet 1. Permits and Approvals and Waivers notes shown as TBD will need to be revised upon submittal of final plan.*

The status of the Site Plan Permit, LLA Permit, and Stormwater Permit is stated to be "submitted 4/18/22". The permit numbers have been left as TBD since we do not have a permit number associated with them yet.

The waiver is described as "Pending per letter dated 4/18/22"

5. *Question – Site Plan, Sheet 2. Notes 3 should be revised to read as follows, "Tax Map 15, Lot 15 & 15-1 are located in the Industrial 'I' Zoning District and West Elm Overlay District."*

Acknowledged. Note 3 has been revised to state "Tax Map 15, Lot 15 & 15-1 are located in the Industrial 'I' Zoning District and West Elm Overlay District. Lots may be subject to additional overlay districts not shown hereon."

6. *Question – Site Plan, Sheet 3 (SP-1). Please revise the sheet to display the proposed silt fence line and erosion control measures during construction. In addition, please revise the plan to show where the staging area(s) for materials and equipment for the proposed addition will be stored.*

Silt fence is shown on the erosion control plan on Sheet 10 (D-3). Note 1 of the Demolition Notes has been revised to state "Erosion control to be installed prior to ground disturbance. See erosion control to be installed prior to ground disturbance. See erosion control plan, sheet D-3." See sheet 3 and 10.



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7. *Question – Site Plan, Sheet 3 (SP-1). Demolition Note #1 should be revised to read “Erosion Controls to be installed and inspected by the Town prior to ground disturbance.”*

Note 2 of the Demolition Notes has been added to state “Erosion controls to be inspected by the town prior to ground erosion controls to be inspected by the town prior to ground disturbance.” See sheet 3.

8. *Question – Site Plan, Sheet 3 (SP-1). Demolition Note #2 should be revised to include the Town of Milford in the notification process prior to ground disturbance.*

Note 2 of the Demolition Notes is now note 3. This note has been revised to include the town in the notification process. Note 3 of the Demolition Notes states “The contractor shall notify the owner, the town, and contact all utility the contractor shall notify the owner, the town, and contact all utility companies for locations of existing utilities in the area 72 hours (minimum) prior to commencing demolition.” See sheet 3.

9. *Question – Site Plan, Sheet 3 (SP-1) and General Question. Please explain how the construction of the building addition (if any) will impact current operations and circulation within the site.*

The majority of the construction activity will take place at the rear of the site. The construction equipment will be stages tot eh west of the truck turnaround and in the south corner when it is not in use. The construction will most likely impact the delivery of material and the ability for trucks to turn around. Coordination between the construction workers, managers of the warehouse and delivery vehicles will be required for the site to remain functional.

10. *Question – Site Plan, Sheet 4 (SP-2). Please revise Note 4 by removing “with City of” from the sentence.*

Note 4 of the General Development Notes has been revised to remove “with city of”. Note 4 of the General Development Notes states “All construction to be in accordance with the town of Milford zoning all construction to be in accordance with the town of Milford Zoning Ordinances and Site Regulations.” See sheet 4.

11. *Question – Site Plan, Sheet 4 (SP-2). Please revise Note 15 to include a reference to the Milford Development Regulations and Milford Driveway Regulations.*

Note 15 of the General Development Notes has been revised to state “Where applicable; water, sewer, roads (including parking lots), and where applicable; water, sewer, roads (including parking lots), and drainage work shall be constructed in accordance with the town of Milford water department and public works department standards, development regulations, ad driveway regulations.” See sheet 4.



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12. Question – Site Plan, Sheet 4 (SP-2). Please revise the Site Development Regulations table by replacing the minimum lot size of 40,000 to N/A. Pursuant to Section, 5.06.4, in those areas serviced by both municipal sewerage and water systems, no minimum lot size and frontage shall be required for properties in the Industrial Zoning District, other than those requirements that relate to usable open space so long as access to sewer and water is obtained.

Site Development Regulations table on sheet 4 has been revised to the required lot size as N/A. See sheet 4.

13. Question – Site Plan, Sheet 4 (SP-2). Please revise the Site Development Regulations table by including a reference to the Zoning District designation (Industrial).

Note 1 of the Site Development Regulations table state “Site development regulations in accordance with the Town of Milford Zoning Ordinance – Industrial district.” See sheet 4.

14. Question – Site Plan, Sheet 4 (SP-2). Please revise Note 3 within the Parking Summary Table to correct the word “Respesten”.

Note 3 of the Parking Summary table has been revised to correct the spelling. It now states ““(#)” represents the number of ADA spaces within the total.” See sheet 4.

15. Question – Site Plan, Sheet 4 (SP-2). The handicapped parking space being added should be modified to be 10’ wide by 20’ long.

The proposed handicap parking space has been revised to be 10’ x 20’. See sheet 4.

16. Question – Site Plan, Sheet 4 (SP-2). The parking spaces shown along the eastern portion of the property appear to not meet the minimum dimensions for parking spaces. Please confirm if all parking spaces shown and/or proposed meet the current 9’ x 18’ parking space dimensions.

The parking in question is existing parking the parking length is currently substandard. The parking marking are proposed to be restrained to be 18’ long. The existing parking along the remaining site has been verified to comply with Milford’s standards.

17. Question – Site Plan, Sheet 4 (SP-2). As an alternative to the waiver request, did the applicant consider an arrangement with the abutting property owner to the north, Elite Hydraulics, Tax Map 15, Lot 15-1 to park vehicles?

This option was discussed prior to the being of the project. It was determined that the additional parking that is being requested to be waived is not needed for the operation of the warehouse based on the justifications described in the waiver request. It was also determined that Amherst Label wanted



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full control over any parking they were installing and did not want to seek an easement from the owners of Lot 15-15-1. For those reasons we did not seek an arrangement to use the parking on the abutting property.

18. Question – Site Plan, Sheet 4 (SP-2). The plan shows a truck turnaround area in the northwest portion of the developed area. Please explain the maximum size vehicle this will serve and provide the turning movements templates.

The proposed paved truck turnaround area is replacing the existing gravel turnaround. The gravel turnaround was installed due the existing truck driving over the grass. Trucks have been able to navigate the site with the existing gravel turnaround. The proposed paved area is 2' larger than the existing gravel. Since the truck traffic will remain the same the paved turnaround area will allow the trucks to continue to navigate the site.

19. Question – Site Plan, Sheet 4 (SP-2) and Sheet 6 (LS-1). Please provide elevations for the proposed addition.

The proposed building elevation has been added to sheets 4, 5 and 6.

20. Question – Site Plan, Sheet 5 (SP-3). The sheet displays stormwater runoff sheet flowing to the swale between the subject property and the abutting Map 15, Lot 15-1. It is staff's understanding that the swale is directly connected / flows into the wetland resource area and eventually into Tucker Brook. Please explain what measures are taken to pre-treat the stormwater prior to discharge.

Staffs understanding of this swale is correct, it does collect runoff from the site and convey it to the wetlands. The best attempt has been made to capture the most stormwater runoff as possible and convey it to the infiltration basin. This was done with a berm/swale to collect the runoff and convey it to a drainage pipe that connects it to the basin.

As discussed with Lincoln Daley via telephone on May 11, 2022, we looked into the possibility other site features to collect more runoff. We are unable to create a stormwater conveyance system that would collect and convey the runoff to the infiltration basin due to the existing topography of the site. For example, the west edge of the north parking is a high ridge point. The runoff in the parking flows to the northeast, away from the basin. The site is unable to contain this runoff water and convey it to the basin because of the high ridge.

21. Question – Site Plan, Sheet 5 (SP-3). Please detail the snow plowing and removal protocols and efforts to reduce sodium chloride use.

A note has been added to the general development notes stating "Snow to be stored in areas delineated on the plan. during the periods of time of excess snow fall, snow is to be moved off site to appropriate facilities following appropriate methods." See note 17 of the General Development Notes on sheet 4.



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The removal of the snow is when storage becomes a problem solves two issues. It removes the snow so that it does not cause a traffic circulation issue as it builds up and by removing the excess snow it is removing excess sodium chloride. It should be notes that this is the current protocol of the site now.

22. Question – Site Plan, Sheet 6 (LS-1). The plan shows new parking spaces located along the northeast portion of the developed lot (shaded in gray). Please explain what if any landscaping improvements are being proposed. Staff recommends plantings with what appears to be a proposed green strip between the two properties to provide pre-treatment of the stormwater runoff, to delineate the property boundaries, and provide visual mitigation.

As discussed with Lincoln Daley via telephone on May 11, 2022, this area should be landscaped to visually break up the two properties. The landscaping has been added to replace the removed tree and shrubs. The buffer is enhanced by removing a strip of asphalt creating a green space and by adding a n additional tree where it was possible to do so. See sheet 6.

23. Question – Site Plan, Sheet 6 (LS-1). Please update the planting table for the River Birch and Atlantic White Cedar to state 2.5” caliper and 12 feet in height pursuant to Section 6.08.8 of the Development Regulations.

The sizes of the River Birch and Atlantic White Cedar has been revised to be 2.5” caliper and 12 feet in height. See sheet 6.

24. Question – Site Plan, Sheet 7 (LT-1). Please revise said sheet by including the cut sheets/design specifications for the wall units.

The photometric plan has been updated to include the cut sheets/design specifications for the wall units. See sheet 7.

KV Partners Comments

1. *Additional detail is required on the Infiltration Basin – Typical Cross Section including the width of the berm and the side slope rates (inside and outside the basin). Also, the basin detail notes “detention basin” however, the proposed pond is an infiltration basin Also, clarify how the berm between the forebay and main basin will be constructed (materials, elevations, etc.)*

A typical cross section for the infiltration basin has ben revised to change the description from “detention” to “infiltration”, include the width of the top of berm, and slope of the interior and exterior of the berm. A detail of the stone check dam forebay has been added illustrating the construction of the dam and the material to be used. See sheet 7.



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- 2. It appears that there are opportunities along the north and south sides of the site to add stormwater management practices that will reduce the size of the stormwater basin in the wetland buffer zone. Please demonstrate why the proposed work is the least impactful alternative available to the buffer zone for this site.*

The opportunities to add stormwater management along the south is subject to the floodplain. This floodplain has caused the siltation to create a high groundwater table and a reduced infiltration rate. This was confirmed with a test pit in the general area of the floodplain. Due to these constraints the basin was not constructed in the floodplain.

The opportunities to add stormwater management along the north property line and to the west of the truck turnaround was considered. This location does not create enough storage volume due to the berm and slope requirements to justify the disturbance. To create storage in this area a berm would need to be created along the property line by sloping up then a 2' flat top then sloping down. Also, the pavement would require a minimum 2' flat area then slope down. These sloping requirements drastically reduce the size of the potential infiltration basin in this area. The benefit of using this area is outweighed by the removal of the mature pine trees and the truck traffic close to this area.

A special exception has been granted for the buffer impact based on the quality of the existing buffer, the benefit to water quality improvements and the by mitigating the impact with habitat creating landscaping.

- 3. Provide details for the proposed 12" steel pipe and catch basin (inlet) in the northwest corner of the parking lot.*

The pipe has been revised to be 12" ADS pipe for availability purposes. The pipe is detailed with a reduced cover due to the limited grade changes in the area. The pipe is proposed in an area that does not require the pipe to be structural. It is proposed to have additional stone cover over the pipe to support the ground and any loading from mowing of the area. 6" of loam is proposed over the stone to allow grass to grow.

Additional Items corrected or revised since previous submission.

1. The project information table on sheet 1 of the site plan has been updated to include the flood plan overlay district.
2. The land use summary table has been correct to represent the accurate total building footprint shown in the plan view. The plan view has not changed since the original submittal site plan submittal or the ZBA submittal.



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3. **General Development Notes # 1** has been revised to state "The applicant intends to expand the existing building with a net of the applicant intends to expand the existing building with a net of increase 11,428 sf± and associated site improvements on lot 15-15.". This correction was to be consistent with the proposed plan. Again, the plan view has not changed since the original submittal site plan submittal or the ZBA submittal.

If there are any questions or concerns, please do not hesitate to contact Meridian Land Services, Inc.

Sincerely,

Samuel R. Foisie, P.E.
Project Manager
Meridian Land Services, Inc.
srfoisie@MeridianLandServices.com
(603) 673-1441

Project No.: 05073.06
Cc: Jim Cutler with attachments



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April 18, 2022

Re: Amherst Label Expansion
15 Westchester Dr
Map 15 Lot 15
Milford, NH 03055

Waiver Request

As part of the Site Plan review process for the above referenced project, the following waivers are being requested from Town of Milford Development Regulations. These requests are to allow the applicant to construct a better project.

The following is a list of the waivers requested and justification.

Waiver Request #1 – Section 6.05.4 TABLE OF OFF-STREET PARKING of the Town of Milford Development Regulations

The applicant request relief from Section 6.05.4 TABLE OF OFF-STREET PARKING of the Town of Milford Development Regulations to allow a reduction of required off-street parking.

Justification

The subject property currently has 48 parking spaces of the required 59 parking spaces per the current Town of Milford Development Regulations (9/5/2017). A condition of the approval was that the parking usage was to be reviewed by the board one year after the approval. Based on the surveyed site the parking is consistent with the with the approved plan. To knowledge of this office there have not been a complaint that the current parking does not meet the demands of the site functions.

Additionally, based on discussions with the store manager, the current parking plus the additional 14 spaces will meet their needs and future. The owner has described that they average 45 employees per day. During periods of high demand, they add approximately 10 part time employees for a limited period of time. The proposed 62 parking spaces exceeds the expected 55 parking spaces for the employees. Amherst Label does not have many customers visiting the site. The extra 7 spaces provide an adequate buffer for these customer parking.

Lastly this waiver request is to reasonably reduce the impervious area. Based on the function of the existing site and the planned expansion the extra parking is not needed. If this parking is required, it will increase the impervious area. The waiver is requested to reduce this area to reduce the generated stormwater volume. The reduced stormwater volume reduces the size of the infiltration basin and reduces the impact to the buffer.

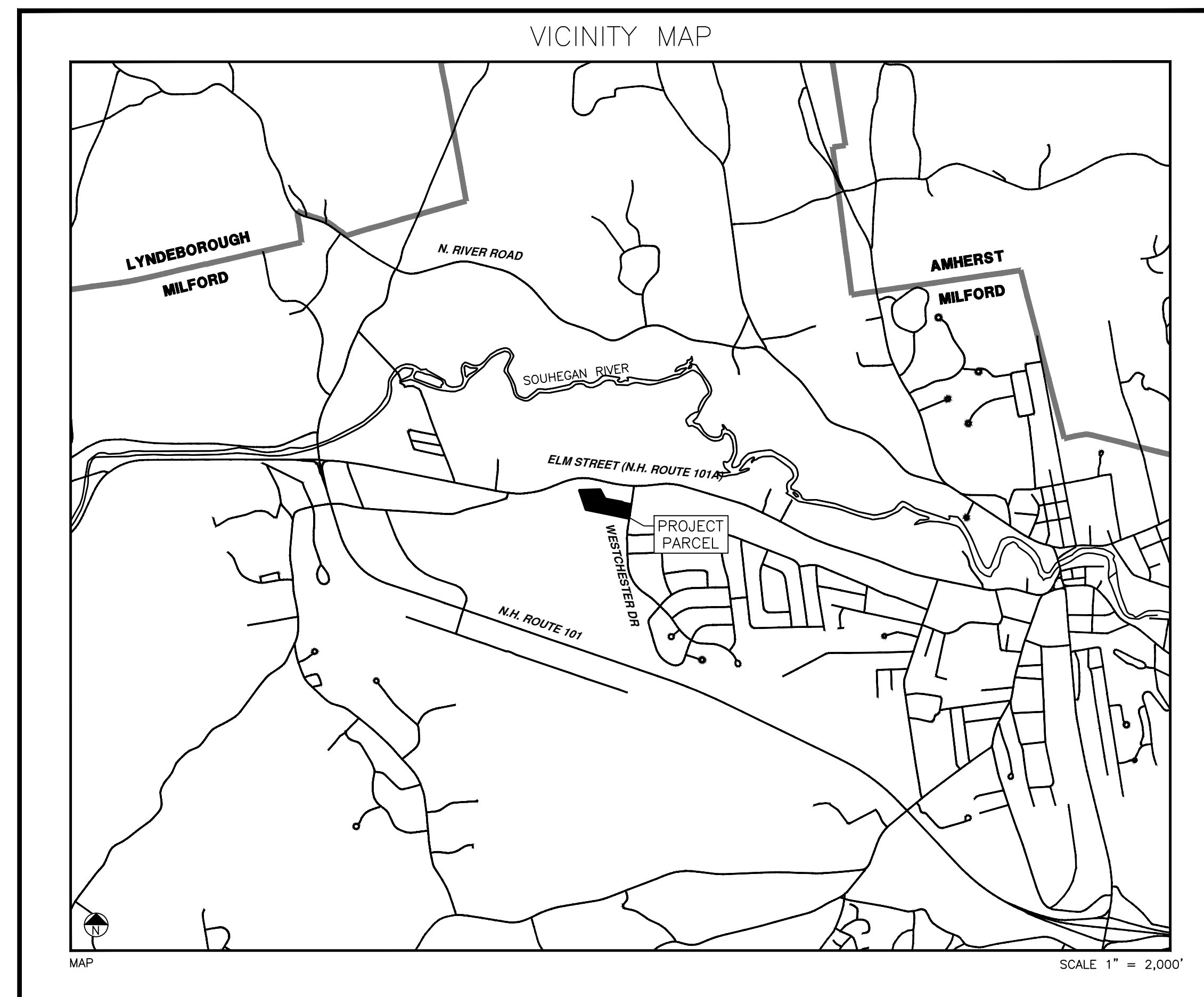
AMHERST LABEL EXPANSION

SITE PLAN TAX MAP 15 LOT 15 MILFORD, NEW HAMPSHIRE APRIL 18, 2022

PROJECT INFORMATION	
ZONING DISTRICT	I - INDUSTRIAL
OVERLAY DISTRICT	NASHUA ELM ST OVERLAY DISTRICT
	WETLAND CONSERVATION DISTRICT
	FLOOD PLAIN OVERLAY DISTRICT
TAX MAP & LOT	15-15

UTILITY PROVIDERS		
WATER & SEWER MILFORD WATER SERVICES 564 NASHUA ST. MILFORD, NH 03055 603-249-0660	ELECTRIC EVERSOURCE 370 AMHERST ST NASHUA, NH 03063 800-662-7764	FIRE DISTRICT MILFORD FIRE DEPARTMENT 39 SCHOOL STREET MILFORD, NH 03055 603-249-0680
CABLE COMCAST 219 DANIEL WEBSTER HWY NASHUA, NH 03060 800-266-2278	GAS LIBERTY UTILITIES 15 BUTTRICK RD LONDONDERRY, NH 03053 800-833-4200	TELEPHONE COMCAST 219 DANIEL WEBSTER HWY NASHUA, NH 03060 800-266-2278

CONSULTANTS		
SURVEYOR SAM INGRAM, LLS MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441	WETLANDS SCIENTIST SPENCER C. TATE, CWS MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441	SOILS SCIENTIST JASON C. BOLDUC MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441
CIVIL ENGINEER SAMUEL R. FOISIE, P.E. MERIDIAN LAND SERVICES, INC 31 OLD NASHUA RD, SUITE 2 AMHERST, NH 03031 (603)-673-1441	LANDSCAPE DESIGNER CYNTHIA D BOISVERT ARGAGO LAND CONSULTANTS, LLC 31 OLD NASHUA RDM SUITE 1 AMHERST, NH 03031 (603)-732-0088	BUILDING ARCHITECT ROLF K. BIGGERS, AIA BMA ARCHITECTURAL GROUP 12 MIDDEL STREET AMHERST, NH 03031 (603)-673-1991

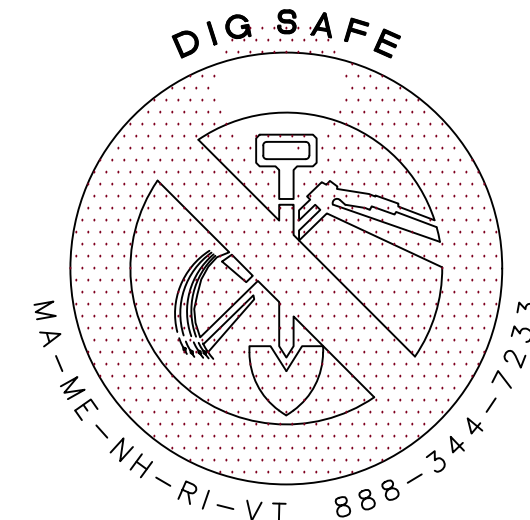


SHEET INDEX	
NO.	DESCRIPTION
1	COVER SHEET, VICINITY MAP AND SHEET INDEX
2	EXISTING CONDITIONS PLAN
3	SP-1 DEMOLITION AND CLEARING PLAN
4	SP-2 SITE LAYOUT, SIGNING AND MARKING PLAN
5	SP-3 PAVING AND GRADING PLAN
6	LS-1 LANDSCAPE PLAN
7	LT-1 PHOTOMETRIC PLAN
8	D-1 CONSTRUCTION DETAILS
9	D-2 DRAINAGE DETAILS
10	D-3 EROSION CONTROL PLAN

PERMIT AND APPROVALS		
PERMIT	PERMIT #	STATUS
SPECIAL EXCEPTION	CASE #2022-05	APPROVED 4/21/2022
SITE PLAN PERMIT	TBD	SUBMITTED 4/18/2022
LOT LINE ADJUSTMENT	TBD	SUBMITTED 4/18/2022
STORMWATER PERMIT	TBD	SUBMITTED 4/18/2022

WAIVERS
DEVELOPMENT REGULATIONS SECTION 6.05.4 TO ALLOW FOR RELIEF FROM THE TABLE OF OFF-STREET PARKING REQUIREMENT - PENDING PER LETTER DATED 4/18/2022

OWNER/DEVELOPER	
OWNER AMHERST LABEL REALTY, LLC 15 WESTCHESTER DR MILFORD, NH 03055	DEVELOPER AMHERST LABEL REALTY, LLC 15 WESTCHESTER DR MILFORD, NH 03055



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MERIDIANLANDSERVICES.COM FAX 603-673-1584

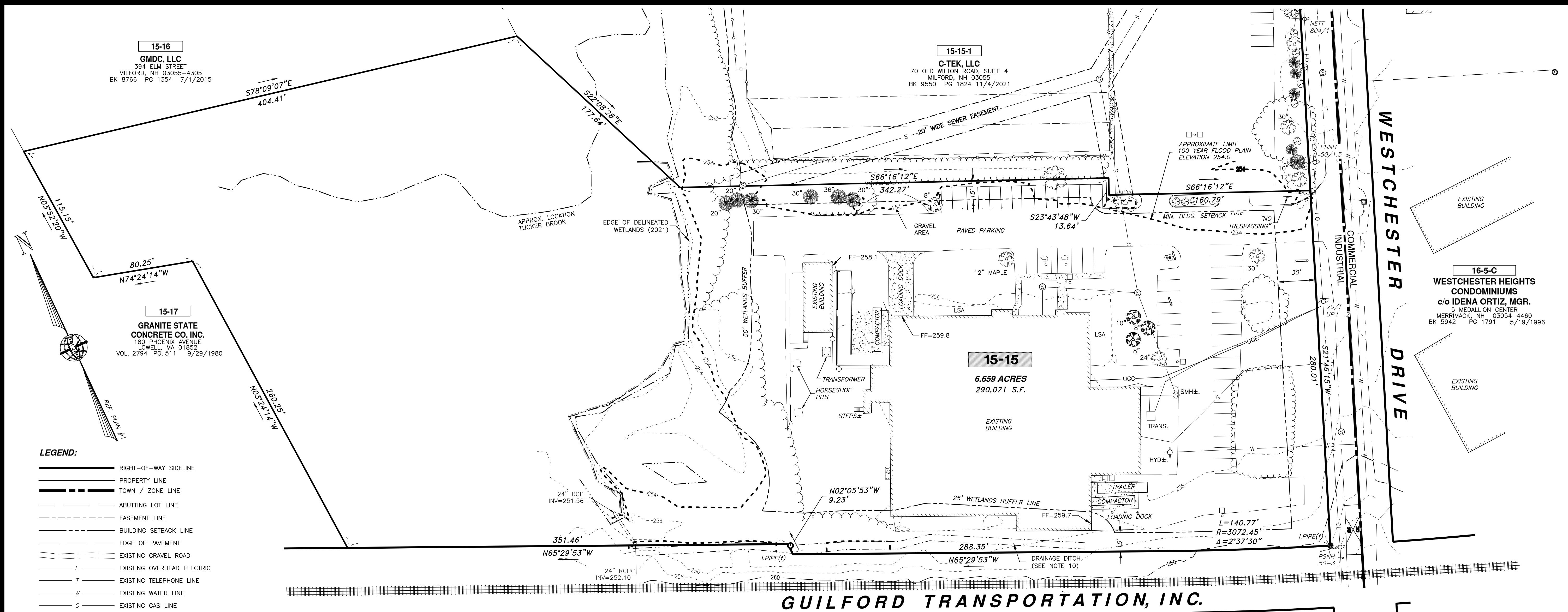
FILE:5073106C.dwg PROJECT NO. 05073.06 SHEET NO. 1 OF 10

REV.	DATE	DESCRIPTION	DR	CK
I	---	---	---	---
H	---	---	---	---
G	---	---	---	---
F	---	---	---	---
E	---	---	---	---
D	---	---	---	---
C	5/13/22	STAFF REVIEW COMMENTS	BLR	SRF
B	4/25/22	ZBA - SPECIAL EXCEPTION REVISIONS	BLR	SRF
A	4/1/22	CONS. COMM. REVIEW COMMENTS	BLR	SRF

OWNERS SIGNATURE _____

APPROVED: TOWN OF MILFORD PLANNING BOARD	
CHAIR/VICE CHAIRMAN:	_____
DATE APPROVED:	_____
DATE SIGNED:	_____

Plotted: 5/13/2022 2:23 PM By: BLR
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15-16
GMDC, LLC
 394 ELM STREET
 MILFORD, NH 03055-4305
 BK 8766 PG 1354 7/1/2015

15-15-1
C-TEK, LLC
 70 OLD WILTON ROAD, SUITE 4
 MILFORD, NH 03055
 BK 9550 PG 1824 11/4/2021

15-17
GRANITE STATE CONCRETE CO. INC.
 180 PHOENIX AVENUE
 LOWELL, MA 01852
 VOL. 2794 PG. 511 9/29/1980

15-15
6.659 ACRES
290,071 S.F.

16-5-C
WESTCHESTER HEIGHTS CONDOMINIUMS
 c/o IDENA ORTIZ, MGR.
 5 MEDALLION CENTER
 MERRIMACK, NH 03054-4460
 BK 5942 PG 1791 5/19/1996

7-14
BROX INDUSTRIES
 1471 METHUEN STREET
 DRACUT, MA 01826
 VOL. 5514 PG. 965 1/11/1994

7-13
TOWN OF MILFORD
 1 UNION SQUARE
 MILFORD, NH 03055
 VOL. 5429 PG. 1477 5/5/1993

15-3
JOLEEN KLIS & CHRISTOPHER M. SHULTZ
 34 WESTCHESTER DRIVE
 MILFORD, NH 03055
 BK 9075 PG 2443 5/29/2018

- LEGEND:**
- RIGHT-OF-WAY SIDELINE
 - PROPERTY LINE
 - - - TOWN / ZONE LINE
 - - - ABUTTING LOT LINE
 - - - EASEMENT LINE
 - - - BUILDING SETBACK LINE
 - - - EDGE OF PAVEMENT
 - - - EXISTING GRAVEL ROAD
 - E — EXISTING OVERHEAD ELECTRIC
 - T — EXISTING TELEPHONE LINE
 - W — EXISTING WATER LINE
 - G — EXISTING GAS LINE
 - S — EXISTING SEWER LINE
 - - - EDGE OF WETLANDS
 - - - EDGE OF DITCH
 - - - 10' CONTOUR INTERVAL
 - - - 2' CONTOUR INTERVAL
 - 15-15 — EXISTING TAX MAP AND LOT NUMBER
 - ▭ — EXISTING BUILDING
 - ○ — EXISTING TREE LINE
 - ○ — EXISTING STOCKADE FENCE LINE
 - ○ — EXISTING CHAINLINK FENCE LINE
 - — EXISTING IRON PIPE FOUND
 - ⊙ — EXISTING SEWER MANHOLE
 - ⊙ — EXISTING DRAIN MANHOLE
 - ⊙ — EXISTING TELEPHONE MANHOLE
 - ⊙ — EXISTING CATCH BASIN SQUARE
 - ⊙ — EXISTING UTILITY POLE & GUY WIRE
 - ☆ — EXISTING LIGHT
 - — EXISTING DOUBLE POST SIGN
 - ⊙ — EXISTING WATER HYDRANT
 - ⊙ — EXISTING GAS VALVE
 - ⊙ — EXISTING FLAG POLE

GUILFORD TRANSPORTATION, INC.

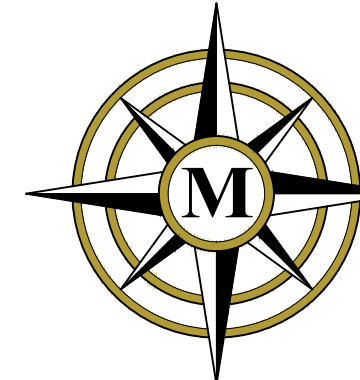
- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING OBSERVABLE IMPROVEMENTS ON A PORTION OF TAX MAP 15 LOT 15
 - THE CURRENT OWNER OF TAX MAP 15 LOT 15 IS AMHERST LABEL REALTY, LLC, 15 WESTCHESTER DRIVE, MILFORD, NH 03055, H.C.R.D. VOL. 8644 PG. 481 DATED: 3/4/2014.
 - TAX MAP 15 LOT 15 IS LOCATED IN THE I - INDUSTRIAL ZONING DISTRICT AND WEST ELM OVERLAY. LOT MAY BE SUBJECT TO ADDITIONAL OVERLAY DISTRICTS NOT SHOWN HEREON.
 - THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF NOVEMBER 2021 AND FEBRUARY 2022 SUPPLEMENTED WITH INFORMATION SHOWN ON THE REFERENCE PLANS NOTED HEREON. BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN ENTIRELY FROM REFERENCE PLAN #1.
 - VERTICAL DATUM IS REPORTED TO BE NGVD29 PER REFERENCE PLAN #2. HORIZONTAL ORIENTATION IS PER REFERENCE PLAN #1.
 - WETLANDS SHOWN AS "DELINEATED WETLANDS" HEREON WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, ALONG WITH THE NORTHEAST REGIONAL SUPPLEMENT BY SPENCER TATE C.W.S. OF THIS OFFICE ON DECEMBER 17, 2021. ADDITIONAL WETLAND AREAS SHOWN ARE PER REFERENCE PLAN #1.
 - LOT 15-15 IS LOCATED ENTIRELY IN THE LEVEL 1 GROUNDWATER PROTECTION AREA AND PORTIONS OF THE SPECIAL FLOOD HAZARD AREA AS SHOWN.
 - NO UNDERGROUND UTILITY INVESTIGATION WAS PERFORMED BY THIS OFFICE AT THIS TIME. UNDERGROUND UTILITY LINES SHOWN ARE APPROXIMATE AND NO GUARANTEE IS MADE TO THEIR ACCURACY.
 - LOT 15-15 IS SUBJECT TO ALL APPLICABLE RIGHTS, EASEMENTS AND/OR RESTRICTIONS AS NOTED IN H.C.R.D. BOOK 8644 PAGE 481.
 - THE COLLECTION / CONVEYANCE DITCH, FUNCTIONING AS A WETLAND IS EXEMPT FROM STATE WETLAND PERMITTING UNDER RSA 482-A3 IV (B).

- REFERENCE PLANS:**
- "SUBDIVISION PLAN - LOT 15-15 - 14A BROAD STREET, LLC - MILFORD, NEW HAMPSHIRE", SCALE 1"=50', DATED: APRIL 18, 2003, LAST REVISED 5/21/03, PREPARED BY MERIDIAN LAND SERVICES, INC., RECORDED H.C.R.D. PLAN # 32614.
 - "SITE PLAN - PREPARED FOR - AMP INCORPORATED - MILFORD, N.H." SCALE: 1"=40', DATED JULY 2, 1982, REVISED TO 4/15/83, PREPARED BY T.F. MORAN, INC. AND ON FILE AT THE TOWN OF MILFORD.

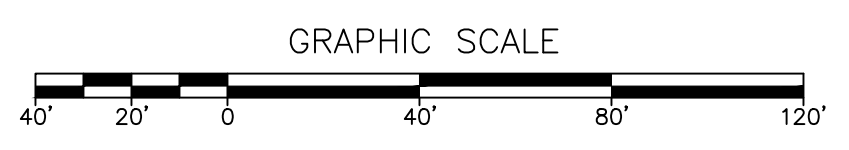
CERTIFICATION:
 I, HEREBY CERTIFY THAT THE TOPOGRAPHY AND IMPROVEMENTS SHOWN ARE THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF NOVEMBER 2021 & FEBRUARY 2022."

EXISTING CONDITIONS PLAN
PREPARED FOR:
AMHERST LABEL REALTY, LLC
TAX MAP 15 LOT 15
MILFORD, NEW HAMPSHIRE

SCALE: 1" = 40' MARCH 10, 2022

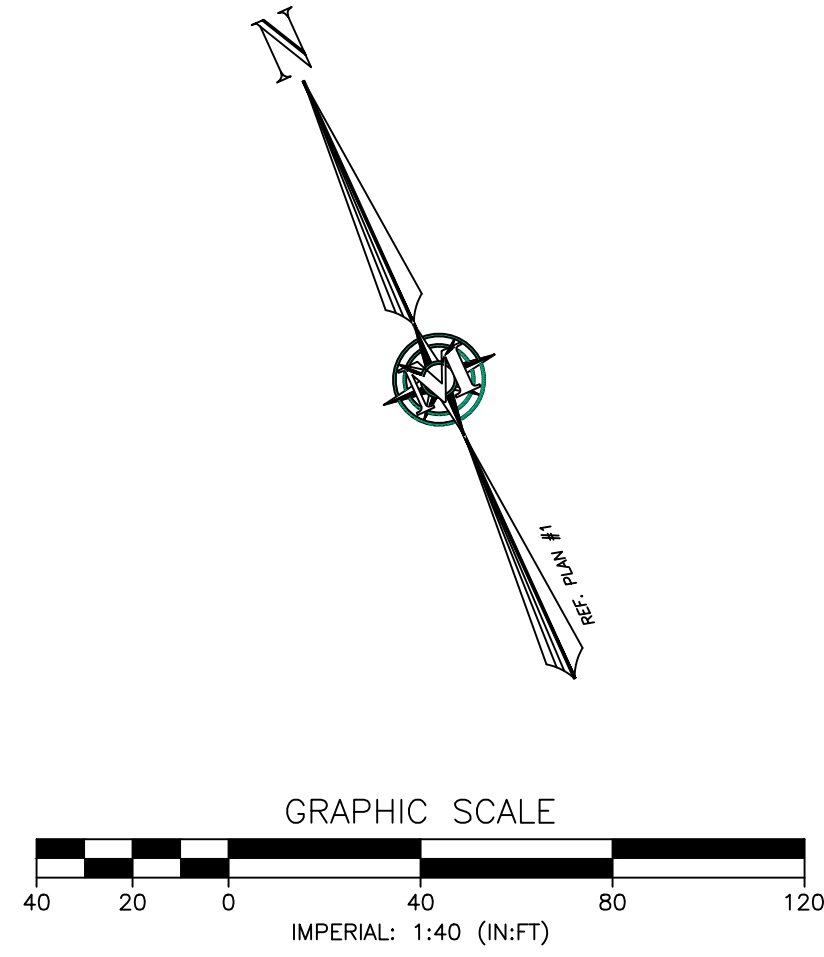


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REV.	DATE	DESCRIPTION	C/O	DR	CK
D	--	--	--	--	--
C	--	--	--	--	--
B	5/13/22	STAFF COMMENTS	TOM	MJR	SDI
A	4/18/22	REVISE NOTES	SDI	MJR	SDI
REV.	DATE	DESCRIPTION	C/O	DR	CK

Plotted: 5/13/2022 10:38 AM By: MJR
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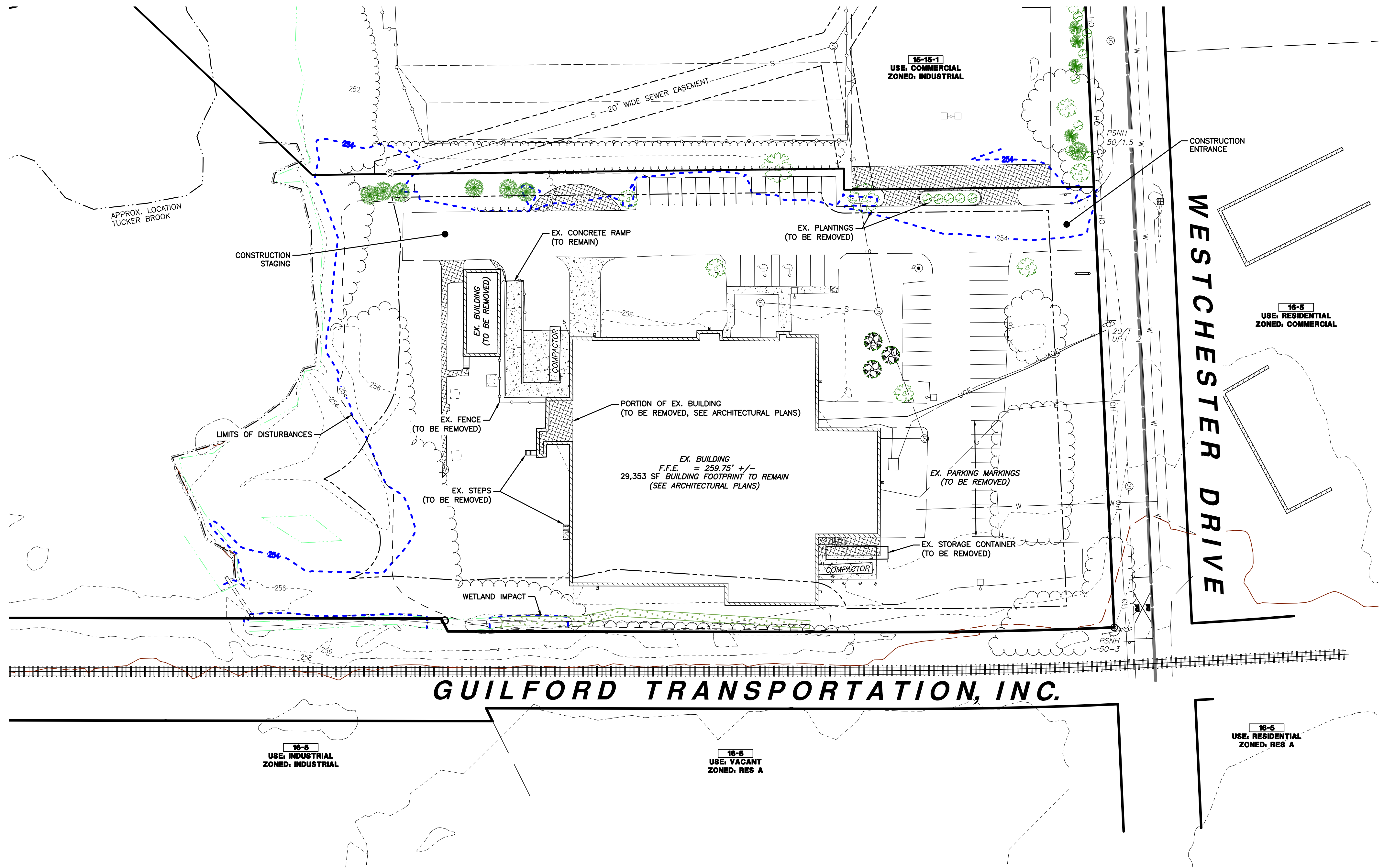


LEGEND:

	LIMITS OF DISTURBANCE AND CLEARING
	EX. PROPERTY BOUNDARY
	EX. ROW LINE
	EX. ABUTTER LOT LINE
	EX. EASEMENTS
	EX. FENCE
	EX. TREELINE
	EX. GRAVEL
	EX. EDGE OF PAVEMENT
	EX. BUILDING
	EX. CONCRETE
	DEMOLITION AREA
	WETLAND IMPACT AREA

DEMOLITION NOTES:

- EROSION CONTROL TO BE INSTALLED PRIOR TO GROUND DISTURBANCE. SEE EROSION CONTROL PLAN, SHEET D-3.
- EROSION CONTROLS TO BE INSPECTED BY THE TOWN PRIOR TO GROUND DISTURBANCE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER, THE TOWN, AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING DEMOLITION.
- DEBRIS CONTAINERS ARE REQUIRED ONSITE.
- DEMOLISHED PAVEMENT AND CONCRETE TO BE SAW CUT PRIOR TO REMOVAL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMITS OF WORK INCLUDING NOT LIMITED TOO, BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCING, SIGNS, UTILITIES AND APPURTENANCES, UNLESS OTHERWISE INDICATED AND AS FOLLOWS:
 - DO NOT REMOVE ACTIVE UTILITIES;
 - SALVAGEABLE AND REUSABLE MATERIALS DETERMINED BY THE OWNER WHICH MAY INCLUDE BUT NOT BE LIMITED TOO, CURBING, SIGNS, HYDRANTS, VALVES, STRUCTURES, ETC. SALVAGEABLE MATERIALS SHALL BE DETERMINED BY THE OWNER PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL BECOME THE OWNER OF AND DISPOSE OF ALL MATERIALS, DEBRIS, STUMPS, AND ITEMS IN ACCORDANCE WITH APPLICABLE LAW(S).



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 MERIDIANLANDSERVICES.COM FAX: 603-673-1584

REV.	DATE	DESCRIPTION
A	4/1/22	CONS. COMM. REVIEW COMMENTS
B	4/25/22	ZBA - SPECIAL EXCEPTION REVISIONS
C	5/13/22	STAFF REVIEW COMMENTS
D		BLR / SRF
E		BLR / SRF
F		BLR / SRF
G		BLR / SRF
H		BLR / SRF
I		BLR / SRF

AMHERST LABEL EXPANSION
 DEMOLITION PLAN

AMHERST LABEL
 15 WESTCHESTER DR
 MAP 15 LOT 15
 MILFORD, NEW HAMPSHIRE

SP-1
 SHEET

FILE: 5073106C.dwg
 PROJECT 05073.06
 SHEET NO. 3 OF 10

PROJECT VERTICAL DATUM
 NGVD, SEE NOTE #6 ON
 EXISTING CONDITIONS PLAN
DATUM CONVERSION
 NAVD + 0.69 = NGVD

APRIL 18, 2022

SCALE: 1" = 40'

GENERAL DEVELOPMENT NOTES:

- THE APPLICANT INTENDS TO EXPAND THE EXISTING BUILDING WITH A NET OF INCREASE 11,428 SF± AND ASSOCIATED SITE IMPROVEMENTS ON LOT 15-15.
- ALL CONTRACTORS AND SUB-CRONTACTORS SHALL MAINTAIN THEIR WORK AND THE SITE RELATIVE TO THEIR WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PROJECT N.P.D.E.S. PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DEWATER IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITTING REQUIREMENTS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF MILFORD ZONING ORDINANCES AND SITE REGULATIONS.
- THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR ANY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
- THE LOCATION OF EXISTING UTILITIES, SIDEWALKS, PAVEMENT, VEGETATION AND MISCELLANEOUS IMPROVEMENTS ARE APPROXIMATE. THE EXACT FIELD LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION.
- ANY PUBLIC LAND CORNER WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. ANY LAND CORNER MONUMENT IN DANGER OF BEING DESTROYED MUST BE PROPERLY REFERENCED BY THE CONTRACTOR.
- EXISTING IMPROVEMENTS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. A TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
- IMPACT FEES TO BE APPLIED AT INDUSTRIAL FEE SCHEDULE WHERE APPLICABLE.
- WHERE APPLICABLE, WATER, SEWER, ROADS (INCLUDING PARKING LOTS), AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD WATER DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS, DEVELOPMENT REGULATIONS, AD DRIVEWAY REGULATIONS.
- AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATION OF OCCUPANCY BEING ISSUED.
- SNOW TO BE STORED IN AREAS DELINEATED ON THE PLA. DURING THE PERIODS OF TIME OF EXCESS SNOW FALL, SNOW IS TO BE MOVED OFF SITE TO APPROPRIATE FACILITIES FOLLOWING APPROPRIATE METHODS.

SIGNAGE AND MARKING NOTES:

- ALL SIGNING SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
- ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
- ALL SIGNING, PAVEMENT MARKINGS, STREET NAME SIGNS, ETC. ARE TO BE INCLUDED IN THE LUMP SUM PRICE FOR SIGNING AND MARKING.
- THE CONTRACTOR SHALL COMPLY WITH THE STATE OF NEW HAMPSHIRE TRAFFIC CONTROL.

UTILITY NOTES:

- THE SITE SERVED BY TOWN WATER AND SEWER. NO EXTERNAL CONNECTIONS PROPOSED.

SITE DEVELOPMENT REGULATIONS

	REQUIRED	PROVIDED
MIN. LOT SIZE (NOTE #4)	N/A	36,217 SF
MIN. FRONTAGE	N/A	N/A
FRONT BUILDING SETBACK	30'	30'
REAR BUILDING SETBACK	15'	15'
SIDE BUILDING SETBACK	15'	15'
WETLAND BUFFER	25'	NOTE 2 & 3
NAMED STREAM WETLAND BUFFER	50'	NOTE 3
MIN OPEN SPACE	30%	71%
MAX BUILDING HEIGHT	40'	27'

- NOTES:**
- "SITE DEVELOPMENT REGULATIONS IN ACCORDANCE WITH TOWN OF MILFORD ZONING ORDINANCE - INDUSTRIAL DISTRICT.
 - EXISTING BUILDING WITHIN 25' WETLAND BUFFER.
 - SPECIAL EXCEPTION FROM MILFORD ZONING ORDINANCE SECTION 6.020 WETLAND CONSERVATION DISTRICT TO ALLOW USE OF THE WETLAND BUFFER.
 - PURSUANT TO SECTION 5.06.4 OF THE SITE DEVELOPMENT REGULATIONS, THE MINIMUM LOT SIZE FOR PROPERTIES SERVED BY BOTH MUNICIPAL SEWER AND WATER.

PARKING SUMMARY

DESCRIPTION	RATIO	REQUIRED	PROVIDED
EXISTING BUILDING (REMAINING)			
OFFICE	9,371 SF @ 1 SPACE PER 300 SF	31.2	32
WAREHOUSE	27,760 SF @ 1 SPACE PER 1,000 SF	27.8	16
SUBTOTAL		59	48
PROPOSED BUILDING			
OFFICE	480 SF @ 1 SPACE PER 300 SF	1.6	2
WAREHOUSE	12,557 SF @ 1 SPACE PER 1,000 SF	12.6	12
SUBTOTAL		15	14
TOTAL		74	62 (3)

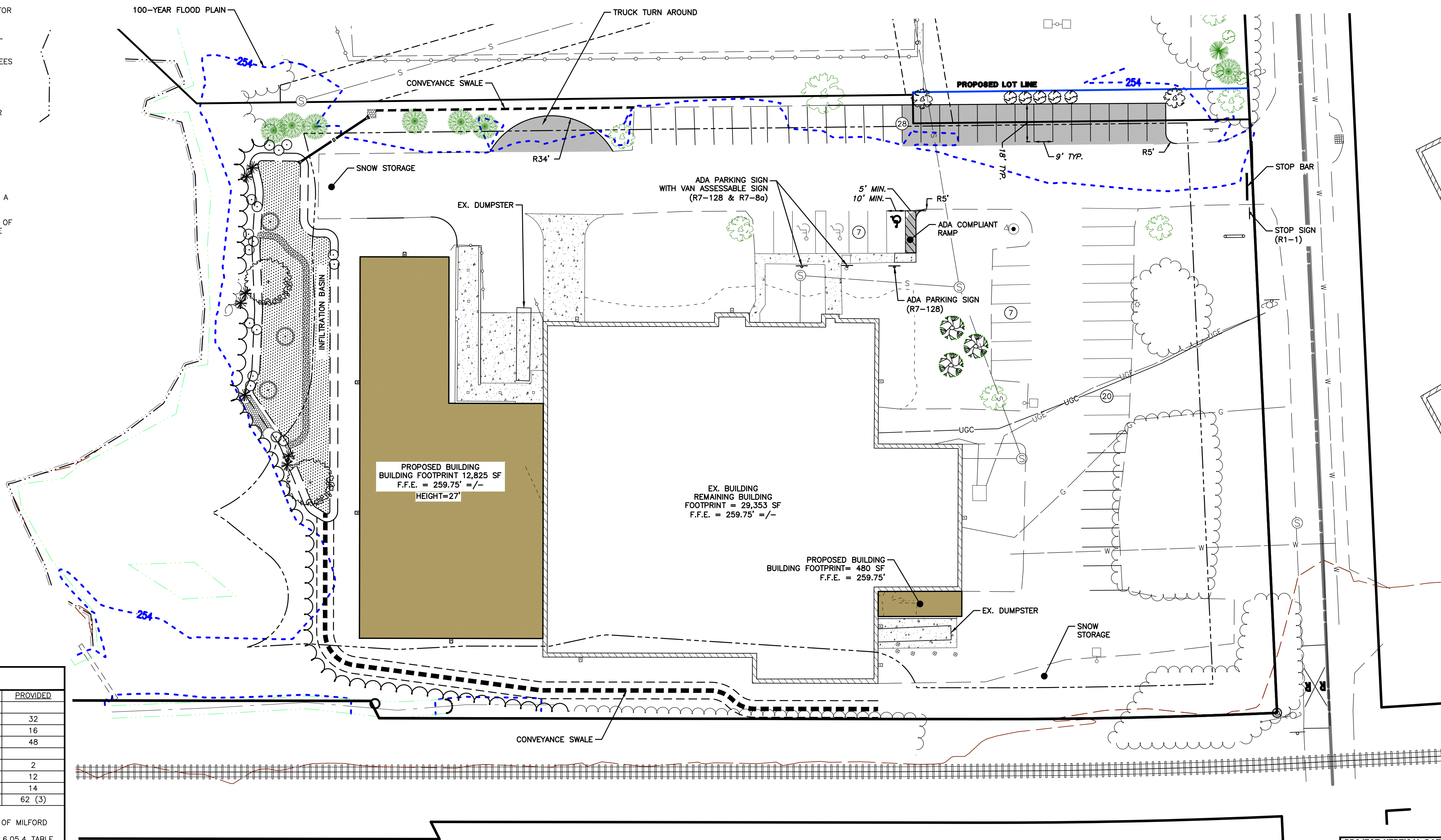
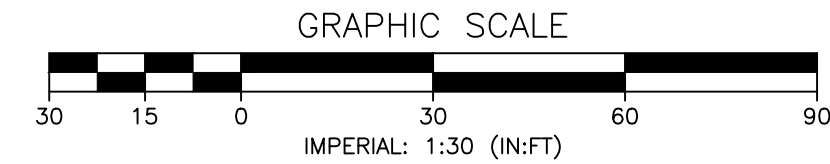
- NOTES:**
- PARKING CALCULATION PER 6.05.4 TABLE OF OFF-STREET PARKING OF THE TOWN OF MILFORD DEVELOPMENT REGULATIONS.
 - WAIVER REQUESTED FROM TOWN OF MILFORD DEVELOPMENT REGULATIONS SECTION 6.05.4 TABLE OF OFF-STREET PARKING TO ALLOW A REDUCTION OF 12 PARKING SPACES.
 - "(3)" REPRESENTS THE NUMBER OF ADA SPACES WITHIN THE TOTAL.

DESCRIPTION	LAND USE SUMMARY		TOTAL PROJECT		
	PROPERTY AREA (SF)	ADDITIONAL AREA (SF)	AREA (SF)	AREA (%)	
EXISTING	BUILDING	31,272	0	32,807	10.69%
	IMPERVIOUS	40,208	1,890	42,098	14.39%
	GRAVEL	789	0	789	0.27%
	PERVIOUS	271,802	499	216,766	74.64%
TOTAL	290,071	2,389	292,460	100%	
PROPOSED	BUILDING	42,700	0	42,700	14.60%
	IMPERVIOUS	40,723	1,032	41,755	14.28%
	GRAVEL	0	0	0	0.00%
	PERVIOUS	206,648	1,357	208,005	71.12%
TOTAL	290,071	2,389	292,460	100%	

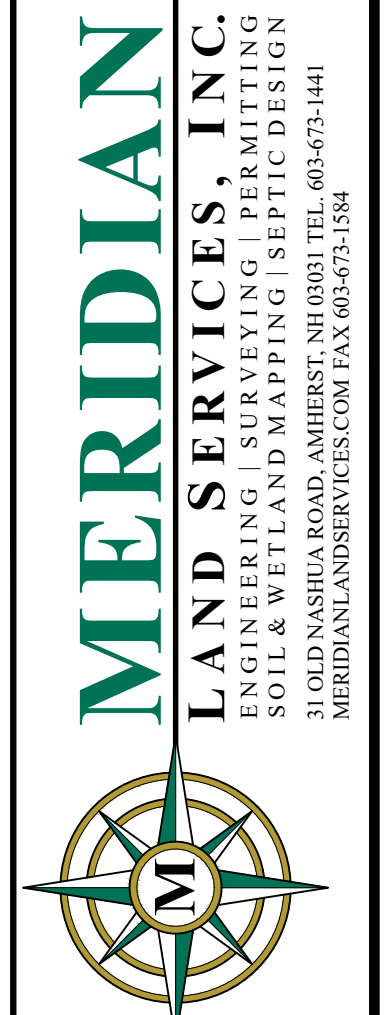
NOTES:
1. EXISTING LAND USE SUMMARY BASED UPON SURVEY DATA THAT WAS COLLECT BY THIS OFFICE.

LEGEND:

	EX. PROPERTY BOUNDARY		EX. BUILDING
	EX. ROW LINE		BUILDING
	EX. EASEMENTS		PAVEMENT
	EX. BUILDING SETBACK AND BUFFER		CONCRETE
	EX. EDGE OF PAVEMENT		RIP-RAP
	EX. FENCE		DRAINAGE BASIN
	EX. WETLAND		PROPOSED SIGN
	EX. TREELINE		EX. SEWER MANHOLE
	PROPOSED TREELINE		
	CONVEYANCE SWALE		
	EDGE OF PAVEMENT		
	DRAINAGE PIPE		



PROJECT VERTICAL DATUM
NGVD, SEE NOTE #6 ON EXISTING CONDITIONS PLAN
DATUM CONVERSATION
NAVD + 0.69 = NGVD



REV.	DATE	DESCRIPTION	DR	CK
A	4/1/22	CONS. COMM. REVIEW COMMENTS		
B	4/25/22	ZBA - SPECIAL EXCEPTION REVISIONS	BLR	SRF
C	5/13/22	STAFF REVIEW COMMENTS	BLR	SRF

AMHERST LABEL EXPANSION
LAYOUT AND MARKING PLAN

AMHERST LABEL
15 WESTCHESTER DR
MAP 15 LOT 15
MILFORD, NEW HAMPSHIRE

SP-2
SHEET
FILE: 5073106C.dwg
PROJECT 05073.06
SHEET NO. 4 OF 10

DRAINAGE NOTES:

1. PROPOSED BUILDING EXPANSION ROOF TO BE PITCHED TOWARDS THE INFILTRATION BASIN.
2. INFILTRATION BASIN AND BANK TO BE PLANTED WITH NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES. WEST BANK TO BE UN-MAINTAINED AFTER CONSTRUCTION.
3. INFILTRATION BASIN & BANK TO BE PLANTED WITH NEW ENGLAND WETLAND PLANTS TO PROVIDE HABITAT WITHIN THE WETLAND BUFFER. SEE LANDSCAPE PLAN (LS-1).
4. STORMWATER MANAGEMENT AREA TO BE MAINTAINED IN ACCORDANCE WITH THE LATEST STORMWATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE MANUAL ACCEPTED BY THE TOWN OF MILFORD WITH THIS APPLICATION. COPIES OF STORMWATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE MANUAL TOO BE FOUND AT THE TOWN HALL WITH THE SITE PLAN APPROVAL.

WATER QUALITY CALCULATIONS	
WATER QUALITY VOLUME REQUIRED	
100% OF ADDITIONAL IMPERVIOUS AND 30% OF EXISTING IMPERVIOUS PER STORMWATER MANAGEMENT ORDINANCE SECTION D:4.a.	
WQV = 1" X Rv X A = 1" X 0.95 X 0.76	
REQUIRED WQV = 2,621 CF	
WATER QUALITY VOLUME PROVIDED	
2,621 CF WQV PROVIDED AT ELEVATION (FT) 253.81	
PRETREATMENT VOLUME REQUIRED	
SETTLEMENT FOREBAY VOLUME MUST EQUAL 25% OF WQV	
FOREBAY VOLUME = 25% X 2,621 CF	
FOREBAY VOLUME = 655 CF	
PRETREATMENT VOLUME PROVIDED	
2,180SF SETTLEMENT FOREBAY AT 0.5' DEPTH = 1,090 CF	

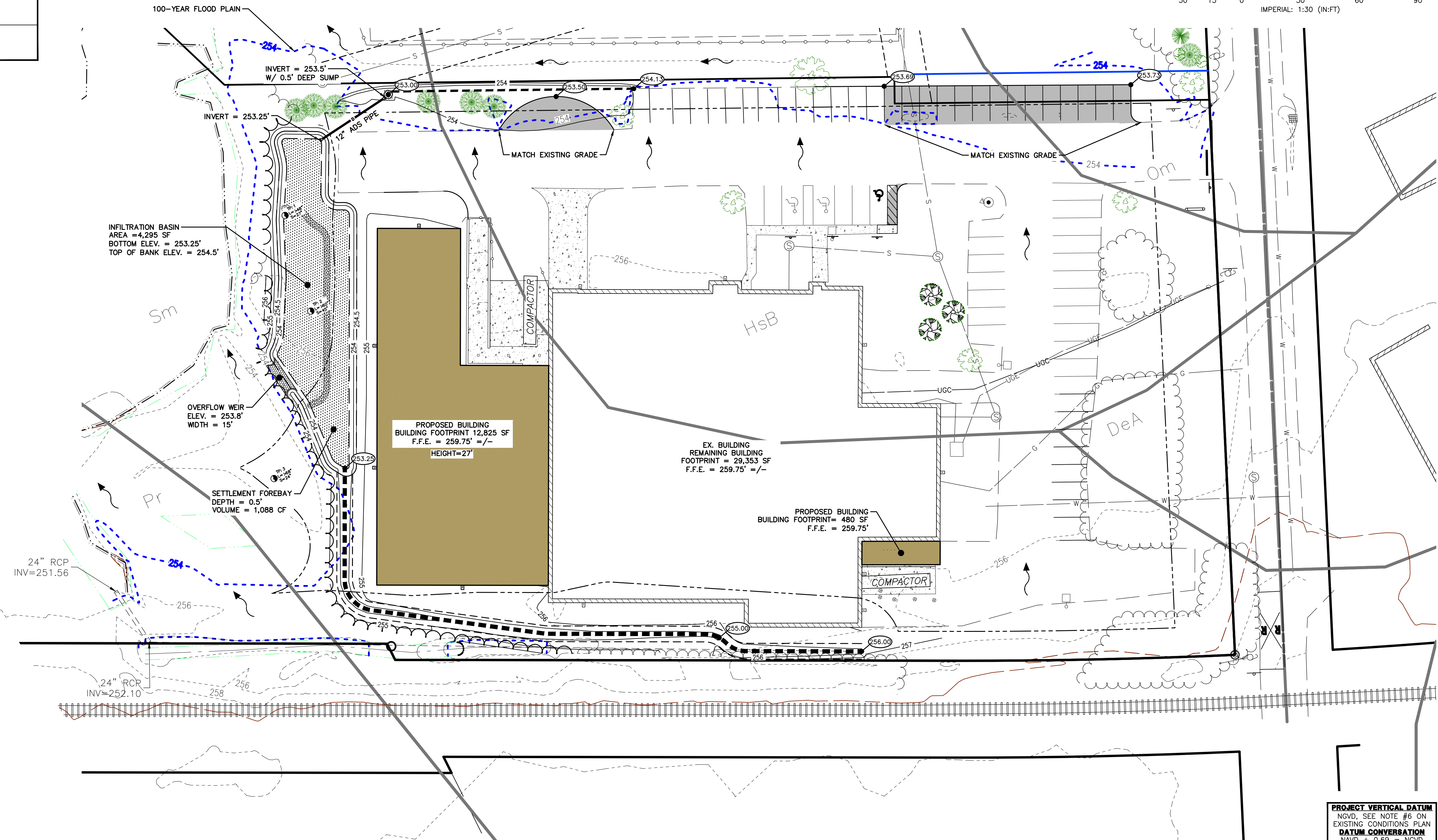
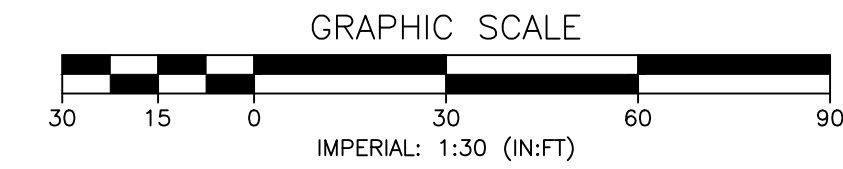
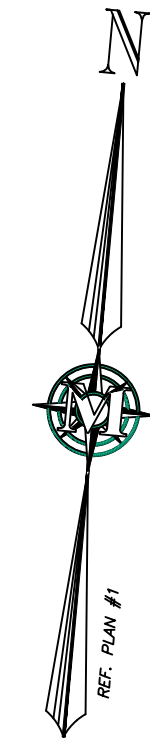
LEGEND:

	EX. PROPERTY BOUNDARY		EX. BUILDING
	EX. ROW LINE		BUILDING
	EX. EASEMENTS		PAVEMENT
	EX. BUILDING SETBACK AND BUFFER		CONCRETE
	EX. EDGE OF PAVEMENT		RIP-RAP
	EX. FENCE		DRAINAGE BASIN
	EX. WETLAND		PROPOSED SIGN
	EX. TREELINE		EX. SEWER MANHOLE
	PROPOSED TREELINE		FLOW ARROW
	CONVEYANCE SWALE		
	EDGE OF PAVEMENT		
	DRAINAGE PIPE		
	SOIL LINE		

SOIL LEGEND:

Sm	SACO VARIANT SILT LOAM	HSG D
Pr	PITS, GRAVEL	HSG A
HsB	HINCKLEY LOAMY SAND, 0 TO 3 PERCENT SLOPES	HSG A
Om	OCCUM FINE SANDY LOAM	HSG B

SOURCE: USDA NATURAL RESOURCE CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY



PROJECT VERTICAL DATUM
 NGVD, SEE NOTE #6 ON EXISTING CONDITIONS PLAN
DATUM CONVERSION
 NAVD + 0.69 = NGVD



REV.	DATE	DESCRIPTION
A	4/1/22	CONS. COMM. REVIEW COMMENTS
B	4/25/22	ZBA - SPECIAL EXCEPTION REVISIONS
C	5/13/22	STAFF REVIEW COMMENTS
D		
E		
F		
G		
H		
I		

AMHERST LABEL EXPANSION
 GRADING AND DRAINAGE PLAN

AMHERST LABEL
 15 WESTCHESTER DR
 MAP 15 LOT 15
 MILFORD, NEW HAMPSHIRE

SP-3
 SHEET

FILE: 5073106C.dwg
 PROJECT 05073.06
 SHEET NO. 5 OF 10

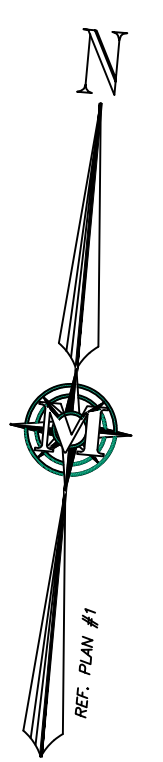
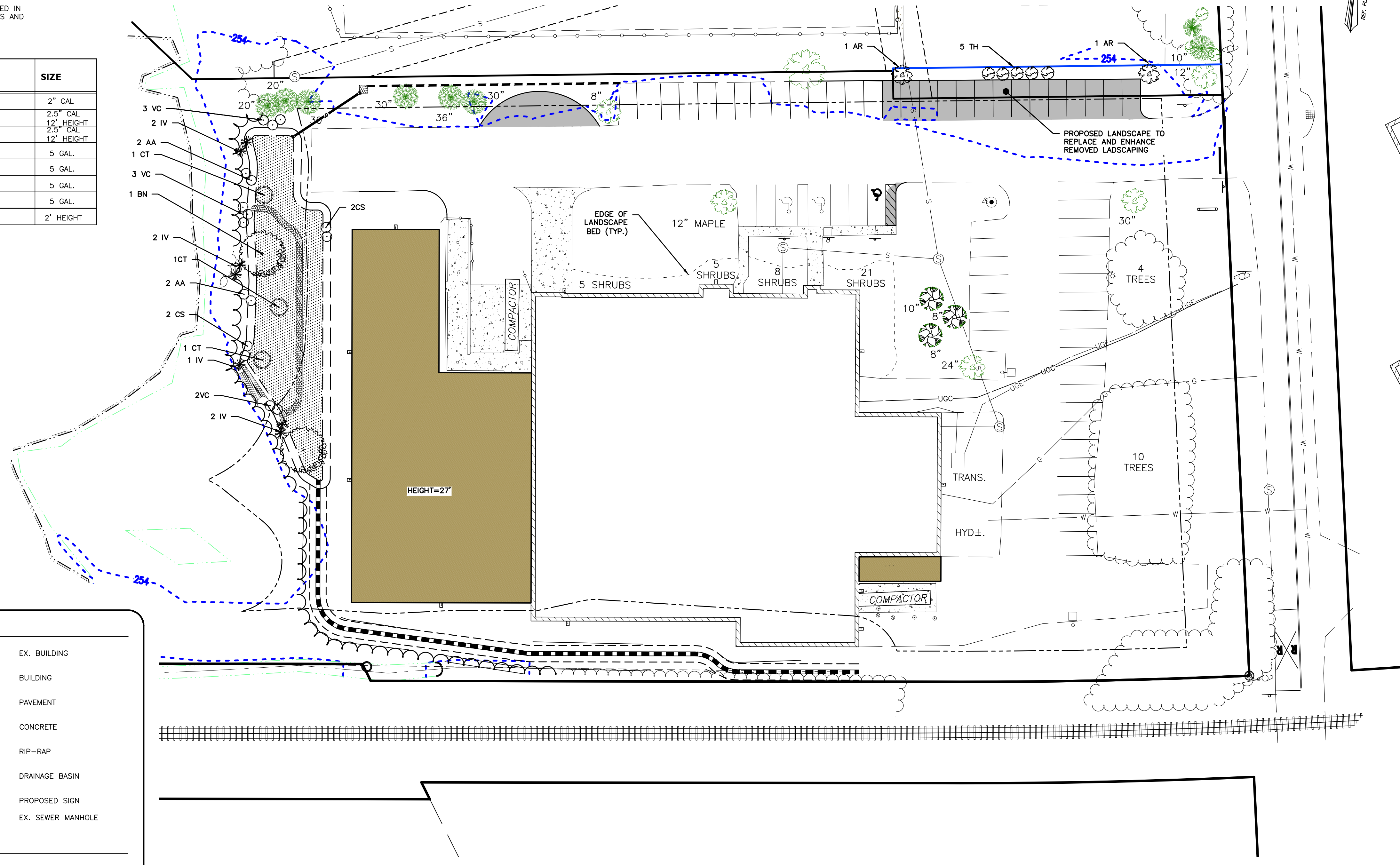
APRIL 18, 2022

SCALE: 1" = 30'

LANDSCAPE NOTES:

- SECTION 6.08.6
LANDSCAPING ALONG BUILDING FRONTAGE REQUIRED EXISTING
35 SHRUBS 39 EXISTING
- SECTION 6.08.7A
LANDSCAPING BETWEEN PARKING LOTS & ACCESS WAYS 10 TREES 15 EXISTING
- SECTION 6.08.7B
LANDSCAPING WITHIN PARKING LOT 5 TREES 7 EXISTING
- ALL CONDITIONS ON PLAN TO REMAIN IN PERPETUITY.
- A PERMANENT WATER SUPPLY IS TO BE PROVIDED.
- A MAINTENANCE BOND FOR ONE YEAR SHALL BE PROVIDED.
- ALL CONDITIONS ON PLAN TO REMAIN IN PERPETUITY.
- INFILTRATION BASIN AND BANK TO BE PLANTED WITH NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES. WEST BANK TO BE UN-MAINTAINED AFTER CONSTRUCTION.
- INFILTRATION BASIN & BANK TO BE PLANTED WITH NEW ENGLAND WETLAND PLANTS TO PROVIDE HABITAT WITHIN THE WETLAND BUFFER.
- REMAINING WETLANDS AND WETLAND BUFFERS TO BE MANAGED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE STATE REGULATIONS AND MILFORD ORDINANCES AND REGULATIONS

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
BN	2	BETULA NIGRA	RIVER BIRCH	2" CAL
CT	3	CHAMAECYPARIS THYOIDES	ATLANTIC WHITE CEDAR	2.5" CAL 12" HEIGHT
AR	2	ACER RUBRUM	RED MAPLE	2.5" CAL 12" HEIGHT
AA	4	ARONIA ARBUTIFOLIA	CHOKEBERRY	5 GAL.
CS	4	CORNUS SERICEA	RED-OSIER DOGWOOD	5 GAL.
IV	7	ILEX VERTICULATA	WINTERBERRY HOLLY	5 GAL.
VC	8	VACCINIUM CORYMBOSUM	HIGHBUSH BLUE BERRY	5 GAL.
TH	5	TAXUS MEDIA HICKS YEW	HICKSII	2' HEIGHT

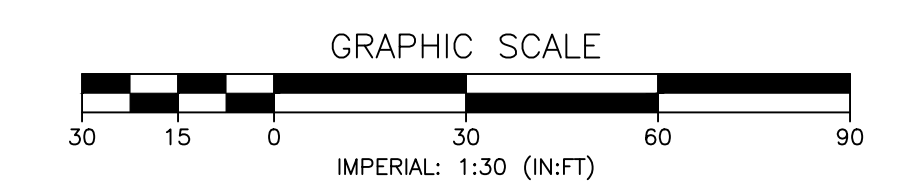


LEGEND:

	EX. PROPERTY BOUNDARY		EX. BUILDING
	EX. ROW LINE		BUILDING
	EX. EASEMENTS		PAVEMENT
	EX. BUILDING SETBACK AND BUFFER		CONCRETE
	EX. EDGE OF PAVEMENT		RIP-RAP
	EX. FENCE		DRAINAGE BASIN
	EX. WETLAND		PROPOSED SIGN
	CONVEYANCE SWALE		EX. SEWER MANHOLE
	EDGE OF PAVEMENT		
	DRAINAGE PIPE		

PLANT LEGEND:

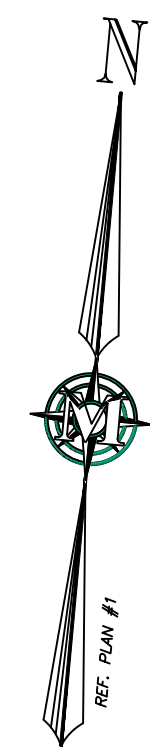
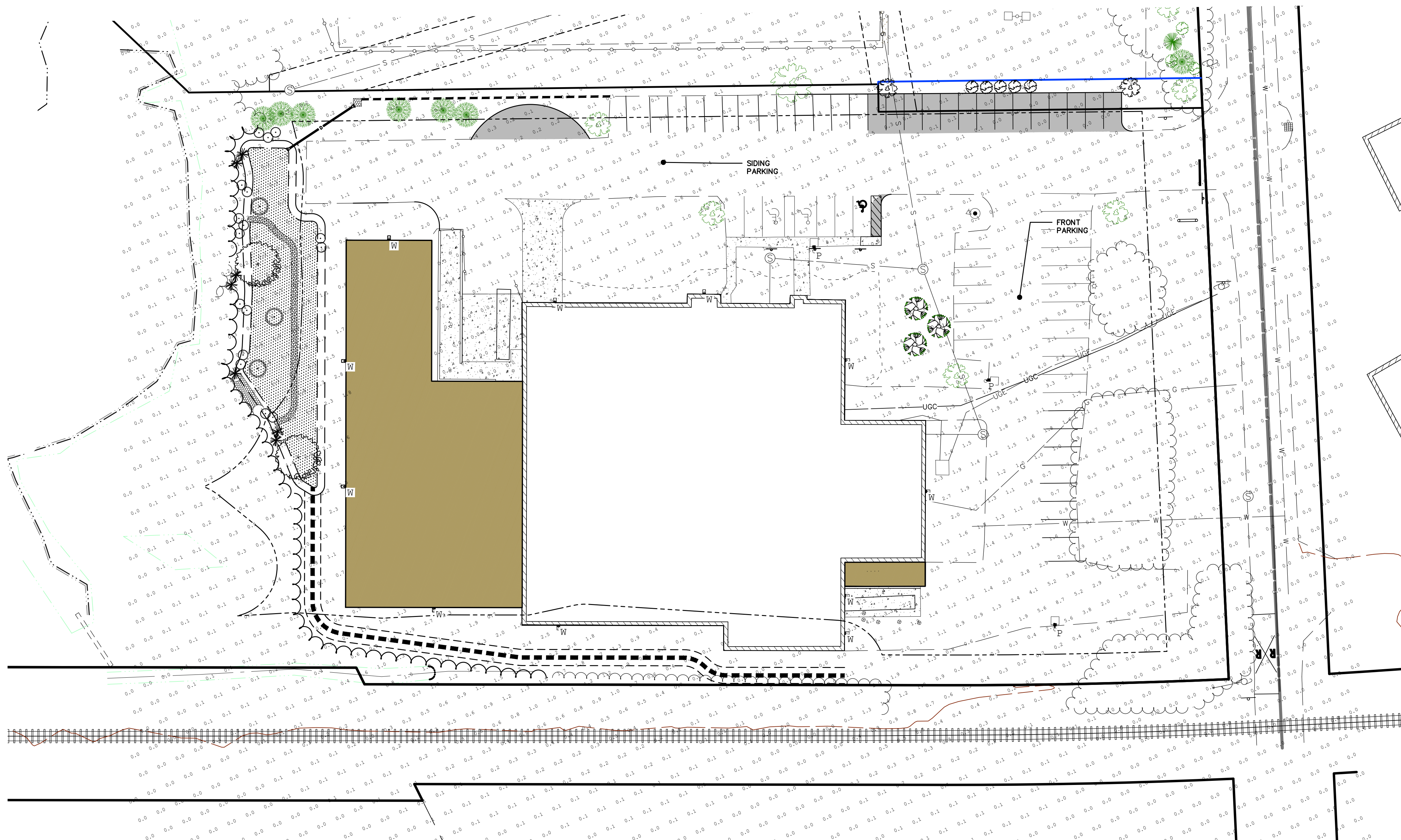
	EVERGREEN TREE		SHADE TREE
	EDGE OF LANDSCAPE BED		
	EX. TREELINE		
	PROPOSED TREELINE		



REV.	DATE	DESCRIPTION	BLR	SRF	DR	CK
A	4/1/22	CONS. COMM. REVIEW COMMENTS				
B	4/13/22	CONS. COMM. / ZBH COMMENTS				
C	4/25/22	ZBA -- SPECIAL EXCEPTION REVISIONS				
D						
E						
F						
G						
H						

AMHERST LABEL EXPANSION
LANDSCAPING PLAN
MARCH 10, 2022

Plotted: 5/13/2022 2:23 PM By: BLR
H:\MLS\05073\05073.06\Drawings\EN\5073106C.dwg



NOTES:

1. THE PURPOSE THE LIGHTING AND THE EMITTED FOOTCANDLES FOR THE PROPOSED SITE EXPANSION.
2. PHOTOMETRIC PLAN PROVIDED BY KEN SWEENEY OF CHARRON, INC.
3. THREE (3) WALL LIGHTS ARE PROPOSED, THE REMAINDER OF THE LIGHTING IS EXISTING.

LUMINAIRE SCHEDULE				
SYMBOL	QUANTITY	LABEL	ARRANGEMENT	DESCRIPTION
	3	P	SINGLE	ALED4T78 ON 20' POLE
	11	W	SINGLE	TWH LED 30C 1000 40K T3M MVOLT

ILLUMINANCE (FOOT-CANDLE) (FRONT PARKING LOT)	
AVERAGE	1.39
MAXIMUM	8.00
MINIMUM	0.10
AVERAGE/MINIMUM RATIO	13.90
MAXIMUM/MINIMUM RATIO	82.00

ILLUMINANCE (FOOT-CANDLE) (SIDE PARKING LOT)	
AVERAGE	0.73
MAXIMUM	8.00
MINIMUM	0.00
AVERAGE/MINIMUM RATIO	N/A
MAXIMUM/MINIMUM RATIO	N/A

TWHL LED Wall Luminaire

Specifications

Width: 10.25"

Height: 10.25"

Depth: 4.75"

Weight: 28 lbs

Performance Data

Lumen Output

Temp	30°C	35°C	40°C	45°C	50°C	55°C	60°C	65°C	70°C
LMK	1000	950	900	850	800	750	700	650	600

Electrical Load

Temp	30°C	35°C	40°C	45°C	50°C	55°C	60°C	65°C	70°C
W	100	95	90	85	80	75	70	65	60

Options and Accessories

VS - Vertical guard

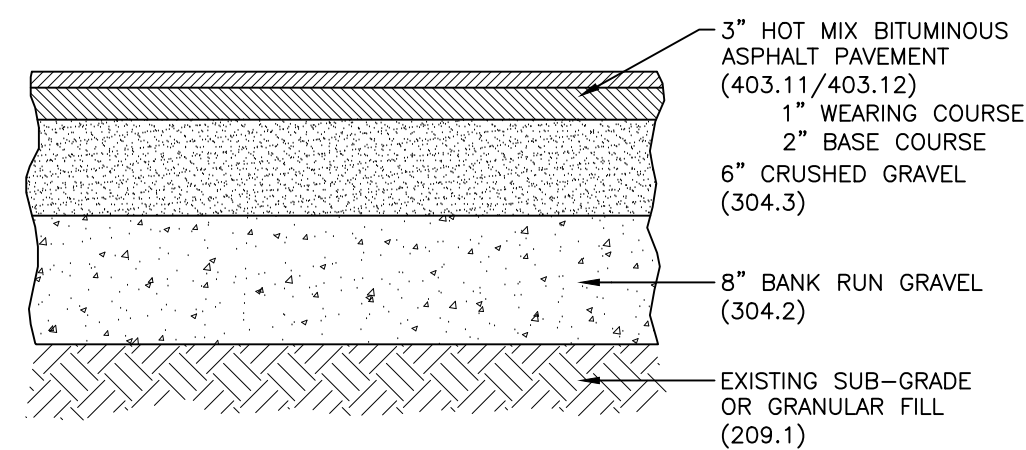
WS - Wire guard

REV.	DATE	DESCRIPTION
A	4/1/22	CONSIDERATION REVISIONS
B	4/25/22	ZBA - SPECIAL EXCEPTION COMMENTS
C		
D		
E		
F		
G		
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AMHERST LABEL EXPANSION
LIGHTING PLAN

AMHERST LABEL
15 WESTCHESTER DR
MAP 15 LOT 15
MILFORD, NEW HAMPSHIRE

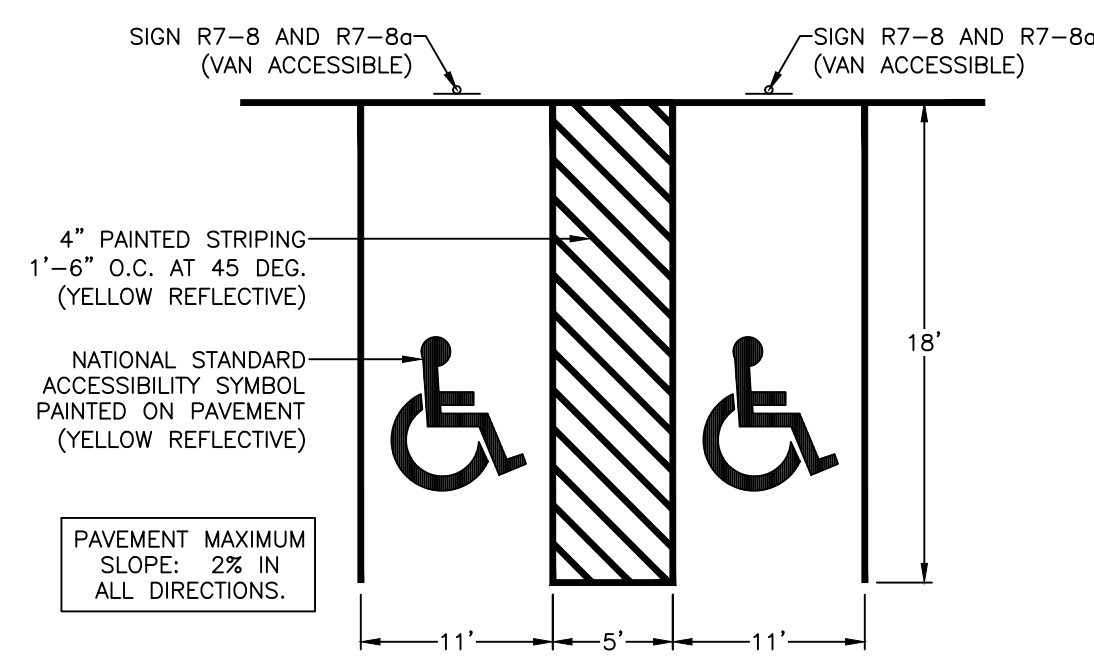
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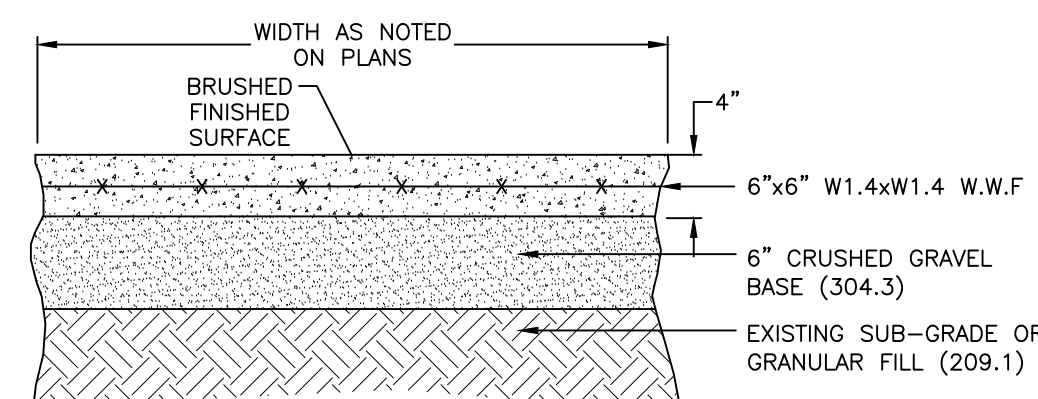
- NOTES:**
- PAVEMENT JOINT ADHESIVE (403.6) SHALL BE APPLIED AT ALL LONGITUDINAL PAVEMENT JOINTS AND ALONG ALL LONGITUDINAL CURB LINES.
 - ASPHALT BONDING AGENT SHALL BE APPLIED TO ALL INTERFACES WITH EXISTING PAVEMENTS, AND/OR AREAS OF COLD PLANING.

HOT BITUMINOUS ASPHALT PAVEMENT SECTION SCALE: NONE **1 D-1**

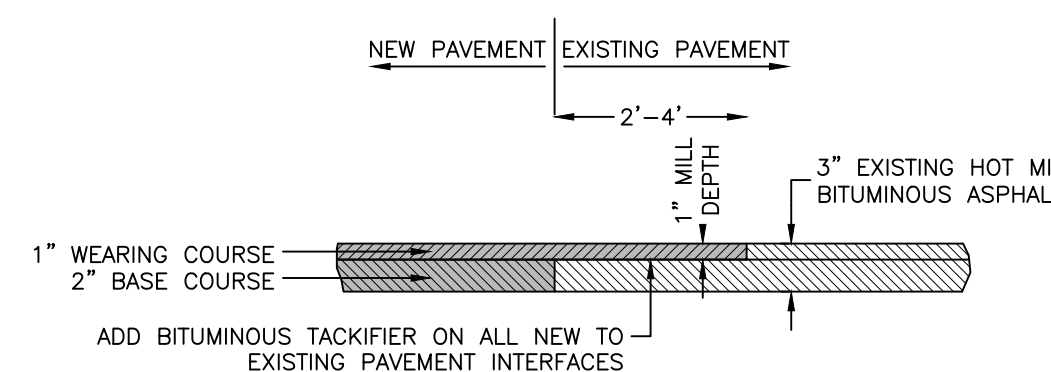
A MINIMUM OF ONE IN EVERY EIGHT (1:8) HANDICAP SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8' WIDE AND SHALL BE DESIGNATED VAN ACCESSIBLE (R7-8a).



HANDICAP PARKING - VAN ACCESSIBLE SCALE: NONE **2 D-1**



CONCRETE SIDEWALK SCALE: NONE **3 D-1**



NEW TO EXISTING PAVEMENT MILLING INTERFACE SCALE: NONE **4 D-1**



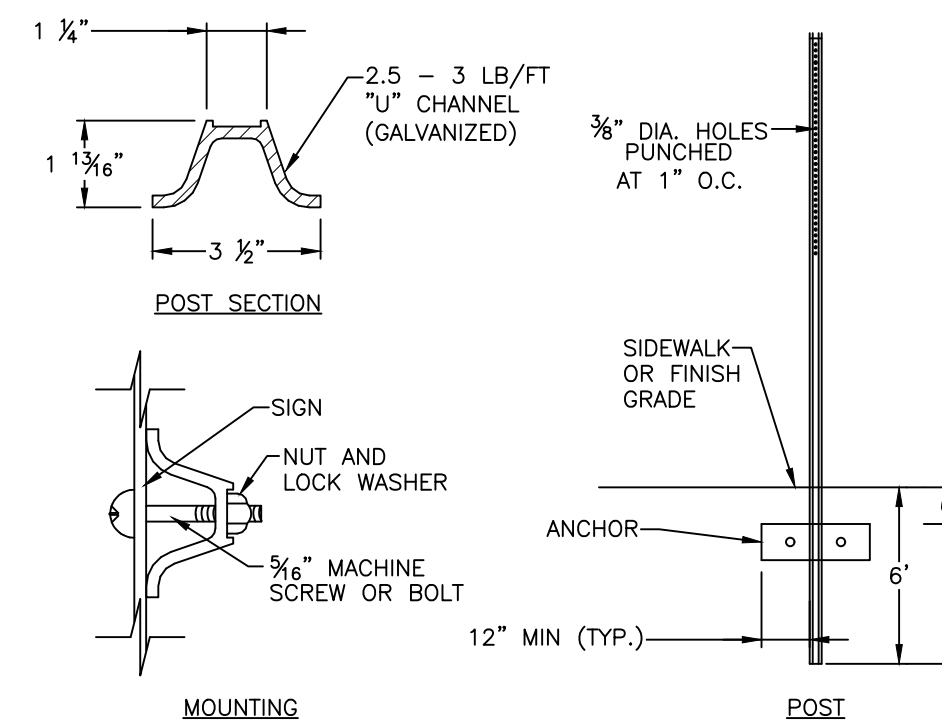
R7-128
R7-8a



R1-1

- GENERAL NOTES:**
- ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.

TRAFFIC SIGNS SCALE: NONE **5 D-1**



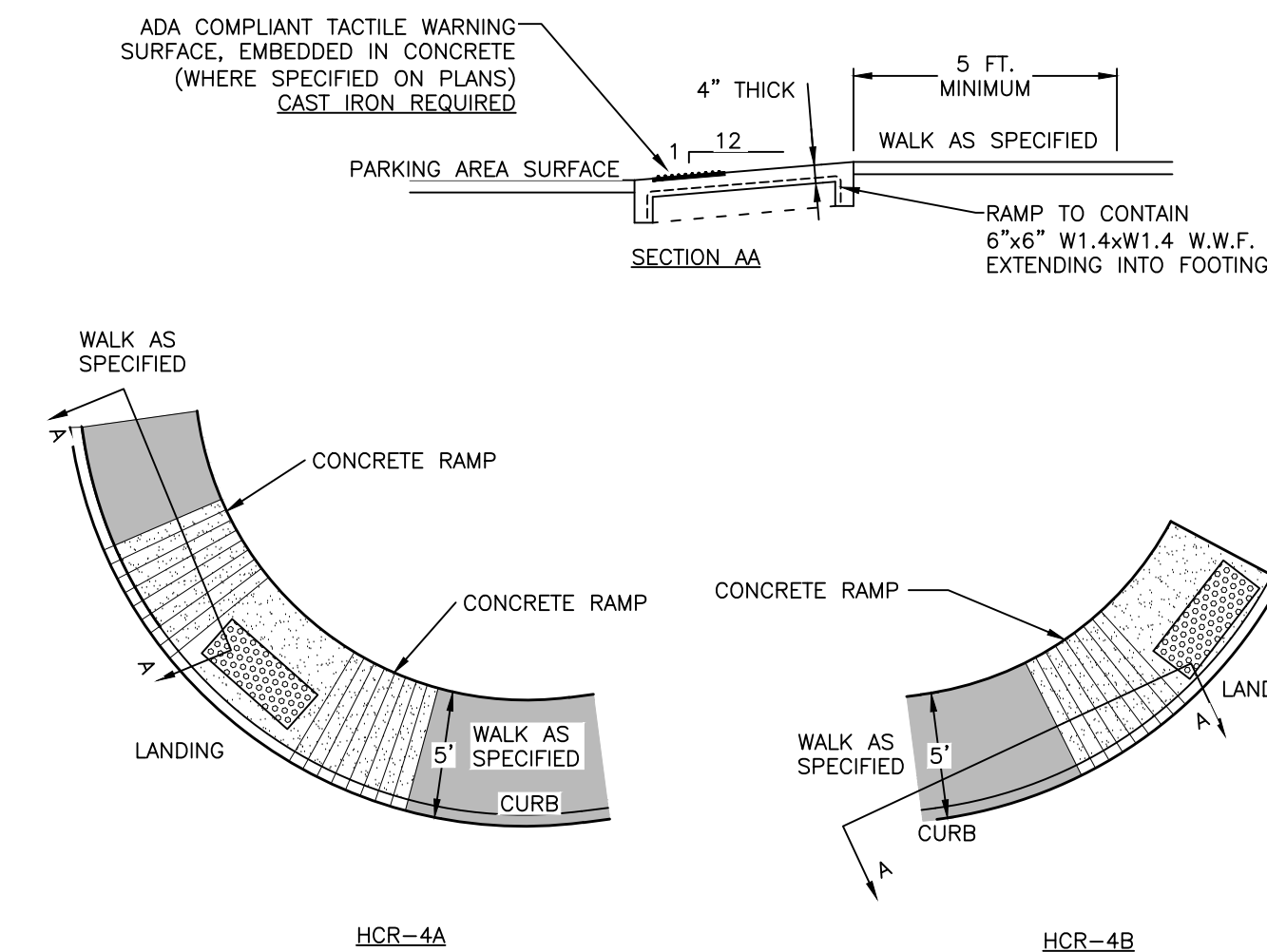
- NOTES:**
- ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.
 - MOUNT BOTTOM OF SIGN AT 84" ABOVE FINISHED GRADE.

TRAFFIC SIGNS SCALE: NONE **6 D-1**



- STOP BAR NOTES:**
- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH NH DOT BUREAU OF TRAFFIC STANDARDS AND THE CURRENT EDITION OF THE MUTCD.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.
 - WIDTH OF LINES SHALL VARY NO MORE THAN 0.25" FROM THAT SPECIFIED.
 - THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF THE LINE SPECIFIED. OVERSPRAY SHALL BE KEPT AT AN ABSOLUTE MINIMUM.

TRAFFIC SIGNS SCALE: NONE **7 D-1**



- NOTES:**
- DETECTABLE WARNINGS SHALL BE PROVIDED WHERE EVER A CURB RAMP CROSSES A VEHICULAR WAY.
 - DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
 - DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
 - DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEET GOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1 SECTIONS 406.13 AND 705. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.

HANDICAP SIDEWALK RAMPS WITH DETECTABLE WARNINGS SCALE: NONE **8 D-1**

NO.	DATE	BY	CHK	DESCRIPTION
1	5/13/22	BLR	SRF	STAFF REVIEW COMMENTS
2	4/25/22	ZBA	SRF	SPECIAL EXCEPTION REVISIONS
3	4/1/22	CON.	SRF	CONS. COMM. REVIEW COMMENTS
4	4/1/22	BLR	SRF	DESCRIPTION
5		DR	CK	

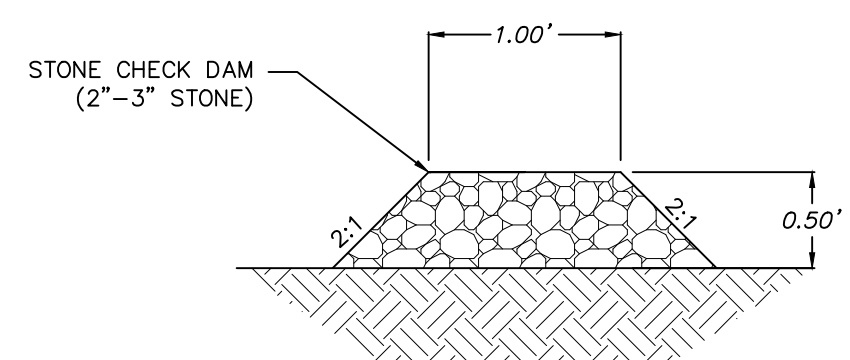
AMHERST LABEL EXPANSION
 CONSTRUCTION DETAILS

AMHERST LABEL
 15 WESTCHESTER DR
 MAP 15 LOT 15
 MILFORD, NEW HAMPSHIRE

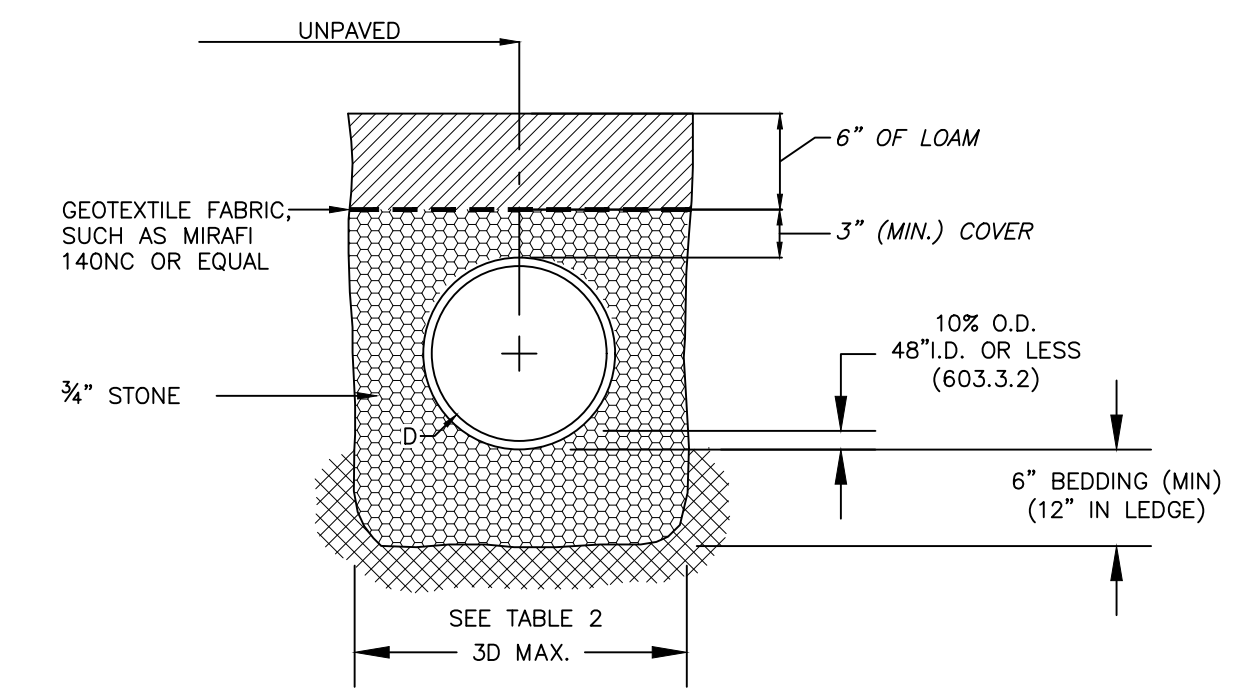
REV.	DATE	DESCRIPTION
A	4/1/22	CONS. COMM. REVIEW COMMENTS
B	4/25/22	ZBA - SPECIAL EXCEPTION REVISIONS
C	5/13/22	STAFF REVIEW COMMENTS
D		BLR SRF
E		BLR SRF
F		BLR SRF
G		BLR SRF
H		BLR SRF
I		BLR SRF

AMHERST LABEL EXPANSION
 DRAINAGE DETAILS

AMHERST LABEL
 15 WESTCHESTER DR
 MAP 15 LOT 15
 MILFORD, NEW HAMPSHIRE



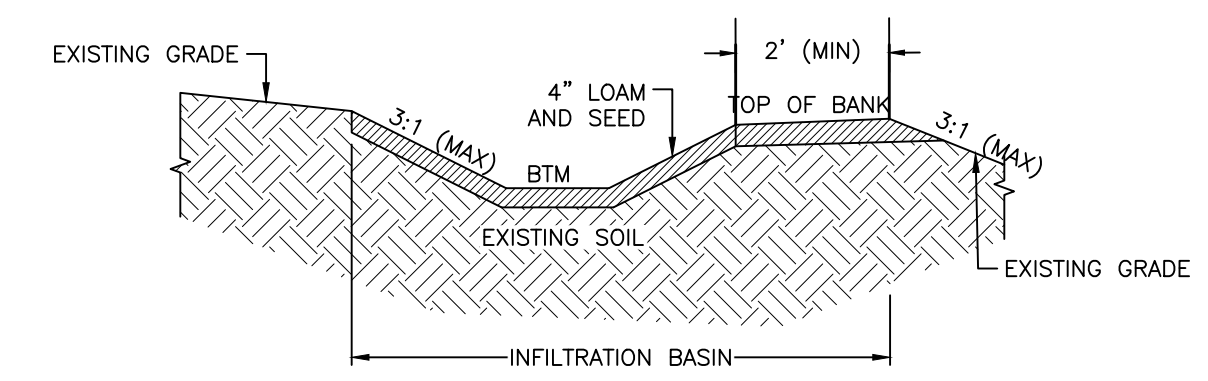
STONE CHECK DAM (FOREBAY)
 SCALE: NONE
 1 D-2



SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE TYPICAL DRAINAGE TRENCH (REDUCED COVER)
 (NHDOT ITEM #662.41)
 DEC. 14, 2021
 SCALE: NONE
 4 D-2

TABLE 1 (206.4.1.2)	
INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	I.D. + 24"
OVER 24"	2 x I.D.

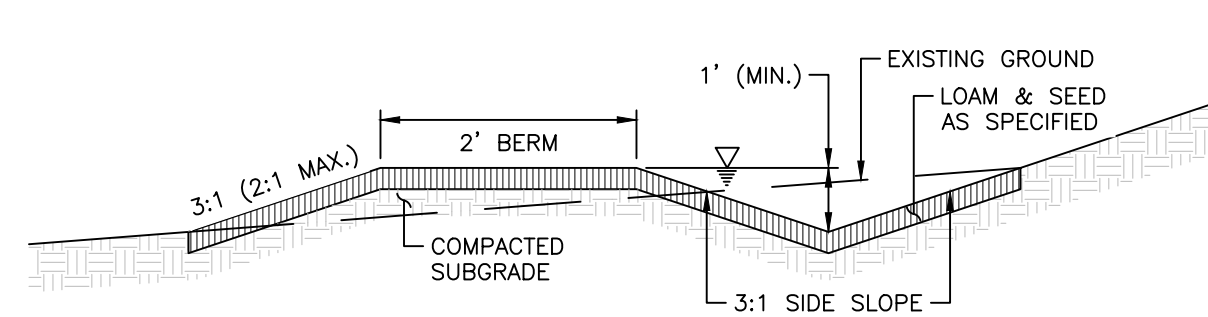
NOTES:
 1. NOT FOR PIPES REQUIRING STRUCTURAL SUPPORT.



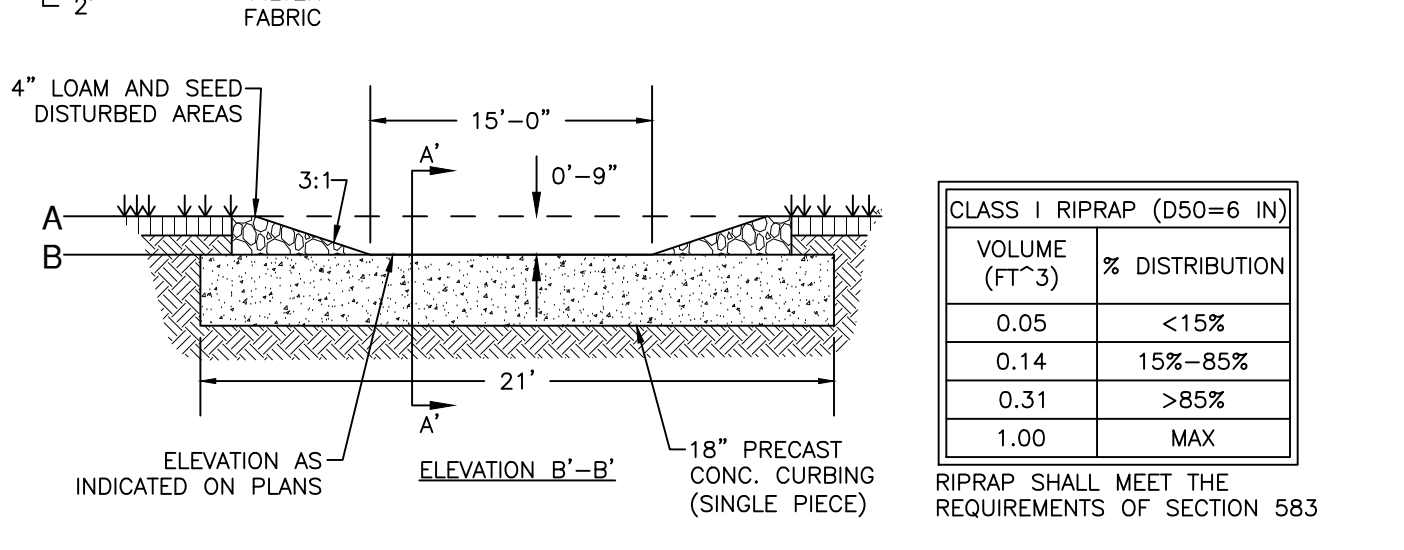
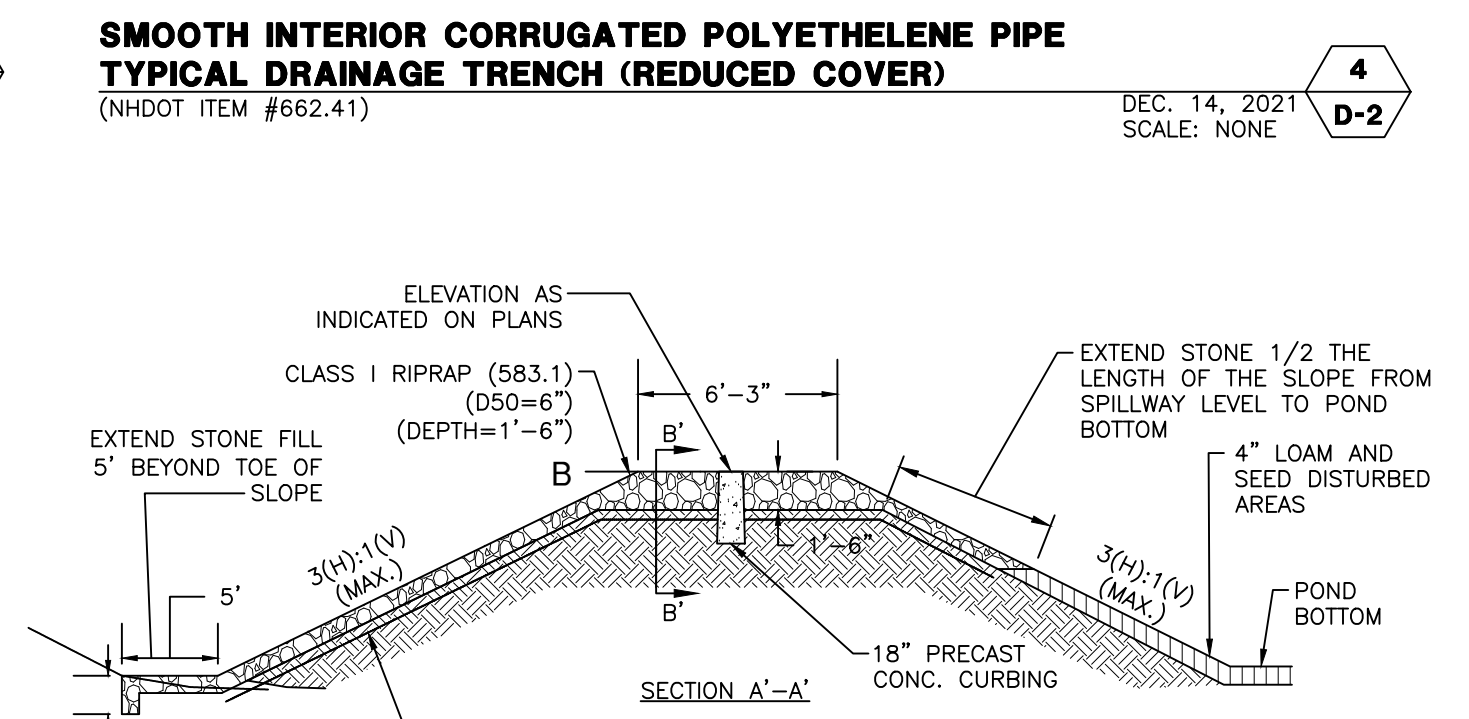
INFILTRATION BASIN - TYPICAL CROSS-SECTIONS
 SCALE: NONE
 2 D-2

CONSTRUCTION NOTES:
 1. THE BOTTOM OF THE EXCAVATION SHALL BE DEEPLY TILLED FOLLOWED BY A PASS WITH A LEVELING DRAG.
 2. THE BOTTOM AND SIDES OF THE DETENTION BASIN(S) SHALL HAVE 4" OF LOAM AND SEED.

NOTES:
 1. DO NOT PLACE DETENTION BASIN(S) INTO SERVICE UNTIL THE CONTRIBUTING AREA HAS BEEN COMPLETELY STABILIZED.

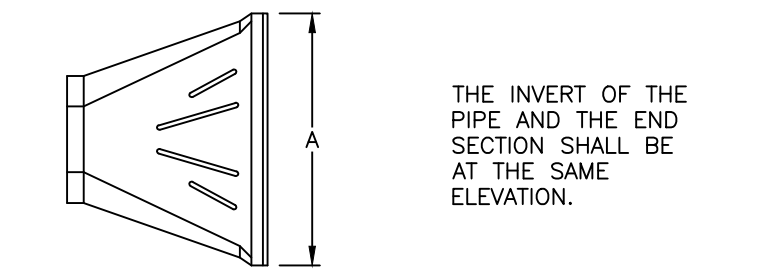


CONVEYANCE SWALE
 SCALE: NONE
 3 D-2



EMERGENCY SPILLWAY
 SCALE: NONE
 5 D-2

DIMENSION	PIPE DIAMETER (INCHES)					
	10/12	15	18	24	30	36
A	42	41	49	59.5	88	88
B	14.5	19	22	28	36	43
C	33	34	43	48	63.5	66.5
D	6	6	6	6	6	6



FLARED END SECTION - HDPE
 HANGOR HI-Q FLARED END SECTION OR EQUAL
 DEC. 14, 2021
 SCALE: NONE
 6 D-2

CLASS I RIPRAP (D50=6 IN)	
VOLUME (FT ³)	% DISTRIBUTION
0.05	<15%
0.14	15%-85%
0.31	>85%
1.00	MAX

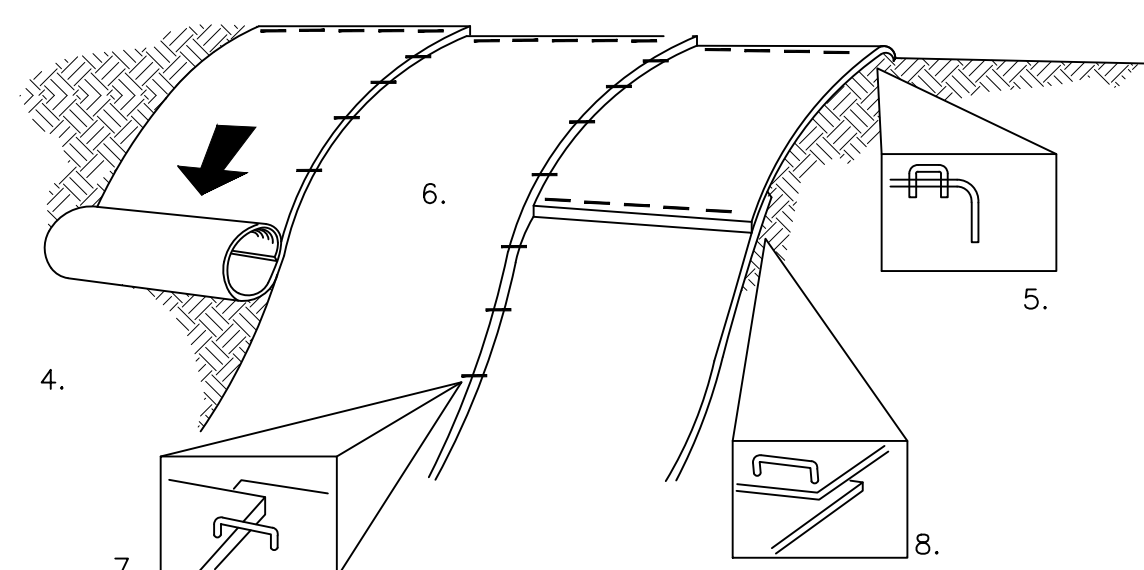
RIPPRAP SHALL MEET THE REQUIREMENTS OF SECTION 583

EROSION CONTROL NOTES:

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

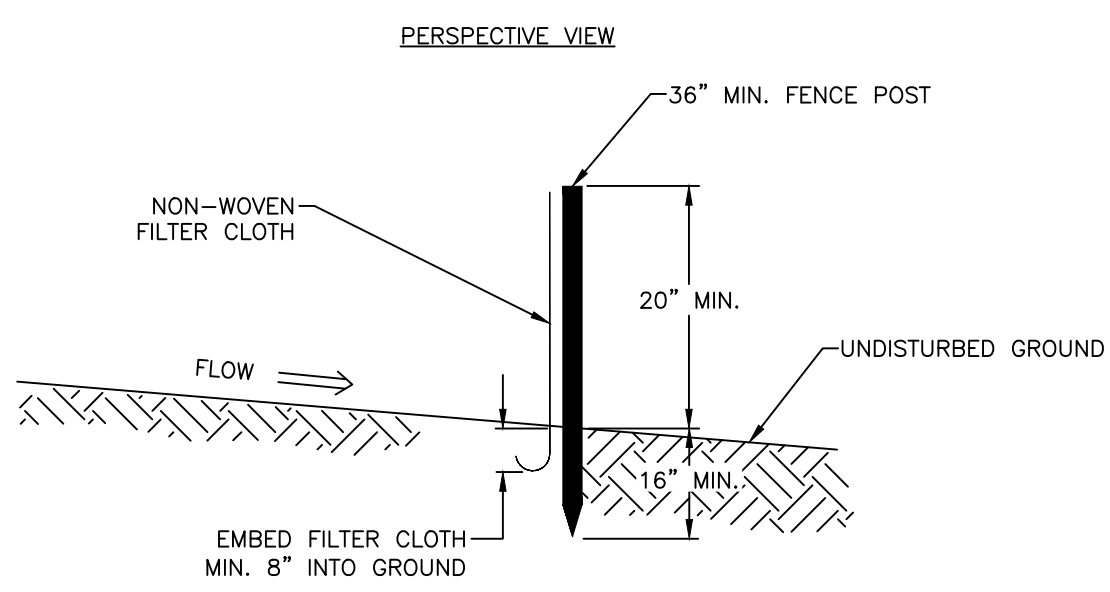
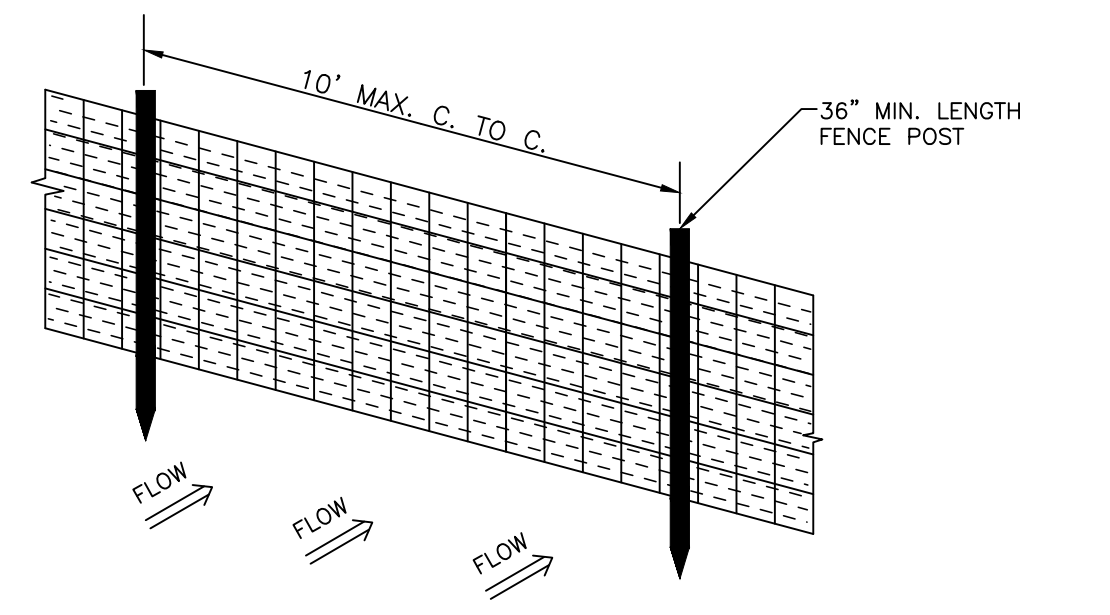
- INSTALLATION OF SILT SOCKS AND SILTATION FENCE WHERE INDICATED SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
- SILT SOCKS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.5" OR GREATER RAINFALL.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- PER THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. THE TOTAL AREA OF ACTIVE DISTURBANCE, INCLUDING LOT DISTURBANCES, SHALL NOT EXCEED 5 ACRES.
- THE DURATION OF TIME THAT AN AREA IS DISTURBED SHALL BE MINIMIZED. ALL NON-ACTIVE DISTURBED AREAS (i.e. CLEARED FOR CONSTRUCTION BUT NOT PRESENTLY UNDERGOING CONSTRUCTION) SHALL BE STABILIZED WITHIN 28 DAYS OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- ALL DITCHES, SWALES AND DETENTION BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND SHALL BE STABILIZED PRIOR TO DIRECTING STORM WATER FLOW TO THEM.
- AN AREA MAY BE CONSIDERED STABILIZED WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 65% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.
THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED	SLOPE SEED	
CREeping RED FESCUE 0.87 LBS.	CREeping RED FESCUE 1.01 LBS.	
KENTUCKY BLUEGRASS 0.71 LBS.	RYE GRASS 0.75 LBS.	
RYE GRASS 0.58 LBS.	RED TOP 0.18 LBS.	
RED TOP 0.14 LBS.	ALSIKE CLOVER 0.18 LBS.	
	BIRDSFOOT TREFLOIL 0.18 LBS.	
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P2O5-K2O) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.
FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- THE SITE CONTRACTOR SHALL MAINTAIN A VIGOROUS DUST CONTROL PROGRAM THROUGHOUT THE CONSTRUCTION PROCESS. EXPOSED EARTH SHALL BE KEPT MOIST OR MULCHED AT ALL TIMES TO PREVENT DUST FORMATION. SPECIAL ATTENTION SHALL BE PAID TO HIGH TRAFFIC AREAS.

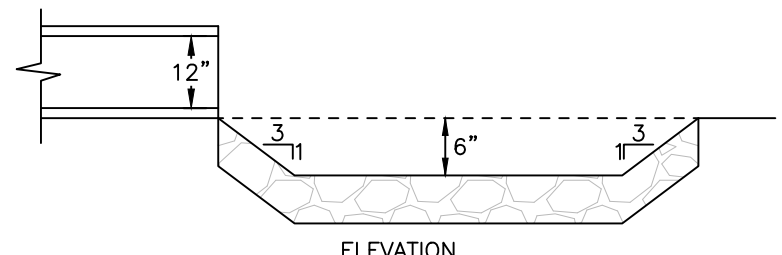
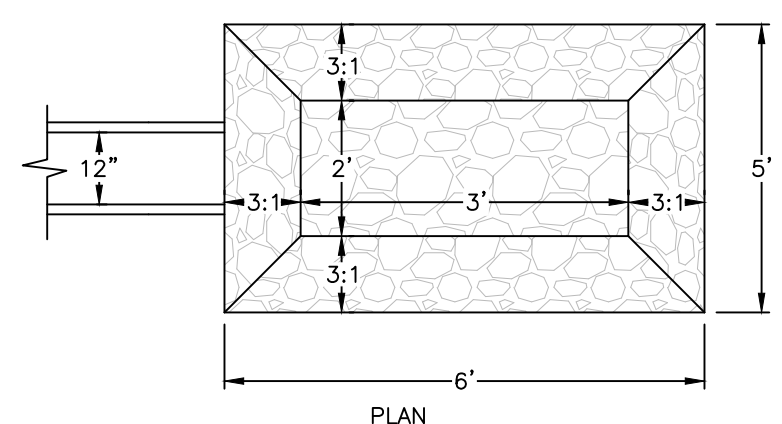


- FABRIC SHALL BE A STRAW/COCONUT FIBER EROSION CONTROL TURF REINFORCEMENT MAT SUCH AS NORTH AMERICAN GREEN SC150BN OR EQUAL.
- THE USE OF ANY EROSION CONTROL MAT WHICH CONTAINS WELDED PLASTIC OR BIODEGRADABLE PLASTIC THREAD OR NETTING IS STRICTLY PROHIBITED.
- THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1" AND A LENGTH OF 6".
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROLL OF STAPLES OR STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET WITH A ROW OF STAPLES/STAKES PLACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS DOWN THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OF OVERLAP DEPENDING ON THE BLANKET TYPE.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE OVERLAPPED AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.
- THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

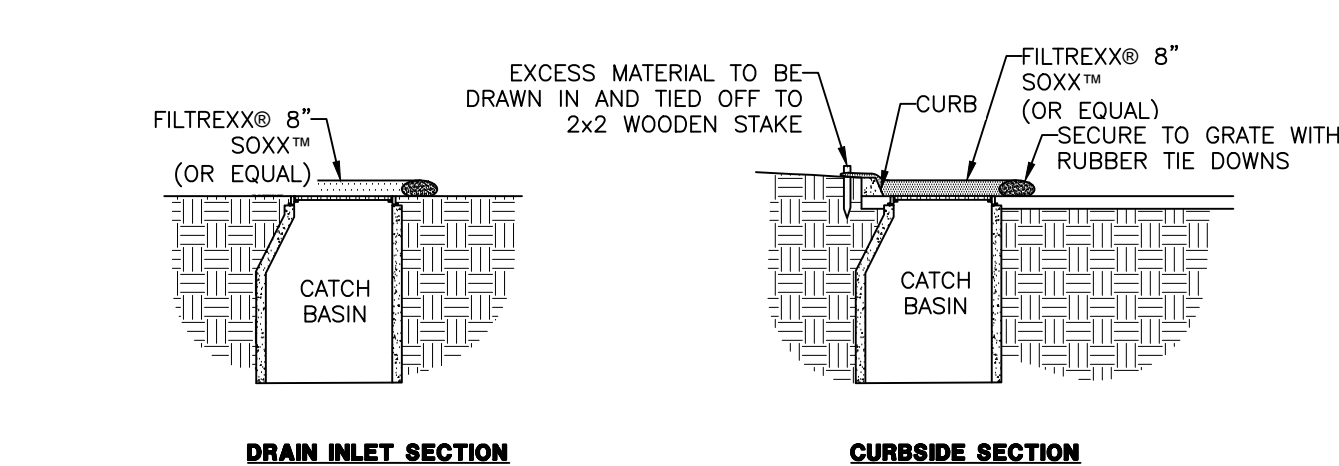
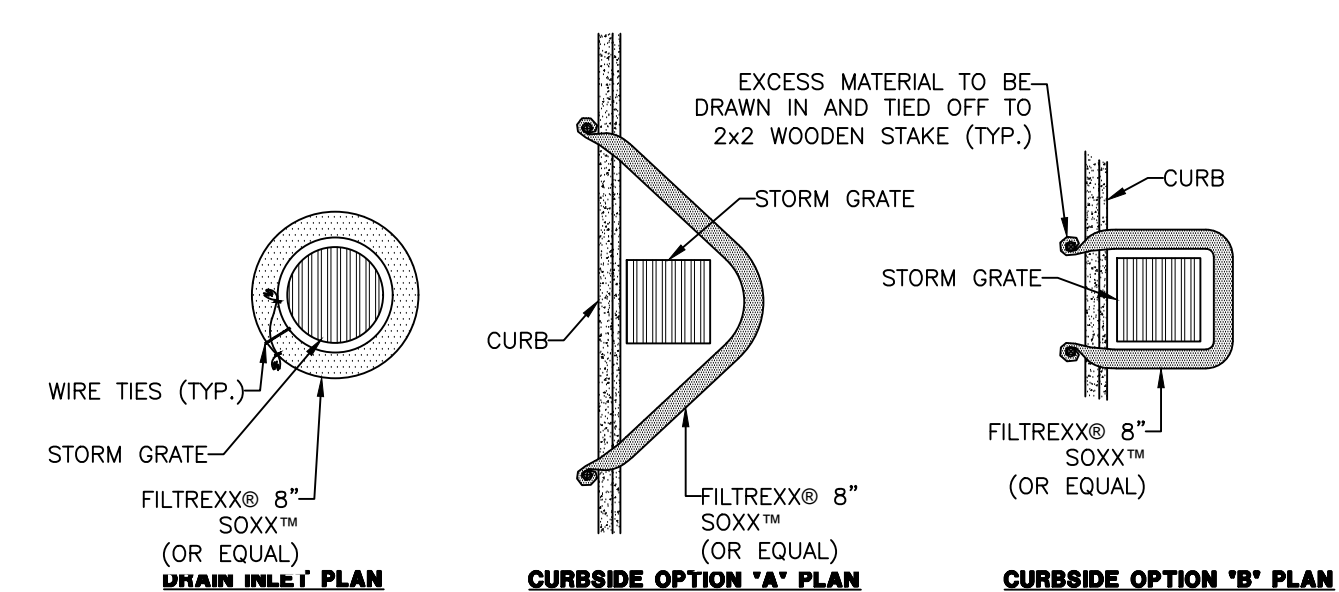
SLOPE STABILIZATION TURF REINFORCEMENT MAT SCALE: NONE **1** **D-3**



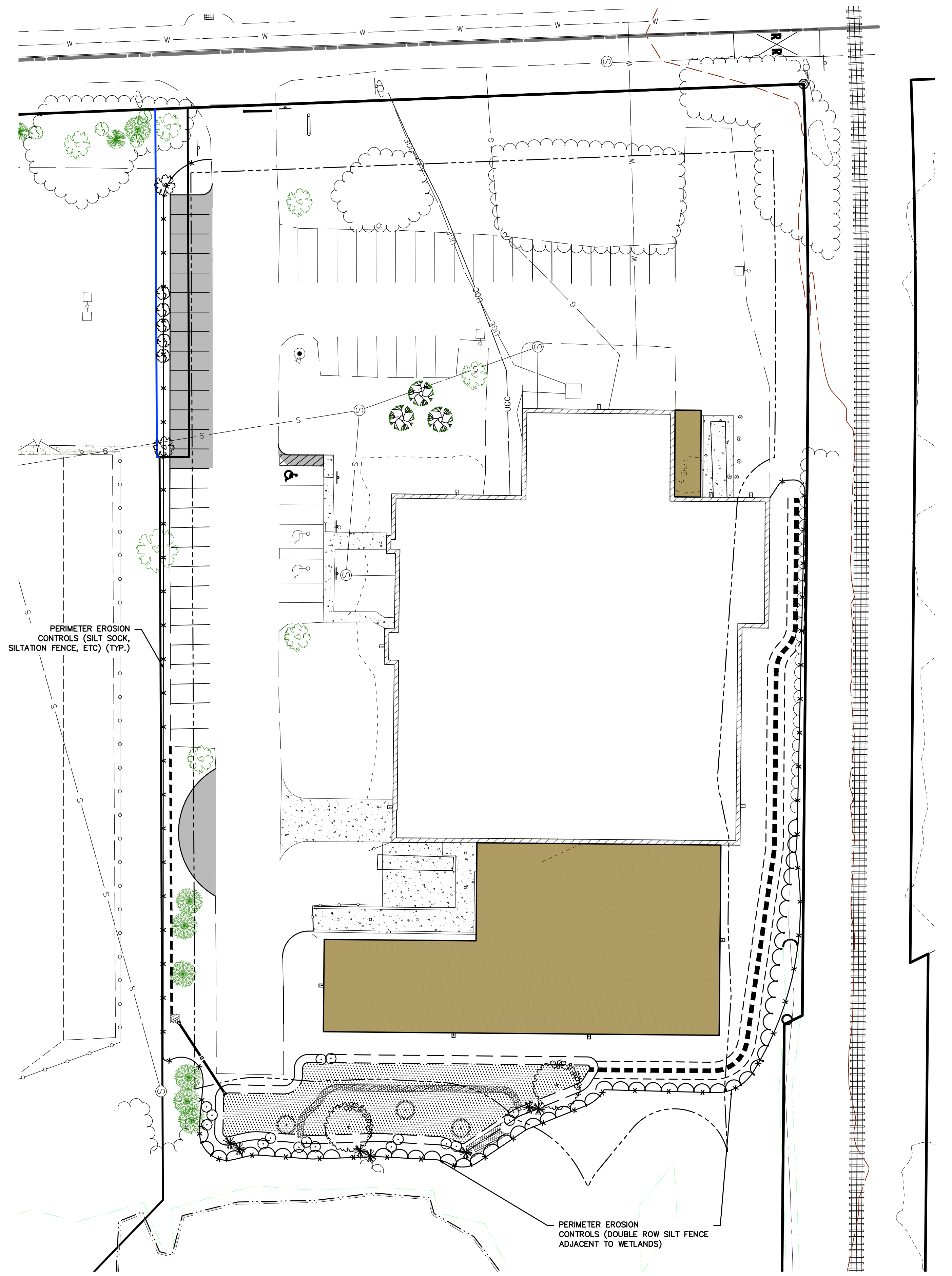
SILTATION FENCE SCALE: NONE **2** **D-3**



OUTLET PROTECTION - RIPRAP SCOUR HOLE SCALE: NONE **3** **D-3**



INLET PROTECTION (BY FILTREX® OR EQUAL) SCALE: NONE **4** **D-3**



REV.	DATE	DESCRIPTION	DR	CK
A	4/1/22	CONS. COMM. REVIEW COMMENTS		
B	4/25/22	ZBA - SPECIAL EXCEPTION REVISIONS	BLR	SRF
C	5/13/22	STAFF REVIEW COMMENTS	BLR	SRF
D				
E				
F				
G				
H				

AMHERST LABEL EXPANSION
EROSION CONTROL DETAILS

AMHERST LABEL
15 WESTCHESTER DR
MAP 15 LOT 15
MILFORD, NEW HAMPSHIRE

D-3
SHEET

FILE: 5073106C.dwg
PROJECT 05073.06
SHEET NO. 10 OF 10



4 EAST ELEVATION
SCALE: 3/32" = 1'-0"



3 WEST ELEVATION
SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"