



TOWN OF MILFORD, NH  
OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055

TEL: (603)249-0620

WEB: WWW.MILFORD.NH.GOV

**Date:** May 22, 2019  
**To:** Planning Board  
**From:** Lincoln Daley, Community Development Director  
**Subject:** Family Dental Care of Milford for the property located at Tax Map 19, Lot 13, 150 Elm Street and Tax Map 19, Lot 14, 154 Elm Street. Public hearing for a Major Site Plan application to construct a 5,400 square foot addition to the existing 2,400 square foot dental office and related parking, landscaping, lighting, and drainage improvements within in the Commercial District and Nashua-Elm Street Overlay District.

**BACKGROUND/PROPOSAL:**

The applicant is before the Planning Board for a Major Site Plan application to construct a 5,400 square foot addition to the existing 2,400 square foot dental office and related parking, landscaping, lighting, and drainage improvements. The proposal calls for the razing of the two exiting residential homes and lot consolidation of the two properties. The property is located in the Commercial District and the Nashua/Elm Street Overlay District. This will be the first public hearing for the project. The applicant was last before the Planning Board on April 23, 2019 for a conceptual review. At that meeting, the Board and applicant discussed the site layout, building elevations, landscaping and pedestrian connectivity. Attached please find is the site plan, waiver request narrative, and proposed elevations.

**EXISTING USE/CONDITIONS:**

Map 19, Lot 13 consists of a partially developed lot containing a single-family house totaling 38,559 square feet with 147 linear feet of frontage on Elm Street. The property is located adjacent to the dental practice to the west, the Pan Am Railway to the south, and a mixture of residential and commercial uses to the north and east. The property is primarily comprised of an open yard with minimal tree coverage around the perimeter.

Map 19, Lot14 consists of the 2,400 square foot dental practice and a single-family residence and is partially developed. The area of lot totals 25,850 square feet with 100.24 linear feet of frontage on Elm Street. The property is located adjacent to the auto parts retail store to the west, the Pan Am Railway to the south, and a mixture of residential and commercial uses to the north and east.

Based on the application, a wetland delineation was not performed as part of the submittal. However, in reviewing the past site plan application, no wetland resource areas were identified on the property. The topography for both lots is primarily flat with a slight upward slope from west to east.

**LOT AREA:**

Proposed Tax Map 6, Lot 14-1 = ±1.232 acres (58,289 sq.ft.)

**APPLICATION STATUS:**

The application is complete and ready to be accepted.

**NOTICES:**

Notices were sent to all property abutters on February 15, 2019.

**WAIVERS:**

1. Waiver request from the Zoning Ordinance, Section 6.05.6.D.2.b seeking relief to orient the main the main entrance

- in the rear of the building away from the public street.
2. Waiver request from the Zoning Ordinance, Section 6.05.6.C.3 seeking relief to locate the building addition 70 feet from the edge of the front property line.
  3. Waiver request from the Zoning Ordinance, Section 6.06.6.A.2 seeking relief from Development Review Process and allow acceptance of the final formal site plan application.

**ZONING DISTRICTS:**

The proposed parcel lies within the Commercial ‘C’ district. The intent of this District is to provide areas for those businesses, institutional, financial, governmental and compatible residential uses which constitute the commercial requirements of the Town. The proposed subdivided property meets the 20,000 square foot minimum size for lots serviced by municipal water and sewer and contains at least 150 linear feet of frontage on Elm Street. A dental office is a permitted use in the Commercial zoning district.

The property also falls within the Nashua and Elm Street Overlay District. The purpose of this Ordinance is to implement the Town of Milford’s vision for the future as set forth in the Community Character Chapter of the Master Plan 2007 Update: Goal No. 2: Foster the traditional character of Milford’s neighborhoods by encouraging a human scale of development that is similar in setbacks, size and height, and that is comfortable and safe for pedestrians and non-motorized vehicles while allowing for an efficient and safe roadway network.

The property falls outside of the groundwater protection district and the 100-year flood hazard area, but lies within the Groundwater Protection Level 1 District.

**TRAFFIC AND ACCESS MANAGEMENT:**

Access and egress from the dental practice will be from a two existing curb cuts on Elm Street. The entrance located on the western portion of the property is allow for access and egress from the site. The easterly driveway is proposed to be a single vehicle, one way entrance into the site. The site layout allows for full access to the parking areas and circulation around the building. The location of the property on elm street and driveway layout provide sufficient sight distance. However, the applicant should clarify if the proposed landscaping will impede sight distance for vehicles leaving the site and vehicles traveling on Elm Street.

**PARKING:**

The project proposes to provide 48 total parking spaces where 40 spaces area required. The additional spaces were included to reflect demand during shift changes. The calculation is based on the number of practitioners and employees for the dental practice.

$$\begin{aligned}
 &6 \text{ Total Future Practitioners} \times 4 = 24 \text{ spaces required (4 spaces per practitioners)} \\
 &\quad \underline{32 \text{ total employees} / 2 = 16 \text{ spaces required}} \text{ (One space per every two employees)} \\
 &\quad \quad \quad 40 \text{ spaces required}
 \end{aligned}$$

**DRAINAGE/STORMWATER MANAGEMENT:**

The stormwater and drainage design has been reviewed by the Town Engineering Consultant, KV Partners. See attached review dated 2/8/19.

**UTILITES:**

The dental office building and addition will be serviced by municipal water and sewer. Power to the site will be underground.

**INTERDEPARTMENTAL REVIEWS:**

**Ambulance:** No comments.

**Assessing:** No comments.

**Building Department:** No comments.

**Code Enforcement/ Health:** No comments.

**Conservation Commission:** See attached comments dated 5/21/19.

**Environmental Programs/Stormwater:** See letter from the Town engineering consultant, KV Partners dated May 23, 2019.

**Fire Department:** No comments.

**Heritage Commission:** No comments.

**Police Department:** No comments.

**Public Works:** The comments submitted to the Department involve the amount and location of the proposed landscaping and potential impact on the sight distance for vehicles leaving the site.

**Water/Sewer Utilities:** The comments submitted to the Department involve providing more detailed information involving the installation/connection of the municipal water and sewer lines to the building and removal of the existing lines to both homes.

**Community Development / Planning:**

1. Sheet 1. Please revise the plan to include signature blocks for the Planning Board and Property Owner and resubmit.
2. Sheet 1. Waiver Requests. Recommend incorporating the Waiver Requests Block into a general Notes block.
3. Further, please add the following notes:
  - a. A note indication that the project is subject to Police Impact Fees.
  - b. Sheet 2. Please revise the plan by addition a note stating the properties lie within the Groundwater Protection Level 1 District.
  - c. Sheet 2. Please revise the plan by revising Note 4 to state that the properties are subject the design and performance standards of the Nashua Elm Street Overlay District.
4. Sheet 3, Landscape Maintenance. Please clarify the method of irrigating the landscaping elements.
5. Sheet 3, Landscape Maintenance. Please add a note to the plan stating the following, “Any landscape element that dies, or is otherwise removed, shall be promptly replaced with the same, if not similar to, height or texture element as originally intended. In addition, landscaped areas shall be kept free of all debris, rubbish, weeds and overgrown turf grass.”
6. Sheet 4. Signage. The plans states that the existing free standing sign will be relocated. The plans further state that the proposed sign plan to be completed by another party. Please revise the plans to include any/all monument, directory, wall, and direction signage and their associated design, construction, and engineering details.
7. Sheet 4, Dumpster Screening. Please revise the plans by include the design and construction details for fencing and gate around the perimeter of the dumpster and pad.
8. Sheet 4. The Zoning Ordinance, Section 6.05.6.B.1.a states that all projects subject shall construct wherever feasible interconnecting driveways to adjacent properties or provide secure future connections through easements to adjacent property boundaries. Please explain why the project does not contain interconnecting driveways to abutting parcels.
9. Sheet 4. The Zoning Ordinance, Section 6.05.6.B.1.c, requires that interior parking lots shall provide for shared use and interconnected drives. Please revise the plans or submit a waiver request.
10. Sheet 4. The Zoning Ordinance, Section 6.05.6.B.1.b. requires that new access points onto Nashua or Elm streets shall only be created when it is not feasible to combine or share existing access points. Please explain why the project contains two access points. What alternatives were considered for eliminating one of the access points?
11. Sheet 4. The Zoning Ordinance, Section 6.05.6.C.3 Build-to-Zone states that new structures shall be constructed so as to maintain a traditional streetscape edge. Further, the setbacks of adjacent structures and context of spacing between buildings shall be considered in determining the appropriate building setback. At a minimum, a new

structure shall be constructed within a Build-to-Zone between 15' and 35' from the public street right of way. If site circumstances dictate a new structure may be constructed within 10' of the public street right of way.

The proposed addition will be located outside of the required Build-to-Zone and setback. The applicant submitted a waiver request for relief from this requirement stating that the addition is approx. 70 feet from the Elm Street ROW due to the existing location of the building in the rear of the lot. Further, the addition is "L" shaped and allows for existing functioning treatment rooms to share needed equipment, resources, and space. Lastly, the proposed building is the same/similar distance as the abutting Auto Store. See waiver request.

Staff supports the waiver request given that the project is an expansion of the existing building situated in the rear of the property.

12. Sheet 4. The Zoning Ordinance, Section 6.05.6.D.2.b Building Orientation states that buildings shall be sited so that entrances are clearly identifiable and directly accessible from a sidewalk and shall be accessible for pedestrians, bicyclists and future public transit users. The applicant submitted a waiver request for relief from this requirement to locate/orient the entrance to the rear of the building. See waiver request.

Staff supports the waiver request given that the project is an expansion of the existing building and not a new structure. The location and orientation of the entrance is based on the existing building design.

13. Sheet 7. Pursuant to Section 6.08.8.A of the Development Regulations, please confirm that all plant stock meets the ANSI Z60.1 standard.
14. General Comment - Pedestrian Connectivity. Pursuant to Section 7.03 Sidewalks of the Development Regulations, the Planning Board may require sidewalks for pedestrian traffic to provide a connection between the main entrances of business, housing or industrial establishments, parking areas and along public roadways. Further, the Planning Board may also require sidewalks from the road to the main building entrance or along the road frontage if there is a reasonable expectation pedestrian patrons, residents, neighbors, children, shoppers or employees would be traveling to or from the site.
15. The applicant will be required to file a voluntary lot consolidation form to merge both lots. This step would be required prior to Board signature of the plans set.

#### **STAFF RECOMMENDATIONS:**

The applicant should be prepared to address the comments raised by the Planning Board, Conservation Commission, Heritage Commission, Town Consultants, Staff, and public pertaining to the Site Plan. The Planning Board will need to determine if the proposed site development meets the purpose and intent of the overlay and potentially act on the waiver request. If the Board is satisfied with the information/responses from the applicant and finds that the remaining concerns can be addressed with staff, staff would recommend a conditional approval.



**Aerial Photographs of Map 19, Lots 13 and 14**



**Street Level Photographs of Map 19, Lot 14**







**Street Level Photographs of Map 19, Lot 13**





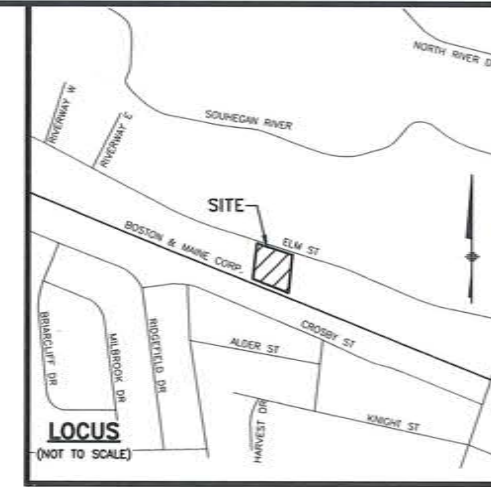
# Site Plan

## Family Dental Care of Milford

PROFESSIONAL ASSOCIATION

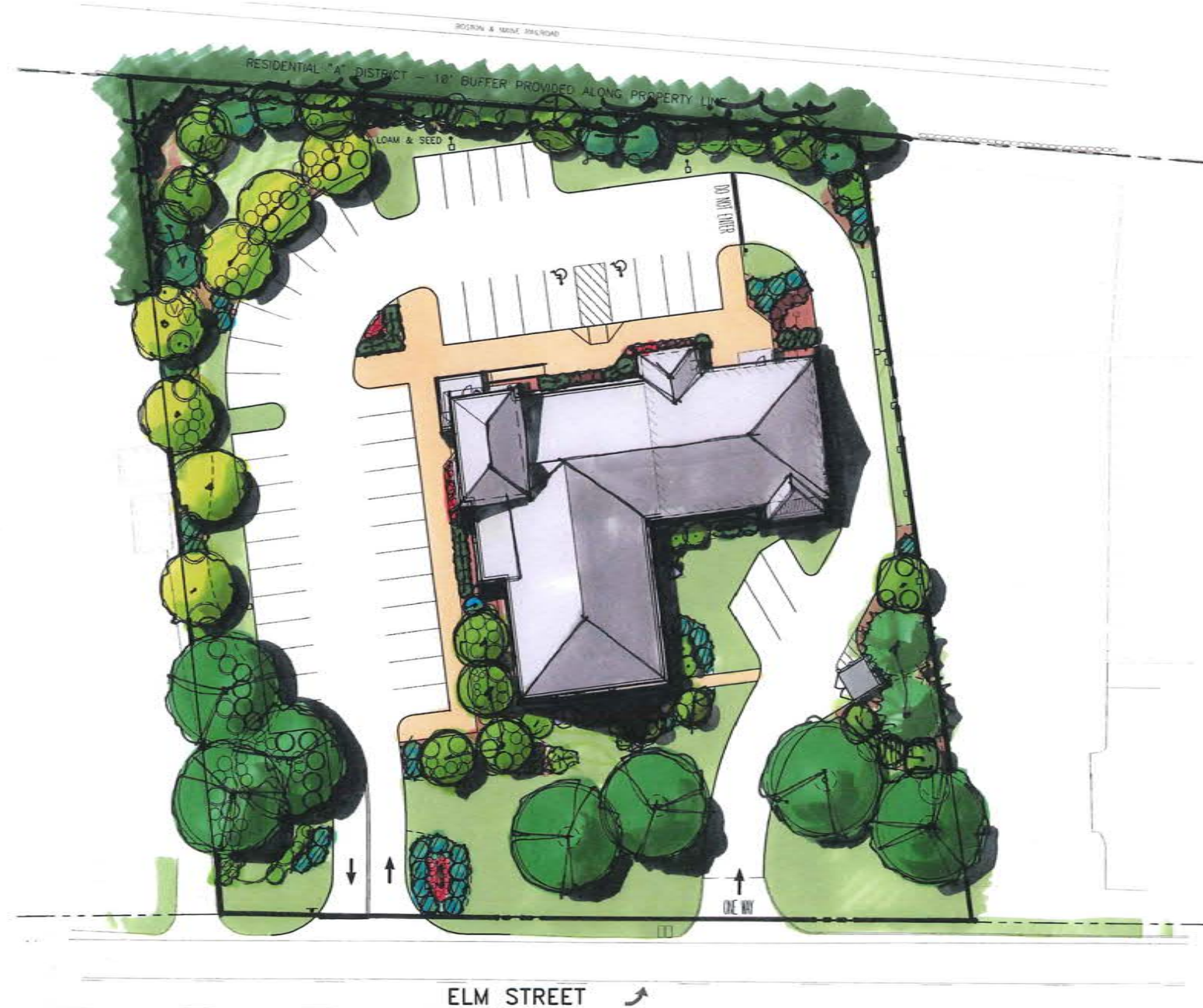
Connecting Dentistry & Your Health

### ELM STREET, MILFORD, NEW HAMPSHIRE



**The Dubay Group, Inc.**  
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers  
Planners  
Surveyors  
TheDubayGroup.com



**SHEET INDEX:**

- 1 Title Sheet
- 2 Existing Conditions Plan
- 3 Preparation Plan
- 4 Site Plan
- 5 Grading, Drainage, & Utility Plan
- 6-7 Landscape Plan & Details
- 8 Lighting Plan
- 9 Erosion Control Plan
- 10-13 Site Construction Details
- 14 Pre-Development Watershed Plan
- 15 Post-Development Watershed Plan


REVISIONS:			
REV.	DATE	COMMENT:	BY:

DRAWN BY: REK  
CHECKED BY: 4/29/2019  
DATE: 4/29/2019  
SCALE: NONE  
FILE: 337 - cover  
DEED REF: BK 8043 PG 1999  
BK 9135 PG 2081

PROJECT:  
**FAMILY DENTAL CARE OF MILFORD**  
150 & 154 ELM STREET  
MILFORD, NH 03055

FOR  
**WILSKY INVESTMENTS, LLC.**  
154 ELM STREET  
MILFORD, NH 03055

TOWN OF MILFORD RECEIVED  
APR 29 2019  
PB ZBA Office

OWNER'S SIGNATURE   
DATE 4/29/19

SHEET TITLE:  
**TITLE SHEET**

PROJECT #337 SHEET 1 of 15

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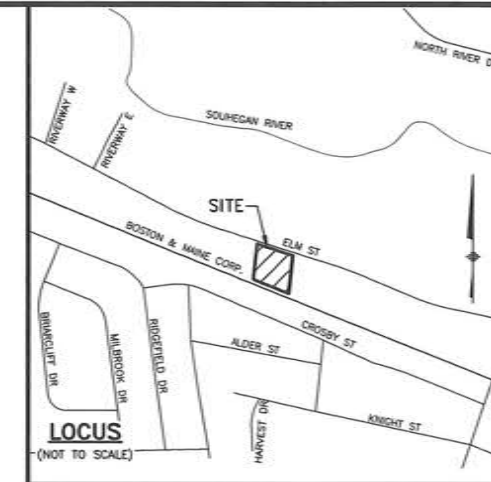
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Engineers

Planners

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MAP 44 LOT 14  
BOSTON & MAINE CORP.  
C/O GULFORD TRNSPT IND. 1700  
IRON HORSE PARK  
NORTH BILLERICA, MA 01862-1681

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- ☆ LIGHT POST
- ⊙ WELL
- ABUTTER LINE
- CURB
- EDGE OF PAVEMENT
- STONEMASS
- TREELINE
- DELINEATED WETLAND
- W.W.P.D.
- BUILDING SETBACK
- LEDGE

MAP 19 LOT 12  
JORDAN WILLIAM A  
PO BOX 776  
STOODARD, NH  
03464-0776  
B. 7835 P. 0903

MAP 19 LOT 13  
38,559 Sq. Ft. ±  
0.885 Ac. ±

MAP 19 LOT 14  
25,850 Sq. Ft. ±  
0.593 Ac. ±

MAP 19 LOT 15-1  
DAPPER PROPERTIES 1 LLC  
PO BOX 56607 ATLANTA,  
GA 30343-9908  
B. 6563 P. 2246

NOTES:

- THE OWNER OF RECORD:  
MAP 19 LOT 13  
WILSKY INVESTMENTS, LLC.  
154 ELM STREET  
MILFORD, NH 03055  
BOOK 8043 PAGE 1999  
MAP 19 LOT 14  
WILSKY INVESTMENTS, LLC.  
150 ELM STREET  
MILFORD, NH 03055  
BOOK 9135 PAGE 2081
- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON PLANS ENTITLED "BOUNDARY PLAN" LOT 19-13 & LOT 19-14 MILFORD, N.H. DRAWN FOR: WILLIAM B. & SANDRA C. NEWBOLD PREPARED BY THOMAS F. MORAN INC. AND RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS AS PLAN #25866 AND BASED ON THE RESULT OF A FIELD SURVEY BY THIS OFFICE.
- EXISTING FEATURES AND TOPOGRAPHY SHOWN HEREON ARE BASED ON A FIELD SURVEY BY THIS OFFICE AND RECORD PLANS ON FILE AT THE TOWN OF MILFORD PLANNING DEPARTMENT.
- LOT 19-13 & LOT 19-14 IS ZONED COMMERCIAL "C" DISTRICT PER TOWN OF MILFORD ZONING MAP.  
MIN. LOT FRONTAGE: 150FT  
MIN. FRONT YARD: 30FT  
MIN. SIDE YARD: 15FT  
MIN. REAR YARD: 15FT
- LOT 19-13 & LOT 19-14 DO NOT LIE WITHIN THE 100 YEAR FLOOD PLAN PER FLOOD INSURANCE RATE MAP NUMBER J3011004580 WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.

PLAN REFERENCES:

- BOUNDARY PLAN IN MILFORD, N.H. AS DRAWN FOR WILLIAM B. & SANDRA C. NEWBOLD: SCALE: 1"=50'; DATED: JANUARY 1989; PREPARED BY THOMAS F. MORAN INC. HILLSBOROUGH COUNTY REGISTRY OF DEEDS (H.C.R.D.) PLAN #25866.
- SUBDIVISION PLAN OF LAND; RICHARD B. ELIZABETH R. CLARK MILFORD, N.H. AS DRAWN FOR MCDONALD'S CORPORATION: SCALE: 1"=50'; DATED: MARCH 1982; PREPARED BY THOMAS F. MORAN INC. HILLSBOROUGH COUNTY REGISTRY OF DEEDS (H.C.R.D.) PLAN #15016.

LAND SURVEYORS CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN JANUARY, 2019 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



4/29/19

TIMOTHY W. SUTHERLAND, LLS #991

DATE

REVISIONS:			
REV.	DATE	COMMENT	BY

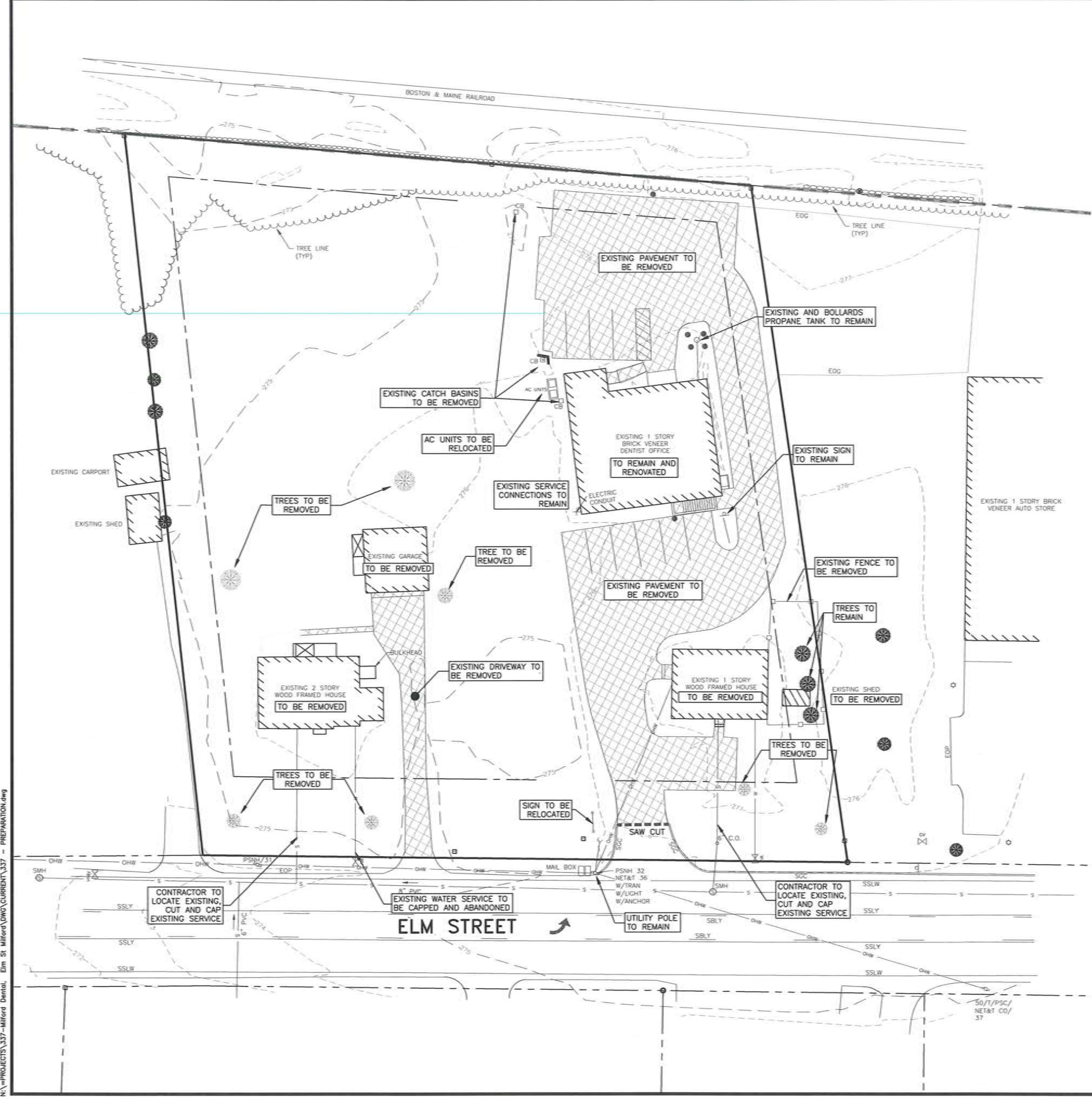
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CHECKED BY: TWS  
DATE: 4/29/2019  
SCALE: 1" = 20'  
FILE: 337ws2  
DEED REF: BK 8043 PG 1999  
BK 9135 PG 2081

PROJECT:  
**FAMILY DENTAL CARE OF MILFORD**  
150 & 154 ELM STREET  
MILFORD, NH 03055  
FOR:  
**WILSKY INVESTMENTS, LLC.**  
154 ELM STREET  
MILFORD, NH 03055

SHEET TITLE:  
**EXISTING CONDITIONS PLAN**

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**NOTE:**

1. NO SOIL CONTAINING ANY LIVING OR VIALBE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3800) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 430:55.
2. ALL PAVEMENT PROPOSED TO BE REMOVED SHALL BE SAW CUT AT THE LIMITS OF REMOVAL
3. PRIOR TO CONSTRUCTION, CONTACT DIG-SAFE CENTER. TOLL FREE AT 811. NEW HAMPSHIRE STATE LAW REQUIRES NOTIFICATION AT LEAST 3 BUSINESS DAYS BEFORE DIGGING OPERATIONS START.

**The Dubai Group, Inc.**  
 84 Range Road  
 Windham, NH 03087  
 603-458-6462

Engineers  
 Planners  
 Surveyors  
 TheDubayGroup.com



REVISIONS:

REV	DATE	COMMENT	BY

DRAWN BY: JHD  
 CHECKED BY: REK  
 DATE: 4/29/2019  
 SCALE: 1"=20'  
 FILE: 337 - PREPARATION  
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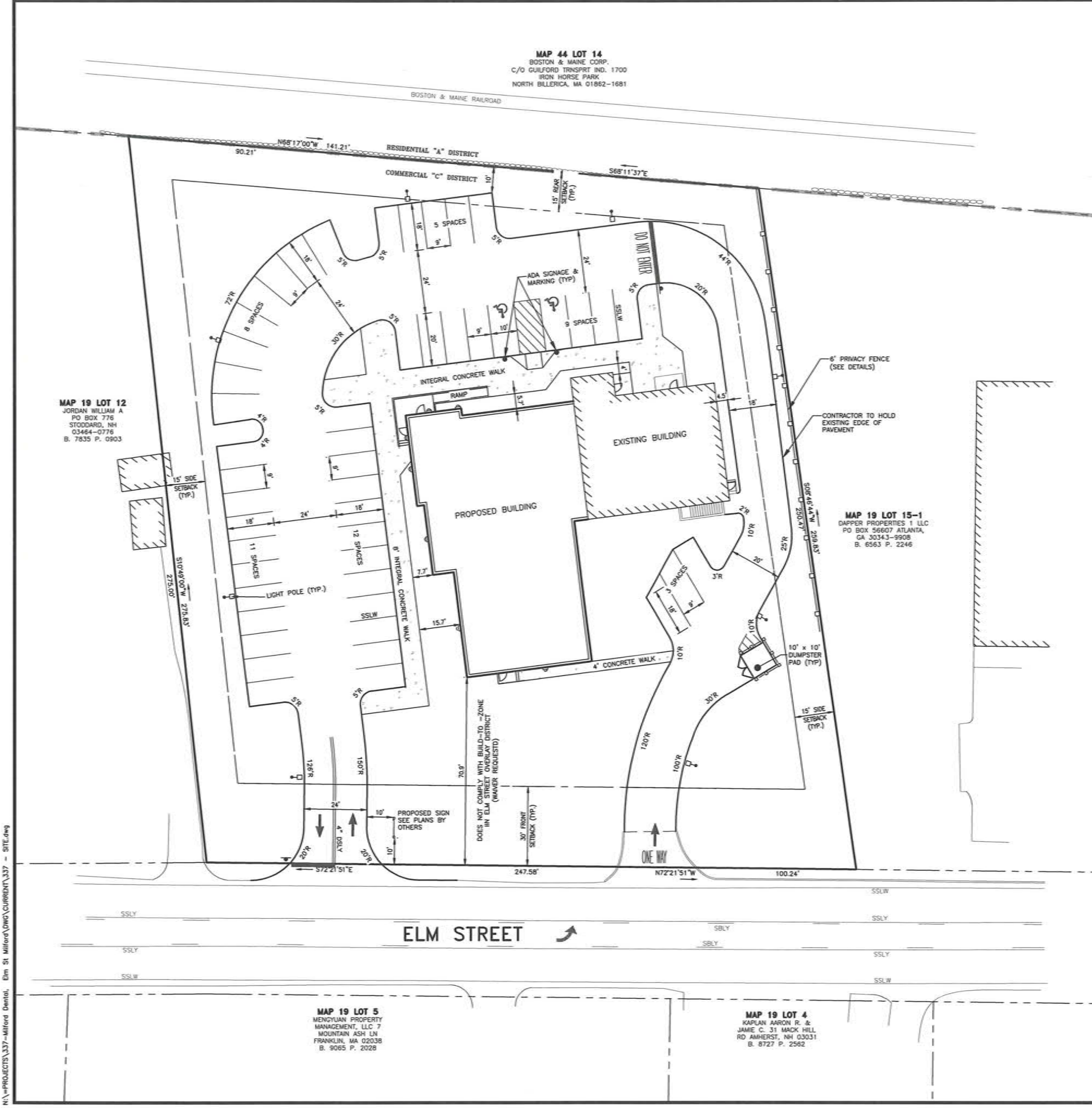
SHEET TITLE:  
**PREPARATION PLAN**



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**MAP 44 LOT 14**  
 BOSTON & MAINE CORP.  
 C/O GUILFORD TRANSPRT IND. 1700  
 IRON HORSE PARK  
 NORTH BILLERICA, MA 01862-1681



**MAP 19 LOT 12**  
 JORDAN WILLIAM A  
 PO BOX 776  
 STOODARD, NH  
 03464-0776  
 B. 7835 P. 0903

**MAP 19 LOT 15-1**  
 DAPPER PROPERTIES I LLC  
 PO BOX 56607 ATLANTA,  
 GA 30343-9908  
 B. 6563 P. 2246

**MAP 19 LOT 5**  
 MENDYUAN PROPERTY  
 MANAGEMENT, LLC 7  
 MOUNTAIN ASH LN  
 FRANKLIN, MA 02038  
 B. 9065 P. 2028

**MAP 19 LOT 4**  
 KAPLAN AARON R. &  
 JAMIE C. 31 MACK HILL  
 RD AMHERST, NH 03031  
 B. 8727 P. 2562

**GENERAL NOTES:**

- OWNERS OF RECORD:  
 MAP 19 LOT 13  
 WILSKY INVESTMENTS, LLC.  
 154 ELM STREET  
 MILFORD, NH 03055  
 BOOK 8043 PAGE 1999  
  
 MAP 19 LOT 14  
 WILSKY INVESTMENTS, LLC.  
 150 ELM STREET  
 MILFORD, NH 03055  
 BOOK 9135 PAGE 2081
- THE INTENT OF THIS PLAN IS TO CONSTRUCT A 5,400 S.F. ADDITION WITH SUPPORTING INFRASTRUCTURE TO THE EXISTING DENTAL OFFICE ON LOT 19-14.
- THE SUBJECT PARCELS 19-13 AND 19-14 ARE ZONED AS COMMERCIAL "C" AND ARE SUBJECT TO THE ELM STREET OVERLAY DISTRICT.  
  
 YARD REQUIREMENTS: EACH STRUCTURE SHALL BE SET BACK AT LEAST THIRTY (30) FEET FROM THE FRONT LOT LINE AND FIFTEEN (15) FEET FROM SIDE AND REAR PROPERTY LINES. (COMPLIES)  
  
 BUILD-TO-ZONE: AT A MINIMUM, A NEW STRUCTURE SHALL BE CONSTRUCTED WITHIN A BUILD-TO-ZONE BETWEEN 15' AND 35' FROM THE PUBLIC STREET RIGHT OF WAY. PROPOSED ADDITION 70.9' FROM R.O.W. (WAIVER REQUESTED)  
  
 BUILDING ORIENTATION: NEW STRUCTURES SHALL ORIENT THEIR MAIN ENTRANCE TO THE PUBLIC STREET. EXISTING DENTAL OFFICE ENTRANCE IS AT THE REAR, PROPOSED ENTRANCE AT SOUTH EAST CORNER WITH SIDE AND REAR ENTRY DOORS. (WAIVER REQUESTED)  
  
 ALL PARKING SHALL BE TO SIDE AND REAR OF BUILDING. (COMPLIES)  
  
 MINIMUM FRONTAGE = 150' (COMPLIES)
- THE PROJECT IS SERVED BY TOWN WATER AND TOWN SEWER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES LOCATION AND REVISIONS TO EXISTING SERVICE LINES AND CONNECTIONS.
- ALL WORK TO BE DONE IN CONFORMANCE WITH THE TOWN OF MILFORD REGULATIONS. ALL STRUCTURES, AND DRAINAGE TO MEET TOWN OF MILFORD SPECIFICATIONS.
- SEWER AND DRIVEWAY PERMITS SHALL BE OBTAINED FOR THIS PROJECT.
- PARKING CALCULATIONS:  
  
 REQUIRED:  
 4 PER PRACTITIONER - 6 TOTAL FUTURE PRACTITIONERS X 4 = 24 SPACES REQUIRED  
 PLUS ONE PER EVERY 2 EMPLOYEES - 32 EMPLOYEES / 2 = 16 SPACES REQUIRED  
  
 MINIMUM REQUIRED SPACES = 40  
 PROPOSED ON SITE = 48 (ADDITIONAL PARKING SHOWN TO ALLOW FOR SHIFT CHANGE)
- OPEN SPACE: AN AMOUNT EQUAL TO NOT LESS THAN THIRTY (30) PERCENT OF THE TOTAL LOT AREA SHALL BE PROVIDED. 47% OPEN SPACE PROVIDED ON SITE.
- IN THE EVENT ACCUMULATIONS OF WINTER SNOW VOLUMES GENERATED EXCEED ON-SITE STORAGE CAPACITIES, EXCESS VOLUMES OF SNOW SHALL BE REMOVED FROM THE SITE BY THE PROPERTY OWNER AND DISPOSED OF AT A LEGAL DUMPING SITE.
- ALL GRASS AND LANDSCAPED AREA MAINTENANCE SHALL BE PERFORMED WITH JUDICIOUS USE OF ORGANIC PESTICIDES, HERBICIDES AND FERTILIZERS, ALL OF WHICH SHALL BE APPLIED BY A LICENSED APPLICATOR.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- CONTRACTOR SHALL MAINTAIN AN EFFECTIVE MEANS OF DUST CONTROL DURING THE CONSTRUCTION PERIOD USING WATER TRUCKS AND SWEEPERS AS DEEMED NECESSARY BY THE TOWN INSPECTOR.
- LOT 19-13 & LOT 19-14 DO NOT LIE WITHIN THE 100 YEAR FLOOD PLAN PER FLOOD INSURANCE RATE MAP NUMBER 33011004580 WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- ALL WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- OFFICE SHALL BE SERVED BY PRIVATE TRASH PICK-UP.
- PROPERTY OWNER IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE ON-SITE CONVEYANCE SWALES, AND, RAIN-GARDENS.



**The Dubai Group, Inc.**

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 603-458-6462

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**REVISIONS:**

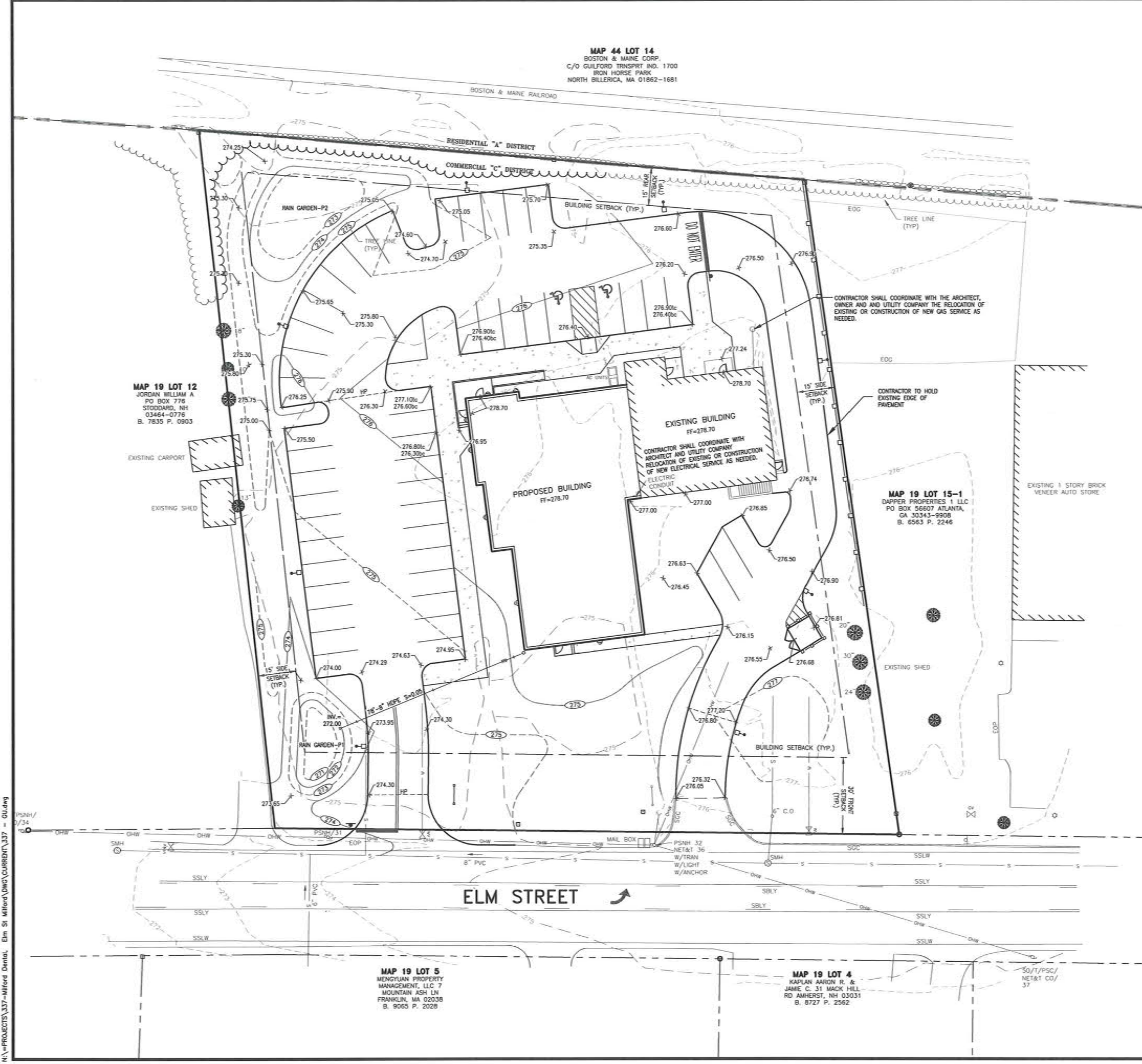
REV.	DATE	COMMENT	BY

DRAWN BY: JHD  
 CHECKED BY: DGM  
 DATE: 4/29/2019  
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 FILE: 337 - SITE  
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 FOR  
**WILSKY INVESTMENTS, LLC.**  
 154 ELM STREET  
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SHEET TITLE:  
**SITE PLAN**





**MAP 44 LOT 14**  
 BOSTON & MAINE CORP.  
 C/O GUILFORD TRNSPT INC. 1700  
 IRON HORSE PARK  
 NORTH BILLERICA, MA 01862-1681

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**MAP 19 LOT 5**  
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**MAP 19 LOT 4**  
 KAPLAN AARON R. &  
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 RD AMHERST, NH 03031  
 B. 8727 P. 2562

**NOTES**

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF MILFORD, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER AND THE TOWN OF MILFORD SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER AND THE TOWN OF MILFORD BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER AND THE TOWN OF MILFORD.
5. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
6. SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
8. VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
9. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR THE WATER SERVICE PIPE SIZE AND TYPE.
10. TYPICAL COVER FOR ELECTRIC AND GAS SERVICES SHOWN SHALL BE 36" MINIMUM. CONTRACTOR SHALL ADJUST AS NECESSARY TO PROVIDE A MINIMUM OF 6" CLEARANCE BETWEEN ALL UTILITIES.
11. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
12. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.



**The Dubai Group, Inc.**  
 84 Range Road  
 Windham, NH 03087  
 603-458-6462

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REV.	DATE	COMMENT	BY:

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 SCALE: 1"=20'  
 FILE: 337 - GU  
 DEED REF: BK 8043 PG 1999  
 BK 9135 PG 2081

**FAMILY DENTAL CARE OF MILFORD**  
 150 & 154 ELM STREET  
 MILFORD, NH 03055  
 FOR  
**WILSKY INVESTMENTS, LLC.**  
 154 ELM STREET  
 MILFORD, NH 03055

SHEET TITLE:  
**GRADING, DRAINAGE, & UTILITY PLANS**



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## PARKING REQUIREMENTS

### 6.08.5 LANDSCAPING BUFFERS

A. ALONG THE PERIPHERY OF A PROPERTY, BUFFERS ARE REQUIRED IN THE FOLLOWING INSTANCES:  
1. WHERE A PROPOSED NON-RESIDENTIAL USE ABUTS A RESIDENTIAL ZONING DISTRICT.

A 10' BUFFER IS NEEDED ALONG THE REAR LOT LINE

2. WHERE A PROPOSED NON-RESIDENTIAL USE ABUTS AN EXISTING RESIDENTIAL USE. N/A

B. ON THE PERIPHERY OF A PROPERTY:

1. A LANDSCAPED BUFFER SHALL BE AT LEAST TEN (10) FEET IN WIDTH AND SIX (6) FEET IN HEIGHT TO EFFECTIVELY SCREEN FROM ADJACENT PROPERTIES AND MAY CONSIST OF EVERGREENS, BERMS, MOUNDS, FENCING OR COMBINATIONS THEREOF IN CONJUNCTION WITH COMPLEMENTING SHRUBS AND PERENNIALS.

2. WHERE APPROPRIATE EXISTING TREES AND VEGETATION SHALL BE INCORPORATED INTO LANDSCAPE BUFFERS.

C. WITHIN A PROPERTY, BUFFERS ARE REQUIRED TO PROVIDE VISUAL SCREENS IN THE FOLLOWING INSTANCES:

1. OUTDOOR STORAGE AREAS. (NO OUTDOOR STORAGE PROPOSED)
2. UTILITY INSTALLATIONS. (UTILITIES EXIST ON SITE)
3. LOADING AREAS. (NO LOADING AREAS AREA PROPOSED)
4. REFUSE AND RECYCLING COLLECTION AREAS. (SEE PROPOSED BUFFER)

D. WITHIN A PROPERTY:

1. BUFFERS SHALL BE LOCATED TO PREVENT VISIBILITY OF THE ABOVE LISTED ITEMS FROM THE PARKING AREAS, TRAVELED RIGHT-OF-WAY OR NEIGHBORING PROPERTIES.

2. BUFFERS SHALL BE AT LEAST SIX (6) FEET IN HEIGHT AND MAY CONSIST OF FENCING, EVERGREENS, BERMS, MOUNDS OR COMBINATIONS THEREOF.

3. ALL OUTDOOR REFUSE AND RECYCLING FACILITIES SHALL BE LOCATED ON A RAISED SIX (6") INCH CONCRETE PAD. (SEE SITE DETAIL)

### 6.08.6 LANDSCAPING ALONG BUILDING FRONTAGES

LANDSCAPING SHALL BE PROVIDED ALONG ALL BUILDING FRONTAGE. A MINIMUM OF ONE (1) SHRUB FOR EVERY FIVE (5) FEET OF BUILDING FRONTAGE SHALL BE PROVIDED.

118 +/- FRONTAGE / 5 = 23.6 OR 24 SHRUBS REQUIRED - MORE THAN 24 PROPOSED

### 6.08.7 LANDSCAPING PARKING LOTS AND ACCESS WAYS

ALL PARKING LOT LANDSCAPING SHALL PROMOTE THE SAFE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC WITHIN AND OUT OF THE SITE. A PERIPHERAL LANDSCAPING SHALL BE REQUIRED ALONG ALL SIDES OF A PARKING LOT OR ACCESS WAY THAT ABUTS ADJOINING PROPERTY OR A PUBLIC RIGHT-OF-WAY AS FOLLOWS:

1. A LANDSCAPED STRIP AT LEAST TEN FEET (10) IN WIDTH SHALL BE LOCATED BETWEEN THE PAVED AREA AND THE ABUTTING PROPERTY LINES OR PUBLIC RIGHT-OF-WAY EXCEPT WHERE DRIVEWAYS OR OTHER OPENINGS MAY BE REQUIRED; AND

2. AT LEAST ONE (1) TREE FOR EACH THIRTY FEET (30') OF LANDSCAPED STRIP SHALL BE PROVIDED. THESE TREES SHALL BE COMPLEMENTED BY SUITABLE GROUND COVER AND SHRUBS.  
650' +/- LF / 30' = 21.7 OR 22 TREES REQUIRED - 22 TREES PROPOSED

B. LANDSCAPING WITHIN PARKING LOTS OR GREEN SPACE ENCOMPASSING NOT LESS THAN FIVE (5%) PERCENT OF THE TOTAL PARKING AREA SHALL BE REQUIRED. > 5% SHOWN

A MINIMUM OF ONE (1) TREE FOR EVERY FIFTEEN (15) PARKING SPACES SHALL BE PROVIDED. THESE TREES SHALL BE COMPLEMENTED BY SUITABLE GROUND COVER AND SHRUBS. THESE TREES SHALL ALSO BE "STREET" TREES; TREES THAT ARE SALT, HEAT DROUGHT, AND URBAN TOLERANT. THESE TREES SHALL ALSO HAVE A MINIMUM BRANCHING HEIGHT OF EIGHT (8) FEET WHEN PLANTED.

48 SPACES SHOWN / 15 = 3.2 OR 3 TREES REQUIRED - 3 TREES PROPOSED

## LANDSCAPE MAINTENANCE

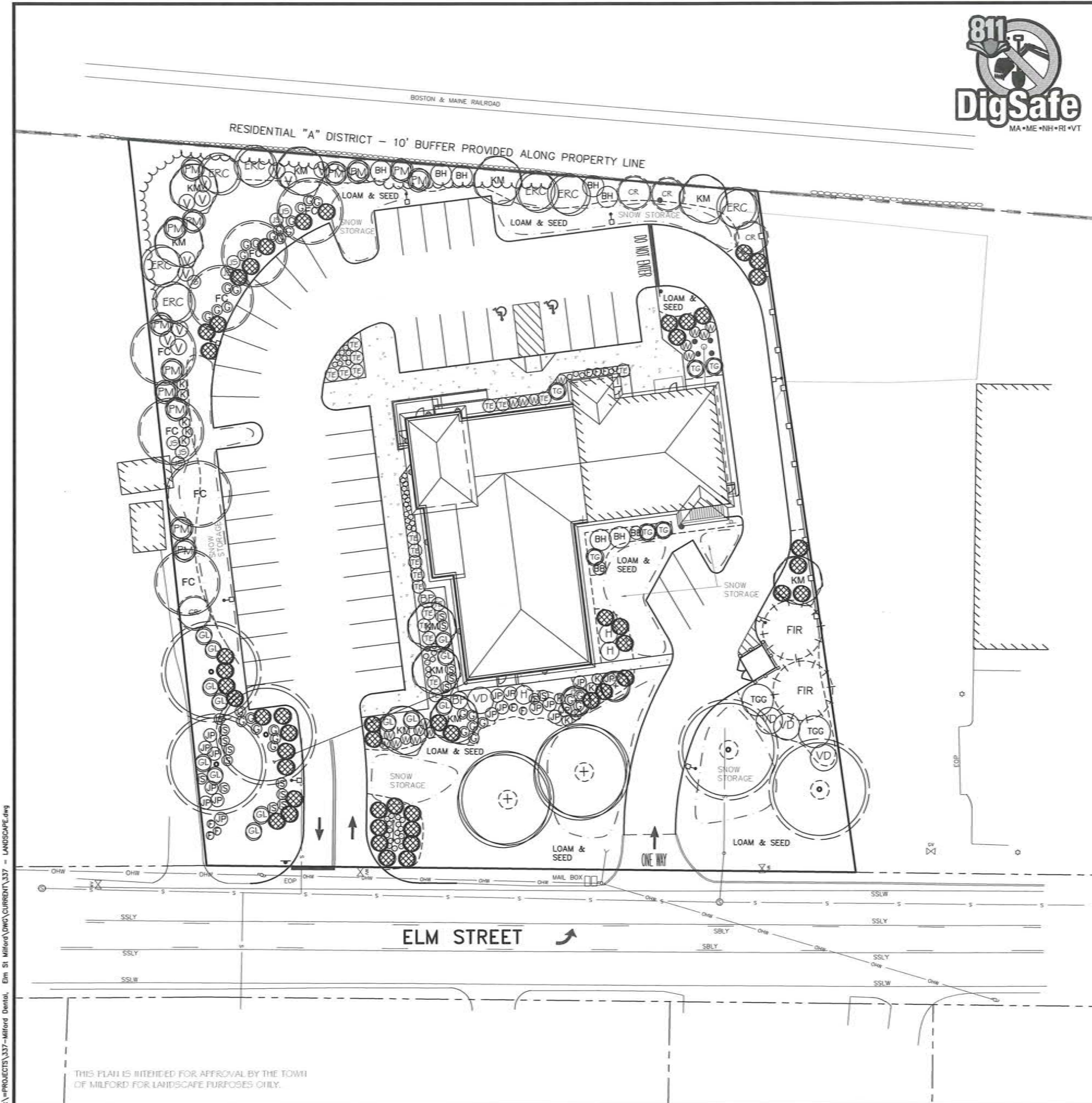
### LAWN

1. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH AREA IS PLANTED AND SHALL CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED, BUT NOT LESS THAN THE FOLLOWING PERIODS:

- SEEDED LAWNS: 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION. (WHEN FULL MAINTENANCE PERIOD HAS NOT ELAPSED BEFORE THE END OF PLANTING SEASON, OR IF LAWN IS NOT FULLY ESTABLISHED, CONTINUE MAINTENANCE DURING NEXT PLANTING SEASON.)
- SODDED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- PLUGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- SPRIGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND RE-MULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
- IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH.
- ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
- IRRIGATION: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES (100 mm).
- SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
- WATER LAWN AT A MINIMUM RATE OF ONE INCH (25 mm) PER WEEK.
- MOW LAWN AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIC HEIGHT WITHOUT CUTTING MORE THAN 40 PERCENT OF GRASS HEIGHT. REMOVE NO MORE THAN 40 PERCENT OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWING. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET. SCHEDULE INITIAL AND SUBSEQUENT MOWING TO MAINTAIN GRASS HEIGHT.

### TREES AND SHRUBS:

- PRUNING SHOULD BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHOULD BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER INJURY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTHY BRANCHES LAST.
- PROTECT TREES AND SHRUBS AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT. MULCH BEDS SHALL BE INSTALLED AS SHOWN TO KEEP GRASS AWAY FROM TREE TRUNKS.
- THE USE OF ROAD SALT AROUND TREES AND SHRUBS SHOULD BE AVOIDED.
- LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED AND KEPT FREE OF DEBRIS AND LITTER. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.



THIS PLAN IS INTENDED FOR APPROVAL BY THE TOWN OF MILFORD FOR LANDSCAPE PURPOSES ONLY.



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FOR  
**WILSKY INVESTMENTS, LLC.**  
154 ELM STREET  
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### SHEET TITLE:

**LANDSCAPE PLAN**

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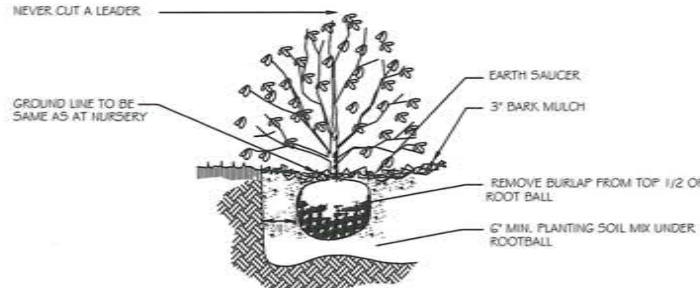
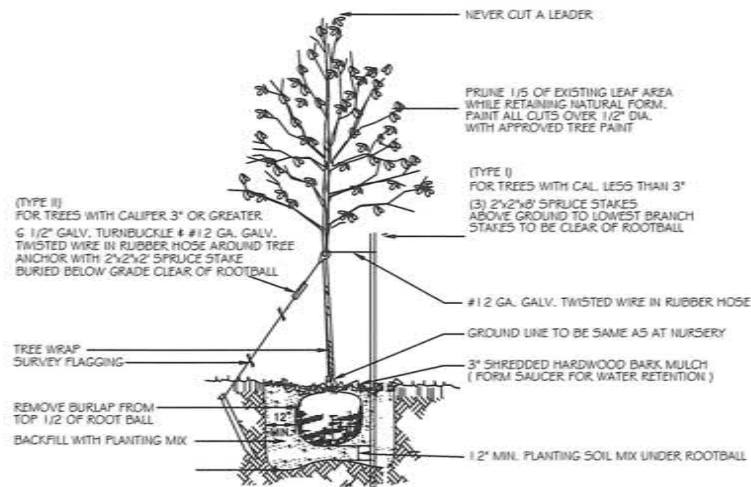
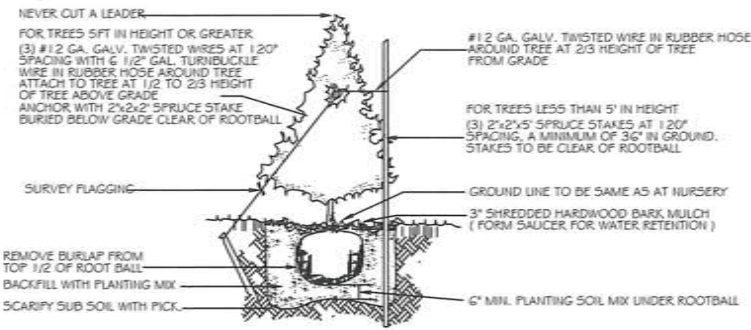
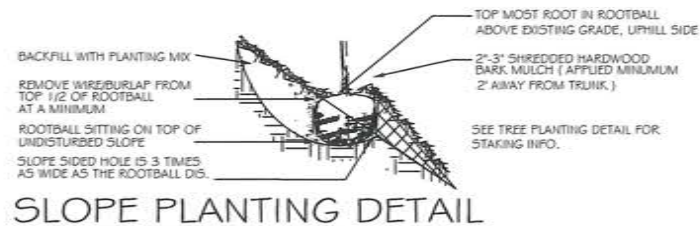


**LANDSCAPE NOTES:**

- PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
- LANDSCAPING SHOWN ON THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE TOWN OF MILFORD LANDSCAPE REGULATIONS.
- WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION AS SHOWN.
- THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2.5"-3.5" CALIPER WITH A MINIMUM HEIGHT OF 12'. EVERGREEN TREES A MINIMUM OF 6' HIGH AND SHRUBS 2' AT TIME OF PLANTING.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF 6" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. (SEE PLANS BY ENGINEER)
- PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
- ALL TREES SHALL BE BALLED AND BUR LAPPED UNLESS OTHERWISE NOTED.
- ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE, THE TOWN OF MILFORD STAFF AND THE LANDSCAPE ARCHITECT.
- WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS/PERENNIALS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH. MULCH SHALL NOT COVER ROOT FLARE OF TREES.
- THE PURPOSE OF THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.
- THE OWNER AND THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY AND GROWING CONDITION, AND REPLACING IT WHEN NECESSARY TO INSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES. ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED WITH THE SAME, IF NOT SIMILAR TO, HEIGHT OR TEXTURE ELEMENT AS ORIGINALLY INTENDED. IN ADDITION, LANDSCAPED AREAS SHALL BE KEPT FREE OF ALL DEBRIS, RUBBISH, WEEDS AND OVERGROWN TURF GRASS. IF THE OWNERSHIP OF A SITE IS CONVEYED TO A NEW PROPERTY OWNER, THE NEW OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING IN ACCORDANCE WITH THE APPROVED FINAL LANDSCAPING PLAN.
- ALL NEW PLANTING AREAS, LAWN AND SOD SHALL BE PROVIDED WITH A DRIP IRRIGATION SYSTEM.
- INVASIVE SPECIES AND/OR TOXIC PLANTS SUCH AS POISON IVY, POISON OAK, POISON SUMAC AND/OR GIANT HOG WEED SHALL BE MANAGED ACCORDING TO ACCEPTED HORTICULTURAL TECHNIQUES AND PROVISIONS CREATED BY THE STATE OF NH AND THE STANDARDS OF ANSI A300.7.

**LANDSCAPE LEGEND**

	5	ACER SACCHARUM 'COMMEMORATION' / COMMEMORATION SUGAR MAPLE	2.5" CAL. B4B	40'-60'	30'-40'
	2	GLEDTISIA T.I. 'HALKA' / HALKA HONEYLOCUST	2.5" CAL. B4B	30'-40'	30'-40'
	7	PRUNUS SUBHIRTELLA 'AUTUMNALIS' / AUTUMN FLOWERING CHERRY	2.5" CAL. B4B	20'-30'	20'-30'
	10	ACER RUBRUM 'KARFICK' / KARFICK RED MAPLE	2.5" CAL. B4B	40'-60'	15'-20'
	2	QUERCUS PALLISTRIS 'GREEN PILLAR' / GREEN PILLAR PIN OAK	2.5" CAL. B4B	40'-60'	10'-15'
	2	ABIES FRASERI / FRASER FIR	6" HT. B4B	30'-40'	20'-30'
	7	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	6" HT. B4B	30'-40'	15'-20'
	2	THUJA OCCIDENTALIS NIGRA / DARK AMERICAN ABORVITAE	6" HT. B4B	30'-40'	15'-20'
	2	JUNIPERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIPER	4" HT. B4B	8'-10'	8'-10'
	13	PINUS MUGO MUGO - COMPACT MUGO PINE	3" HT. B4B	6'-8'	8'-10'
	13	JUNIPERUS CHINENSIS 'ARMSTRONG AUREA' / OLD GOLD JUNIPER	30" B4B	3'-4'	6'-8'
	50	JUNIPERUS VIRGINIANA 'GREY OWL' / GREY OWL JUNIPER	30" B4B	2'-3'	6'-8'
	17	J. CHINENSIS 'PFITZERIANA COMPACTA' / COMPACT PFITZER JUNIPER	30" B4B	2'-3'	5'-6'
	8	JUNIPERUS CHINENSIS 'SEAGREEN' / SEAGREEN JUNIPER	30" B4B	5'-6'	4'-5'
	6	TAXUS MEDIA 'GREENWAVE' / GREENWAVE SPREADING YEW	30" B4B	3'-4'	6'-8'
	21	TAXUS MEDIA 'EVER-LOW' / EVER-LOW YEW	5 GAL.	2'	5'-6'
	2	PIERIS BROWERS BEAUTY / BROWERS BEAUTY ANDROMEDA	30" B4B	4'-5'	4'-5'
	7	ILEX MESERVIAE 'BLUE PRINCE' / BLUE PRINCE HOLLY	30" B4B	6'-8'	8'-10'
	4	CORNUS RACEMOSA / GREY DOGWOOD	4"	10'-15'	10'-15'
	3	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE'	4" HT. B4B	8'-10'	8'-10'
	4	VIBURNUM DENTANUM / ARROWWOOD VIBURNUM	4" HT. B4B	8'-10'	8'-10'
	11	VACCINIUM CORYMBOSUM / HIGH BUSH BLUEBERRY	4" HT. B4B	8'-10'	8'-10'
	10	CARYOPTERIS CLANDONENSIS DARK KNIGHT / DARK KNIGHT SPIREA	5 GAL.	3'-4'	4'-5'
	18	ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	3 GAL.	3'-4'	3'-4'
	32	RHUS AROMATICA 'GROW LOW' / GROW LOW SUMAC	3 GAL.	18"-24"	6'-8'
	17	WEIGELA FLORIDA 'DARK HORSE' / DARK HORSE WEIGELA	3 GAL.	3'	3'-4'
	8	PERIWISSETUM AKOPECUROIDES HAMELI-DWARF FOUNTAIN GRASS	2 GAL.	2'-3'	2'-3'
	52	HEMEROCALLIS 'STEPHANIE RETURNIS' / DAYLILY, STEPHANIE RETURNIS	2 GAL.	2'	2'



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SHEET TITLE:  
**LANDSCAPE DETAILS**



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**NOTE:**

1. A SWPPP REPORT NEEDS TO BE PREPARED FOR THE FEDERAL NPDES PERMIT.
2. THE RESPONSIBLE AND QUALIFIED PERSONS NEED TO BE DETERMINED PRIOR TO SUBMITTING THE NOI.
3. INSPECTION REPORTS PREPARED FOR THE EPA SHALL BE KEPT ONSITE AND ALSO SHALL BE PROVIDED ELECTRONICALLY TO THE TOWN. INSPECTIONS SHALL BE COMPLETED BY A QUALIFIED INDIVIDUAL; GENERALLY A CERTIFIED SPECIALIST OR PROFESSIONAL ENGINEER.

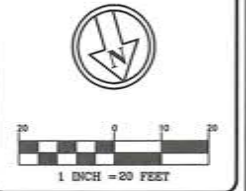
**LEGEND:**

-  STABILIZED TRACKING PAD
-  CATCH BASIN PROTECTION (DANDY BAG)
-  SILTATION BARRIER
-  BLANKET SLOPE PROTECTION
-  SOIL STOCK PILE AREA



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1 INCH = 20 FEET

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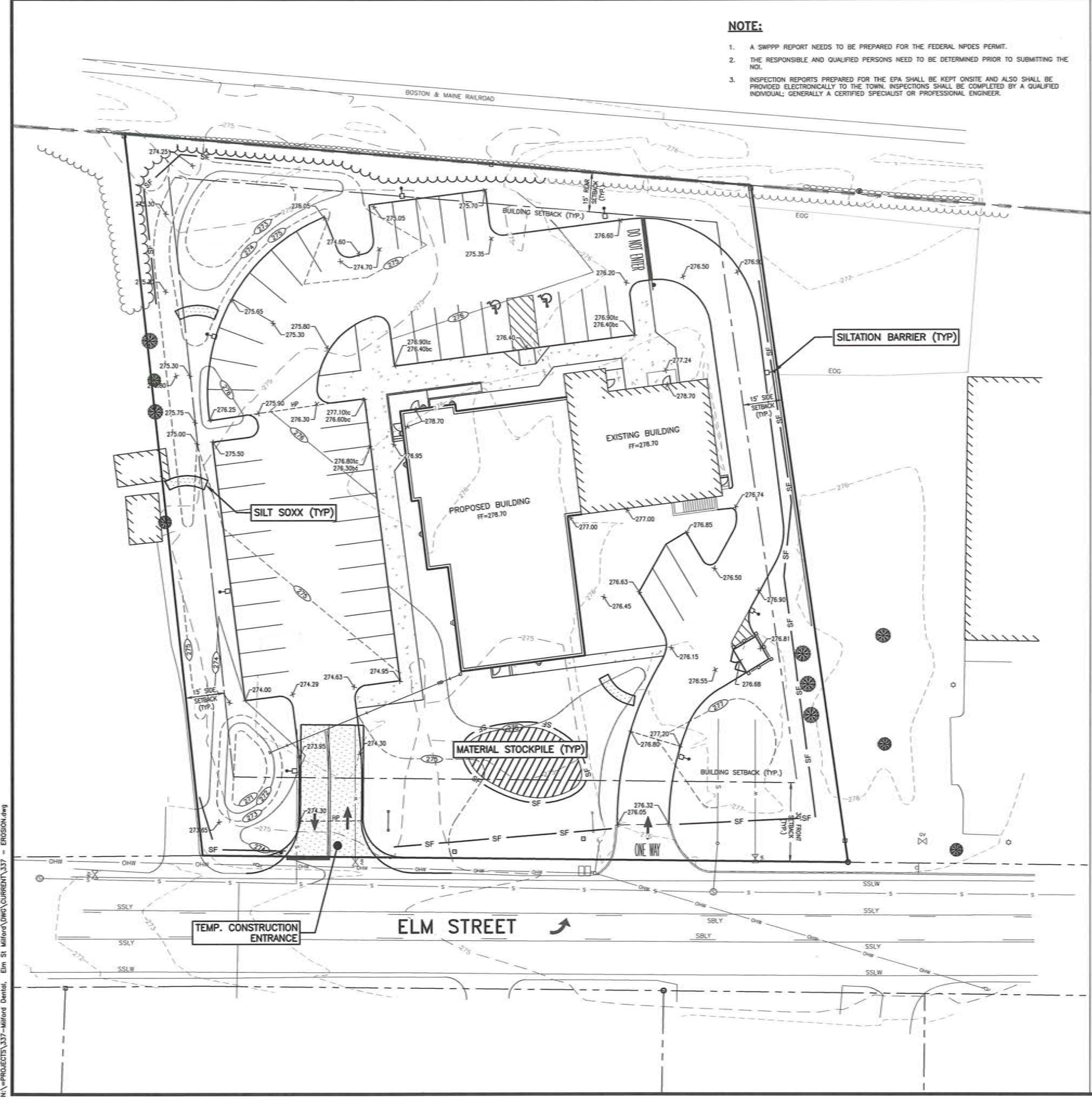
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**EROSION CONTROL PLAN**



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# EROSION CONTROL NOTES

## CONSTRUCTION SEQUENCE

- PRIOR TO CONSTRUCTION, AN INITIAL PRE CONSTRUCTION MEETING(S) SHALL TAKE PLACE WITH THE CONTRACTOR, OWNER, TOWN AGENTS.
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FROM THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- INSTALL PERIMETER CONTROLS, IE SILT FENCE AND/OR SILT/SOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATION.
- CONSTRUCT TEMPORARY CONSTRUCTION EXIT.
- CLEAR AND GRUB WITHIN AREAS OF DISTURBANCE UNLESS OTHERWISE NOTED.
- REMOVE AND STOCKPILE MATERIALS AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH AN EROSION CONTROL DEVICE TO PREVENT EROSION. STOCKPILE AREAS ARE LIMITED AND THUS MANAGEMENT OF MATERIALS WILL BE REQUIRED.
- SHAPE PROPOSED DRAINAGE PONDS, DITCHES AND/OR SWALES.
- PERFORM ROUGH SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES.
- INSTALL UNDERGROUND UTILITIES AND PLACE EROSION CONTROL MEASURES AROUND ANY CATCH BASINS PRIOR TO DIRECTING ANY RUNOFF TO THEM. DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO DIRECTING ANY FLOW TO THEM. ALL SIDE SLOPES SHALL BE STABILIZED WITHIN 72 HOURS.
- LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.
- FINISH GRADE SITE, BACKFILL ROAD SUBBASE GRAVEL IN. PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES WHERE APPLICABLE, IN THE FORM OF MULCHING, JUTE MATTING OR STONE CHECK DAMS.
- ANY PERMANENT DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PLACE BINDER LAYER OF PAVEMENT.
- AFTER ALL DRAINAGE AND ROADWAY IMPROVEMENTS (NOT INCLUDING FINAL LAYER OF PAVEMENT) HAVE BEEN COMPLETED, BEGIN CONSTRUCTION OF THE BUILDING FOUNDATIONS AND CONNECT TO SITE UTILITIES. BEGIN BUILDING CONSTRUCTION.
- PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.
- AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.
- CONSTRUCT ASPHALT WEARING COURSE.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

## GENERAL CONSTRUCTION NOTES

- THE TEMPORARY BMPs ASSOCIATED WITH THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND LANDOWNER, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION, AND MAINTENANCE.
- EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION OF THE NHDOT". EROSION CONTROL SHALL BE INSTALLED DOWNHILL OF ALL AREAS WHERE WORK WILL EXPOSE UNPROTECTED SOIL TO PREVENT SEDIMENT FROM ENTERING CATCH BASINS, DRAINAGE STRUCTURES AND/OR DRAINAGE WAYS. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. THE CONTRACTOR SHALL MANAGE THE PROJECT IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- EROSION CONTROL DEVICES SHALL BE INSTALLED WHERE REQUIRED PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. EROSION CONTROL MEASURES SHALL BE MAINTAINED DURING DEVELOPMENT AND SHALL BE CHECKED PERIODICALLY AND EXCESS SILT SHALL BE REMOVED.
- ALL DISTURBED AREAS WHICH ARE FINISH GRADED SHALL BE LOAMED (6" MINIMUM) AND SEED. SEE SEEDING AND FERTILIZER SPECIFICATION. SEE SLOPE DESIGN AND/OR LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER SHALL BE MACHINED STRAW MULCHED AND SEEDED WITH SLOPE STABILIZATION SEED MIXTURE TO PREVENT EROSION. STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
- ALL DRAINAGE SYSTEMS (DITCHES, SWALES, DRAINAGE PONDS/BASINS, ETC.) SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THESE SYSTEMS UNTIL CONTRIBUTING AREAS HAVE ALSO BEEN FULLY STABILIZED.
- CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH NHDES, EPA & TOWN REQUIREMENTS FOR THE DURATION OF THE PROJECT. WATER FOR DUST CONTROL SHALL BE PROVIDED ON SITE. FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
- ALL EROSION CONTROLS ARE TO BE INSPECTED WEEKLY AND AFTER 0.5" OR GREATER OF RAINFALL WITHIN A 24 HOUR PERIOD.
- ALL FILLS SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED. FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC. AND SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.
- SILT FENCES AND/OR SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND/OR SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED AND DISPOSED IN A SECURE LOCATION.
- PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME. BEFORE DISTURBED AREAS ARE STABILIZED, ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING. EXPOSURE OF UNSTABILIZED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 45 DAYS OF INITIAL DISTURBANCE.
- WINTERIZATION EFFORTS FOR AREAS NOT STABILIZED BY NOV. 1ST SHALL BE MADE BY THE APPROPRIATE USE OF MATTING, BLANKETS, MULCH AND SEEDING.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAS BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR

D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

16. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY INSTALL AND MAINTAIN THE NECESSARY EROSION PROTECTION.

## SEEDING SPECIFICATION

- TEMPORARY SEED
  - TEMPORARY VEGETATIVE COVER SHOULD BE APPLIED WHERE EXPOSED SOIL SURFACES WILL NOT BE FINAL GRADED WITHIN 45 DAYS.
  - SEED BED PREPARATION SHALL BE IN ACCORDANCE WITH THE NPDES STORMWATER MANAGEMENT MANUAL, VOLUME 3, TEMPORARY VEGETATION SECTION.
- SEEDING MIXTURE
 

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
	WINTER RYE	112	2.50
	OATS	80	2.00
	ANNUAL RYEGRASS	40	1.00
	PERENNIAL RYEGRASS	30	0.17
	TOTAL	262	5.67

- SEEDING SCHEDULE
  - SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES.
  - PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- ESTABLISHING A STAND OF GRASS
  - STONES AND TRASH SHOULD BE REMOVED FROM LOAMED AREAS SO AS NOT TO INTERFERE WITH THE SEEDING PROCESS.
  - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
  - IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
  - FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER
- SEED SHOULD BE SPREAD UNIFORMLY BY A METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDING HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER.
  - INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE AND AMOUNT OF INOCULANTS.
  - NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.
  - WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.
  - THE GRADE "A" OF SEEDING MIXTURE SHOULD BE USED WITH THE FOLLOWING SEEDING RATES, BASED ON THE SEEDING GUIDE.
 

MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A	TALL FESCUE	20	0.45
	CREeping RED FESCUE	20	0.45
	REDTOP	2	0.05
	TOTAL	42	0.95

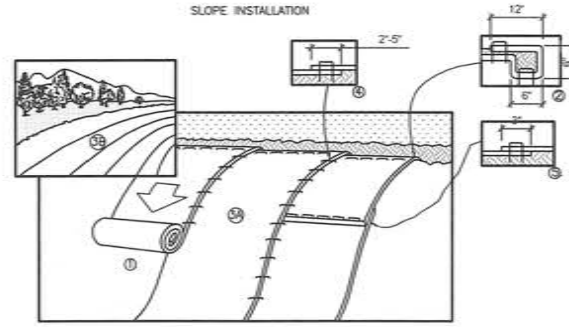
- ALTERNATE PERMANENT SEEDING FOR AREAS NOT RECEIVING LAWN OR LANDSCAPING SHALL BE AS FOLLOWS:
  - THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS WHICH DO NOT NORMALLY HOLD STANDING WATER. THE PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. IN NEW ENGLAND, THE BEST RESULTS ARE OBTAINED WITH A SPRING OR EARLY FALL SEEDING. SUMMER AND FALL SEEDING CAN BE SUCCESSFUL WITH A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. LATE FALL AND WINTER DORMANT SEEDING REQUIRE A SLIGHT INCREASE IN THE SEEDING RATE. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE.
  - APPLICATION RATE: 35 LBS/ACRE 1245 SQ FT/LB
  - SPECIES: SWITCHGRASS (PANICUM VIRGATUM), CREeping RED FESCUE (FESTUCA RUBRA), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), FOX SEDGE (CAREX VULPINOIDEA), CREeping BENTGRASS (AGROSTIS STOLONIFERA), SILKY WILD RYE (ELYMUS VILLOSUS), NODDING BUR-MARIGOLD (BIDENS CERNUA), SOFT RUSH (JUNCUS EFFUSUS), GRASS-LEAVED GOLDENROD (SOLIDAGO GRAMINIFOLIA), SENSITIVE FERN (ONOCLEA SENSIBILIS), JOE-PYE WEED (EUPATORIUM MACULATUM), BONESET (EUPATORIUM PERFOLIATUM), FLAT-TOP ASTER (ASTER UMBELLATUS), NEW YORK ASTER (ASTER NOVI-BELGI), BLUE VERVAIN (VERBENA HASTATA).

## WINTER NOTES

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
- ALL AREAS TO BE PLANTED WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE SURFACES TO BE PAVED, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR CRUSHED STONE.

## MAINTENANCE AND PROTECTION

- THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT DEVELOPS.
- TO BE ACCEPTABLE, SEEDING AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH A UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.
- SEEDING AREAS WILL BE FERTILIZED AND RE-SEEDING AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.
- THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY, UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
- THE SILT FENCE AND/OR SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- SILT FENCE AND/OR SILT/SOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND/OR SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDING.



## MATTING INSTALLATION NOTES

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- MATTING IS REQUIRED ON ALL SLOPES STEEPER THAN 3:1.

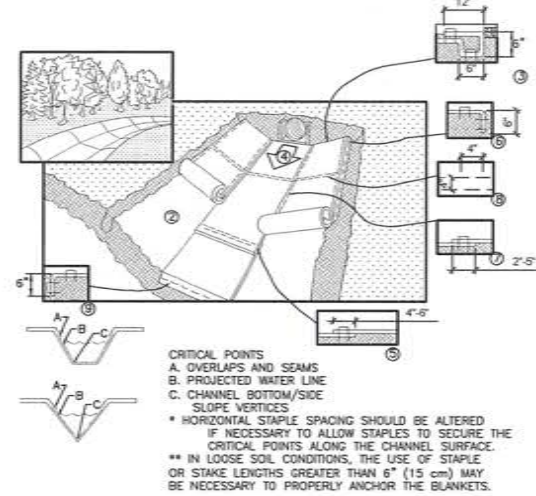
## SLOPE PROTECTION EROSION CONTROL MATTING

NOT TO SCALE  
(THIS DETAIL IS PROVIDED FOR AREAS THAT MAY REQUIRE ADDITIONAL PROTECTION BASED ON FIELD CONDITIONS.)

## CHANNEL INSTALLATION SPECIFICATIONS

- INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED, DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH THE PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4"(10") ON CENTER TO SECURE BLANKETS.
- FULL-LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30' TO 40' INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF CHANNEL.

THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.



## ROLLED EROSION CONTROL MATTING

NOT TO SCALE  
(THIS DETAIL IS PROVIDED FOR AREAS THAT MAY REQUIRE ADDITIONAL PROTECTION BASED ON FIELD CONDITIONS.)



**The Dubay Group, Inc.**

84 Range Road  
Woodham, NH 03087  
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com

## REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: JHD  
CHECKED BY: REK  
DATE: 4/29/2019  
SCALE: AS NOTED  
FILE: 337 - DETAILS  
DEED REF: BK 8043 PG 1999  
BK 9135 PG 2081

PROJECT:

**FAMILY DENTAL  
CARE OF  
MILFORD**  
150 & 154 ELM STREET  
MILFORD, NH 03055

-FOR-

**WILSKY  
INVESTMENTS, LLC.**  
154 ELM STREET  
MILFORD, NH 03055

SHEET TITLE:

**SITE  
DETAILS-1**

PROJECT #337 SHEET 10 of 15





The Dubai Group, Inc.

84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers

Planners

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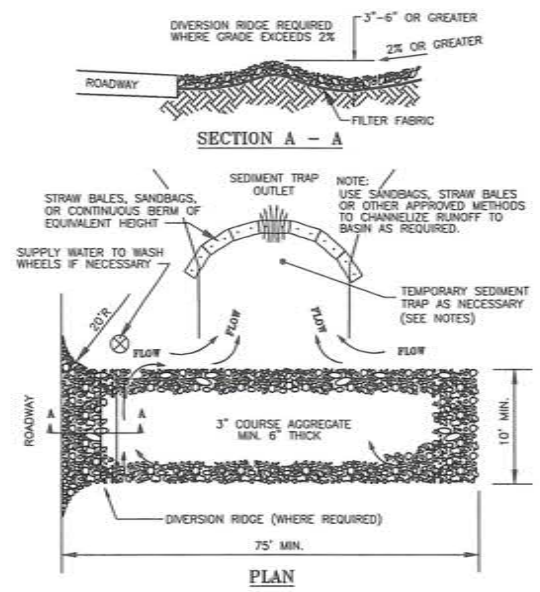
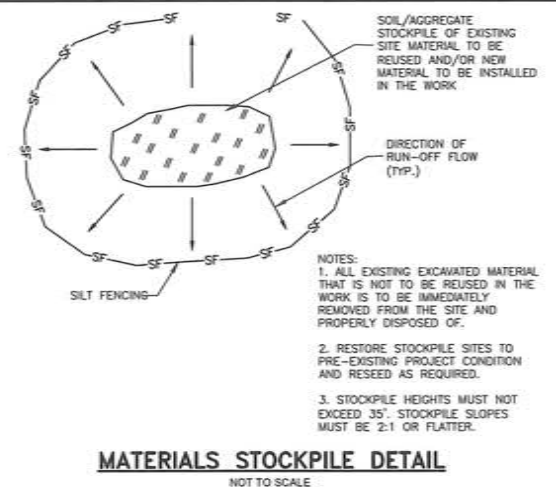
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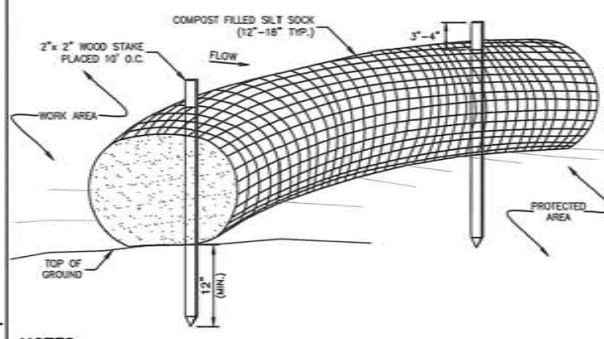
PROJECT:  
**FAMILY DENTAL CARE OF MILFORD**  
 150 & 154 ELM STREET  
 MILFORD, NH 03055  
 FOR  
**WILSKY INVESTMENTS, LLC.**  
 154 ELM STREET  
 MILFORD, NH 03055

SHEET TITLE:  
**SITE DETAILS-2**  
 PROJECT #337 SHEET 11 of 15



- TEMPORARY CONSTRUCTION EXIT**
- THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE.
  - THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
  - THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
  - THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY.
  - THE PAD SHALL BE AT LEAST 6 INCHES THICK. A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
  - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
  - A STABILIZED CONSTRUCTION EXIT CONSISTS OF A PAD OF STONE AGGREGATE PLACED ON A GEOTEXTILE FILTER FABRIC, LOCATED AT ANY POINT WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE TO AN EXISTING ACCESS ROAD WAY OR OTHER PAVED SURFACE. ITS PURPOSE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES. THIS HELPS PROTECT RECEIVING WATERS FROM SEDIMENT CARRIED BY STORMWATER RUNOFF FROM PUBLIC ROADS.
  - ONLY CONSTRUCTION TRAFFIC LEAVING THE SITE SHALL USE THE TEMPORARY STABILIZED EXIT. CONSIDER PROVIDING A SEPARATE, UNPROTECTED, ENTRANCE FOR TRAFFIC ENTERING THE SITE. THIS WILL INCREASE THE LONGEVITY OF THE STABILIZED EXIT BY ELIMINATING HEAVY LOADS ENTERING THE SITE AND REDUCING THE TOTAL TRAFFIC OVER THE DEVICE.
  - LOCATE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.
  - THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
  - WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHALL THEN BE RECONSTRUCTED.
  - THE CONTRACTOR SHALL SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
  - WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.
  - NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHALL BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
  - THESE REQUIREMENTS MAY BE ADJUSTED TO SPECIFIC SITE CONDITIONS PER THE DIRECTION OF JURISDICTIONAL TOWN AND STATE AUTHORITIES, PER SWPPP INSPECTION/MANAGEMENT PROCESSES, AND PER BEST MANAGEMENT PRACTICES.

**STABILIZED TRACKING PAD DETAIL**  
NOT TO SCALE



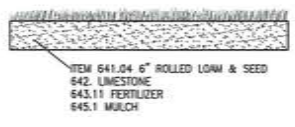
**NOTES**

SILT SOCK SHALL BE FILLED WITH SILT SOCK OR APPROVED EQUIVALENT.

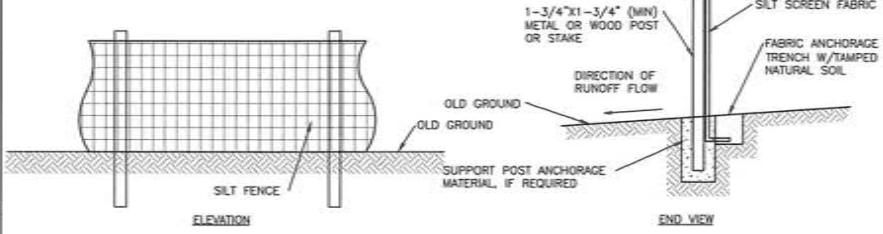
SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.

SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.

COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.



(FOR PERMANENT STABILIZATION OF AREAS, TYPICALLY LOCATED AROUND PERIMETER OF FINAL EXCAVATION WORK LIMITS.)



- CRITERIA FOR SILT FENCES:**
- SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS:
 

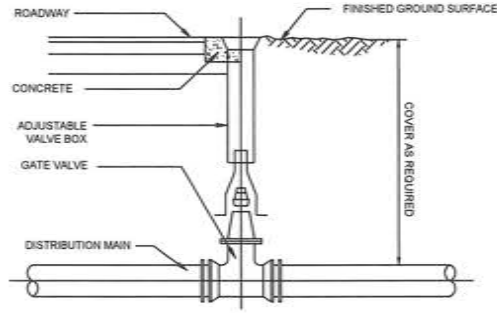
FABRIC PROPERTIES	VALUES	TEST METHOD
GRAB TENSILE STRENGTH (lbs)	90	ASTM D1682
ELONGATION AT FAILURE (%)	50	ASTM 1682
MULLEN BURST STRENGTH (PSI)	190	ASTM D3786
PUNCTURE STRENGTH (lbs)	40	ASTM D751
EQUIVALENT OPENING SIZE	40-80	US STD SIEVE
  - FENCE POSTS (FOR FABRICATED UNITS) - THE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG. WOOD POSTS WILL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
  - PREFABRICATED UNITS - PREFABRICATED UNITS MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDING: (1) THE FILTER CLOTH AND FENCE POSTS MEET THE ABOVE CRITERIA; AND (2) THE UNIT IS INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- MAINTENANCE:**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
  - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED WITHIN 24 HOURS.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
  - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- CONSTRUCTION SPECIFICATIONS:**
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
  - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
  - FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOODEN STAKES EVERY 12 INCHES.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO WOOD STAKE.
  - POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND, AND OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.



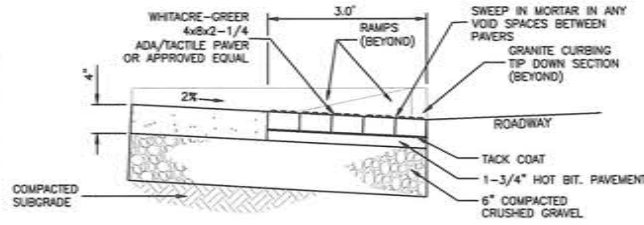


**The Dubai Group, Inc.**  
 84 Range Road  
 Windham, NH 03087  
 603-458-6462

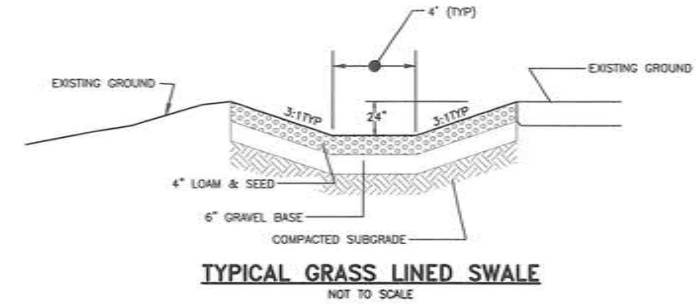
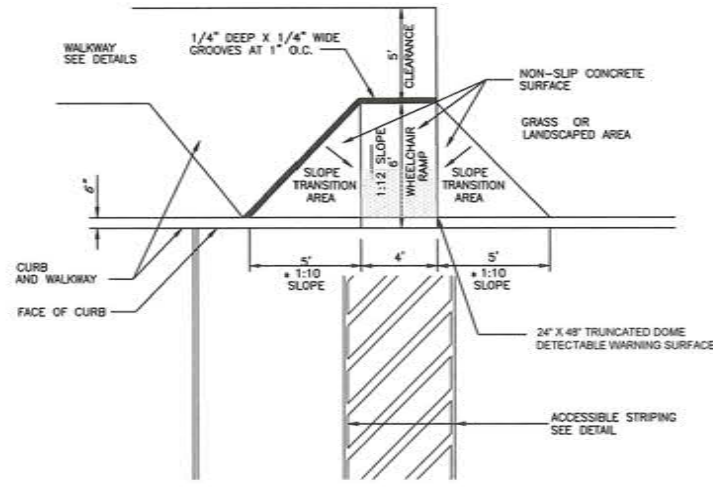
Engineers  
 Planners  
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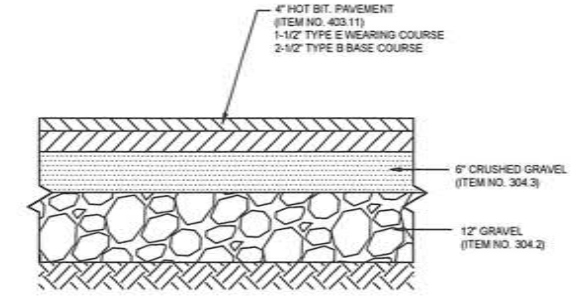
**TYPICAL WATER & GAS GATE VALVE**  
 NOT TO SCALE



**ACCESSIBLE RAMP DETAIL**  
 NOT TO SCALE

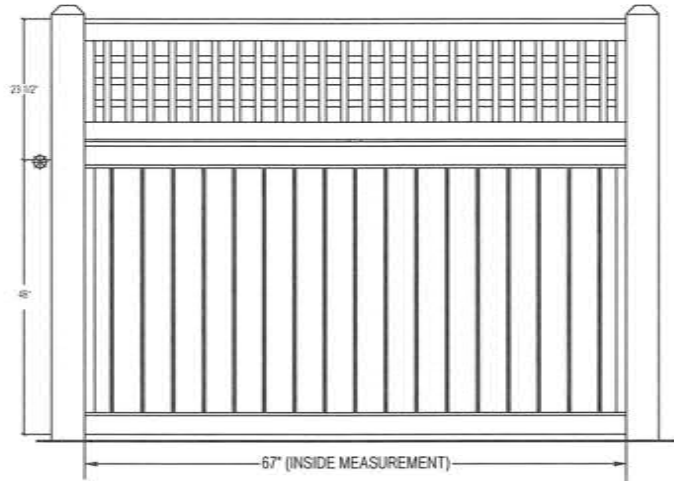


**TYPICAL GRASS LINED SWALE**  
 NOT TO SCALE

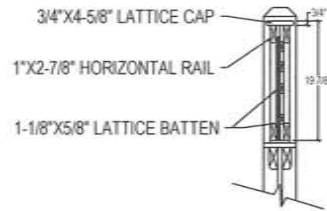


**TYPICAL DRIVEWAY AND PARKING LOT SECTION**  
 NOT TO SCALE

Note: For H/V lattice, there must be equal openings top to bottom of topper (at ends).



**FENCE SECTIONS**



**FENCE SECTION**

**PRIVACY FENCE - CEDAR WITH TOPPER - ENGLISH LATTICE**

**Material Finish:**  
 All material to be made of Northern White Cedar, visible small tight knots (STK).  
 Battens - Smooth Sawn to the dimensions shown.  
 Rails - Smooth Sawn and milled to size shown.  
 Section caps - Smooth sawn to the dimensions shown.  
 End Cleats - Smooth Sawn all 4 sides.

**Product Note:**  
 Fence "Toppers" are short sections of fence that is placed on top of another fence, usually a ship-lap board fence. They run between the posts just as the fence below it. Walk gates are manufactured with a topper as well to continue the look of the fence line.

Nominal Width	Act. Rail Length	Posts O.C.	Inside Posts
6 ft.	67"	72"	67"

REVISIONS:

REV.	DATE	COMMENT	BY

DRAWN BY: JHD  
 CHECKED BY: REK  
 DATE: 4/29/2019  
 SCALE: AS NOTED  
 FILE: 337 - DETAILS  
 DEED REF: BK 8043 PG 1999  
 BK 9135 PG 2081

PROJECT:

**FAMILY DENTAL CARE OF MILFORD**  
 150 & 154 ELM STREET  
 MILFORD, NH 03055

FOR  
**WILSKY INVESTMENTS, LLC.**  
 154 ELM STREET  
 MILFORD, NH 03055

SHEET TITLE:

**SITE DETAILS-3**

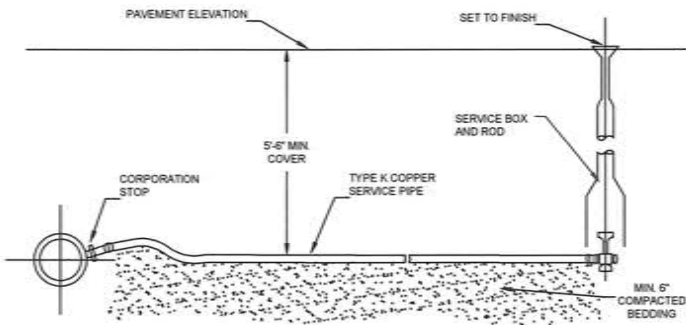
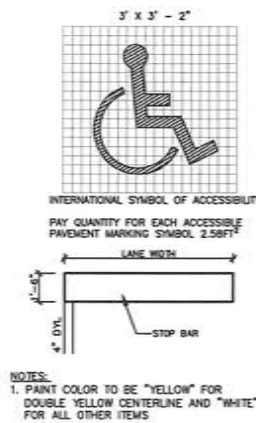


**PERPENDICULAR ACCESSIBLE PARKING**

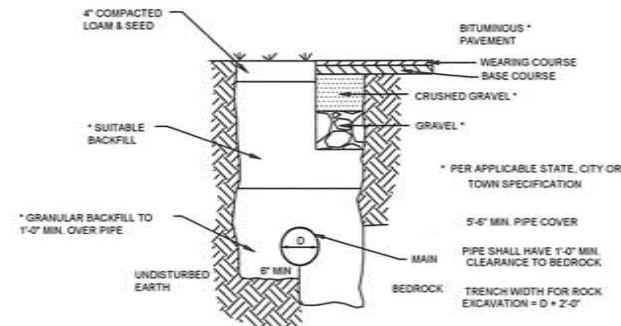
**GENERAL NOTES:**  
 ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF MUTCD.  
 WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.  
 THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.  
 OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.

**NOTE:**  
 ALL STOP BARS (12") AND DOUBLE YELLOW LINES (4") SHALL BE THERMOPLASTIC

**TYPICAL PAVEMENT STRIPING DETAILS**  
 NOT TO SCALE

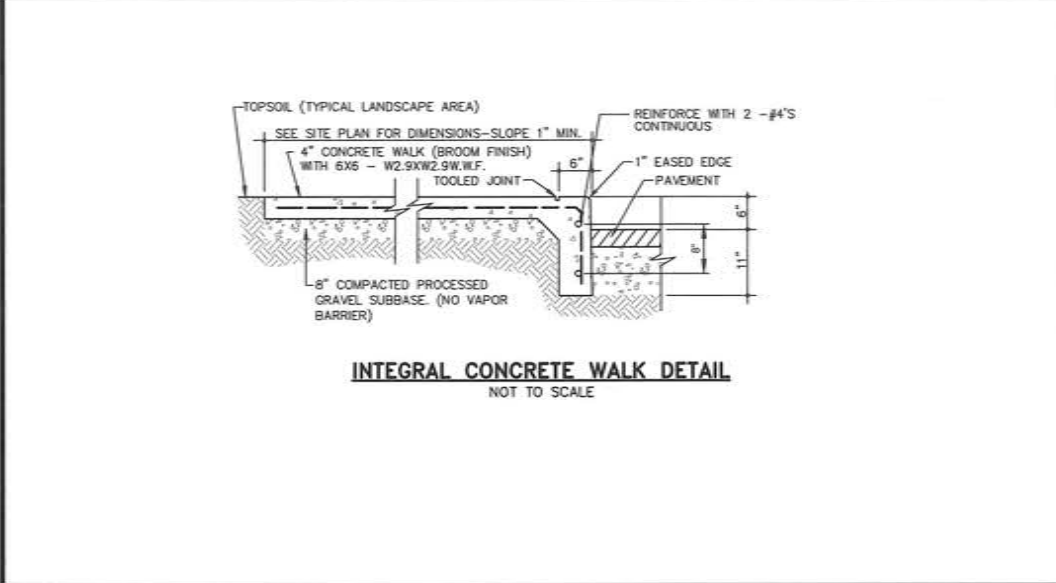
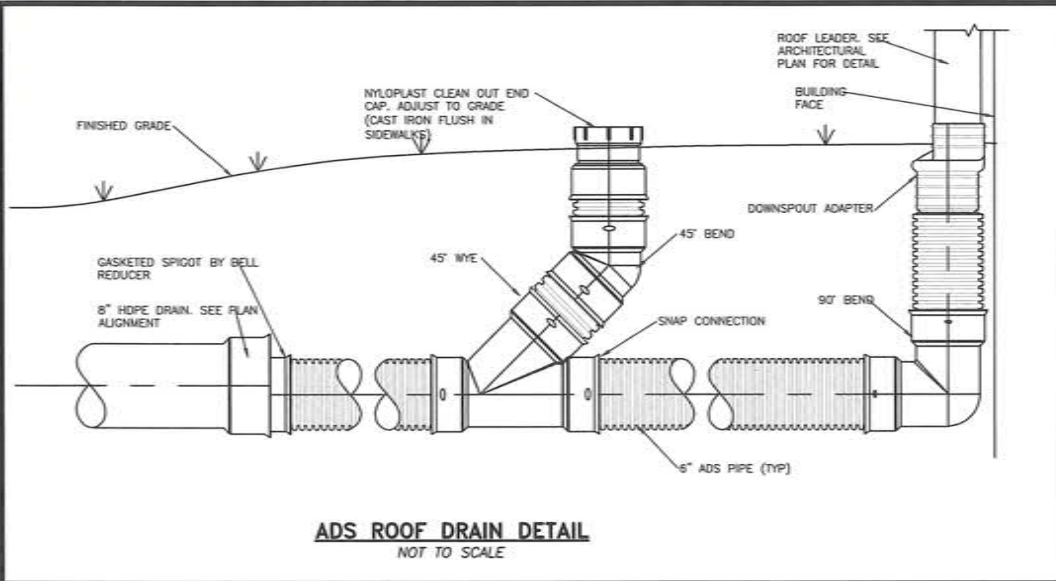


**TYPICAL WATER SERVICE CONNECTION**  
 NOT TO SCALE

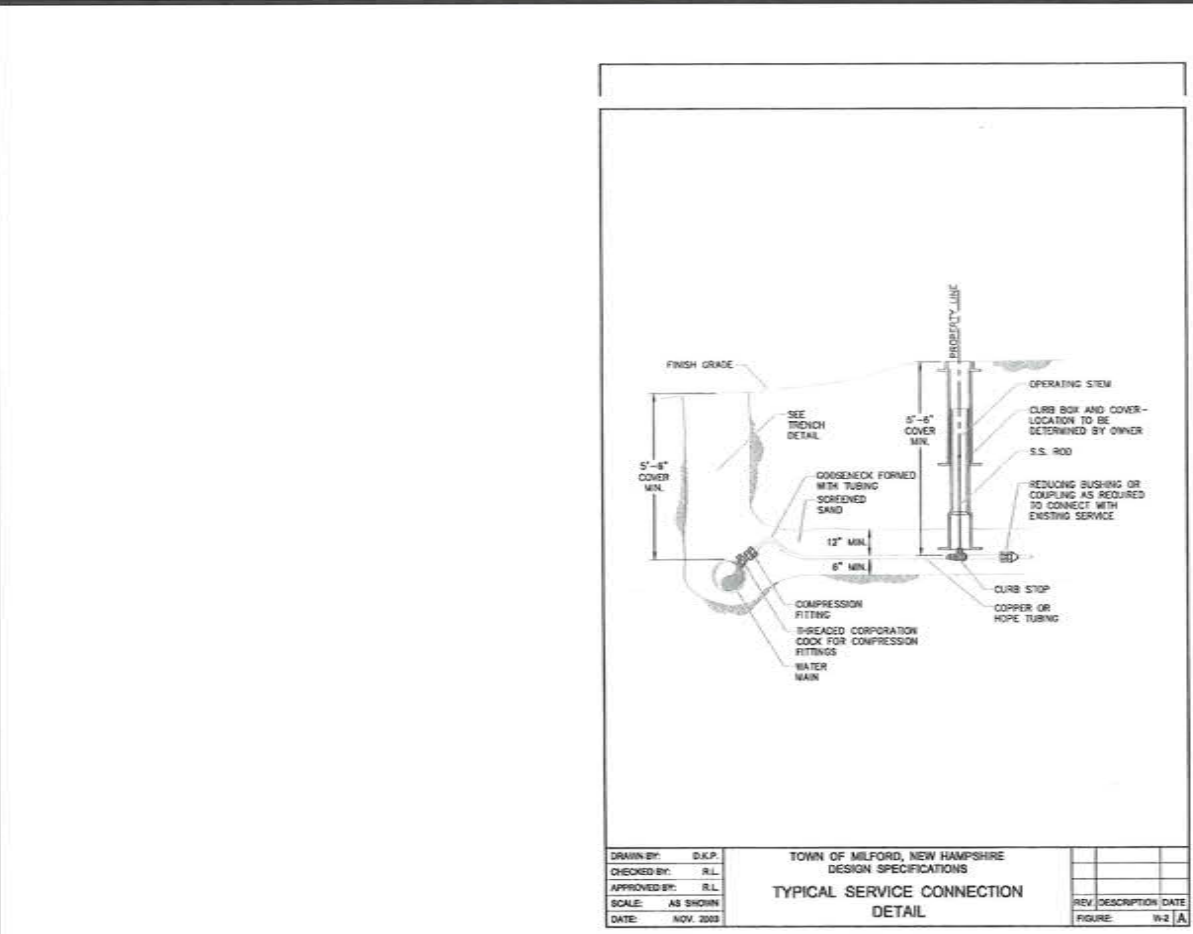


**TYPICAL WATER LINE TRENCH DETAIL**  
 NOT TO SCALE



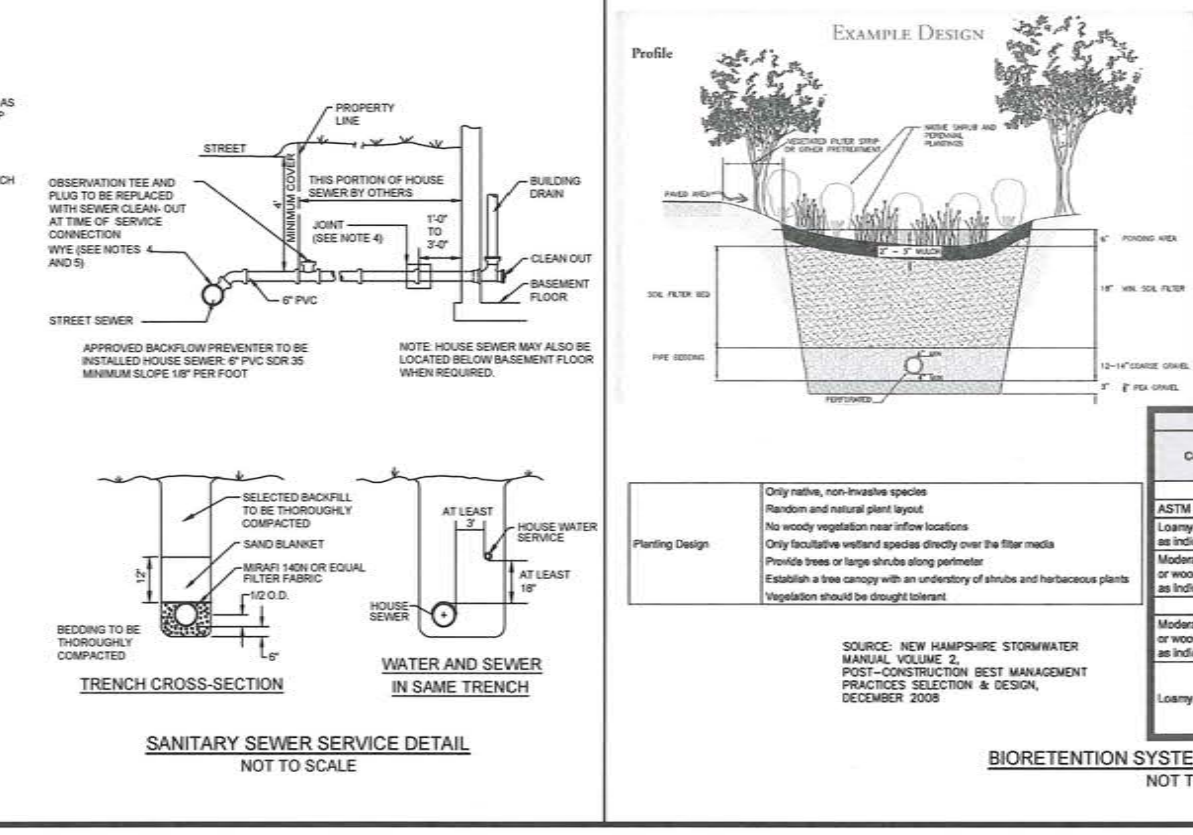


- NOTES:**
- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 6 INCHES. MINIMUM SIZE FOR STREET SEWER LINES SHALL BE 8 INCHES.
  - PIPE AND JOINT MATERIALS
    - PVC SEWER PIPE AND FITTINGS USED FOR GRAVITY SYSTEMS SHALL CONFORM TO ASTM D-3034 OR ASTM F69 (SDR 35 MINIMUM). JOINTS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212. TYPE SHALL BE PUSH-ON, BELL AND SPIGOT. PVC PIPE USED FOR SEWER FORCEMAINS SHALL CONFORM TO ASTM D2241 OR D1784. FORCEMAINS SHALL BE DESIGNED TO WITHSTAND HYDROSTATIC PRESSURES OF AT LEAST 2 1/2 TIMES THE DESIGN TOTAL DYNAMIC HEAD.
    - PIPE AND JOINT MATERIALS
      - PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
        - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS
        - A21.51 DUCTILE IRON PIPE, CENTRIFUGAL CAST IN METAL MOLDS OR SAND MOLDS FOR WATER OR OTHER LIQUIDS.
      - JOINTS SHALL BE OF MECHANICAL TYPE JOINTS AND GASKETS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
        - A21.11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE FITTINGS.
  - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
  - JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR FROM ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
  - WHERE WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURER'S INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL.
  - ILLEGAL CONNECTION: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS OR SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE, OR GROUND WATER, SHALL NOT BE PERMITTED.
  - WATER SERVICE SHOULD NOT BE LAID IN SAME TRENCH AS SEWER SERVICE, BUT WHEN NECESSARY, SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE SEWER AS SHOWN.
  - LOCATION: THE LOCATION OF THE TEE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS MATERIAL ROD OR PIPE SHALL BE PLACED OVER THE WYE TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
  - CHIMNEYS: NOT PERMITTED
  - UNLESS OTHERWISE NOTED ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR TEST.



TOWN OF MILFORD, NEW HAMPSHIRE  
DESIGN SPECIFICATIONS  
TYPICAL SERVICE CONNECTION  
DETAIL

DRAWN BY: D.K.P.	CHECKED BY: R.L.	APPROVED BY: R.L.	SCALE: AS SHOWN	DATE: NOV. 2003
REV. DESCRIPTION DATE				FIGURE: W-2 A



**EXAMPLE DESIGN**

**MAINTENANCE REQUIREMENTS**

- Systems should be inspected at least twice annually, and following any rainfall event exceeding 2.5 inches in a 24 hour period, with maintenance or rehabilitation conducted as warranted by such inspection.
- Pretreatment measures should be inspected at least twice annually, and cleaned of accumulated sediments as warranted by inspection, but no less than once annually.
- Trash and debris should be removed at each inspection.
- At least once annually, system should be inspected for draw-down time. If bioretention system does not drain within 72-hours following a rainfall event, then a qualified professional should assess the condition of the facility to determine measures required to restore filtration function or infiltration function (as applicable), including but not limited to removal of accumulated sediments or reconstruction of the filter media.
- Vegetation should be inspected at least annually, and maintained in healthy condition, including pruning, removal and replacement of dead or diseased vegetation, and removal of invasive species.

Component Material	Percent of Mixture by Volume	Gradation of Material	
		Sieve No.	Percent by Weight Passing Standard Sieve
<b>Filter Media Option A</b>			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
<b>Filter Media Option B</b>			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
	70 to 80	10	85 to 100
		20	70 to 100
		60	15 to 40
		200	8 to 15

**Planting Design**

- Only native, non-invasive species
- Random and natural plant layout
- No woody vegetation near inflow locations
- Only facultative wetland species directly over the filter media
- Provide trees or large shrubs along perimeter
- Establish a tree canopy with an understory of shrubs and herbaceous plants
- Vegetation should be drought tolerant

SOURCE: NEW HAMPSHIRE STORMWATER MANUAL VOLUME 2, POST-CONSTRUCTION BEST MANAGEMENT PRACTICES SELECTION & DESIGN, DECEMBER 2008

**BIORETENTION SYSTEM - "RAIN GARDEN" DETAIL**  
NOT TO SCALE

**The Dubai Group, Inc.**  
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers  
Planners  
Surveyors  
TheDubayGroup.com

REVISIONS:

REV.	DATE:	COMMENT:	BY:

DRAWN BY: SJB	CHECKED BY: REK
DATE: 4/29/2019	SCALE: AS NOTED
FILE: 337 - DETAILS	DEED REF: BK 8043 PG 1999
	BK 9135 PG 2081

PROJECT:

**FAMILY DENTAL CARE OF MILFORD**  
150 & 154 ELM STREET  
MILFORD, NH 03055

FOR:

**WILSKY INVESTMENTS, LLC.**  
154 ELM STREET  
MILFORD, NH 03055

SHEET TITLE:

**SITE DETAILS-4**

PROJECT #337 SHEET 13 of 15



N:\PROJECTS\337-Milford Dental - Elm St Milford\DWG\CURRENT\337 - PRE-DEVELOP.dwg

**MAP 44 LOT 14**  
 BOSTON & MAINE CORP.  
 C/O GUILFORD TRNSPRT IND. 1700  
 IRON HORSE PARK  
 NORTH BILLERICA, MA 01862-1681





**MAP 19 LOT 12**  
 JORDAN WILLIAM A  
 PO BOX 776  
 STODDARD, NH  
 03464-0776  
 B. 7835 P. 0903

**MAP 19 LOT 15-1**  
 DAPPER PROPERTIES I LLC  
 PO BOX 56607 ATLANTA,  
 GA 30343-9908  
 B. 6563 P. 2246

**MAP 19 LOT 5**  
 MENGUAN PROPERTY  
 MANAGEMENT, LLC 7  
 MOUNTAIN ASH LN  
 FRANKLIN, MA 02038  
 B. 9065 P. 2028

**MAP 19 LOT 4**  
 KAPLAN ARRON R. &  
 JAMIE C. 31 WACK HILL  
 RD AMHERST, NH 03031  
 B. 8727 P. 2562

**WATERSHED LEGEND:**

-  SUBCATCHMENT: A RELATIVELY HOMOGENEOUS AREA OF LAND THAT DRAINS INTO A SINGLE REACH OR POND. EACH SUBCATCHMENT GENERATES A RUNOFF HYDROGRAPH. (A SUBCATCHMENT MAY ALSO BE USED TO ACCOUNT FOR THE RAIN FALLING DIRECTLY ON THE SURFACE OF A POND.)
-  REACH: A UNIFORM STREAM, CHANNEL, OR PIPE THAT CONVEYS WATER FROM ONE POINT TO ANOTHER REACH OR POND. THE OUTFLOW OF EACH REACH IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION.
-  POND: A POND, SWAMP, DAM, OR OTHER IMPONDMENT THAT FILLS WITH WATER FROM ONE OR MORE SOURCES AND EMPTIES IN A MANNER DETERMINED BY A WEIR, CULVERT, OR OTHER DEVICE(S) AT ITS OUTLET. THE OUTFLOW(S) OF EACH POND IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION. THE PRIMARY AND/OR SECONDARY OUTFLOW MAY DRAIN INTO A REACH OR INTO ANOTHER POND.
-  LINK: A METHOD OF INTERCONNECTING SEVERAL HYDROGRAPHS WHICH MAY CONVERGE TOGETHER AT A COMMON ANALYSIS POINT.



**The Dubai Group, Inc.**  
 84 Range Road  
 Windham, NH 03087  
 603-458-6462

Engineers  
 Planners  
 Surveyors  
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1" = 20' FEET

**REVISIONS:**

REV.	DATE:	COMMENT:	BY:

DRAWN BY: JHD  
 CHECKED BY: DGM  
 DATE: 4/29/2019  
 SCALE: 1"=20'  
 FILE: 337 - PRE-DEVELOP  
 DEED REF: BK 8043 PG 1999  
 BK 9135 PG 2081

PROJECT:  
**FAMILY DENTAL CARE OF MILFORD**  
 150 & 154 ELM STREET  
 MILFORD, NH 03055  
 FOR  
**WILSKY INVESTMENTS, LLC.**  
 154 ELM STREET  
 MILFORD, NH 03055

SHEET TITLE:  
**PRE-DEVELOPMENT WATERSHED PLAN**





MAP 44 LOT 14  
 BOSTON & MAINE CORP.  
 C/O GUILFORD TRNSPRT IND. 1700  
 IRON HORSE PARK  
 NORTH BILLERICA, MA 01862-1681







MAP 19 LOT 12  
 JORDAN WILLIAM A  
 PO BOX 776  
 STODDARD, NH  
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 MENGUAN PROPERTY  
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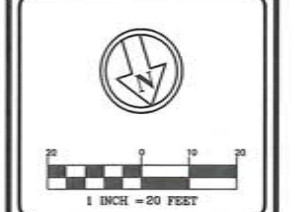
MAP 19 LOT 4  
 KAPLAN AARON R. &  
 JAMIE C. 31 MACK HILL  
 RD AMHERST, NH 03031  
 B. 6727 P. 2562

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**The Dubay Group, Inc.**  
 84 Range Road  
 Windham, NH 03087  
 603-458-6462  
 Engineers  
 Planners  
 Surveyors  
 TheDubayGroup.com



REVISIONS:		
REV.	DATE:	COMMENT:

DRAWN BY: JHD  
 CHECKED BY: DGM  
 DATE: 4/29/2019  
 SCALE: 1"=20'  
 FILE: 337 - POST DEVELOP  
 DEED REF: BK 8043 PG 1999  
 BK 9135 PG 2081

PROJECT:  
**FAMILY DENTAL CARE OF MILFORD**  
 150 & 154 ELM STREET  
 MILFORD, NH 03055  
 FOR  
**WILSKY INVESTMENTS, LLC.**  
 154 ELM STREET  
 MILFORD, NH 03055

SHEET TITLE:  
**POST-DEVELOPMENT WATERSHED PLAN**

N:\PROJECTS\337-Milford Dental, Elm St Milford\DWG\CURRENT\337 - POST DEVELOP.dwg



# ADDITION & RENOVATION TO FAMILY DENTAL CARE OF MILFORD

154 ELM STREET, MILFORD, NH 03055

## DESIGNER OF RECORD:

### **ARCHITECTURAL:**

ROBERT WILLIAM HANNON ARCHITECT PLLC  
12 LANSING DRIVE, SALEM, NH

### **CIVIL ENGINEERING**

THE DUBAY GROUP, INC  
84 RANGE ROAD, WINDHAM, NH

### **STRUCTURAL ENGINEERING:**

HAMPSTEAD CONSULTANTS INC  
10 BRICKETTS MILL ROAD, HAMPSTEAD, NH

### **MECHANICAL & PLUMBING ENGINEERING:**

FOR DESIGN DAY MECHANICALS INC  
148 BEAVER RIDGE ROAD, CENTER BARNSTEAD, NH

### **ELECTRICAL ENGINEERING:**

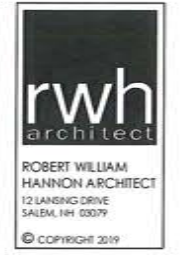
ELECTRICAL SYSTEMS ENGINEERING, INC.  
22 MANCHESTER ROAD, SUITE 8-A, DERRY, NH

## **SCHEMATIC DESIGN PROGRESS SUBMITTAL**

MARCH 26, 2018

### DRAWING SHEET INDEX:

C100	COVER SHEET
A001	NOTES, LEGENDS, & SPECIFICATIONS
A002	CODE PLAN & ANALYSIS
D101	DEMOLITION PLANS
S001	GENERAL NOTES
S100	FOUNDATION PLAN
S101	FIRST AND ROOF FRAMING PLANS
S102	DECK FRAMING PLANS
S200	DETAILS
S201	DETAILS
A101	MAIN LEVEL FLOOR PLAN
A102	LOWER LEVEL FLOOR PLAN
A201	REFLECTED CEILING PLANS
A301	ROOF PLAN & DETAILS
A401	ENLARGED TOILET PLANS
A402	STAIR PLANS & SECTION
A501	EXTERIOR ELEVATIONS
A601	BUILDING SECTIONS
A602	WALL SECTIONS & DETAILS
A701	PLAN DETAILS
A801	DOOR & WINDOW SCHEDULES
A802	DOOR & WINDOW DETAILS
A901	MISCELLANEOUS DETAILS
M-1	HVAC DUCTWORK
M-2	SCHEDULES AND DETAILS
M-3	SPECIFICATIONS
ES1	ELECTRICAL SITE PLAN, RISER & ELEC PANEL SCHEDULE
E1	SPECIFICATIONS, LEGEND & NOTES
E2	FLOOR PLANS - LIGHTING, LIGHT FIXTURE SCHEDULE
E3	FLOOR PLANS - POWER
E4	FIRE ALARM SYSTEM
E5	FIRE ALARM SPECIFICATION
P-1	FIRST FLOOR SANITARY AND VENT PIPING PLAN
P-2	FIRST FLOOR DOMESTIC WATER PLAN
P-3	BASEMENT SANITARY & DOMESTIC WATER PIPING PLAN
P-4	PLUMBING DETAILS, LEGENDS & FIXTURE SCHEDULE
P-5	PLUMBING SPECIFICATIONS



NOT FOR  
CONSTRUCTION  
SCHEMATIC  
DESIGN

ADDITIONS & RENOVATIONS TO  
FAMILY DENTAL CARE OF MILFORD  
154 ELM STREET  
MILFORD, NEW HAMPSHIRE

COVER SHEET

REVISIONS	
NO.	DATE

SHEET NO. **A101**



**WORK NOTES**

- ALL INTERIOR WALLS LACKING A PARTITION TAG TO BE PARTITION TYPE 1A, 5/8" GYPSUM BOARD ON 2x4 WOOD STUDS @ 16" ON CENTER WITH ACOUSTICAL BATT INSULATION.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN TOILET ROOMS AND ANY OTHER WET LOCATIONS WHERE NOT SPECIFIED ELSEWHERE.
- USE CEMENT BOARD AT ALL LOCATIONS OF CERAMIC TILE OR SIMILAR MATERIAL.
- PROVIDE SOLID WOOD BLOCKING BEHIND ALL WALL-MOUNTED ITEMS.
- LOCATE HINGE SIDE OF DOORS 4 INCHES FROM INSIDE CORNER, TYPICAL UNLESS OTHERWISE NOTED.
- PROVIDE HALF-HEIGHT STAINLESS STEEL SPLASH GUARDS SURROUNDING MOP SINK.
- PROVIDE CORNER BEADS AT ALL GYPSUM BOARD OUTSIDE TRANSITIONS AND 1/4" BEADS AT ALL TRANSITIONS TO DISSIMILAR MATERIALS.
- PROVIDE SOLID SURFACE SILLS AT ALL WINDOWS. REFER TO WINDOW DETAILS.
- PAINT COLORS & FINISH MATERIALS AS INDICATED ON DESIGN ERGONOMICS INTERIOR DESIGN PACKAGE.
- ALL INTERIOR GLAZING SHALL BE CLEAR TEMPERED SAFETY GLASS.
- PROVIDE TRANSITION STRIPS BETWEEN ALL DISSIMILAR FLOORING MATERIALS. FLOORING TRANSITIONS AT DOORS ARE TO OCCUR DIRECTLY BELOW CENTER OF DOOR PANEL IN CLOSED POSITION. CHANGES IN FLOOR FINISH MATERIALS SHALL HAVE AN EDGE STRIP OR THRESHOLD THAT IS BEVELED AT A RATIO OF ONE-IN-TWO (1:2).
- THRESHOLDS SHALL NOT EXCEED 1/4" INCH IN HEIGHT AND SHALL BE BEVELED ON BOTH SIDES WITH A SLOPE NO GREATER THAN ONE-IN-TWO (1:2).
- ACCESSIBLE AND TACTILE SIGNAGE, WITH PICTOGRAM WHERE REQUIRED, SHALL BE PROVIDED AT ALL DOORS. INSTALL SIGNAGE ON THE LATCH SIDE OF THE DOOR AT 60 INCHES ABOVE FINISH FLOOR TO HORIZONTAL CENTER OF SIGN.
- DOOR HANDLES MUST BE LEVER TYPE TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.
- CEILING SHALL NOT BE INSTALLED LESS THAN 7'-6" ABOVE FINISH FLOOR.
- INSTALL ILLUMINATED EXIT SIGNS ABOVE DOORS LEADING TO THE EXTERIOR AND USED AS A MEANS OF EGRESS.
- PROVIDE A MINIMUM OF TWO FIRE EXTINGUISHERS PER FLOOR, ALONG THE PATH OF EGRESS.
- ALL ELECTRICAL CONDUIT AND WIRING TO BE CONCEALED WITHIN WALLS UNLESS SPECIFICALLY IDENTIFIED AS EXPOSED ON ARCHITECTURAL DRAWINGS.
- INSULATE ALL EXPOSED PLUMBING TRAPS BELOW ACCESSIBLE SINKS.
- INSTALL ALL PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS. IF DISCREPANCY OCCURS BETWEEN THIS SET OF DRAWINGS AND THE MANUFACTURER'S RECOMMENDATIONS, PAUSE WORK AND REQUEST CLARIFICATION FROM ARCHITECT.
- CONSULT ARCHITECT IN-FIELD FOR ANY DETAILS NOT INCLUDED WITHIN THIS DRAWING SET. DO NOT PROCEED WITH CONSTRUCTION OF ANY ELEMENT THAT IS NOT SHOWN WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- PROVIDE GYPSUM BOARD CONTROL JOINTS IN ACCORDANCE WITH PRODUCT MANUFACTURER RECOMMENDATIONS.
- CEILING GRID TO BE CENTERED WITHIN EACH ROOM, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF CONCRETE OR FACE OF STUD. WHERE CLEAR DIMENSIONS ARE NOTED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR THICKNESS OF GYPSUM BOARD AND ANY PARTITION TREATMENTS OR FINISHES.

**GENERAL NOTES**

- ALL CONSTRUCTION/WORK SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, STANDARDS, & ORDINANCES.
- REFER TO DRAWINGS A002 & A003 FOR CODE AND EGRESS REQUIREMENTS.
- REFER TO TITLE SHEET & REVISION BLOCK FOR REASON AND DATE OF PLOT. DRAWINGS NOTED AS "RF" ARE ISSUED FOR REVIEW ONLY. DRAWINGS NOTED AS "RF" ARE ISSUED FOR PERMIT ONLY. ONLY DRAWINGS NOTED AS "FC" AND INCLUDE A SIGNED AND SEALED STAMP ARE ISSUED FOR CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT DRAWINGS ON-SITE ARE THE MOST CURRENT.
- GENERAL CONTRACTOR TO COORDINATE WORK BETWEEN ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- CONTRACTOR TO COMPLY TO ANSI A117 (2009) FOR ACCESSIBILITY INFORMATION AND REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS (UNLESS NOTED OTHERWISE), AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS.
- GENERAL CONTRACTOR TO PROVIDE SUBMITTALS AND SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OF MATERIALS, FABRICATION, OR INCORPORATION INTO THE CONSTRUCTION.
- GENERAL CONTRACTOR TO PROVIDE ACTUAL SAMPLES OF ALL FINISH MATERIALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR INCONSISTENCIES.
- CONTRACTOR AND ALL TRADES SHALL NOTE REQUIREMENTS OF "GENERAL NOTES" ON ALL SHEETS.
- DIMENSIONS ARE FACE OF CONCRETE, FACE OF MASONRY, AND FACE OF STUDS, UNLESS INDICATED OTHERWISE.
- DIMENSIONS NOTED "CLEAR" OR "MINIMUM" IS TAKEN TO FACE OF FINISHED SURFACE.
- NOTIFY ARCHITECT IF "±" DIMENSIONS VARY BY MORE THAN 1 INCH.
- RELATIONSHIP OF OBJECTS GRAPHICALLY SHOWN TO BE "CENTERED" ARE ASSUMED TO BE CENTERED, UNLESS OTHERWISE NOTED.
- REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK IN ANOTHER DISCIPLINE AND COORDINATE WORK.
- REFER TO DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION.
- DO NOT SCALE DRAWINGS.
- "PROVIDE" MEANS "FURNISH AND INSTALL".
- ALL FURNITURE, EQUIPMENT, & APPLIANCES TO BE PROVIDED BY OTHERS.
- THE CONTRACTOR SHALL KEEP, ON THE WORK SITE, A COPY OF THE CONTRACT DRAWINGS. DRAWINGS ARE TO MAINTAINED AND MARKED PER FIELD CHANGES SUCH THAT THE SET WILL BECOME AN AS-BUILT SET FOR ISSUE TO THE OWNER AT THE CLOSE OF THE PROJECT.
- AN AIR & VAPOR BARRIER (BUILDING THERMAL ENVELOPE) PRE-CONSTRUCTION MEETING WITH THE ARCHITECT IS REQUIRED.

**PRODUCT SPECIFICATIONS**

NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THIS SPECIFICATION LIST AND THE INFORMATION DEPICTED WITHIN THE CONSTRUCTION DOCUMENTS. OBTAIN ARCHITECT'S APPROVAL PRIOR TO PROCEEDING WITH ORDERING OF MATERIALS, FABRICATION, OR INCORPORATION OF MATERIALS INTO THE PROJECT.

**FOUNDATION WALLS**  
FOUNDATION PER STRUCTURAL DRAWINGS  
CONTINUOUS WATERPROOFING MEMBRANE (GRADE TO B.O. FOOTING)  
2" RIGID POLYSTYRENE INSULATION  
METAL CAP TRIM TO PROTECT ASSEMBLY

**EXTERIOR WALLS (IN ORDER FROM INTERIOR TO EXTERIOR):**  
5/8" GYPSUM BOARD ON INTERIOR SURFACE  
2X6 STUD BACKUP/BEARING WALL  
R-13 UNFACED THERMAL BATT INSULATION  
1/2" EXTERIOR GLASSMAT SHEATHING  
CONTINUOUS SELF-SEALING AIR & VAPOR BARRIER (ELASTOMERIC SHEET MATERIAL) (CARLISLE COW-705)  
2" RIGID POLYSTYRENE INSULATION (FOAMULAR) R-10  
1X STRAPPING  
HARDI PLANK SIDING OR MASONRY VENEER (AS OCCURS)  
ALL TRIM TO BE PVC

**MASONRY VENEER:**  
RED BRICK TO MATCH EXISTING OR  
ARRISCRRAFT RENAISSANCE, SMOOTH, SANDRIFT.

**ROOF CONSTRUCTION:**  
ROOF DECK - 2" TONGUE & GROOVE EXTERIOR ROOFING PLYWOOD  
CONT. ICE & WATER SHIELD, ENTIRE SURFACE  
STANDING SEAM METAL ROOFING PANELS, CENTRIA SR53  
CONT. RIDGE VENT, CDR-A-VENT V-600, 11 INCH  
CONT. VENTED SOFFIT  
METAL DRIP FLASHING, ENTIRE PERIMETER

**WINDOWS:**  
EFCO 6600 WITH SILL EX28

**STOREFRONT ENTRY**  
PROVIDE THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM  
MANUFACTURER: EFCO, X-THERM SERIES 403X (T)  
FRAME COLOR: TO BE DETERMINED

**EXTERIOR GLAZING:**  
PROVIDE 1" THICK (1/4" EXT. PANE, 1/2" AIR SPACE, 1/4" INT. PANE) LOW-E THERMAL INSULATED CLEAR GLAZING  
MANUFACTURER: PPG SOLARBAN 60

**DOORS:**  
EXTERIOR ALUMINUM DOORS, FULLY GLAZED, STYLE AND RAIL TYPE (PROVIDED BY STOREFRONT MANUFACTURER)  
INTERIOR DOORS - 1 3/4" X 7'-0" SOLID CORE MAPLE VENEER, BOOKMATCHED

**CEILING:**  
ACOUSTIC CEILING TILE:  
ROOMS: 24X24 CURRUS HIGH NRC (ITEM NO. 556)  
CORRIDORS: 24X24 CURRUS SECOND LOOK (ITEM NO. 514)  
SUSPENSION SYSTEM: 1/2" PRELUDE

**REINFORCED VAPOR BARRIER:**  
CLASS I VAPOR RETARDER BY STEGOWRAP OR GRIFFOLYN. LAP AND TAPE ALL SEAMS PER MANUFACTURER RECOMMENDATIONS.

**AIR & VAPOR BARRIER NOTES**

- A PROPERLY INSTALLED AIR & VAPOR BARRIER SYSTEM IS REQUIRED PER BUILDING CODE.
- AN AIR & VAPOR BARRIER (THERMAL ENVELOPE) PRE-CONSTRUCTION MEETING WITH THE ARCHITECT IS REQUIRED.
- GENERAL CONTRACTOR IS TO ASSURE THAT ALL PRODUCTS USED TO ACHIEVE THE BUILDING ENVELOPE MUST BE FULLY COMPATIBLE WITH EACH OTHER.
- TO BE COMPLIANT, THE AIR & VAPOR BARRIER MUST BE FULLY CONTINUOUS OVER ALL SURFACES OF THE BUILDING, CONNECTING TO THE AIR & VAPOR BARRIER WITHIN THE ROOF OR CEILING SYSTEM, AS APPLIES TO THIS PROJECT, AND THE FOUNDATION. ALL FLASHINGS MUST BE POSITIVELY LAPPED AND SEALED CREATING AN AIR-TIGHT ENCLOSURE.
- NON-SHINGLED LAPS, END LAPS, CORNER DETAILS, AND PENETRATIONS POSE POSSIBLE LEAK PATHS AND MUST BE SEALED WITH A COMPATIBLE MASTIC.
- THE AIR & VAPOR BARRIER IS TO BE SEALED TO ALL WINDOW FRAMES AND DOOR FRAMES.

**LEGEND**

- LOTTERY (A101) ROOM NAME  
ROOM NUMBER
- (A) BUILDING SECTION
- (A) DETAIL
- WALL/PARTITION
- (W1) WINDOW DESIGNATION
- WINDOW
- (D) DOOR & NUMBER
- ITEM HIDDEN OR ABOVE
- (A) PARTITION TYPE
- (FEC) FIRE EXTINGUISHER CABINET
- (1) CASEWORK ELEVATION TAG, SEE A601

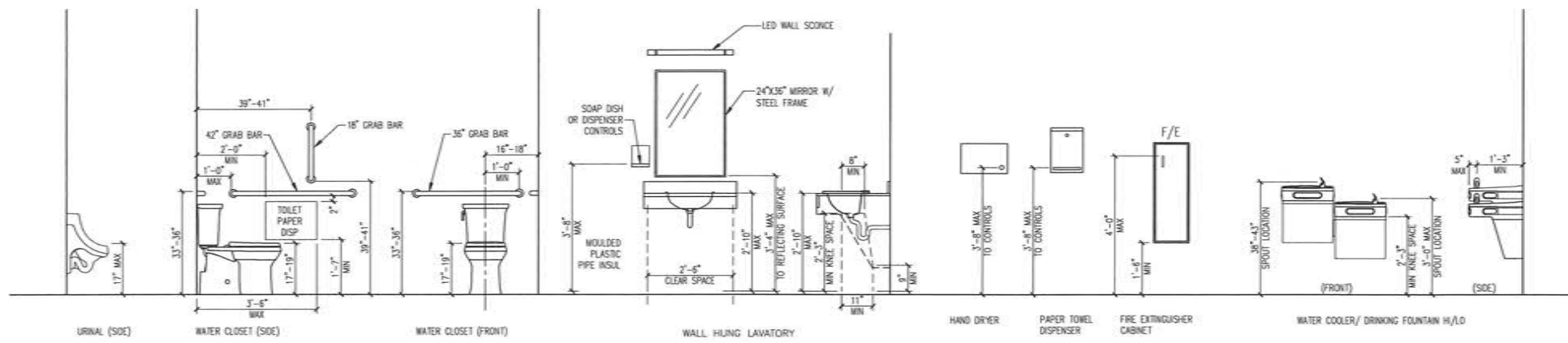


ROBERT WILLIAM  
HANNON ARCHITECT  
12 LANGING DRIVE  
SALEM, NH 03079  
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ADDITIONS & RENOVATIONS TO  
FAMILY DENTAL CARE OF MILFORD  
154 ELM STREET  
MILFORD, NEW HAMPSHIRE

NOTES, LEGENDS, &  
SPECIFICATIONS



ACCESSIBLE MOUNTING HEIGHTS 1 A001  
SCALE: NTS

REVISIONS

NO.	DATE	DESCRIPTION

MK. DATE  
 DATE: 26 MARCH 2019  
 SCALE: AS NOTED  
 DRAWING NO.: 19-003  
 SHEET NO.: A001



PROJECT NORTH

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DESIGN

ADDITIONS & RENOVATIONS TO  
FAMILY DENTAL CARE OF MILFORD  
154 ELM STREET  
MILFORD, NEW HAMPSHIRE

MAIN LEVEL CODE PLAN  
& ANALYSIS

DATE

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 26 MARCH 2019

SCALE: AS NOTED

DATE: 19-003

SHEET NO.

A002

1

A002

1

1

1

1

1

1

CODE INFORMATION

**APPLICABLE CODES & STANDARDS:**

- NEW HAMPSHIRE STATE BUILDING CODE
- INTERNATIONAL BUILDING CODE 2009 (IBC)
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 LIFE SAFETY CODE (2015)
- ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ICC A117.1-2009

**IBC CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION:**  
GROUP B EDUCATION (IBC 304.1, CLINIC OUTPATIENT)

**IBC CHAPTER 5 - GENERAL BUILDING HEIGHTS:**  
TYPE: VB CONSTRUCTION TYPE (IBC SECTION 503)

**CONSTRUCTION TYPE:**  
TYPE VB - UNPROTECTED  
NON-SPRINKLERED  
TABULATED ALLOWABLE AREA PER STORY: 9,000 SF  
ACTUAL AREA PER STORY: 8,186 SF  
BUILDING AREA MODIFICATION: 15,750 SF  
ALLOWABLE STORIES: 2 (40')  
ACTUAL STORIES: 1 W/BASEMENT

**IBC CHAPTER 6 - TYPES OF CONSTRUCTION:**  
IBC TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

**FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS, TYPE VB:**  
PRIMARY STRUCTURAL FRAME: (0) HR RATING  
BEARING WALLS(INTERIOR): (0) HR RATING  
BEARING WALLS(EXTERIOR): (0) HR RATING  
NONBEARING WALLS: (0) HR RATING  
FLOOR CONSTRUCTION: (0) HR RATING  
ROOF CONSTRUCTION: (0) HR RATING

**IBC CHAPTER 8 - INTERIOR FINISHES:**  
IBC TABLE 803.9  
EXIT ENCLOSURES & EXIT PASSAGEWAY: CLASS A  
CORRIDORS: CLASS B  
ROOM & ENCLOSED SPACES: CLASS C

**IBC CHAPTER 9 - FIRE PROTECTION SYSTEMS:**  
(903.2) AUTO SPRINKLER SYSTEM NOT REQUIRED AS LESS THAN 4 OCCUPANTS ARE INCAPABLE OF SELF-PRESERVATION.  
(906.3) MAX TRAVEL DISTANCE TO FIRE EXTINGUISHER IS 75' OR REQUIRED BY FIRE CODE OFFICIAL

**IBC CHAPTER 10 - MEANS OF EGRESS:**  
BUSINESS AREAS = 100 GROSS SF/PERSON  
TOTAL OCCUPANT LOAD: 163 PERSONS

**CAPACITY FACTORS (IBC TABLE 7.3.3.1)**  
STAIRWAYS: 0.3 INCHES PER PERSON  
LEVEL COMPONENTS & RAMPS: 0.2 INCHES PER PERSON

**EGRESS TRAVEL DISTANCE LIMITATIONS: (NON-SPRINKLERED)**  
NFPA 101, CHAPTER 38. NEW BUSINESS OCCUPANCY:  
DEAD END: = 20' MAX (38.2.5.2.2)  
DISTANCE TO EXIT: = 200' MAX (38.2.6.2)  
COMMON PATH OF TRAVEL: = 75' MAX (38.2.5.3.3)

**IBC CHAPTER 13 - ENERGY EFFICIENCY:**  
CLIMATE ZONE 5A (HILLSBOROUGH COUNTY)

**ROOF:**  
INSUL. ABOVE DECK = R-20ci  
ATTIC = R-38

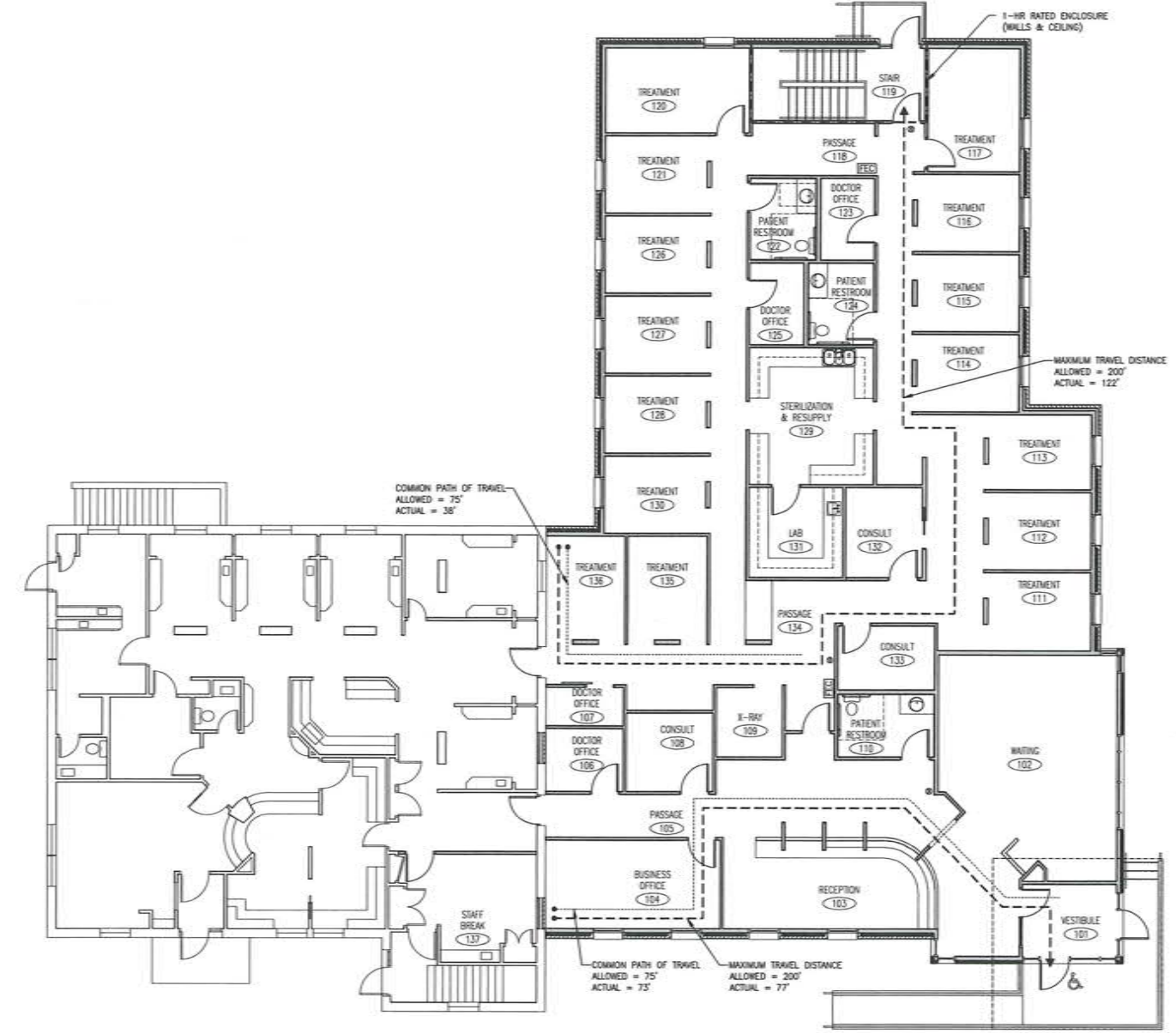
**WALL:**  
MASS = R-11.4Ci  
WOOD FRAMED = R-13 + R-3.8Ci  
BELOW GRADE: = R-7.5Ci

**FLOOR:**  
JOIST FRAMING = R-30

**SLAB ON GRADE:**  
UNHEATED SLAB = N/A  
HEATED SLAB = R-15 FOR 24" BELOW

LEGEND

- FIRE EXTINGUISHER CABINET:
- EXIT SIGN:
- TRAVEL DISTANCE:
- COMMON PATH:
- ACCESSIBLE EGRESS:



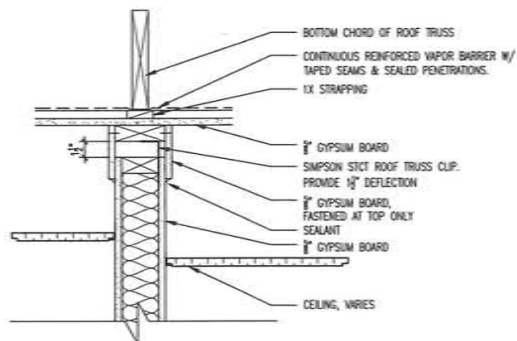
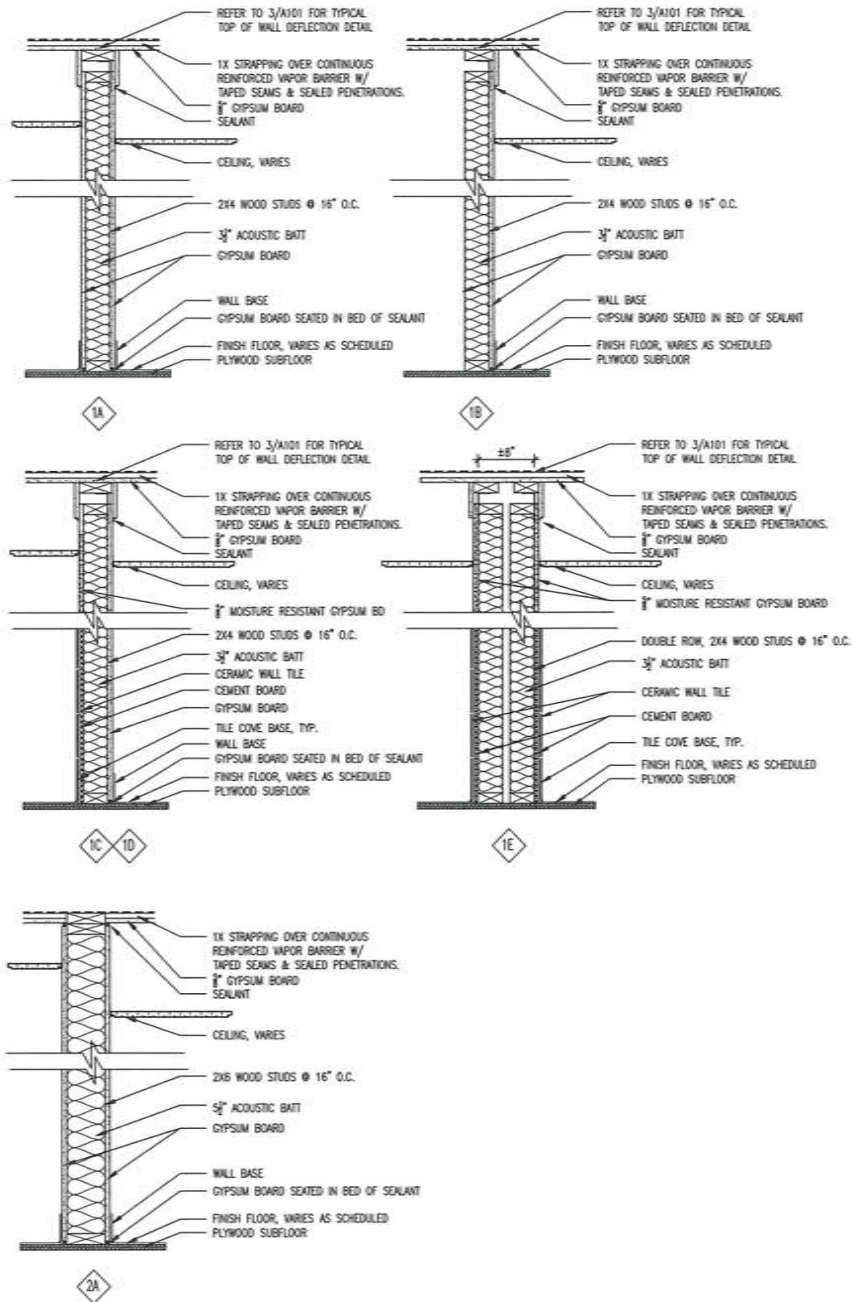
MAIN LEVEL EGRESS PLAN 1  
SCALE: 1/8"=1'-0" A002

**IBC CHAPTER 29 - PLUMBING FIXTURE REQUIREMENTS:**  
(IBC TABLE 2902.1 MIN. NUMBER OF REQUIRED PLUMBING FIXTURES)

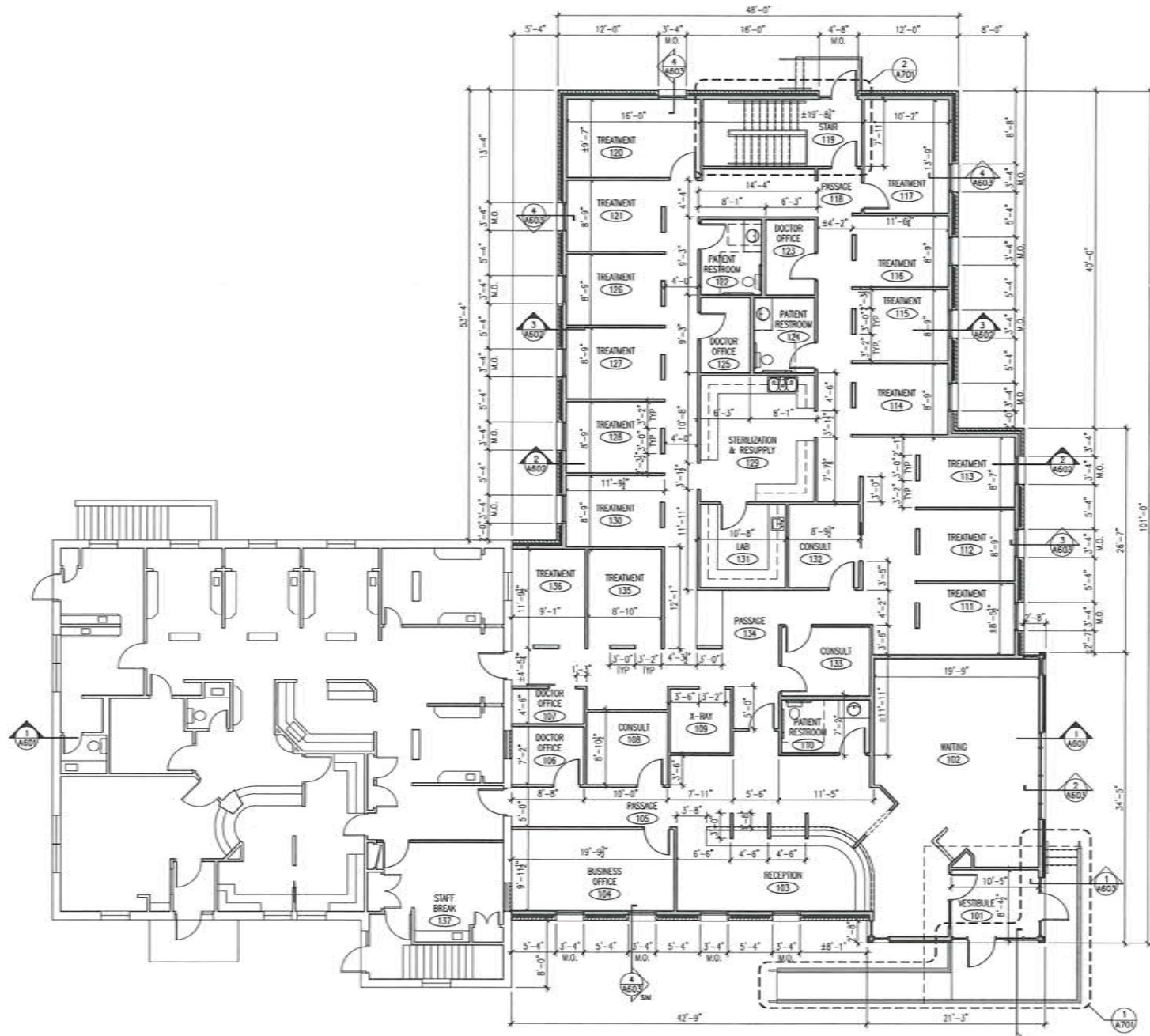
OCCUPANCY	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
	MALE	FEMALE	MALE	FEMALE		
BUSINESS	1 PER 25 FOR THE FIRST 50, 1 PER 50 FOR THE REMAINDER EXCEEDING 50	1 PER 40 FOR THE FIRST 80, 1 PER 80 FOR THE REMAINDER EXCEEDING 80			1 PER 100	1 SERVICE SINK
REQUIRED:	3	3	3	3	2	1



**PARTITION TYPES**



**NOTE:**  
 1. ALL DIMENSIONS ARE TAKEN FROM FACE OF CONCRETE OR FACE OF STUD. WHERE CLEAR DIMENSIONS ARE NOTED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR THICKNESS OF GYPSUM BOARD AND ANY PARTITION TREATMENTS OR FINISHES.



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ADDITIONS & RENOVATIONS TO  
 FAMILY DENTAL CARE OF MILFORD  
 154 ELM STREET  
 MILFORD, NEW HAMPSHIRE

**MAIN LEVEL FLOOR PLAN**

REVISIONS

NO.	DATE	DESCRIPTION
1	26 MARCH 2019	AS NOTED
2	19-003	

SHEET NO.

**A101**











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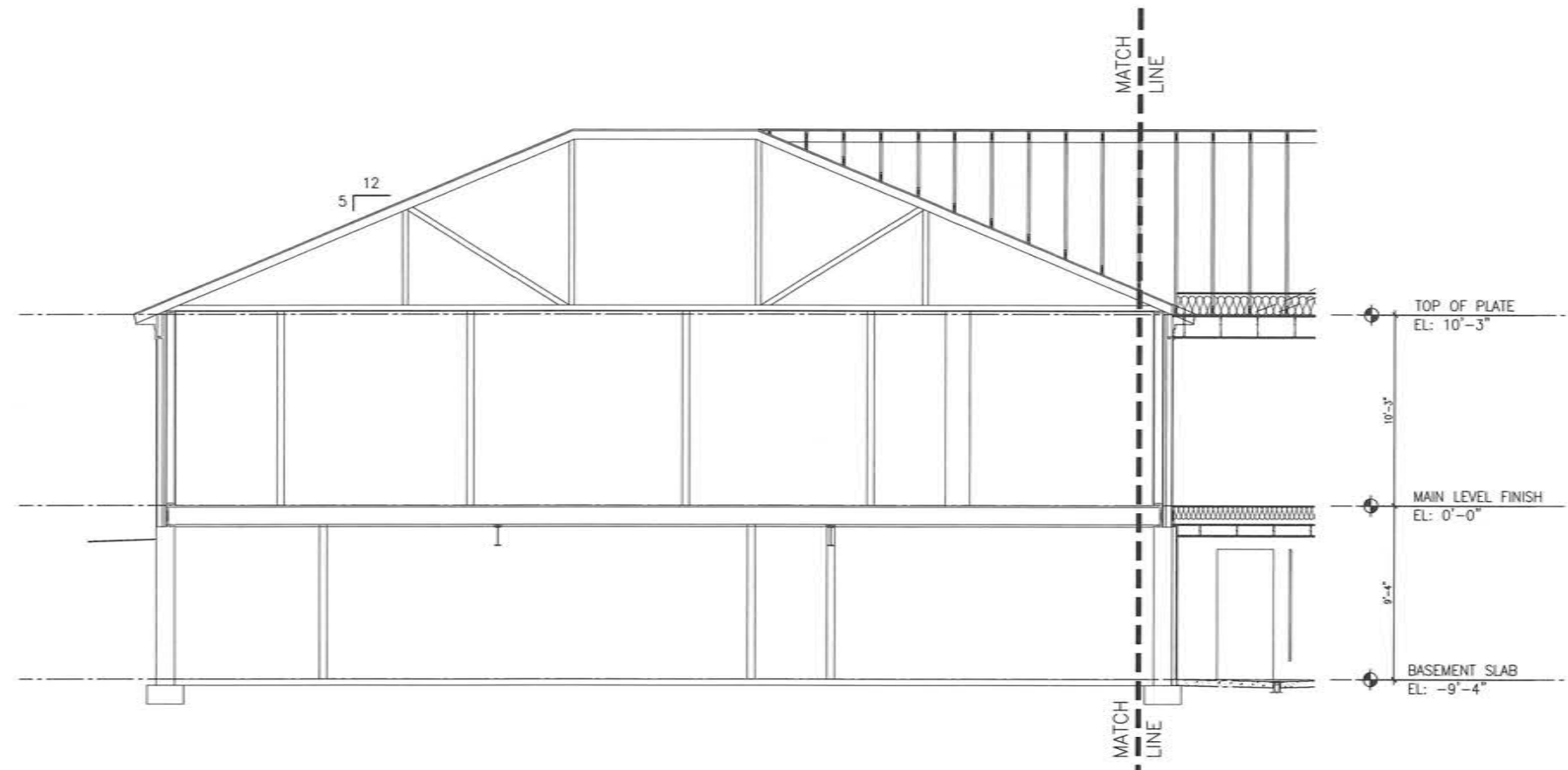
ADDITIONS & RENOVATIONS TO  
FAMILY DENTAL CARE OF MILFORD  
154 ELM STREET  
MILFORD, NEW HAMPSHIRE

BUILDING SECTIONS

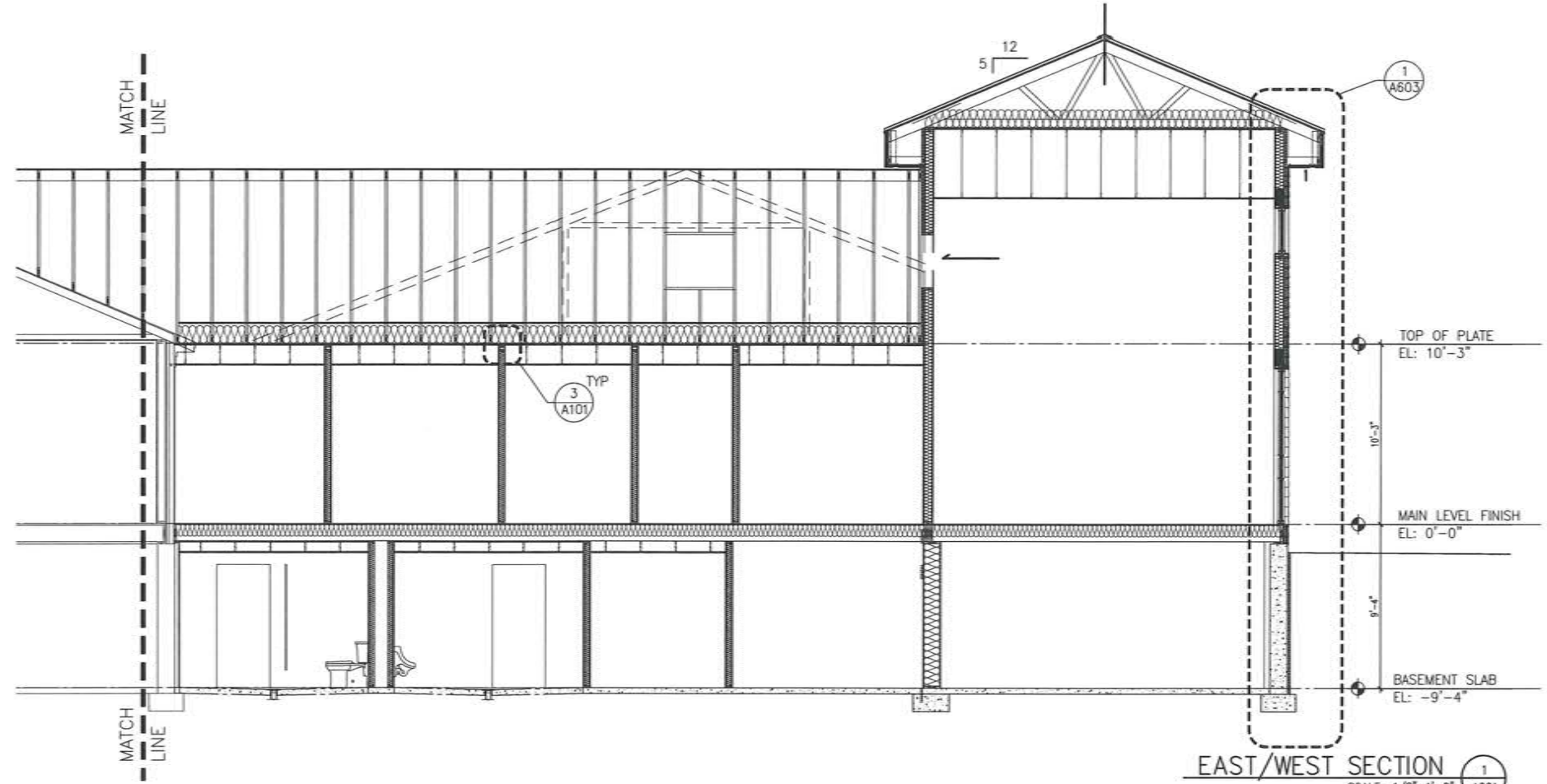
REVISIONS

NO.	DATE	DESCRIPTION

SHEET NO.  
**A601**



EAST/WEST SECTION (CONT) 2  
SCALE: 1/8"=1'-0" A601

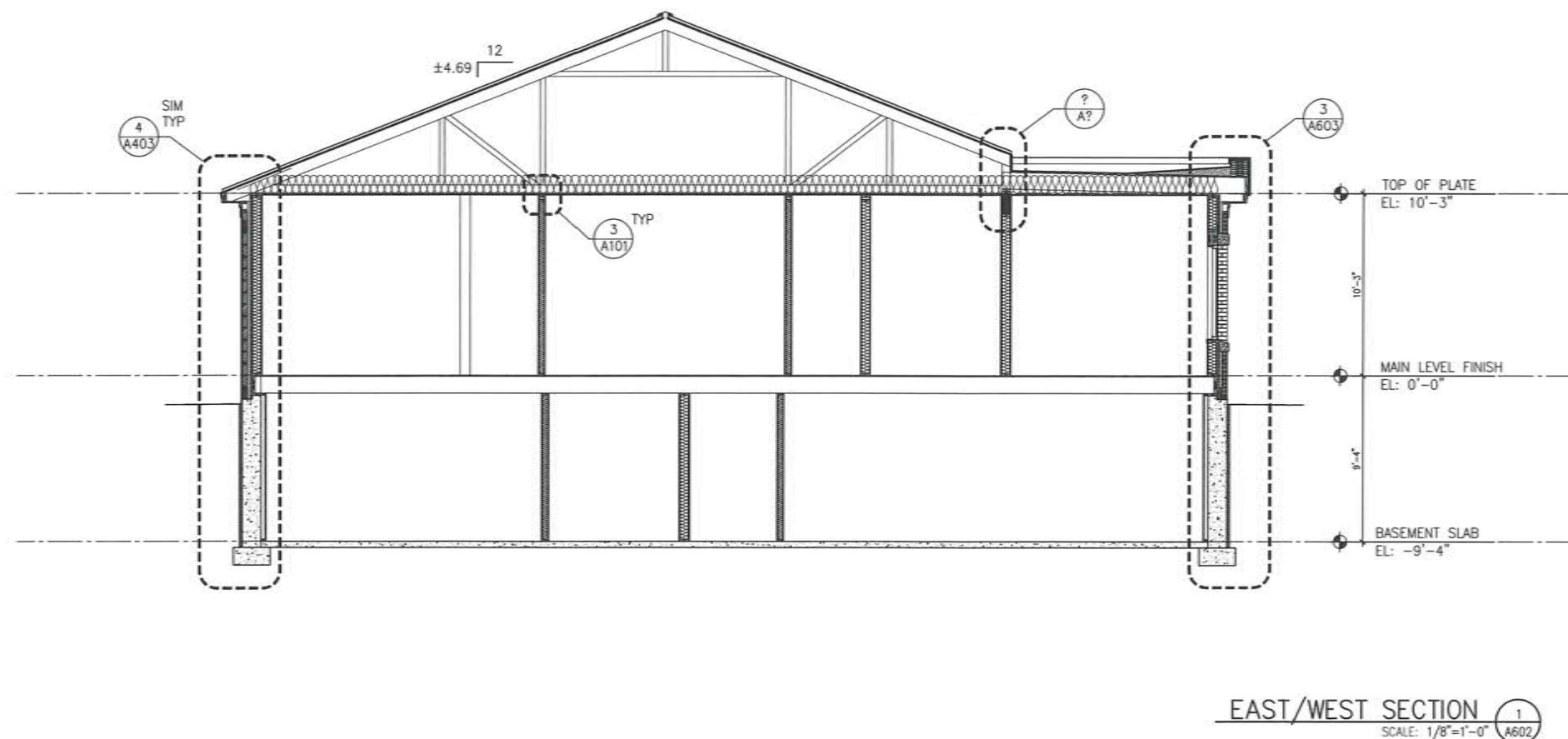
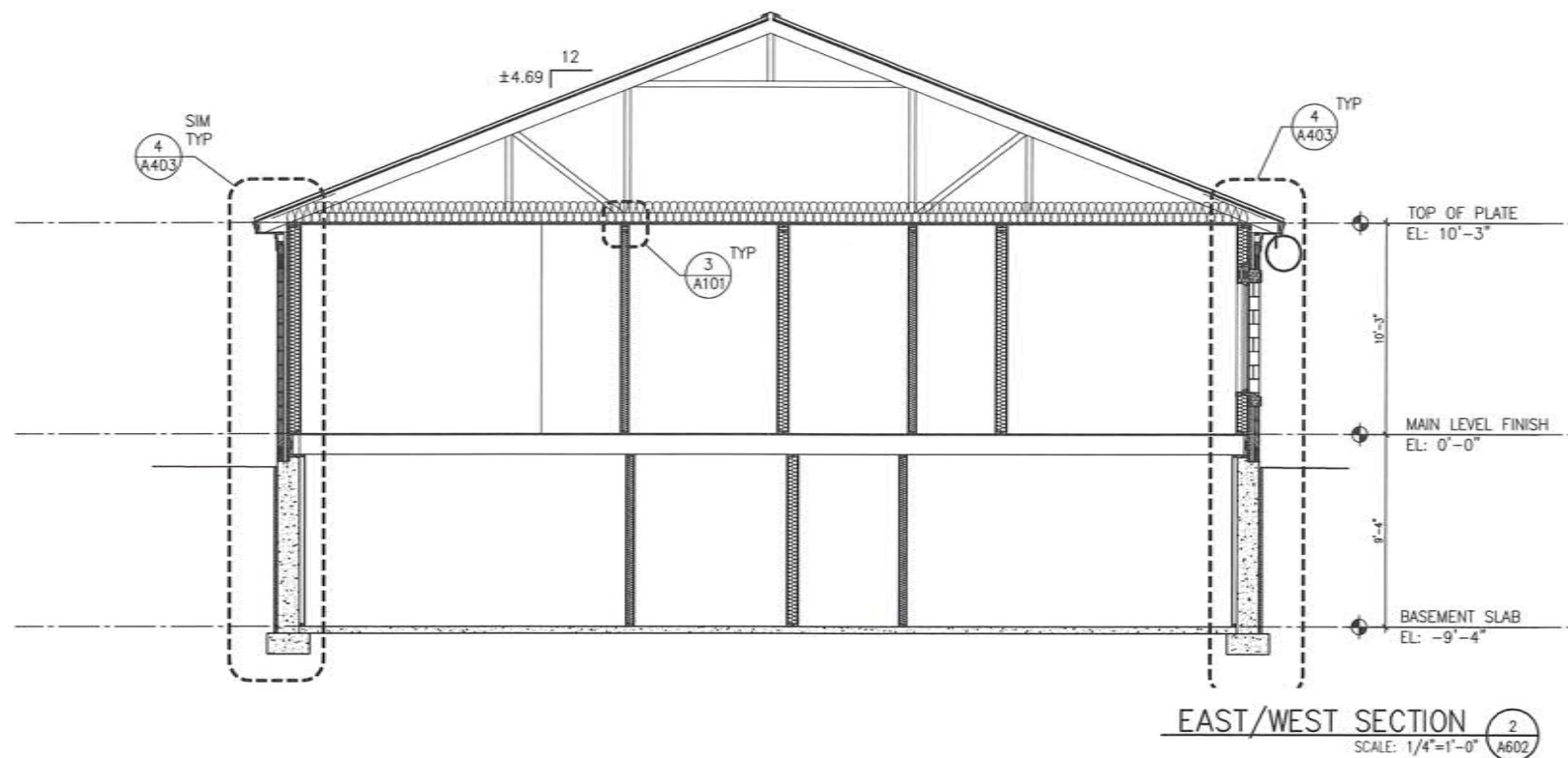


EAST/WEST SECTION 1  
SCALE: 1/8"=1'-0" A601

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ADDITIONS & RENOVATIONS TO  
FAMILY DENTAL CARE OF MILFORD  
154 ELM STREET  
MILFORD, NEW HAMPSHIRE

BUILDING SECTIONS



NO.	REVISIONS

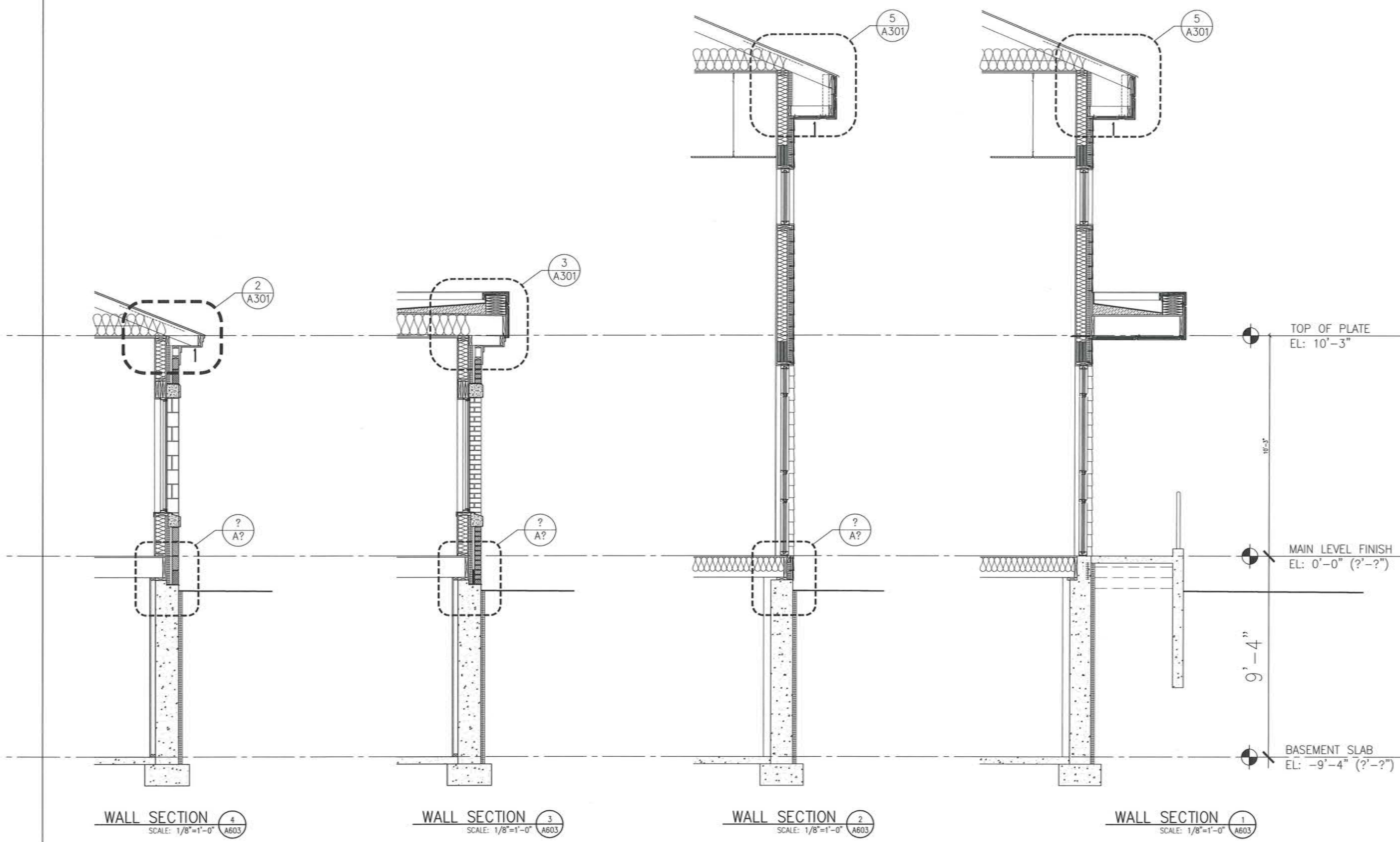
DATE	26 MARCH 2019
SCALE	AS NOTED
PROJECT	19-003
SHEET NO.	

**A602**

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ADDITIONS & RENOVATIONS TO  
FAMILY DENTAL CARE OF MILFORD  
154 ELM STREET  
MILFORD, NEW HAMPSHIRE

**WALL SECTIONS**



WALL SECTION 4  
SCALE: 1/8"=1'-0" A603

WALL SECTION 3  
SCALE: 1/8"=1'-0" A603

WALL SECTION 2  
SCALE: 1/8"=1'-0" A603

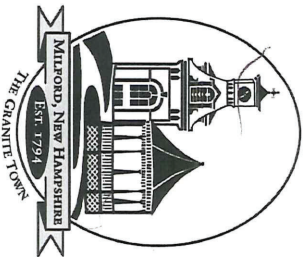
WALL SECTION 1  
SCALE: 1/8"=1'-0" A603

REVISIONS	
NO.	DESCRIPTION

DATE	BY	CHKD	APP'D
26 MARCH 2019			

SHEET NO.  
**A603**





# Waiver Request Form

Department of Planning and Community Development

Name of Project \_\_\_\_\_ Family Dental Care of Milford \_\_\_\_\_

Applicant \_\_\_\_\_ Family Dental Care of Milford \_\_\_\_\_

Date \_\_\_\_\_ April 29, 2019 \_\_\_\_\_

When a proposed subdivision plat or site plan is submitted for approval, the applicant may request in writing to waive specific requirements of these Regulations as they pertain to the subdivision or site plan. The applicant shall present reasons in writing why the waiver is needed by the application deadline for a regularly scheduled Planning Board meeting. The Board's publicly notice agenda for the particular meeting shall clearly indicate that a waiver request has been received, a copy of which is available at the planning office, and that the waiver request will be considered at the meeting.

Abutter notification is required for all waiver requests.

The Planning Board may grant a waiver in a special case, so that justice may be done and the public interest secured, provided that such waiver will not have the effect of nullifying the intent and purposes of these Regulations, the Zoning Ordinance or the Master Plan. The Planning Board shall not approve waivers unless it shall make findings based upon the evidence presented to it in each specific case.

All approved waivers shall be noted on the plans, indicating the paragraphs waived and a general description of the waivers.

Subdivision or Site  
Plan Regulation  
Section Number

Request and Rationale

1. 6.05.6 C.3

Build-to-Zone - Proposed addition is 70'+/- from R.O.W. due to fact that existing building sits at rear of lot. Proposed addition layout is "L" shaped and allows existing functioning treatment rooms to share labs, supplies and sterilization areas without duplicating space.

Proposed Building is the same setback as the Auto Store next door.

Subdivision or Site  
Plan Regulation  
Section Number

Request and Rationale

3. 6.05.6.2.b

Building Orientation - Orient Building Entry to Public Street  
Existing entrance is at rear. The addition will relocate the main entrance.  
Proposed building entry is at the east side and rear corner of lot. A new  
entry "tower" aids in visibility and way finding for pedestrian.

4. 6.05.6.A.2


Development Review - Presentation on 04/23/2019 to Planning Board  
gave an in depth look at the preliminary design and planning to date.  
Applicant's work with Design Ergonomics, RHW Architects and the engineer  
since summer 2018 has yielded a building layout that is most  
conductive to tenant's needs and the site layout works best  
to adhere to building setbacks, coverage and keeps parking to side and rear.

5. \_\_\_\_\_

6. \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please feel free to attach any other information as necessary.

 \_\_\_\_\_  
Signature of Applicant Date 4/29/19

May 23, 2019

Lincoln Daley, Community Development Director  
Town of Milford  
1 Union Square  
Milford, NH 03055

**Re: Family Dental Care of Milford, 150 & 154 Elm Street, Site Plan (Map 13, Lots 13 & 14)  
Drainage Review**

Dear Mr. Daley:

We reviewed the 15-sheet plan set dated April 29, 2019 and Stormwater Management Report dated April 26, 2019 prepared by The Dubay Group in accordance with our agreement with the Town. As requested, our review was limited the drainage system only. Based on that review and a site visit, we offer the following comments:

1. The Estimated Seasonal High-Water Table and infiltration rates need to be determined by a test pit/testing in the stormwater basin particularly since infiltration is a critical element of the stormwater mitigation design, there is limited reserve capacity in the infiltration basins and overflow onto the roadway would be very undesirable.
2. The Rain Garden Detail (appears to be a standard detail from NH Stormwater Manual) depicts an underdrain pipe, however, this pipe is not shown on the plans and there is no place to discharge the pipe. Also, it is not clear from the plans and details what vegetation will be planted in the bottom of the Rain Garden beyond what is shown on the landscaping plans. Please clarify.
3. There appears to be some offsite flow from the gravel area adjacent to the southwest corner of the site that will flow into the infiltration basin. Any off-site flow that contributes to the infiltration basin must be included in the calculations.
4. Add a construction detail for the pond overflows that depicts shape, slope and surface materials (assume it will be grassed overflow).

If you have any questions or need any additional information, please feel free to contact me at 603-413-6650 or on my cell phone at 603-731-1562 or by email at [MVignale@kvpllc.com](mailto:MVignale@kvpllc.com).

Sincerely,

**KV Partners LLC**



Michael S. Vignale, P.E.  
Principal Engineer

**Town of Milford**  
CONSERVATION COMMISSION

Town Hall  
1 Union Square  
Milford, NH 03055-4240  
(603) 249-0628  
Fax (603) 673-2273  
www.milford.nh.gov  
conservation@milford.nh.gov



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## MEMORANDUM

May 21, 2019

To: Milford Planning Board

**Re: Interdepartmental Review Map19 Lot 13&14  
Family Dental Care Facility Expansion**

To the Board,

The Conservation Commission reviewed this plan at their May 9, 2019 meeting. The Commission members have comments.

1. The MCC appreciates the extra care taken to design a more natural and aesthetic pleasing structure with the installation of rain gardens to manage the stormwater on site.
2. The MCC appreciates the care taken to select native species in the landscaping designs. These are species that will enable the landowner to have a wildlife friendly habitat in addition to a thriving business appearance.

The Commission appreciates the opportunity to review this application. We look forward to seeing a well-designed project that improves the natural resource functionality of the site.

Very Respectfully,

Chris Costantino  
Milford Conservation Commission | coordinator