



TOWN OF MILFORD, NH  
OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055

TEL: (603)249-0620

WEB: WWW.MILFORD.NH.GOV

**Date:** February 11, 2020  
**To:** Planning Board  
**From:** Kellie Shamel, Town Planner  
**Subject:** Frederick & Celia Lorden Trust (owner) and Ponemah Hills, LLC (applicant) – Review for acceptance and consideration of final approval for a major site plan to construct a 6,447 square foot, 9-unit multifamily residential building with a nine stall carport along with associated site improvements. The parcel is located at 0 Ponemah Hill Road in the Residence B District. Tax Map 43, Lot 61.

**BACKGROUND/PROPOSAL:**

The applicant is before the Board seeking approval of a site plan to construct a 6,447 square foot, 9-unit multifamily residential building with a nine stall carport, along with associated site improvements including service from municipal water and sewer. The property totals approximately 1.94 acres with 265 linear feet of frontage on Ponemah Hill Road. The property is currently undeveloped and lies within the Residential B zoning district. This will be the first public hearing for the application, however the Board will recall this property was conceptually discussed in November 2019.

**APPLICATION STATUS:**

The application is complete and ready to be accepted.

**NOTICES:**

Notices were sent to all property abutters on February 6, 2020.

**WAIVERS:**

No waivers have been requested.

**ZONING:**

The parcel is within the Residence B District. The intent of the Residence B District is to provide areas for increased residential density and other uses which are compatible with these residential densities.

The allowable density for a multi-family use in the Residential ‘B’ Zoning District is determined by Section 5.03.4.A which states that multi-family dwellings shall be served by both municipal sewerage and water systems and may have a maximum of five (5) units per acre. The total maximum allowable for the property pursuant to Section 5.03.4.A is 9 units (5 units x 1.91 acres).

**TRAFFIC AND ACCESS MANAGEMENT:**

Vehicular egress and access to the property will be from a single curb cut off of Ponemah Hill Road. Designated parking areas have been provided internally on site however emergency vehicle access and circulation is of concern. Please see comments from the Milford Fire Department and Ambulance Department.

The applicant should also confirm the site distance is adequate. There is concern about site distance to the west while exiting the site given the curving of the road.

Section 7.03 Sidewalks of the Development Regulations states that the Planning Board may require sidewalks for pedestrian traffic to provide a connection between the main entrances of business, housing or industrial establishments, parking areas and along public roadways. The Planning Board may also require sidewalks from the road to the main building entrance or along the road frontage if there is a reasonable expectation pedestrian patrons, residents, neighbors, children, shoppers or employees would be traveling to or from the site.

**PARKING:**

The proposed parking on site meets and exceeds the minimum requirements set forth in Section 6.05.4 Table of off Street Parking which requires two (2) spaces per unit: **9 units x 2 = 18 spaces required**. The plan shows a proposed 20 spaces plus 9 carport spots.

The Board may consider discussing with the applicant the possibility of reducing the amount of parking spaces given the amount of impervious surface onsite.

**OPEN SPACE/LANDSCAPING:**

As per Section 5.03.7 of the Zoning Ordinance, open space shall be provided for all uses, other than single-family and two-family dwellings in an amount equal not less than thirty (30) percent of the total lot area.

The property exceeds the minimum open space requirements (58,364 square feet / 1.340 acres) or 70% of the total parcel area.

The applicant has submitted a landscaping plan for the property. The plan incorporates existing vegetation and trees into the landscape plan along the front, sides and rear of the property. The plan also shows the installation of 3 maple trees and 5 lilac along Ponemah Hill Road at the front of the property.

Staff would recommend additional tree plantings along the frontage of Ponemah Hill Road in compliance with Section 6.08.7.A.2 requiring one tree per each 30 feet of landscaped strip along the access way. Staff would also recommend additional landscaping within the site in compliance with Section 6.08.6 requiring a minimum of 1 shrub for every 5 feet of building frontage and additional landscaping within the site that is compliant with Section 6.08.7.

The Board will need to determine if the existing vegetation being uses as landscape buffer on the periphery of the property is sufficient. Staff would recommend installing additional vegetation buffer in areas where there may be gaps.

**DRAINAGE/STORMWATER MANAGEMENT**

Subject to resolution of the comments cited in the engineering consultant's February 11, 2020 memorandum (See attached), the stormwater system design adequately mitigates the increase in runoff rate and volume caused by the proposed development as required by the Town's Regulations.

Staff would recommend the applicant consider ways to decrease the amount of impervious surface onsite such as reducing the number of parking spaces/carport spaces provided and/or reducing the width of the entrance roadway to 22 feet.

**BUILDING ELEVATIONS**

The applicant has provided the proposed building elevations for review and consideration by the Board (see attached). The proposed elevations provide the appropriate scale, massing and form when compared to the surrounding properties and buildings.

**INTERDEPARTMENTAL REVIEWS:**

**Ambulance:** No comments.

**Assessing:** No comments.

**Building Department:** No comments

**Code Enforcement/ Health:** No comments.

**Conservation Commission:** See attached comments.

**Fire Department:** See attached e-mail.

**Heritage Commission:** Comments due by 2/14/2020.

**Police Department:** No comments.

**Public Works:** See attached e-mail.

**Water/Sewer Utilities:** See attached e-mail.

**Drainage/Stormwater:** See attached letter from KV Partners.

**Community Development / Planning:**

1. Site Plan, Notes. Add a note stating sewer and driveway permits shall be obtained for this project.
2. General Comment. Staff would recommend the applicant consider ways to decrease the amount of impervious surface onsite such as reducing the number of parking spaces/carport spaces provided and/or reducing the width of the entrance roadway to 22 feet.
3. General Comment. Please confirm the site distance is adequate. There is concern about site distance to the west while exiting the site given the curving of the road.
4. Landscape Plan. Staff would recommend additional tree plantings along the frontage of Ponemah Hill Road in compliance with Section 6.08.7.A.2 requiring one tree per each 30 feet of landscaped strip along the access way (unless it can be shown that existing trees meet these requirements).
5. Landscape Plan. Staff would recommend additional landscaping within the site in compliance with Section 6.08.6 requiring a minimum of 1 shrub for every 5 feet of building frontage and additional landscaping within the site that is compliant with Section 6.08.7.

**STAFF RECOMMENDATIONS:**

The applicant should be prepared to address the comments raised by the Planning Board, Conservation Commission, Town Consultants, Staff, and public pertaining to the Site Plan. Staff recommends continuing the application to the next regularly scheduled meeting to allow the applicant time to address comments from municipal departments and KV Partners.



# Ponemah Pines Site Plan

Milford, NH

1 inch = 138 Feet



February 13, 2020



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



February 11, 2020

Kellie Shamel, Town Planner  
Town of Milford  
1 Union Square  
Milford, NH 03055

**Re: Ponemah Pines Site Plan, Ponemah Hill Road (Map 43, Lot 61)  
Drainage Review**

Dear Ms. Shamel:

We reviewed the 8-sheet plan set dated January 20, 2020 and Stormwater Management Report dated January 20, 2020 both prepared by Fieldstone Land Consultants in accordance with our agreement with the Town. Based on that review, we offer the following comments:

1. The stormwater mitigation relies completely on infiltration at a single basin at the northeast corner of the lot. Considering the basin is located very close to the abutting property line and roadway right-of-way line and all the stormwater from the site is being directed to a single location, there is a concern that the large concentration of stormwater may overflow the stormwater basin (if infiltration efficiencies decrease over time) onto abutting properties and the roadway swales which will be problematic. It is strongly recommended that the infiltration mitigation be spread around the site (there are clear opportunities for this) to prevent a concentration of flow at one point.
2. A section for test pit data was included in the Stormwater Management Report but no test pit data was provided.
3. Considering that infiltration is the primary source of mitigation, post construction testing of the infiltration devices should be provided to the Town to verify infiltration rates proposed have been accomplished.

If you have any questions or need any additional information, please feel free to contact me at 603-413-6650 or on my cell phone at 603-731-1562 or by email at [MVignale@kvpllc.com](mailto:MVignale@kvpllc.com).

Sincerely,

*KV Partners LLC*



Michael S. Vignale, P.E.  
Principal Engineer

**Town of Milford**  
CONSERVATION COMMISSION

Town Hall  
1 Union Square  
Milford, NH 03055-4240  
(603) 249-0628  
Fax (603) 673-2273  
www.milford.nh.gov  
conservation@milford.nh.gov



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## MEMORANDUM

February 14, 2020

To: Milford Planning Board

**Re: Interdepartmental Review Map 43 Lot 61  
Ponemah Pines LLC Site Development Plans  
19 Ponemah Hill Rd**

To the Board,

The Conservation Commission reviewed this plan at their February 13, 2020 meeting. The MCC has a few comments.

1. The members would like to attend a site visit to view the lot in context of the landscape impact. This seems to be a bit of an oasis for wildlife movement. We would like to see the development acknowledge and reasonably accommodate such uses, if present.
2. Has there been an invasives inventory taken? If invasives are present, what measures will be taken to prevent the spread of the invasives?
3. How much vegetation will be removed? Would the applicant consider replacing this vegetation with a comparable density to maintain the existing air quality, water retention, cooling and other benefits offered by the existing wooded lot?
4. Would the applicant consider the nesting season for wildlife using this lot when planning their alterations and vegetation removal?

The Commission appreciates the opportunity to review this application. We look forward to seeing a well-designed project that improves the natural resource functionality of the site.

Very Respectfully,

Chris Costantino  
Milford Conservation Commission

**From:** [Jason Smedick](#)  
**To:** [Kellie Shamele](#)  
**Subject:** RE: Planning Dept. IDR - Ponemah Hill Site Plan  
**Date:** Friday, January 31, 2020 1:55:42 PM

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Regarding FD access for the site. We have generally required access on at least three side of multi-family dwellings. That being said we are looking to have a 20' wide fire dept. access road around the back of the building, terminating at the end of the Ponemah Hill Rd. side of the building.

We would prefer the engineered grass paver system, however pavement or a hard, all weather maintainable surface will be acceptable as well.

Should you have any further questions, please do not hesitate to contact me.

Thank you.

Captain Jason A Smedick  
Milford Fire Department  
Bureau of Fire Prevention & Investigation  
Deputy Health Officer  
39 School Street  
Milford NH 03055  
603-249-0680

**From:** [Eric Schelberg](#)  
**To:** [Kellie Shamek](#)  
**Subject:** RE: Planning Dept. IDR - Ponemah Hill Site Plan  
**Date:** Monday, February 3, 2020 2:27:32 PM

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Hi Kellie,

Thank you for the update this morning regarding this IDR and my concerns regarding ambulance maneuvering in the driveway. Based on what you relayed regarding the fire department concerns – a need for vehicle access around the back of the building via a continuation of the driveway, this combined with moving the snow removal area further back (for plowed snow accumulation) or to an alternative location, would provide sufficient space for an ambulance to pull into the access way to the rear of the building, then back up into the snow removal area. This modification of the plan is acceptable to Ambulance for department operations.

I look forward to reviewing the building plans when they are submitted for review.

Please do not hesitate to contact me with questions.

Have a good day,

Eric



**From:** [Rick Riendeau](#)  
**To:** [Kellie Shamele](#)  
**Subject:** RE: Planning Dept. IDR - Ponemah Hill Site Plan  
**Date:** Monday, February 10, 2020 9:32:44 AM

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Kellie,

The trench patch detail is not per town of Milford, trenches are base paved flush full thickness, then milled 1 ½" , to a minimum distance of 2' each side of trench.

Rick Riendeau  
Director of Public Works  
Milford, NH  
[rriendeau@milford.nh.gov](mailto:rriendeau@milford.nh.gov)  
W 603-673-1662  
F 603-673-2206

**"Public Works makes it happen"**

**From:** [Brad Whitfield](#)  
**To:** [Kellie Shamel](#)  
**Cc:** [Kevin Stetson](#)  
**Subject:** Ponemah Pines - Ponemah Hill Rd.  
**Date:** Wednesday, January 29, 2020 11:05:54 AM

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Good morning Kellie, I have reviewed the sewer portion of these plans and it looks good. The only issue I have is the clean-out outside the building. Due to all of the units being on the same interior plumbing exiting the building, I recommend a manhole for access both ways. Spoke with Chad Branon today about this, he agreed and said he would make that change. Other than that sewer is good to go. Have a good day, Brad

**From:** [Kevin Stetson](#)  
**To:** [Kellie Shamei](#)  
**Subject:** RE: Planning Dept. IDR - Ponemah Hill Site Plan  
**Date:** Tuesday, January 28, 2020 2:27:15 PM

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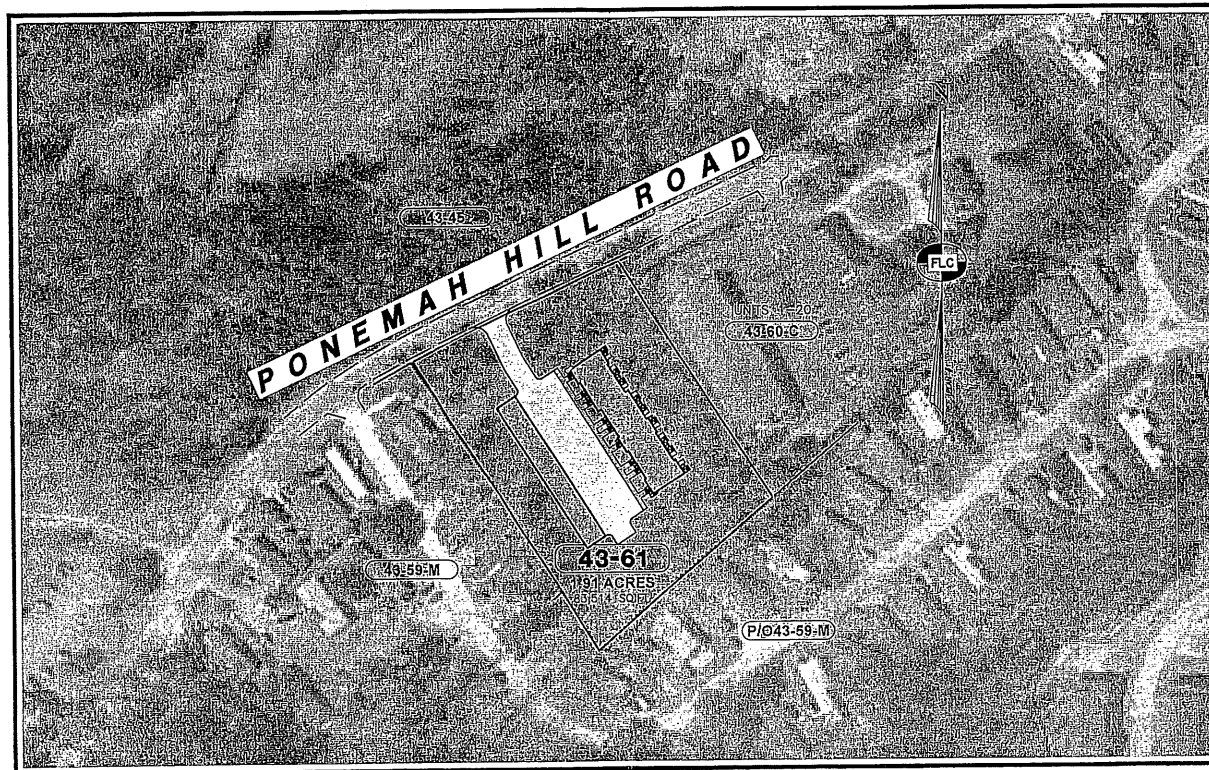
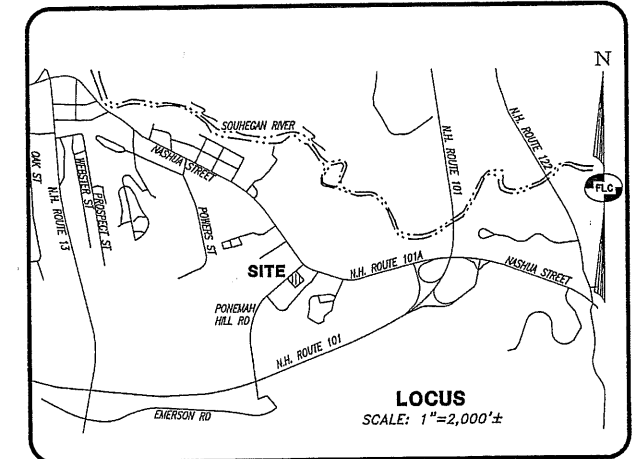
Hi Kellie,

For Water and Sewer the location of the service lines are ok but we should get more details on the Building's details for water and sewer connection to the building and the mains in the street.

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SITE DEVELOPMENT PLANS  
**PONEMAH PINES**

- TAX MAP 43, LOT 61 -  
 PONEMAH HILL ROAD  
 MILFORD, NEW HAMPSHIRE  
 JANUARY 20, 2020



SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	EX-1	EXISTING CONDITIONS PLAN
3	SP-1	SITE PLAN
4	GR-1	GRADING AND UTILITY PLAN
5	LT-1	LIGHTING AND LANDSCAPING PLAN
6	DT-1	CONSTRUCTION DETAILS
7	DT-2	CONSTRUCTION DETAILS
8	DT-3	EROSION CONTROL DETAILS

**TOWN OF MILFORD RECEIVED**  
**JAN 21 2020**  
 PB \_\_\_\_\_ ZBA \_\_\_\_\_ Office \_\_\_\_\_

**REFERENCE PLAN:**  
 \*PONEMAH HILL CONDOMINIUM - PONEMAH HILL ROAD, MILFORD, N.H. - PREPARED FOR - PONEMAH HILL CONDOMINIUM - C/O ROBERT MOULON - 9 PONEMAH HILL ROAD - MILFORD, N.H. 03055, SCALE: 1"=40', DATED SEPTEMBER 3, 1998 & REVISED THROUGH AUGUST 23, 2004 BY AUSTIN PARKHURST & RECORDED AS PLAN #35884 IN THE H.C.R.D.

**PREPARED FOR:**  
**PONEMAH PINES, LLC**  
 476 ROUTE 13 SOUTH, MILFORD NH 03055

**LAND OF:**  
**FREDERICK & CELIA LORDEN TRUST**  
 19 PONEMAH HILL ROAD, MILFORD NH 03055

OWNER'S SIGNATURE: *Anna Graw* DATE: 1/20/2020

**APPROVED**  
 MILFORD, NH PLANNING BOARD  
 SUBDIVISION #: \_\_\_\_\_  
 DATE APPROVED: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_



Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

**FIELDSTONE**  
**LAND CONSULTANTS, PLLC**

206 Elm Street, Milford, NH 03055  
 Phone: (603)-672-5456 Fax: (603)-413-5456  
 www.FieldstoneLandConsultants.com

1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.

2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.

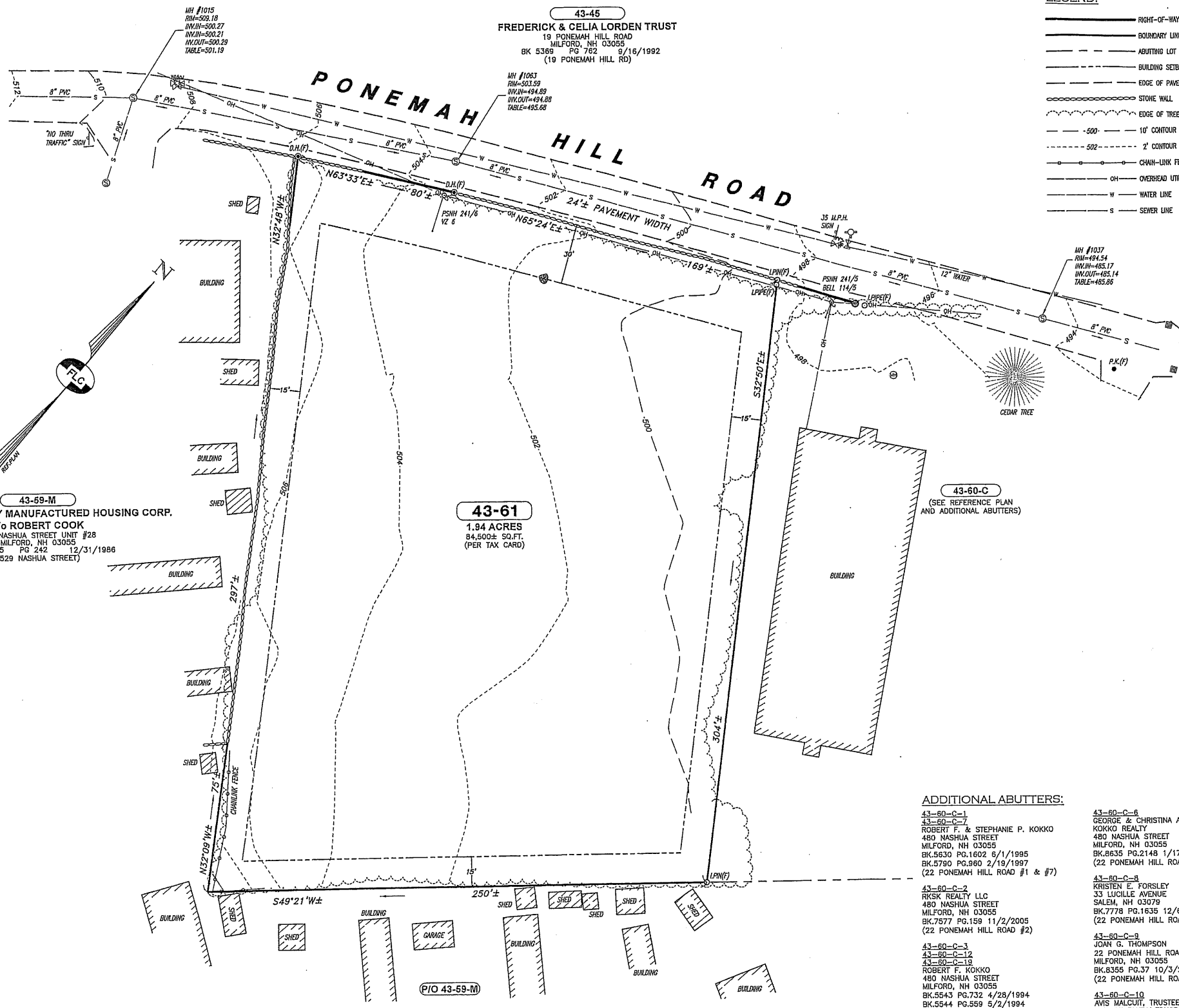
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION  
**DIGSAFE.COM**  
 OR DIAL 811  
 KNOW WHAT'S BELOW

REV.	DATE	DESCRIPTION	C/O	DR	CK

FILE: 2261CV00.dwg PROJ. NO. 2261.00 SHEET: CV-1 PAGE NO. 1 OF 8





**43-59-M**  
**SOUHEGAN VALLEY MANUFACTURED HOUSING CORP.**  
 c/o ROBERT COOK  
 529 NASHUA STREET UNIT #28  
 MILFORD, NH 03055  
 BK 3885 PG 242 12/31/1986  
 (529 NASHUA STREET)

**43-45**  
**FREDERICK & CELIA LORDEN TRUST**  
 19 PONEMAH HILL ROAD  
 MILFORD, NH 03055  
 BK 5365 PG 762 9/16/1992  
 (19 PONEMAH HILL RD)

**43-61**  
 1.94 ACRES  
 84,500± SQ.FT.  
 (PER TAX CARD)

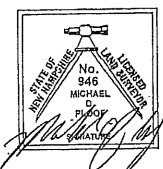
**43-60-C**  
 (SEE REFERENCE PLAN  
 AND ADDITIONAL ABUTTERS)

**ADDITIONAL ABUTTERS:**

- 43-60-C-1**  
 RISK REALTY LLC  
 480 NASHUA STREET  
 MILFORD, NH 03055  
 BK.5630 PG.1602 9/1/1995  
 BK.5790 PG.960 2/19/1997  
 (22 PONEMAH HILL ROAD #1 & #7)
- 43-60-C-2**  
 RISK REALTY LLC  
 480 NASHUA STREET  
 MILFORD, NH 03055  
 BK.7577 PG.159 11/2/2005  
 (22 PONEMAH HILL ROAD #2)
- 43-60-C-3**  
**43-60-C-12**  
**43-60-C-18**  
 ROBERT F. KOKKO  
 480 NASHUA STREET  
 MILFORD, NH 03055  
 BK.5543 PG.732 4/29/1994  
 BK.5544 PG.559 5/2/1994  
 BK.8495 PG.917 11/19/2012  
 (22 PONEMAH HILL ROAD #3, #12, & #19)
- 43-60-C-4**  
 BRIAN G. MURDOCK  
 2318 BOOTH ROAD  
 HONOLULU, HI 96813  
 BK.8494 PG.1227 11/15/12  
 (22 PONEMAH HILL ROAD #4)
- 43-60-C-5**  
 STEPHANIE P. KOKKO  
 480 NASHUA STREET  
 MILFORD, NH 03055  
 BK.8490 PG.1814 11/5/2012  
 (22 PONEMAH HILL ROAD #5)
- 43-60-C-6**  
 GEORGE & CHRISTINA ANDONOPOULOS  
 KOKKO REALTY  
 480 NASHUA STREET  
 MILFORD, NH 03055  
 BK.8635 PG.2148 1/17/2014  
 BK.8635 PG.2148 1/17/2014  
 (22 PONEMAH HILL ROAD #6)
- 43-60-C-8**  
 KRISTEN E. FORSLEY  
 33 LUCILLE AVENUE  
 SALEM, NH 03079  
 BK.7778 PG.1635 12/6/2006  
 (22 PONEMAH HILL ROAD #8)
- 43-60-C-9**  
 JOAN G. THOMPSON  
 22 PONEMAH HILL ROAD #9  
 MILFORD, NH 03055  
 BK.8355 PG.37 10/3/2011  
 (22 PONEMAH HILL ROAD #9)
- 43-60-C-10**  
 AVIS MALCUIT, TRUSTEE  
 MALCUIT FAMILY TRUST  
 12 ACDRN STREET  
 HAVERHILL, MA 01832  
 BK.8202 PG.1155 5/11/2010  
 (22 PONEMAH HILL ROAD #10)
- 43-60-C-11**  
 PATRICIA CHALMERS, CO-TRUSTEES  
 CHALMERS FAMILY REVOCABLE TRUST  
 P.O. BOX 1194  
 WILTON, NH 03098  
 BK.8859 PG.968 5/27/2016  
 (22 PONEMAH HILL ROAD #11)
- 43-60-C-13**  
 JOHN F. & LISA L. BIGL  
 22 PONEMAH HILL ROAD #13  
 MILFORD, NH 03055  
 BK.8302 PG.1770 3/17/2011  
 (22 PONEMAH HILL ROAD #13)
- 43-60-C-14**  
 GROVE STREET VILLAS LLC  
 37 TUMBLE ROAD  
 BEDFORD, NH 03110  
 BK.7067 PG.912 9/17/2003  
 (22 PONEMAH HILL ROAD #14)
- 43-60-C-15**  
 HOLLY E. PUTNAM  
 22 PONEMAH HILL ROAD #15  
 MILFORD, NH 03055  
 BK.6143 PG.1971 8/16/1999  
 (22 PONEMAH HILL ROAD #15)
- 43-60-C-16**  
 ROBERT E. JELLEY  
 15 LAUREL HILL ROAD  
 HOLLIS, NH 03049  
 BK.6561 PG.780 1/10/2002  
 (22 PONEMAH HILL ROAD #16)
- 43-60-C-17**  
 NANCY WOLITAS  
 22 PONEMAH HILL ROAD #17  
 MILFORD, NH 03055  
 BK.8944 PG.2573 2/15/2017  
 (22 PONEMAH HILL ROAD #17)
- 43-60-C-18**  
 DAVID YORK  
 22 PONEMAH HILL ROAD #18  
 MILFORD, NH 03055  
 BK.8760 PG.163 6/15/2015  
 (22 PONEMAH HILL ROAD #18)
- 43-60-C-20**  
 ERIC C. BEDELL  
 22 PONEMAH HILL ROAD #20  
 MILFORD, NH 03055  
 BK.8136 PG.1466 9/22/2009  
 (22 PONEMAH HILL ROAD #20)

**REFERENCE PLAN:**  
 "PONEMAH HILL CONDOMINIUM - PONEMAH HILL ROAD, MILFORD, N.H. - PREPARED FOR - PONEMAH HILL CONDOMINIUM - C/O ROBERT MOULON - 9 PONEMAH HILL ROAD - MILFORD, N.H. 03055", SCALE: 1"=40', DATED SEPTEMBER 3, 1998 & REVISED THROUGH AUGUST 23, 2004 BY AUSTIN PARKHURST & RECORDED AS PLAN #35894 IN THE H.C.R.D.

**CERTIFICATION:**  
 "I HEREBY CERTIFY THAT THE EXISTING CONDITIONS SHOWN WERE DEVELOPED FROM A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF AUGUST 2019 AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000)".  
 DATE: 8/20/20

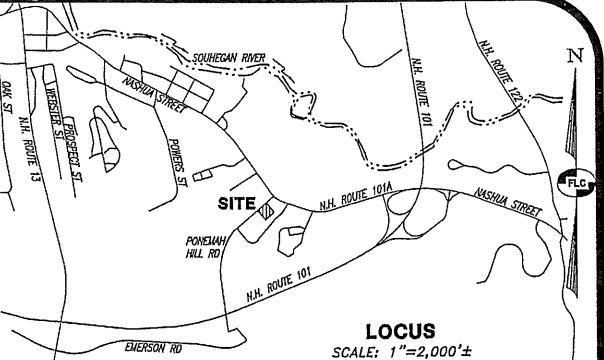


**LEGEND:**

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- - - ABUTTING LOT LINE
- - - BUILDING SETBACK LINE
- - - EDGE OF PAVED ROAD
- - - STONE WALL
- - - EDGE OF TREE LINE
- - - 10' CONTOUR INTERVAL
- - - 502' 2' CONTOUR INTERVAL
- - - CHAIN-LINK FENCE
- - - OVERHEAD UTILITY LINE
- - - WATER LINE
- - - SEWER LINE

- ⊙ (D.H.F) DRILL HOLE FOUND
- ⊙ (I.P.N.F) IRON PIN FOUND
- ⊙ (I.P.P.F) IRON PIPE FOUND
- UTILITY POLE & GUY WIRE
- ⊕ CATCH BASIN (SQUARE)
- ⊕ SEWER MAN-HOLE
- ⊕ WATER HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER SHUT-OFF
- ⊕ WELL
- ⊕ SINGLE SIGN POST
- ⊕ TAX MAP & LOT NUMBER

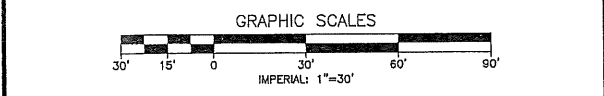
**43-61**  
 ▨ EXISTING BUILDING



- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP 43 LOT 61 IS THE CELIA E. LORDEN REVOCABLE TRUST DATED MAY 1, 1991 - 19 PONEMAH HILL ROAD, MILFORD, NH 03055. THE DEED REFERENCE FOR THE PARCEL IS VOL.7181 PG.928 DATED MARCH 1, 2004 IN THE H.C.R.D.
  - THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING IMPROVEMENTS ON TAX MAP 43 LOT 61.
  - THE TOTAL AREA OF TAX MAP 43 LOT 61 IS 1.94 ACRES OR 84,500± SQ.FT.
  - ZONING FOR THE PARCEL IS THE RESIDENCE-B DISTRICT
 

RESIDENCE-B DISTRICT	REQUIRED	LOT 43-61
MIN LOT AREA	20,000 SF	83,500± SF
MIN LOT FRONTAGE	150 FT	249± FT
MIN FRONT SETBACK	30 FT	30 FT
MIN SIDE SETBACK	15 FT	15 FT
MIN REAR SETBACK	15 FT	15 FT
MAX. BUILDING HEIGHT	35 FT	35 FT
MIN. OPEN SPACE	30%	100%

 FOR SINGLE FAMILY RESIDENTIAL USE WITH MUNICIPAL SEWER AND WATER CONNECTIONS THE MINIMUM LOT AREA IS 15,000 SQ.FT., THE MIN. LOT FRONTAGE IS 100 FEET.
  - THE IMPROVEMENTS SHOWN WERE DEVELOPED FROM A FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF AUGUST, 2019. HORIZONTAL ORIENTATION IS BASED ON THE REFERENCE PLAN. VERTICAL DATUM IS ASSUMED.
  - JURISDICTIONAL WETLANDS WERE NOT FOUND ON THE SUBJECT PARCEL PER AN ON SITE FIELD INVESTIGATION BY CHRISTOPHER A. GUIDA, C.W.S. IN AUGUST, 2019 IN ACCORDANCE WITH THE "CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".
  - THE SITE IS LOCATED WITHIN THE LEVEL 1 GROUNDWATER PROTECTION DISTRICT. THE SITE LIES OUTSIDE ALL WELLHEAD SANITARY RADIUS (400').
  - THE SITE IS CURRENTLY VACANT AND NOT SERVICED BY OVERHEAD UTILITIES OR BY MUNICIPAL SEWER AND WATER.
  - THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, TOWN OF MILFORD, NEW HAMPSHIRE, COMMUNITY NO. 330096, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 3301C0459D, DATED: SEPTEMBER 25, 2009.
  - BOUNDARY INFORMATION SHOWN IS BASED ENTIRELY ON THE REFERENCE PLAN AND DEED CITED HEREON AND IS NOT THE RESULT OF A PRECISE BOUNDARY SURVEY BY THIS OFFICE.
  - TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN EASEMENTS OR ENCUMBRANCES ON THE SUBJECT PARCEL.
  - LOCATION OF BUILDINGS WITHIN 50', ROADS WITHIN 200', AND INFILTRATION DRAINAGE SYSTEMS WITHIN 200' ARE SHOWN HEREON.



REV.	DATE	DESCRIPTION	C/O	DR	CK

**EXISTING CONDITIONS PLAN**  
**TAX MAP 43 LOT 61**  
**(PONEMAH HILL ROAD)**  
**MILFORD, NEW HAMPSHIRE**  
 PREPARED FOR:  
**PONEMAH PINES, LLC**  
 476 ROUTE 13 SOUTH, MILFORD NH 03055  
 LAND OF:  
**CELIA E. LORDEN REVOCABLE TRUST**  
 19 PONEMAH HILL ROAD, MILFORD NH 03055

SCALE: 1" = 30' AUGUST 29, 2019

Surveying • Engineering • Land Planning • Permitting • Septic Designs

206 Elm Street, Milford, NH 03055  
 Phone: (603) 672-5456 Fax: (603) 413-5456  
 www.FieldstoneLandConsultants.com

**LEGEND:**

**EXISTING FEATURES**

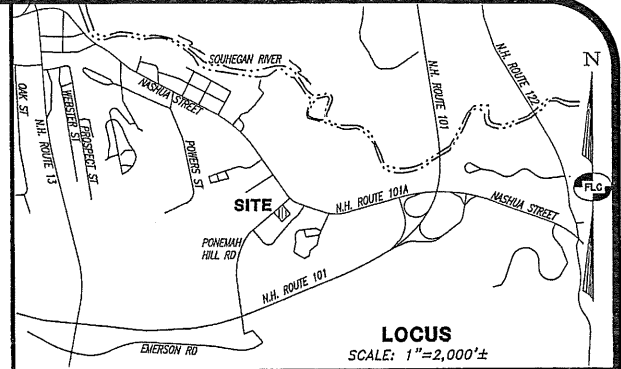
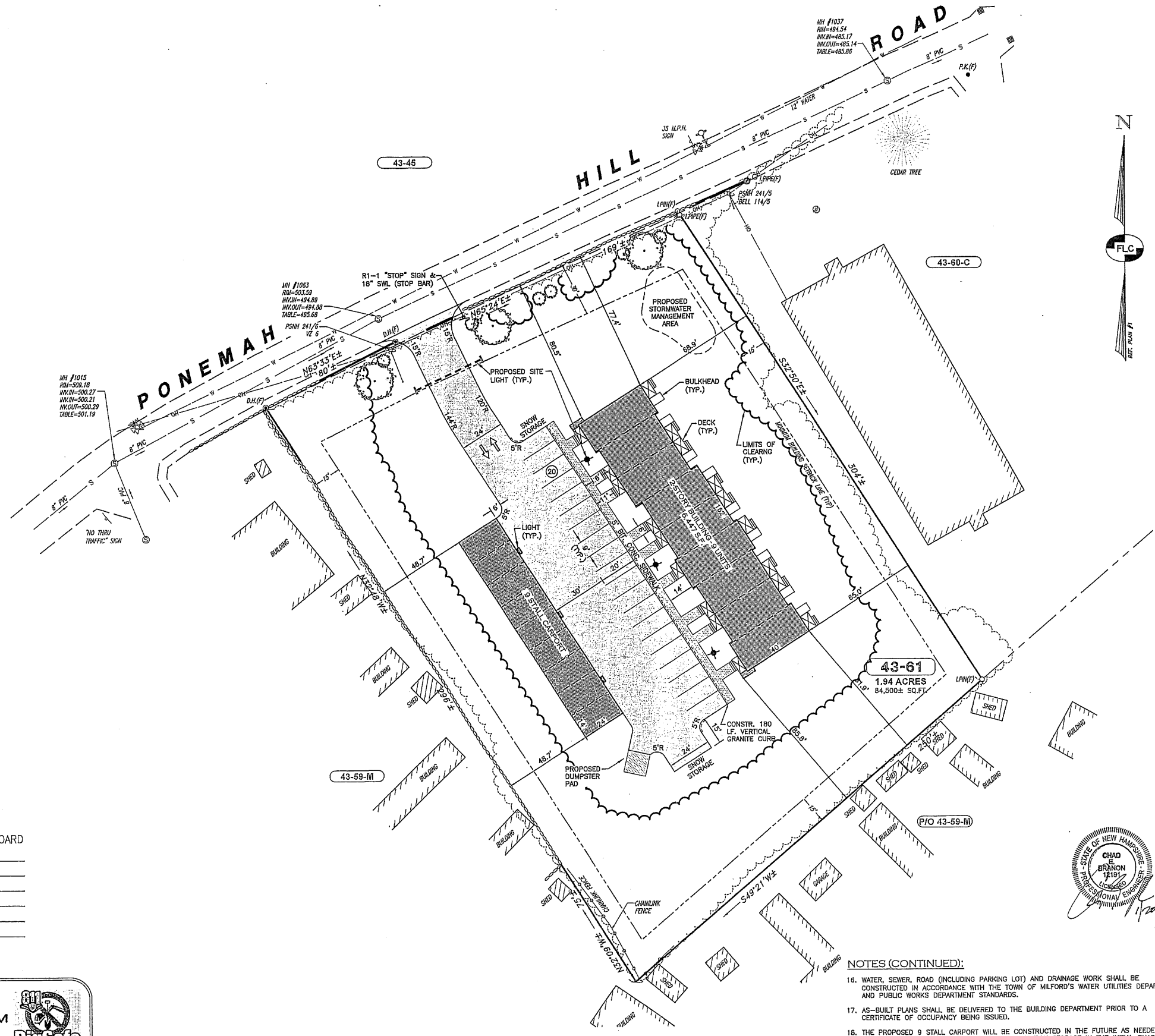
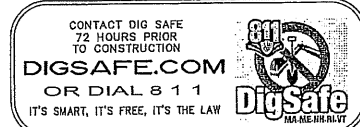
- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- - - ABUTTING LOT LINE
- - - BUILDING SETBACK LINE
- - - EDGE OF PAVED ROAD
- - - STONE WALL
- - - EDGE OF TREE LINE
- - - 10' CONTOUR INTERVAL
- - - 2' CONTOUR INTERVAL
- - - CHAINLINK FENCE
- - - OH OVERHEAD UTILITY LINE
- - - W WATER LINE
- - - S SEWER LINE
- ⊙ D.H.(F) DRILL HOLE FOUND
- ⊙ L.P.N.(F) IRON PIN FOUND
- ⊙ L.P.P.E.(F) IRON PIPE FOUND
- ⊙ P.K.(F) P.K. NAIL FOUND
- ⊙ UTILITY POLE & GUY WIRE
- ⊙ CATCH BASIN (SQUARE)
- ⊙ SEWER MAN-HOLE
- ⊙ WATER HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER SHUT-OFF
- ⊙ WELL
- ⊙ SINGLE SIGN POST
- 43-61 TAX MAP & LOT NUMBER

**PROPOSED FEATURES**

- - - EDGE OF PAVEMENT
- - - EDGE OF GRANITE CURB
- ▨ PAVED AREA
- ▨ CONCRETE AREA
- ▨ BUILDING
- ▨ DECK
- ▨ WALL LIGHT
- - - LIMITS OF CLEARING
- TRAFFIC FLOW (NOT PAINTED ARROWS)

**APPROVED**

MILFORD, NH PLANNING BOARD  
 SUBDIVISION #: \_\_\_\_\_  
 DATE APPROVED: \_\_\_\_\_  
 SIGNED: \_\_\_\_\_



- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP 43 LOT 61 IS THE FREDERICK & CELIA LORDEN TRUST - 19 PONEMAH HILL ROAD, MILFORD, NH 03055. THE DEED REFERENCE FOR THE PARCEL IS VOL.5369 PG.762 DATED SEPTEMBER 16, 1992 IN THE H.C.R.D.
  - THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED 9-UNIT, MULTI-FAMILY, 2-STORY BUILDING AND A 9 STALL CARPORT WITH ASSOCIATED SITE IMPROVEMENTS ON TAX MAP PARCEL 43-61 AS SHOWN.
  - THE TOTAL AREA OF TAX MAP PARCEL 43-61 IS 1.94 ACRES OR 84,500± S.F., WITH 249± FEET OF FRONTAGE ON PONEMAH HILL ROAD.
  - ZONING FOR THE ENTIRE PARCEL IS RESIDENTIAL-B DISTRICT:  
 MINIMUM LOT SIZE: 20,000 S.F.  
 MINIMUM LOT FRONTAGE: 150 FT.  
 MINIMUM BUILDING FRONT SETBACK: 30 FT.  
 MINIMUM BUILDING SIDE SETBACK: 15 FT.  
 MINIMUM BUILDING REAR SETBACK: 15 FT.  
 MAXIMUM BUILDING HEIGHT: 35 FT.  
 MINIMUM OPEN SPACE: 30%
  - THE SURFACE FEATURES AND BOUNDARY INFORMATION SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED AND A PRECISE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF AUGUST 2019. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. VERTICAL DATUM IS ASSUMED.
  - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
  - THERE ARE NO JURISDICTIONAL WETLANDS ON-SITE PER FIELD INVESTIGATION BY THIS OFFICE.
  - PARKING CALCULATION:  
 MULTI-FAMILY USE: 2 SPACES PER DWELLING UNIT.  
 PROPOSED BUILDING CONSISTS OF 9 DWELLING UNITS: 9 UNITS X 2 SPACES = 18 SPACES.  
 20 SPACES ARE PROVIDED ALONG WITH A 9 STALL CARPORT BUILDING.
  - THERE IS NO PROPOSED PROJECT SIGNAGE AT THIS TIME. FUTURE SIGNAGE WILL REQUIRE PERMITTING PRIOR TO INSTALLATION.
  - MINIMUM "OPEN SPACE" AREA: 30% OF LOT AREA REQUIRED OR 25,054 S.F. THIS SITE PLAN PROVIDES 58,364 S.F. (1,340 ACRES) OR 70% OF THE TOTAL PARCEL AREA OF 1.91 ACRES.
  - SOIL TYPE FOR THE PROPERTY IS HbD - HINCKLEY LOAMY SAND, 3 TO 8% SLOPES AND Cmc - CANTON FINE SANDY LOAM, 8 TO 15% SLOPES. SOURCE USDA NRCS WEB SOIL SURVEY.
  - THE SITE IS LOCATED WITHIN THE LEVEL 1 GROUNDWATER PROTECTION DISTRICT. THE SITE LIES OUTSIDE ALL WELLHEAD SANITARY RADIUS.
  - THE NEW MULTI-FAMILY BUILDING WILL BE SERVICED BY UNDERGROUND ELECTRIC & MUNICIPAL SEWER AND WATER AS SHOWN.
  - THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), HILLSBOROUGH COUNTY, TOWN OF MILFORD, NEW HAMPSHIRE, COMMUNITY NO. 330096, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0459D, DATED: SEPTEMBER 25, 2009.
  - ANY STUMPS OR DEBRIS ENCOUNTERED DURING CONSTRUCTION WILL BE GROUND AND USED FOR EROSION CONTROL OR REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.

REV.	DATE	DESCRIPTION	C/O	DR	CK

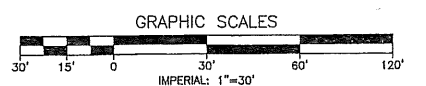
**SITE PLAN**  
**PONEMAH PINES**  
 TAX MAP 43 PARCEL 61 - PONEMAH HILL ROAD  
 MILFORD, NEW HAMPSHIRE  
 PREPARED FOR:  
**PONEMAH PINES, LLC**  
 476 ROUTE 13 SOUTH, MILFORD NH 03055  
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SCALE: 1" = 30' JANUARY 20, 2020

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- NOTES (CONTINUED):**
- WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
  - AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
  - THE PROPOSED 9 STALL CARPORT WILL BE CONSTRUCTED IN THE FUTURE AS NEEDED. THE AREA WILL BE GRADED AND USED FOR CONSTRUCTION STORAGE IN THE INITIAL PHASE.
  - THE PROPOSED BUILDING IS SUBJECT TO POLICE IMPACT FEES WHICH ARE TO BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION.
  - ALL EXTERIOR LIGHTING SHALL BE DOWNCAST PER THE MILFORD DEVELOPMENT REGULATIONS.
  - STORMWATER WILL BE CONVEYED VIA OPEN DRAINAGE SWALES TO AN INFILTRATION BASIN LOCATED IN THE NORTHEAST CORNER OF THE PROPERTY.

**LEGEND:**  
EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- STONE WALL
- EDGE OF TREE LINE
- 500' 10' CONTOUR INTERVAL
- 502' 2' CONTOUR INTERVAL
- CHAINLINK FENCE
- OH OVERHEAD UTILITY LINE
- W WATER LINE
- S SEWER LINE
- O.H.(F) DRILL HOLE FOUND
- I.P.W.(F) IRON PIPE FOUND
- I.P.P.(F) IRON PIPE FOUND
- P.K.(F) P.K. NAIL FOUND
- UTILITY POLE & GUY WIRE
- CATCH BASIN (SQUARE)
- S SEWER MAN-HOLE
- W WATER HYDRANT
- V WATER VALVE
- W WATER SHUT-OFF
- Y WELL
- S SINGLE SIGN POST
- 43-61 TAX MAP & LOT NUMBER

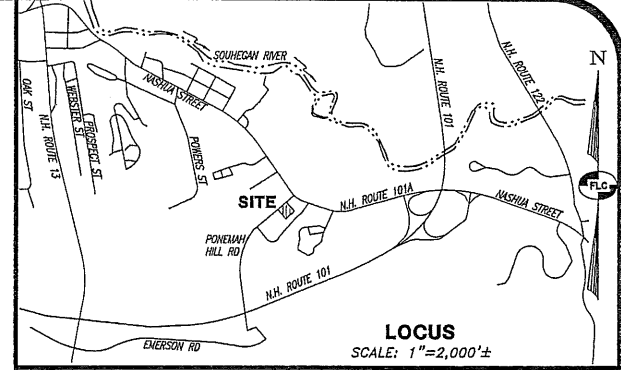
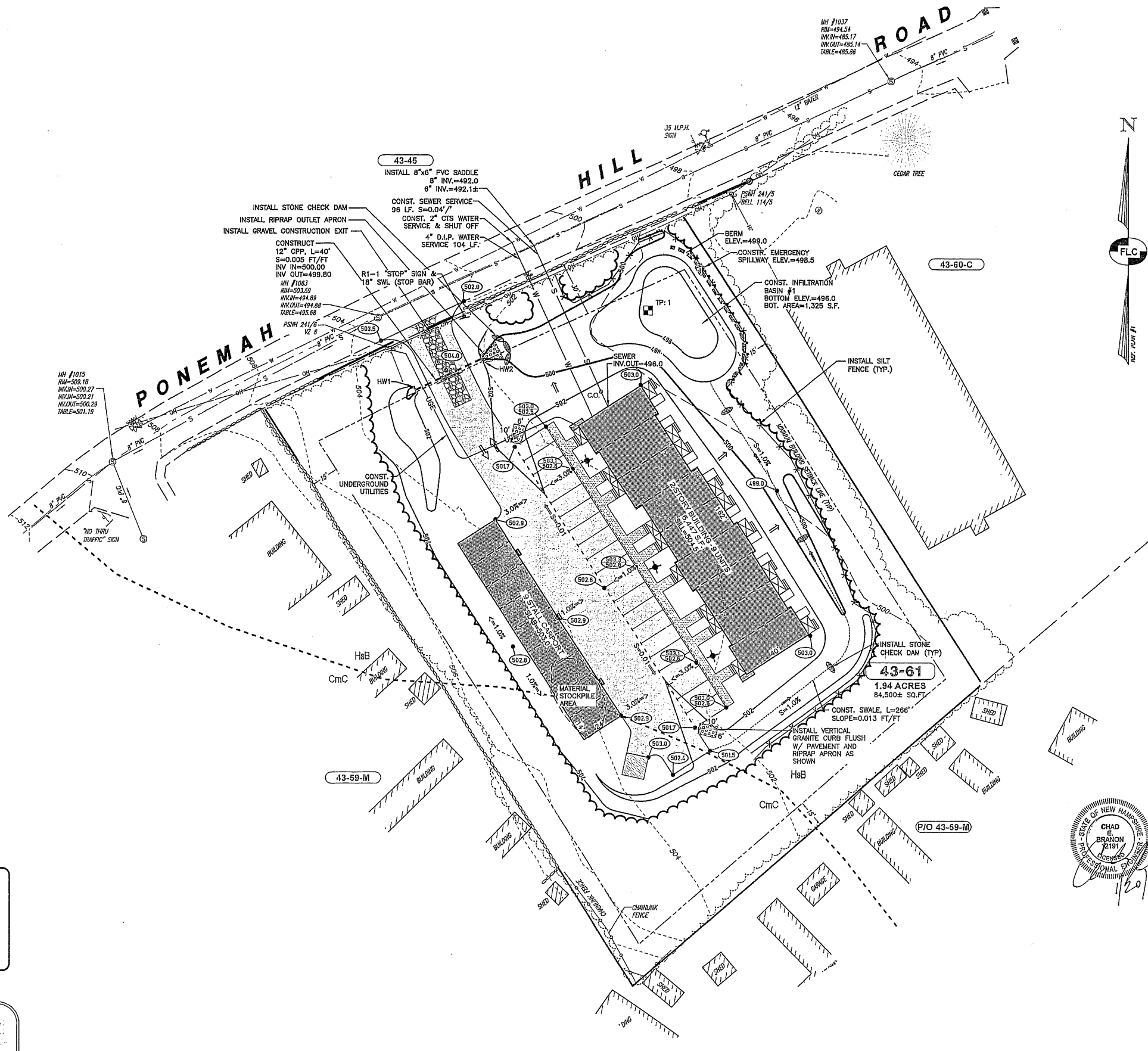
PROPOSED FEATURES

- EDGE OF PAVEMENT
- PAVED AREA
- PROPOSED BUILDING
- PROPOSED DECK
- WALL LIGHT
- 300 5 FT. CONTOUR
- 301 1 FT. CONTOUR
- 233.3 SPOT ELEVATION
- 233.5 SPOT ELEVATION AT CURB
- CAPE COD BERM
- W WATER LINE
- UGE UNDERGROUND UTILITY LINES
- S SEWER LINE
- C.O. SEWER SERVICE CLEAN OUT
- STONE CHECK DAM
- LIMITS OF CLEARING
- SWALE/CUTTER LINE
- DRAINAGE FLOW ARROW
- X X X TEMPORARY SILT FENCE
- STORM WATER DRAINAGE
- TEST PIT LOCATION
- DIRECTIONAL FLOW ARROWS

**NRCS SOILS LEGEND:**  
SOURCE: USDA NRCS WEB SOIL SURVEY

- SOIL BOUNDARY
- CmC CANTON FINE SANDY LOAM 8 TO 15% SLOPES, VERY STONY
- HsB HINCKLEY LOAMY SAND 3 TO 8% SLOPES

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION  
**DIGSAFE.COM**  
OR DIAL 8 1 1  
IT'S SMART, IT'S FREE, IT'S THE LAW



- GENERAL CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF MILFORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF MILFORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
  - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
  - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE MUNICIPAL DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
  - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF MILFORD FIRE DEPARTMENT REGULATIONS.
  - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED.
  - ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
  - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
  - ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
  - ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
  - STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH TOWN OF MILFORD SPECIFICATIONS.

REV.	DATE	DESCRIPTION	C/O	DR	CK

**GRADING & UTILITY PLAN**  
**PONEMAH PINES**  
TAX MAP 43 PARCEL 61 - PONEMAH HILL ROAD  
MILFORD, NEW HAMPSHIRE

PREPARED FOR:  
**PONEMAH PINES, LLC**  
476 ROUTE 13 SOUTH, MILFORD NH 03055

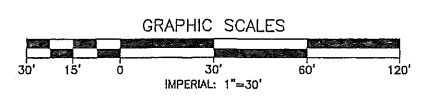
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SCALE: 1" = 30'      JANUARY 20, 2020

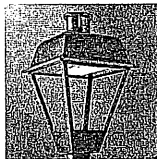
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**Streetworks**



**UTLD**  
TRADITIONAIRE  
LED DOWNLIGHT

AF24  
Solid State LED

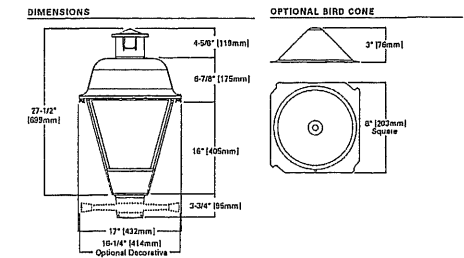
**P4**  
DECORATIVE POST TOP  
LUMINAIRE

Symbol	Qty	Label	Arrangement	Description
[Symbol]	3	P4	SINGLE	UTLD-AF24-S0-D-U-T4W-7030-HSS / RSS4A10SY9XX (10' POLE)
[Symbol]	3	W	SINGLE	MERU-LED-AC-DB / MTD 9' AFG

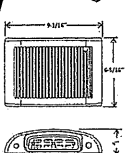
**ORDERING INFORMATION**

Product Family	Light Engine	Wattage Bucket	Driver	Voltage	Distribution
UTLD-Traditional LED Downlight	AF24 LED Light Engine	20-30W 30-50W 50-55W 60-70W 70-100W 90-90W 100-100W	0-10V Dimming (0-10V) ELV-DALI	0-10V Universal (120-277V) 2-120V 0-480V** 0-240V**	2x U-Type II Urban 3x U-Type II 10' U-Type V Square Wide 5WU-Type V Square Wide

Options (Add as Suffix)	Color	Accessories (Order Separately)
01-Blank 100V UL 1449 Surge Protection Device* 02-Blank 240V Surge Protection Device* 03-Blank 277V Surge Protection Device* 04-Blank Photocentric Recastable* 05-Blank Photocentric Recastable* 06-Blank Photocentric Recastable* 07-Blank Photocentric Recastable* 08-Blank Photocentric Recastable* 09-Blank Photocentric Recastable* 10-Blank Photocentric Recastable* 11-Blank Photocentric Recastable* 12-Blank Photocentric Recastable* 13-Blank Photocentric Recastable* 14-Blank Photocentric Recastable* 15-Blank Photocentric Recastable* 16-Blank Photocentric Recastable* 17-Blank Photocentric Recastable* 18-Blank Photocentric Recastable* 19-Blank Photocentric Recastable* 20-Blank Photocentric Recastable* 21-Blank Photocentric Recastable* 22-Blank Photocentric Recastable* 23-Blank Photocentric Recastable* 24-Blank Photocentric Recastable* 25-Blank Photocentric Recastable* 26-Blank Photocentric Recastable* 27-Blank Photocentric Recastable* 28-Blank Photocentric Recastable* 29-Blank Photocentric 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64-White 65-White 66-White 67-White 68-White 69-White 70-White 71-White 72-White 73-White 74-White 75-White 76-White 77-White 78-White 79-White 80-White 81-White 82-White 83-White 84-White 85-White 86-White 87-White 88-White 89-White 90-White 91-White 92-White 93-White 94-White 95-White 96-White 97-White 98-White 99-White 100-White	01-Decorative Ladder Rail for Field Installation (Black) 02-Decorative Ladder Rail for Field Installation (Black) 03-Decorative Ladder Rail for Field Installation (Black) 04-Decorative Ladder Rail for Field Installation (Black) 05-Decorative Ladder Rail for Field Installation (Black) 06-Decorative Ladder Rail for Field Installation (Black) 07-Decorative Ladder Rail for Field Installation (Black) 08-Decorative Ladder Rail for Field Installation (Black) 09-Decorative Ladder Rail for Field Installation (Black) 10-Decorative Ladder Rail for Field Installation (Black) 11-Decorative Ladder Rail for Field Installation (Black) 12-Decorative Ladder Rail for Field 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**MBRU Series**



**PRODUCT DESCRIPTION**

The MBRU Series is an architectural, low-profile roadway light, offering "downward" cut-off, AC and emergency lighting with powerful LED illumination. The housing is fully enclosed and gasketed, and has an IP67 rating. Designed for wet weather and universal KID entrance in the pole for easy installation to meet standard site installation. Includes a 12" x 12" x 12" LED module every 12" in the top, removal of the housing. Illumination provided by 8 high power LEDs which achieve 1,600 lumens in AC and 600 lumens in emergency LED color at 4000K.

Ordering Example	MBRU-AC-DB	MBRU-LED	MBRU-LED
Ordering Example	MBRU-AC-DB	MBRU-LED	MBRU-LED

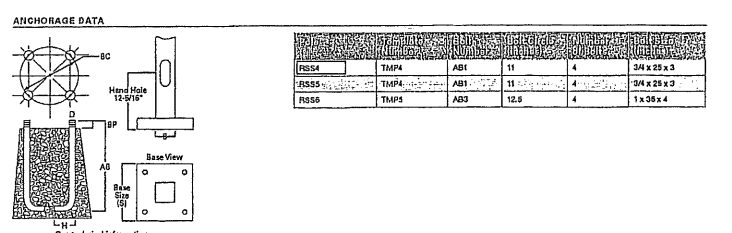
**Steel Poles**



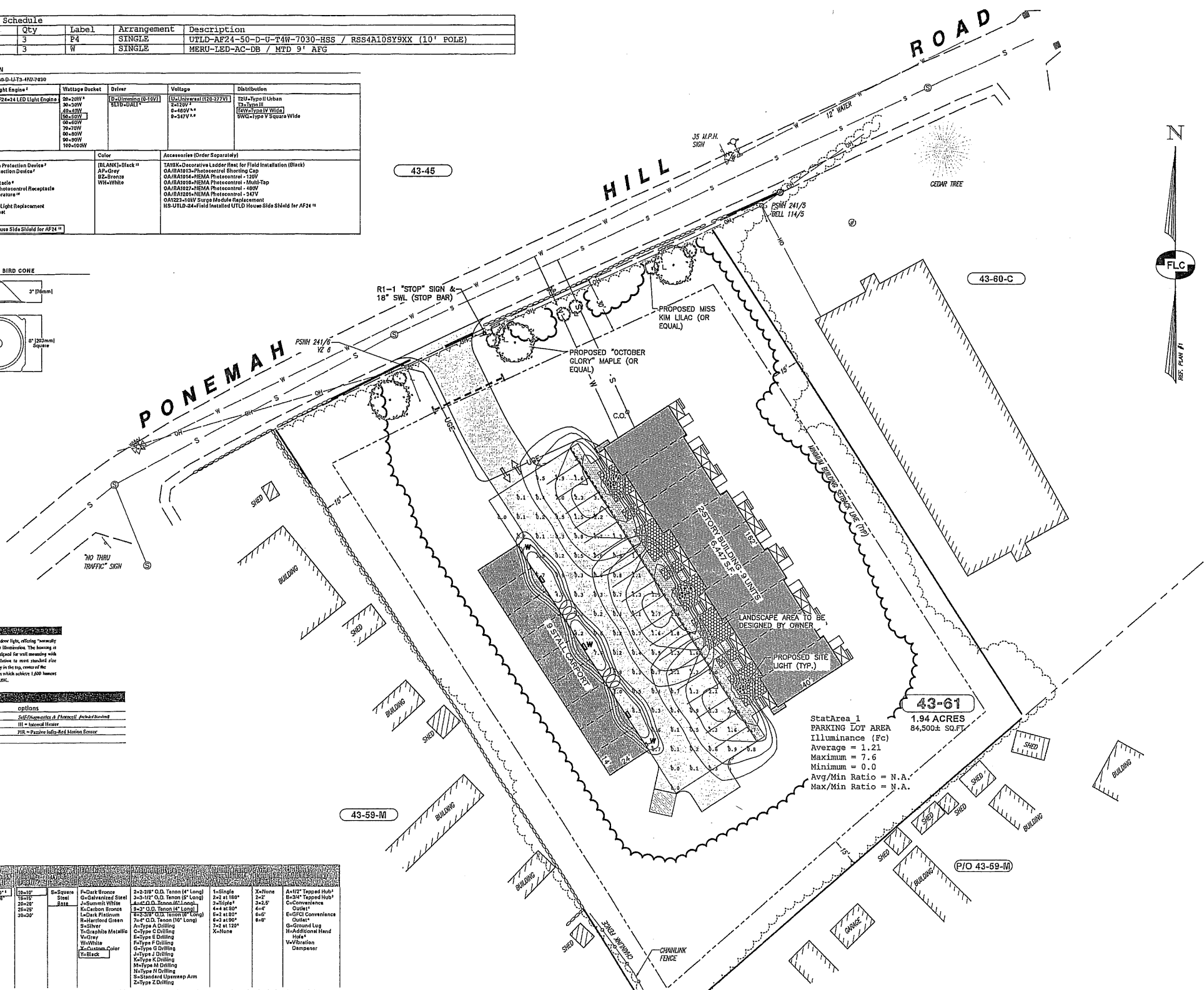
**RSS ROUND STRAIGHT STEEL**

Ordering Example	RSS4	RSS5	RSS6
Ordering Example	RSS4	RSS5	RSS6

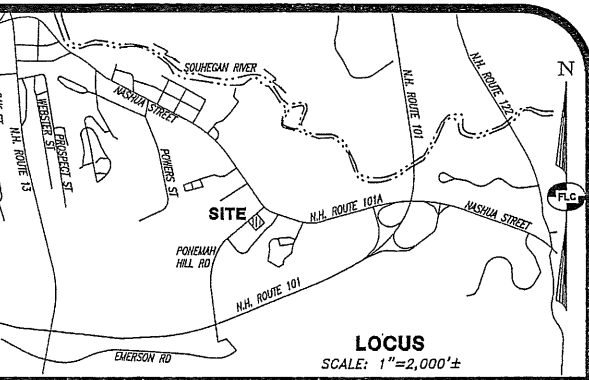
**NOTES:** 1. All shaft elevations, 2. Spacing poles are 30' O.C., unless otherwise specified. 3. Spacing poles are 30' O.C., unless otherwise specified. 4. Cables to be located 4' above trees and on same side of pole as hand hole, unless otherwise specified. 5. Cables to be located 4' above trees and on same side of pole as hand hole, unless otherwise specified. 6. Additional hand hole is located 12' below pole top and 90" from standard hand hole location, unless otherwise specified. 7. Available in 4' shaft elevations.



See technical information.



**43-61**  
StatArea 1  
PARKING LOT AREA  
1.94 ACRES  
84,500± SQ.FT.  
Average = 1.21  
Maximum = 7.6  
Minimum = 0.0  
Avg/Min Ratio = N.A.  
Max/Min Ratio = N.A.

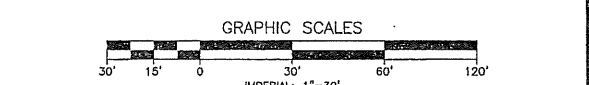


**LEGEND:**

EXISTING FEATURES	PROPOSED FEATURES
[Symbol] RIGHT-OF-WAY LINE	[Symbol] EDGE OF PAVEMENT
[Symbol] BOUNDARY LINE	[Symbol] PAVED AREA
[Symbol] ABUTTING LOT LINE	[Symbol] PROPOSED BUILDING
[Symbol] BUILDING SETBACK LINE	[Symbol] PROPOSED DECK
[Symbol] EDGE OF PAVED ROAD	[Symbol] WALL LIGHT
[Symbol] STONE WALL	[Symbol] CAPE COD BERM
[Symbol] EDGE OF TREE LINE	[Symbol] WATER LINE
[Symbol] 10' CONTOUR INTERVAL	[Symbol] UGE UNDERGROUND UTILITY LINES
[Symbol] 50' CONTOUR INTERVAL	[Symbol] S SEWER LINE
[Symbol] CHAINLINK FENCE	[Symbol] S SEWER SERVICE CLEAN OUT
[Symbol] OH OVERHEAD UTILITY LINE	[Symbol] LIMITS OF CLEARING
[Symbol] W WATER LINE	
[Symbol] S SEWER LINE	

**LANDSCAPING LEGEND:**

[Symbol] DRILL HOLE FOUND	[Symbol] L SYRINGA PATULA: 18"-24" B&B (MISS KIM LILAC) OR EQUAL
[Symbol] IRON PIN FOUND	[Symbol] ACER RUBRUM "OCTOBER GLORY" MAPLE OR EQUAL 2-1/2" CAL / 9 FEET WHEN PLANTED
[Symbol] IRON PIPE FOUND	
[Symbol] P.K. NAL FOUND	
[Symbol] UTILITY POLE & GUY WIRE	
[Symbol] CATCH BASIN (SQUARE)	
[Symbol] SEWER MAN-HOLE	
[Symbol] WATER HYDRANT	
[Symbol] WATER VALVE	
[Symbol] WATER SHUT-OFF	
[Symbol] WELL	
[Symbol] SINGLE SIGN POST	
[Symbol] TAX MAP & LOT NUMBER	



REV.	DATE	DESCRIPTION	C/O	DR	CK

**LIGHTING & LANDSCAPING PLAN**  
**PONEMAH PINES**  
TAX MAP 43 PARCEL 61 - PONEMAH HILL ROAD  
MILFORD, NEW HAMPSHIRE

PREPARED FOR:  
**PONEMAH PINES, LLC**  
476 ROUTE 13 SOUTH, MILFORD NH 03055

LAND OF:  
**FREDERICK & CELIA LORDEN TRUST**  
19 PONEMAH HILL ROAD, MILFORD NH 03055

SCALE: 1" = 30' JANUARY 20, 2020

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

**FIELDSTONE**  
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055  
Phone: (603) 672-5456 Fax: (603) 413-5456  
www.FieldstoneLandConsultants.com

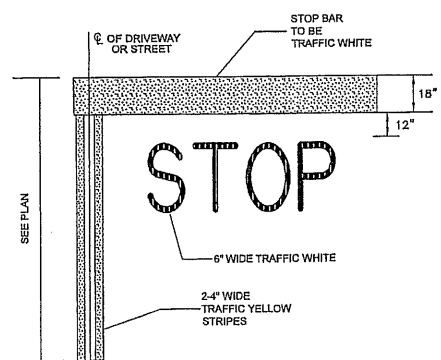


- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MILFORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-603-344-7233 IN MA).
- COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
- ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
- THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AOR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

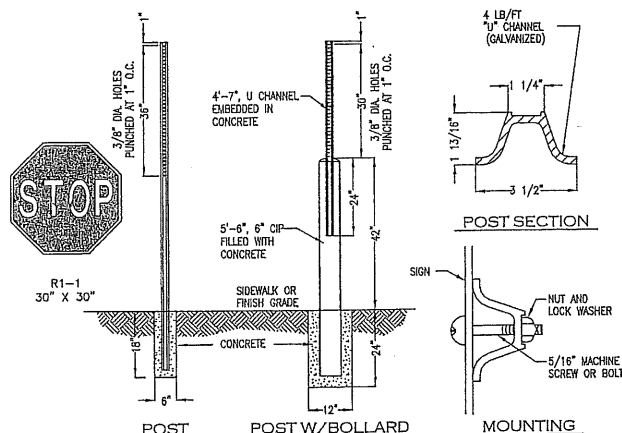
**GENERAL CONSTRUCTION NOTES** DT-1

- CATCH BASINS, PIPE INLETS, DRAINAGE BASINS AND SPILLWAYS SHALL BE INSPECTED AFTER EVERY MAJOR STORM FOR POLLUTANT BUILD-UP. POLLUTANTS CONSIST OF SEDIMENTS, DEBRIS AND/OR FLOATING HYDROCARBONS.
- IN THE ABSENCE OF A MAJOR STORM, THE SYSTEM MUST BE CHECKED AT LEAST TWICE A YEAR, IN THE SPRING AND FALL FOR HYDROCARBON ACCUMULATION.
- IF, UPON INSPECTION, A SIGNIFICANT AMOUNT OF POLLUTANTS HAVE ACCUMULATED IN ANY OF THE CATCH BASINS, THEN THE POLLUTANTS MUST BE REMOVED AND DISPOSED OF PROPERLY.
- A SIGNIFICANT AMOUNT OF POLLUTANTS SHALL BE DEFINED AS A NOTICEABLE SHEEN ON THE WATER SURFACE IN THE SWAMP OF ANY CATCH BASINS AND/OR WHEN SEDIMENTS HAVE ACCUMULATED TO WITHIN 6 INCHES BELOW THE OUTLET OF ANY OF THE CATCH BASINS. WHEN EITHER OF THESE SITUATIONS ARE DISCOVERED UPON THE REQUIRED SEMIANNUAL INSPECTION, THEN THE STEPS STATED ABOVE SHALL BE COMPLETED.
- THE DRAINAGE BASIN EMBANKMENTS SHOULD BE INSPECTED FOR RODENT BURROWS, BARE SPOTS, WET AREAS OR EROSION. ANY DEFICIENCIES SHALL BE CORRECTED TO PREVENT ADDITIONAL DAMAGE.
- PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE ERODED AREA OF THE OUTLET.

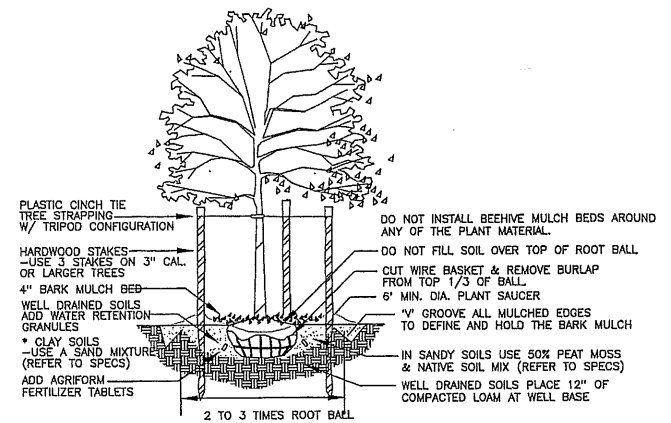
**STORMWATER MAINTENANCE NOTES** DT-1



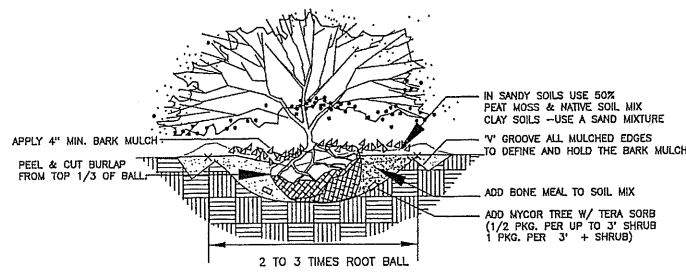
STOP BAR DETAIL DT-1



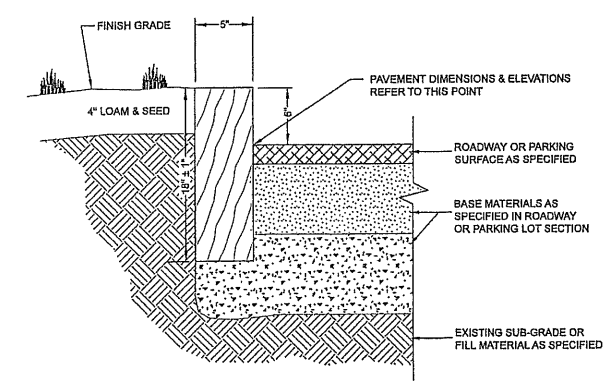
SIGN POST - STANDARD & W/BOLLARD DT-1



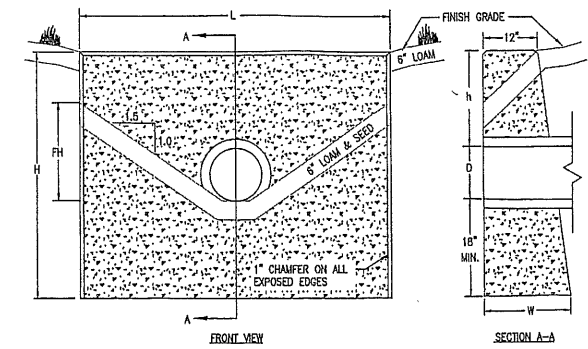
DECIDUOUS TREE PLANTING DETAIL DT-1



B & B SHRUB PLANTING DETAIL DT-1



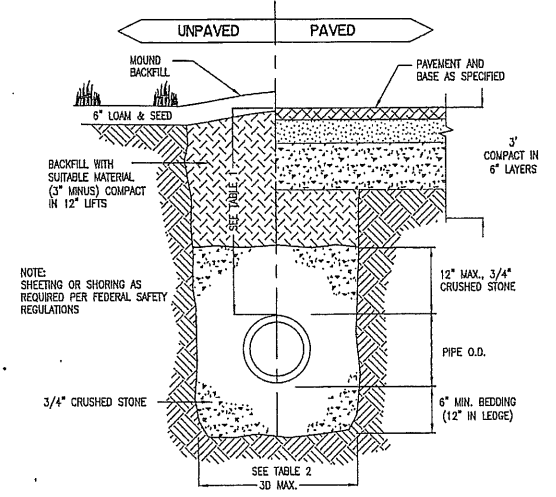
CURB - VERTICAL GRANITE DT-1



CULVERT DAM.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	TOP HEIGHT	HEADWALL BOTTOM
D	L	H	PH	h	W
INCHES					
FEET & INCHES					
12	4'-3"	3'-9"	1'-1"	1'-3"	1'-11.25"
15	6'-0"	4'-3"	1'-7"	1'-8"	2'-0.75"
18	7'-0"	4'-8"	1'-10"	1'-8"	2'-1.50"
24	9'-0"	5'-0"	2'-4"	1'-8"	2'-3.00"

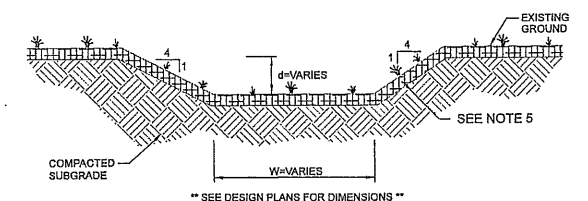
HEADWALL SHALL BE STEEL REINFORCED AND CONFORM TO NHDOT STANDARD PLAN HW-2, LAST REVISED JUNE 16, 2010.

**HEADWALL - PRECAST CONCRETE (HW1 & HW2)** DT-1



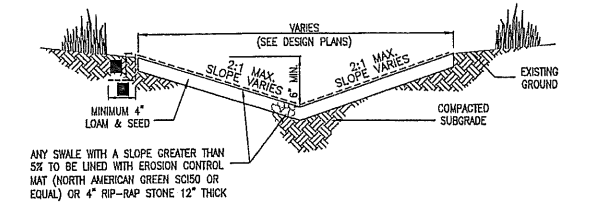
LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
GRAVEL ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

**DRAINAGE TRENCH (TYPICAL)** DT-1

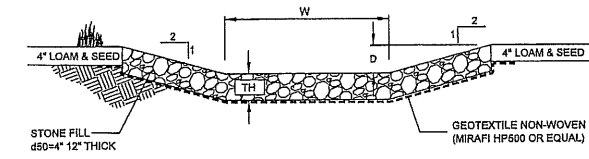


- INFILTRATION BASIN CONSTRUCTION NOTES**
- REMOVE ALL ORGANIC MATERIAL FROM AREA BELOW PROPOSED INFILTRATION BASINS AND TO EXPOSE UNDERLYING SOILS.
  - CARE SHALL BE TAKEN TO PROTECT THE UNDERLYING SOILS FROM CONSTRUCTION TRAFFIC AND THE DISCHARGE OF SEDIMENT LADEN RUNOFF.
  - ONCE EXCAVATED AND PRIOR TO FILLING, THE UNDERLYING SOILS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH LEVELING DRAG.
  - FILL BELOW THE BASIN AND/OR LEACHING TRENCHES SHALL CONFORM TO THE SPECIFICATIONS FOR NHDOT ITEM 209.1, "GRANULAR BACKFILL".
  - THE BASIN FLOOR OF THE INFILTRATION BASINS SHALL BE PREPARED USING ONE OF THE FOLLOWING METHODS:
    - 6" LAYER OF COURSE SAND OR 3/8" PEA GRAVEL;
    - GRASS TURF WITH A HIGH INFILTRATION RATE (HIGH SAND CONTENT) THAT CAN BE INUNDATED FOR OVER 72 HOURS;
    - COARSE ORGANIC MATERIAL SUCH AS AN EROSION CONTROL MIX OR COMPOSTED MULCH THAT IS TILLED INTO THE SOIL, SOAKED, AND ALLOWED TO DRY.
  - DO NOT PLACE INFILTRATION BASINS/TRENCHES INTO SERVICE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

**INFILTRATION BASIN SECTION** DT-1

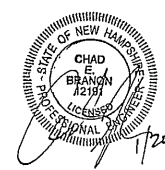


TYPICAL SWALE DETAIL DT-1



STRUCTURE	W	D	TH	d50
INFILTRATION BASIN	4 FT	6"	12"	4"

**EMERGENCY SPILLWAY DETAIL** DT-1



CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION  
**DIGSAFE.COM**  
 OR DIAL 811  
 CALL 811 - KNOW WHAT'S BELOW  
**DigSafe**  
 MARINE RVLT

**CONSTRUCTION DETAILS**  
**PONEMAH PINES**  
 TAX MAP 43 PARCEL 61 - PONEMAH HILL ROAD  
 MILFORD, NEW HAMPSHIRE  
 PREPARED FOR:  
**PONEMAH PINES, LLC**  
 476 ROUTE 13 SOUTH, MILFORD NH 03055  
 LAND OF:  
**FREDERICK & CELIA LORDEN TRUST**  
 19 PONEMAH HILL ROAD, MILFORD NH 03055  
 SCALE: NOT TO SCALE JANUARY 20, 2020  
 Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs  
**FIELDSTONE**  
 LAND CONSULTANTS, PLLC  
 206 Elm Street, Milford, NH 03055  
 Phone: (603) 672-5456 Fax: (603) 413-5456  
 www.FieldstoneLandConsultants.com  
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- NOTES:  
 1. MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE 6 INCHES.  
 2. PIPE AND JOINT MATERIALS  
 A. PLASTIC SEWER PIPE  
 1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
- | ASTM STANDARDS | GENERIC PIPE MATERIAL | APPROVED SIZES              |
|----------------|-----------------------|-----------------------------|
| D3034          | PVC (SOLID WALL)      | 6" THROUGH 18" (SDR 35)     |
| F797           | PVC (SOLID WALL)      | 18" THROUGH 27" (1-1 & 1-2) |
| F798           | PVC (SOLID WALL)      | 4" THROUGH 18" (1-1 TO 1-3) |
| F794           | PVC (ROBBED WALL)     | 8" THROUGH 36"              |
| D2680          | ABS (COMPOSITE WALL)  | 8" THROUGH 15"              |
2. JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.  
 ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2880, POLYMER COMPOUNDING SHALL BE TO ASTM D-1789 (CLASS 322).  
 JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.

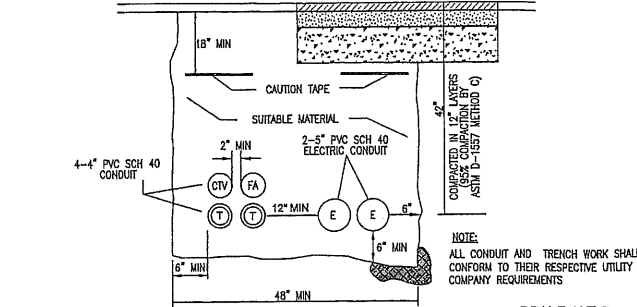
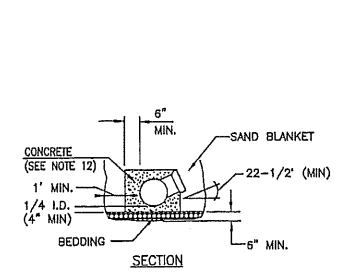
- B. DUCTILE-IRON PIPE, FITTINGS AND JOINTS.  
 1. DUCTILE-IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:  
 A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.  
 A21.51 CENTRICALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.  
 2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:  
 A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.

3. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.  
 4. JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.  
 5. "Y" AND "T" WHERE A "Y" OR "T" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURER'S INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR BORED OPENING. THE SADDLE SHALL BE PROTECTED WITH A SLEEVE HAVING STIFFENING CLOTH (OR OTHER SUCH MATERIAL) AROUND THE JOINT OR APPLYING MORTAR TO HOLD THE CONNECTION AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED, AS SHOWN IN THE TYPICAL CHIMNEY DETAIL, 15" DIAMETER.  
 6. BUILDING SEWER INSTALLATION THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4" INCH LAYER OF CRUSHED STONE AND FOR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-LAY FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH. A CLEANOUT SHALL BE INSTALLED OUTSIDE THE BUILDING (SEE DETAIL) AND A MINIMUM OF ONE (1) EVERY ONE-HUNDRED (100) FEET THEREAFTER.

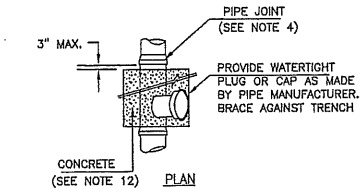
7. TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):  
 A. AN OBSERVATION "Y" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "Y". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.  
 B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLUORESCENT DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST MANHOLE DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RE-LAID SO AS TO ASSURE WATER-TIGHTNESS.

8. ILLEGAL CONNECTIONS NOTHING BUT SANITARY WASTE FLOW FROM THE BUILDING TOILETS SINKS, KITCHEN, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.  
 9. BUILDING WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.  
 10. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-97.  
 100X PASSING 1 INCH SCREEN  
 90-100X PASSING 3/4 INCH SCREEN  
 20-25X PASSING 3/8 INCH SCREEN  
 0-10X PASSING #4 SIEVE  
 0-5X PASSING #6 SIEVE

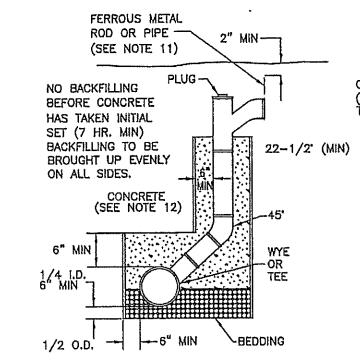
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2 TO 1/2 INCH) SHALL BE USED.  
 11. LOCATION THE LOCATION OF THE "Y" OR "T" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE "Y" OR "T", AS DESCRIBED IN THE TYPICAL CHIMNEY DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEWINDER.  
 12. CONCRETE CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE VT. AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:  
 CEMENT: 5.0 BAGS/CY. WATER: 5.75 GALS/BAG CEMENT  
 AGGREGATE: 1 INCH MAX  
 13. CHIMNEYS IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE BLDG. CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



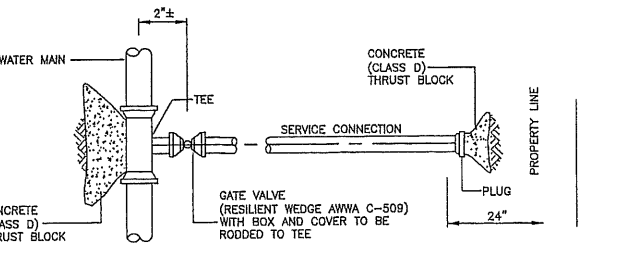
TYPICAL UTILITY TRENCH SCALE: N.T.S. DT-2



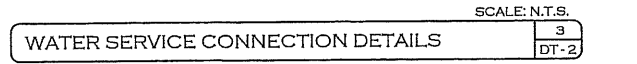
CONCRETE FULL ENCASEMENT (SEE NOTE 12) SCALE: N.T.S. DT-2



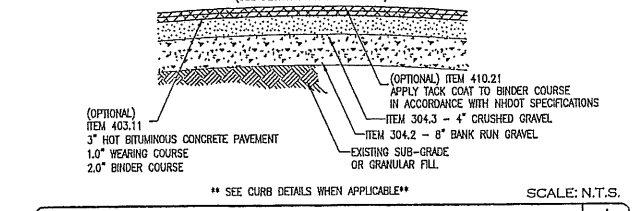
CHIMNEY (SEE NOTE 13) SCALE: N.T.S. DT-2



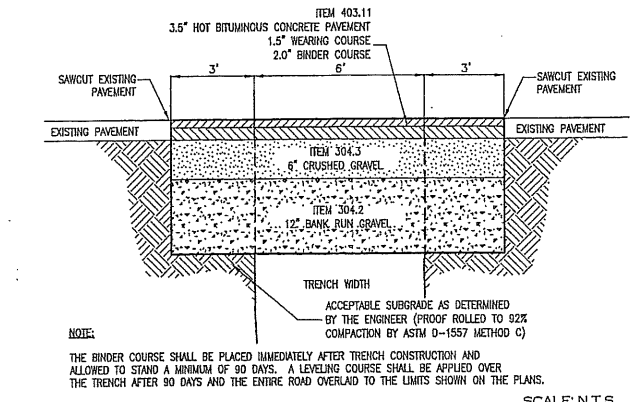
SERVICE CONNECTION 4" AND OVER TAPPING SADDLE TO BE USED FOR ALL LINES GREATER THAN 1-1/2" SCALE: N.T.S. DT-2



WATER SERVICE CONNECTION DETAILS SCALE: N.T.S. DT-2



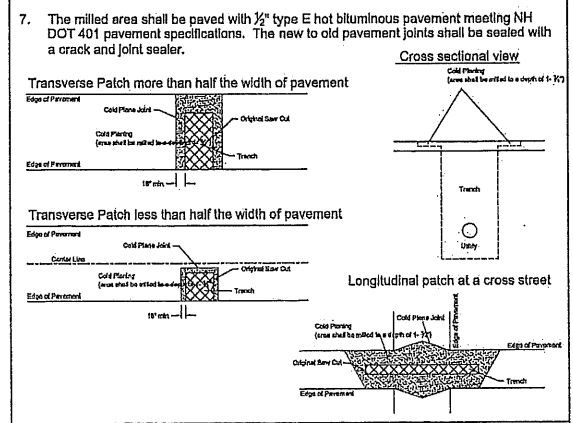
TYPICAL PAVEMENT SECTION SCALE: N.T.S. DT-1



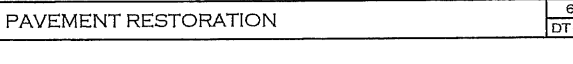
PAVEMENT TRENCH PATCH SCALE: N.T.S. DT-2

Procedures for repairs of trench cuts on City roads

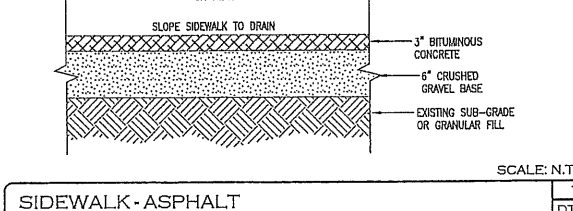
- Pavement shall be sawcut along the ditch line. Any undetermined areas that inadvertently develop shall have the projecting pavement saw cut and removed.
- Trench backfill shall be compacted in exceptional lifts according to Street Opening Permit or approved plans.
- A 4 inch depth - 3/4" type B hot bituminous patch shall be laid in two (2") inch depth lifts.
- The patch shall be allowed to settle for a minimum of 60 days (or time determined by Director of DPW).
- After suitable exposure to traffic compaction as determined by the Director of Public Works, the pavement shall be milled to a depth of 1 3/4" providing a minimum 18 inch overlap onto existing undisturbed pavement.
- Care must be taken to identify and offset the location of the joint before cold planing.
- The milled area shall be paved with 1/2" type E hot bituminous pavement meeting NH DOT 401 pavement specifications. The new to old pavement joints shall be sealed with a crack and joint sealer.



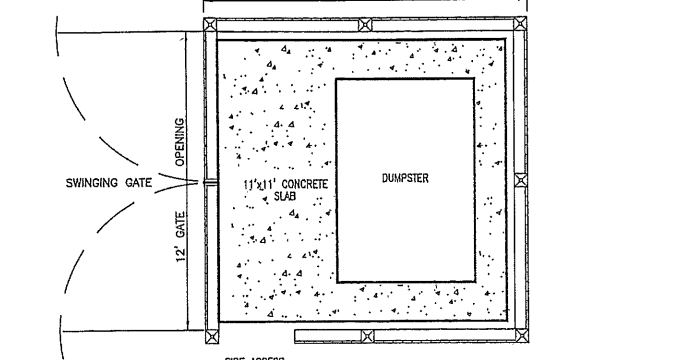
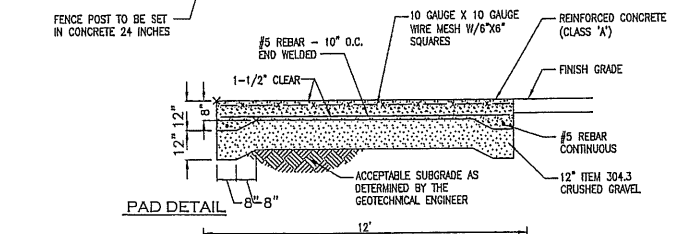
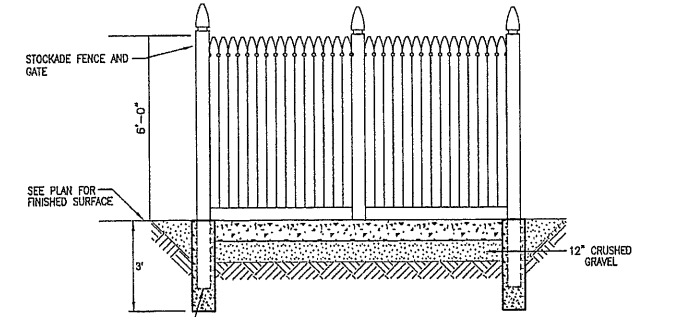
PAVEMENT RESTORATION SCALE: N.T.S. DT-2



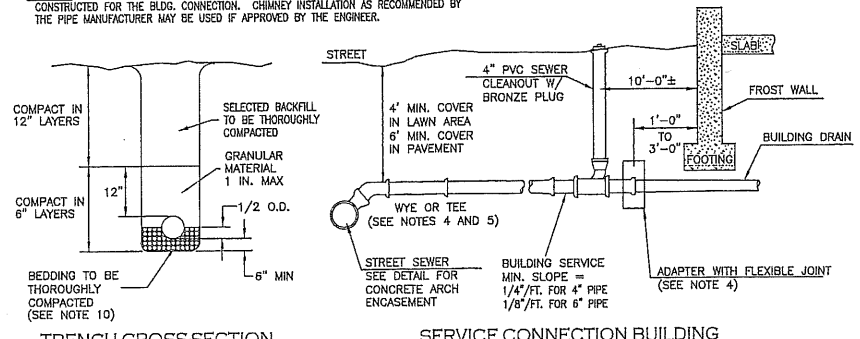
SIDEWALK - ASPHALT SCALE: N.T.S. DT-2



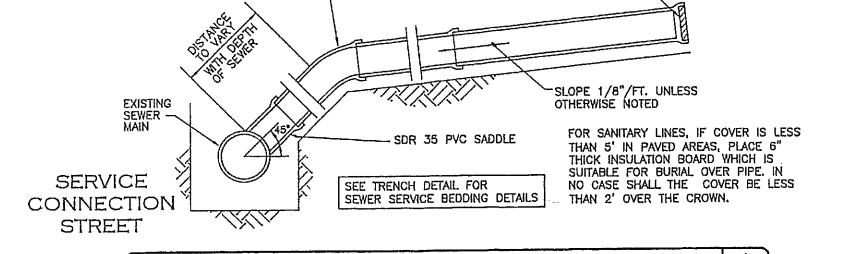
CURB - ASPHALT (CAPE COD BERM) SCALE: N.T.S. DT-2



DUMPSTER ENCLOSURE SCALE: N.T.S. DT-2



TRENCH CROSS-SECTION SERVICE CONNECTION BUILDING SCALE: N.T.S. DT-2



SERVICE CONNECTION STREET SEWER SERVICE CONNECTION DETAILS SCALE: N.T.S. DT-2

CONSTRUCTION DETAILS  
**PONEMAH PINES**  
 TAX MAP 43 PARCEL 61 - PONEMAH HILL ROAD  
 MILFORD, NEW HAMPSHIRE  
 PREPARED FOR:  
**PONEMAH PINES, LLC**  
 476 ROUTE 13 SOUTH, MILFORD NH 03055  
 LAND OF:  
**FREDERICK & CELIA LORDEN TRUST**  
 19 PONEMAH HILL ROAD, MILFORD NH 03055  
 SCALE: NOT TO SCALE JANUARY 20, 2020  
 Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs  
**FIELDSTONE**  
 LAND CONSULTANTS, PLLC  
 206 Elm Street, Milford, NH 03055  
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 www.FieldstoneLandConsultants.com  
 FILE: 2261DT00.dwg PROJ. NO. 2261.00 SHEET: DT-2 PAGE NO. 7 OF 8

- PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF DETENTION BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
- THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
- THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
- DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL). UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.
- ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
- ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:
 

PERMANENT SEED (LAWN AREAS)	LBS / 1,000 SQ. FT.	PERMANENT SLOPE SEED MIX	LBS / 1,000 SQ. FT.
CREeping RED FESCUE	0.92 LBS	CREeping RED FESCUE	0.80 LBS
PERENNIAL RYEGRASS	1.15 LBS	PERENNIAL RYEGRASS	0.69 LBS
KENTUCKY BLUEGRASS	0.58 LBS	REDTOP	0.12 LBS
REDTOP	0.12 LBS	ELKIE CLOVER	0.12 LBS
		BIRDFOOT TREFOL	0.12 LBS

\*\*APPLICATION RATE TOTALS  
2.8 LBS PER 1,000 SF\*\*
- TEMPORARY STABILIZATION OF DISTURBED AREAS: STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW: SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

- SEED MIXTURE: USE ANY OF THE FOLLOWING:
 

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1 INCH	8/15 TO 9/15
OATS	2.5 LBS	1 INCH	4/15 TO 10/15
ANNUAL RYEGRASS	1.0 LBS	0.25 INCH	8/15 TO 9/15
- MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:
 

TYPE	RATE PER 1,000 SF	USE AND COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE, USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
CRUSHED STONE	SPREAD TO GREATER THAN 1/2" DIA.	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED

- APPLY LIMESTONE AND FERTILIZERS ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
- CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
- IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
- FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.
- LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
- THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

**EROSION CONTROL NOTES** 1 DT-3

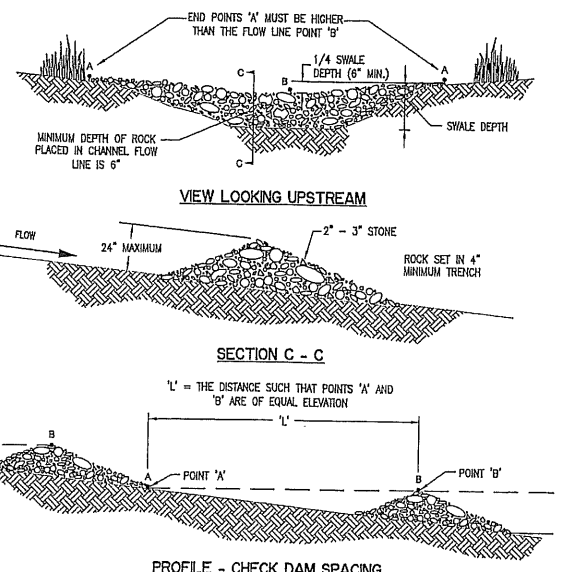
CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION  
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- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

**WINTER CONSTRUCTION NOTES** 2 DT-3

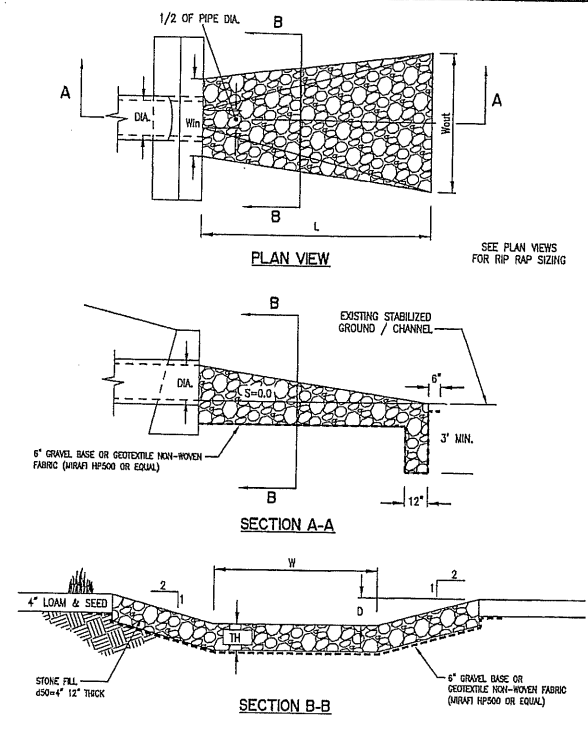
- INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- INSTALL STABILIZED CONSTRUCTION EXIT(S).
- CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE GROUND AND USED FOR EROSION CONTROL OR REMOVED AND DISPOSED OF PROPERLY. STUMPS SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
- REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- BEGIN BUILDING CONSTRUCTION.
- CONSTRUCT GRAVEL PARKING AREA (PAVEMENT OPTIONAL) AND BUILDING PAD. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING TO PREPARE FOR PAVING (IF ANY) AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- FINISH PAVING (IF ANY). PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PARKING AREA (SEE EROSION CONTROL NOTES).
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- ALL STRUCTURES SHALL BE CLEARED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

**CONSTRUCTION SEQUENCE** 3 DT-3

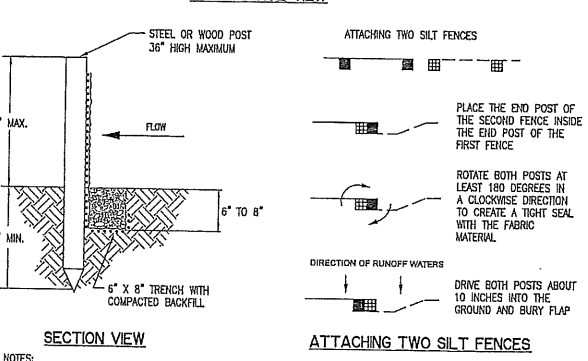
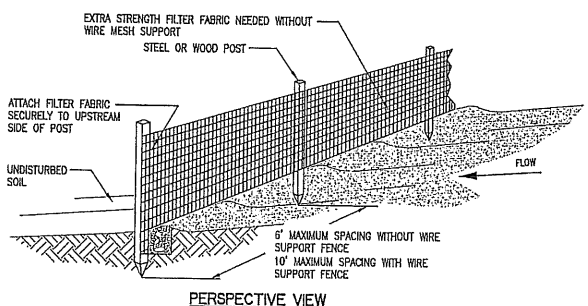


- NOTES:
- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
  - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
  - STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
  - STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
  - WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
  - STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

**STONE CHECK DAM** 4 DT-3

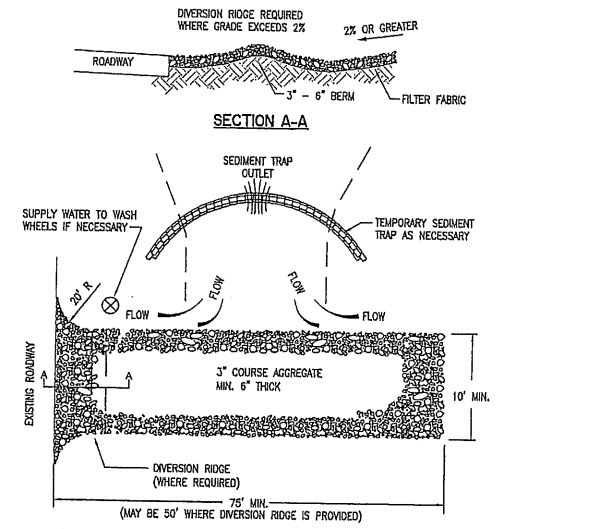


**RIP-RAP OUTLET PROTECTION** 5 DT-3



- NOTES:
- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
  - SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UP-SLOPE.
  - IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
  - SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
  - THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  - SILT FENCES SHOULD BE REMOVED WHEN THE UP-SLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

**SILT FENCE** 6 DT-3



- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
  - THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
  - THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
  - THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
  - THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
  - THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
  - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
  - NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**GRAVEL CONSTRUCTION EXIT** 7 DT-3

REV.	DATE	DESCRIPTION	C/O	DR	CK

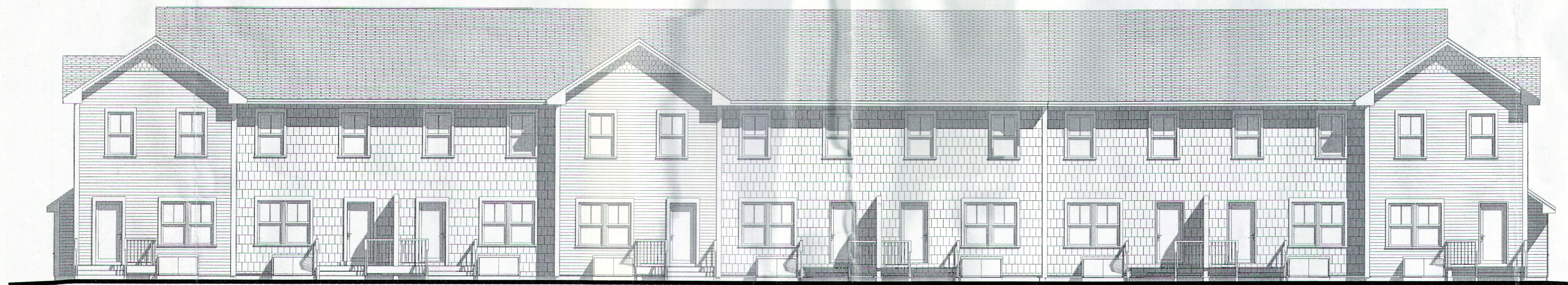
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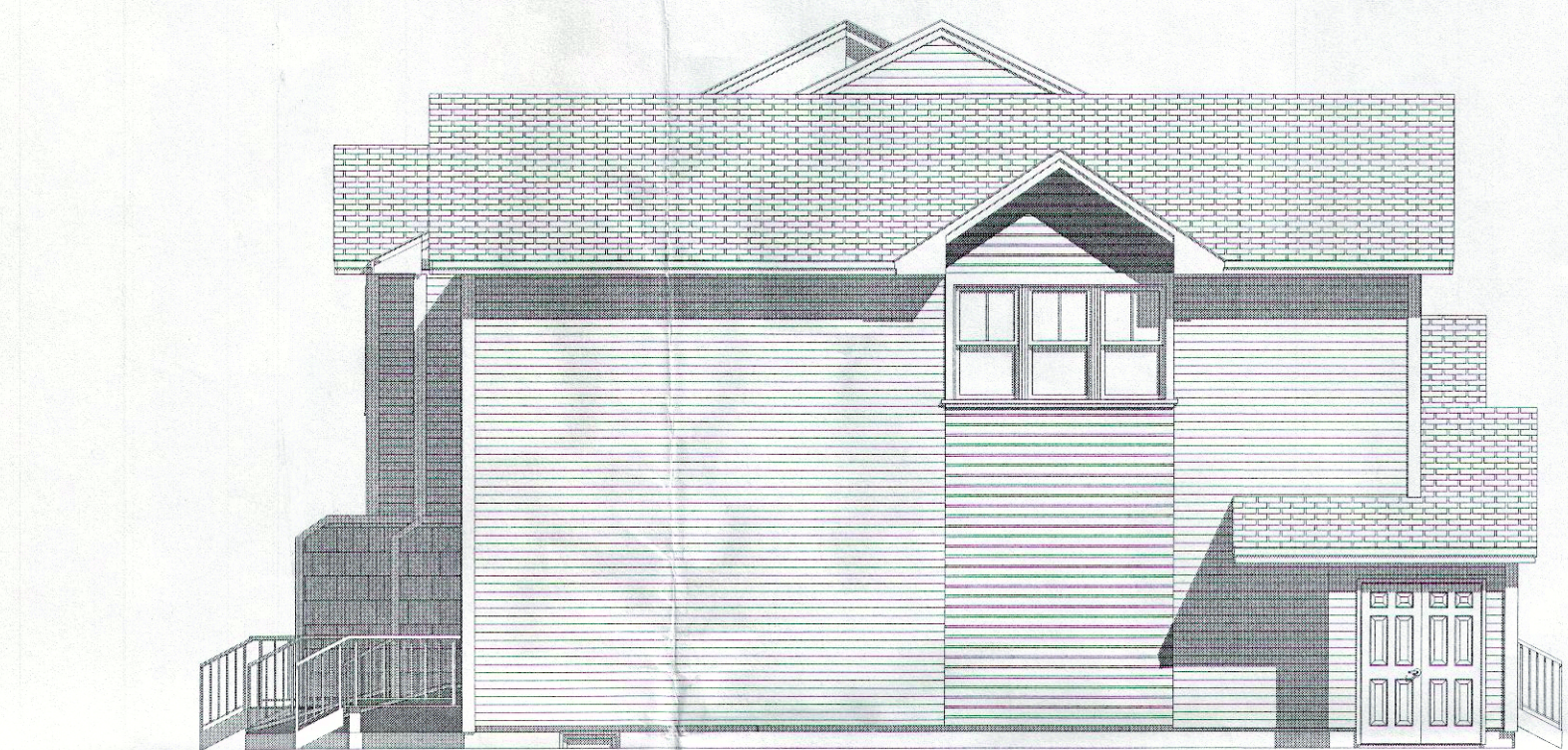
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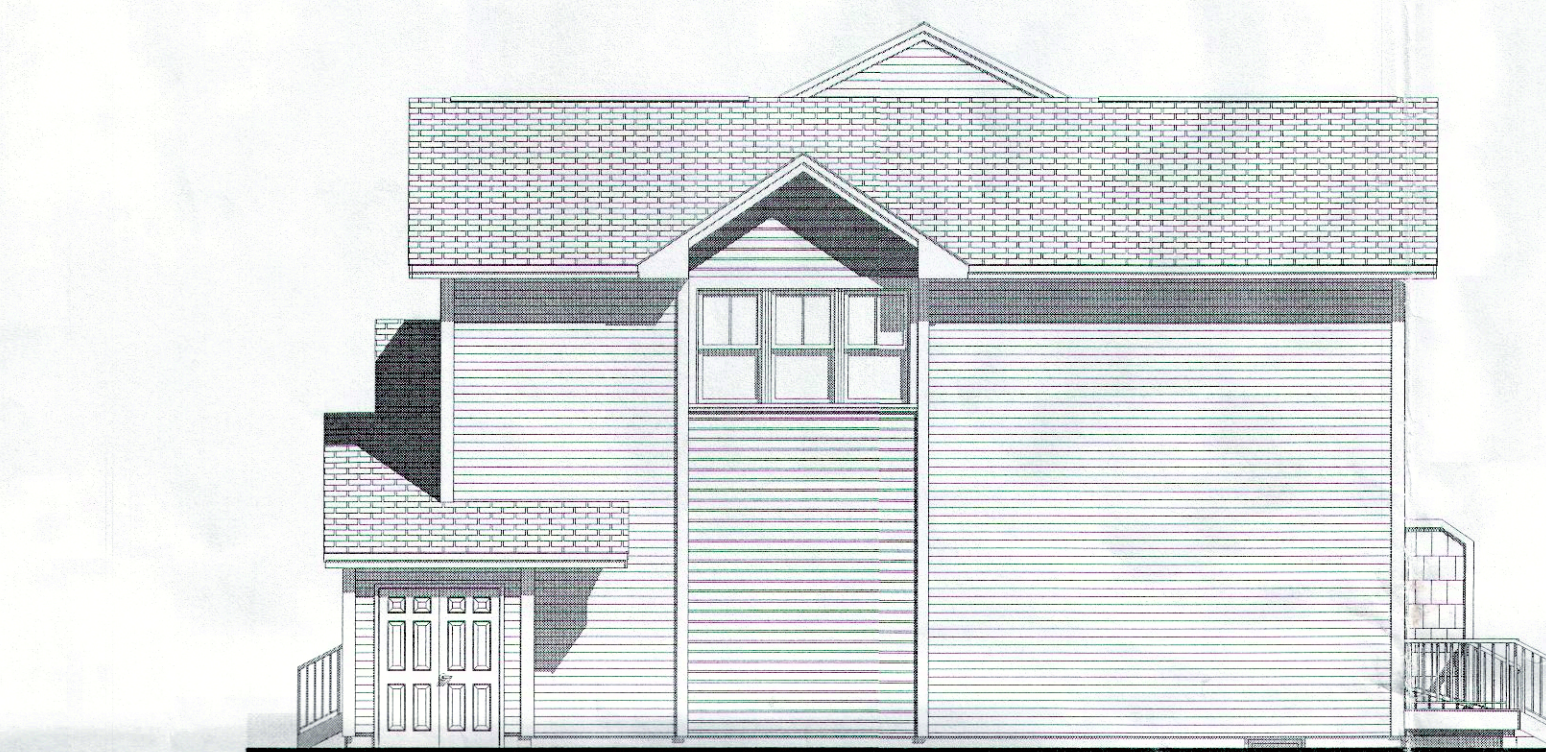




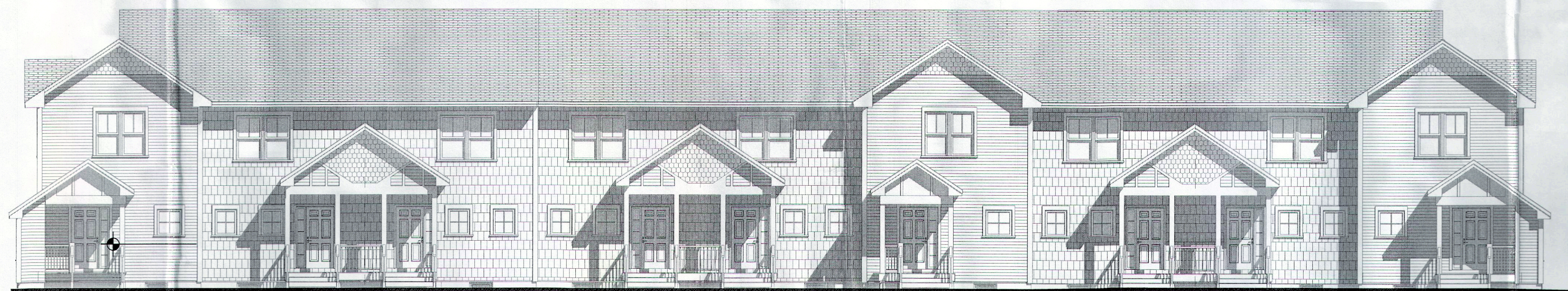
S REAR ELEVATION 1/8" = 1'-0"



E SIDE ELEVATION 1/8" = 1'-0"



W SIDE | STREET ELEVATION 1/8" = 1'-0"



N PARKING | FRONT ELEVATION 1/8" = 1'-0"

17'-6" 18'-3" 18'-3" 18'-3" 18'-3" 17'-6" 18'-3" 18'-3" 17'-5 3/4"

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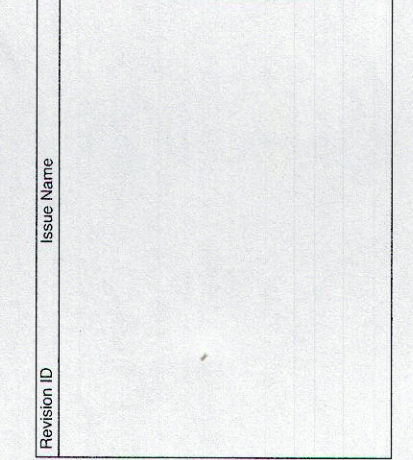
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ISSUED: 2019.12.10



Building Elevations  
proj. no.: 2019074

A.02