



TOWN OF MILFORD, NEW HAMPSHIRE
OFFICE OF COMMUNITY DEVELOPMENT

1 UNION SQUARE, MILFORD, NH 03055

TEL: (603)249-0620

WEB: WWW.MILFORD.NH.GOV

STAFF MEMO

Date: October 11, 2021
To: Town of Milford Planning Board
From: Jason Cleghorn, Town Planner
Subject: **SP2021-04 Crosby Townhomes, Kling/Mengyuan Property Management, 159 Elm Street, Map 19, Lot 5.** Public Hearing for a major site plan application to construct a six (6) unit townhouse, multi-family residential project with related parking, drainage/stormwater management, landscaping, and lighting improvements.

BACKGROUND:

The applicant is presenting the formal major site plan application to the Planning Board. The project includes the construction of a six unit townhome building with additional parking spaces, enlarged drainage system and stormwater management system, and related landscaping and site lighting plans. The applicant previously applied for and received a variance for a slight density increase to permit the sixth unit as the property's acreage fell just short of permitting that many units by right. A previous multi-family building existed on the property but was razed in anticipation of this project. This application was continued from the May 18, 2021 Planning Board Meeting.

LOT AREA:

Lot 19-5: ±1.19 Acres (51,836 sf)

NOTICES:

Notices were resent to all property abutters on October 5, 2021.

ZONING DISTRICT/INFORMATION:

The subject property is within the Commercial "C" Zoning District: The intent of the Commercial "C" District is to provide areas for those businesses, institutional, financial, governmental and compatible residential uses which constitute the commercial requirements of the Town. Multi-family residential is permitted by Zoning Ordinance § 5.05.1 Acceptable Uses provided that the residential use follows the Residential "B" zoning related conditions.

The property also falls within the Nashua and Elm Street Corridor District.

EXISTING CONDITIONS:

The subject property, Tax Map 19, Lot 5 is a 1.19 acre parcel located northwest of the Elm Street (NH 101-A) and West Street intersection. The parcel is abutted by the Brookstone Manor residential apartment complex to the north, existing commercial and residential uses along Elm St. to the south, a converted single-family residence currently housing office uses to the west, and a Wendy's fast food restaurant to the east. The property is serviced by Town municipal water and sewer.

TRAFFIC AND ACCESS MANAGEMENT:

Vehicular ingress and egress to the property will be from an access point (24' driveway) along Elm St. at the southeast corner of the site. There will also be an emergency vehicle pull-off area at the central point of the frontage along Elm St. Original concerns about emergency vehicles being able to traverse around the site have been mitigated by the fact that the building will be sprinkled, thus eliminating the need for those vehicles to gain 360-degree access around the site.

The proposed development has approximately ~65.5% open space.

2. LANDSCAPE REQUIREMENTS:				
	REQUIRED		PROVIDED	
ALONG R.O.W.	10	TREES	10	TREES (1 EXIST.)
ALONG PARKING	6	TREES	5	TREES (7+ EXIST.)
BUILDING FRONTAGE	28	SHRUBS	28	SHRUBS
PERIPHERY		AS NEEDED	11	TREES
<hr/>				
TOTAL PROVIDED:	31 TREES & 28 SHRUBS			

DRAINAGE:

Although the project is not located within the 100-year flood the property falls within the Milford Groundwater Protection Zone 1 Overlay.

The applicant states that stormwater runoff will be collected and treated by a .06 acre detention pond with a forebay for pre-treatment. The system was designed to the 25-year/24-hour storm event for pre vs. post runoff rates and volumes. Drainage conditions after the proposed construction should reduce the discharge volume and rate compared to prior conditions.

PARKING:

Proposed parking on site meets and/or exceeds the minimum requirements set forth in Section 6.05.4 Table of Off-Street Parking. The site plan and development contemplates a combination of parking below the townhomes (two spaces for each unit) as well as an area in the rear of the site between the units themselves and the detention pond to be used for parking.

BUILDING ELEVATIONS:

There have been minor changes to the building plane since the last iteration of the site plan. The front plane of the building has less articulation and presents in a flatter manner. See elevations at the end of this Staff Report and in the packet.

INTERDEPARTMENTAL REVIEWS:

The last remaining comment pertained to the color elevations. Those have been submitted to the Town and are part of this package.

STAFF RECOMMENDATIONS:

The applicant should be prepared to address all of the comments raised by the Planning Board, Conservation Commission, Town Consultants, Staff, and public pertaining to the Site Plan Final Design and revise the plans/information accordingly. Staff finds that the majority of comments and recommendations by staff involve plan revisions that could be managed administratively prior to Board signature. Barring any/all input and recommendations from the Board, Staff recommends approving the application subject to the following conditions:

1. The Applicant shall submit any/all revised plans, reports, and associated information referenced in the Staff memo dated October 11, 2021 to the Community Development Office for review and approval by the Town and its agents.

Proposed Color Elevations



Elevation from Elm St. (looking north)

CROSBY TOWNHOUSES

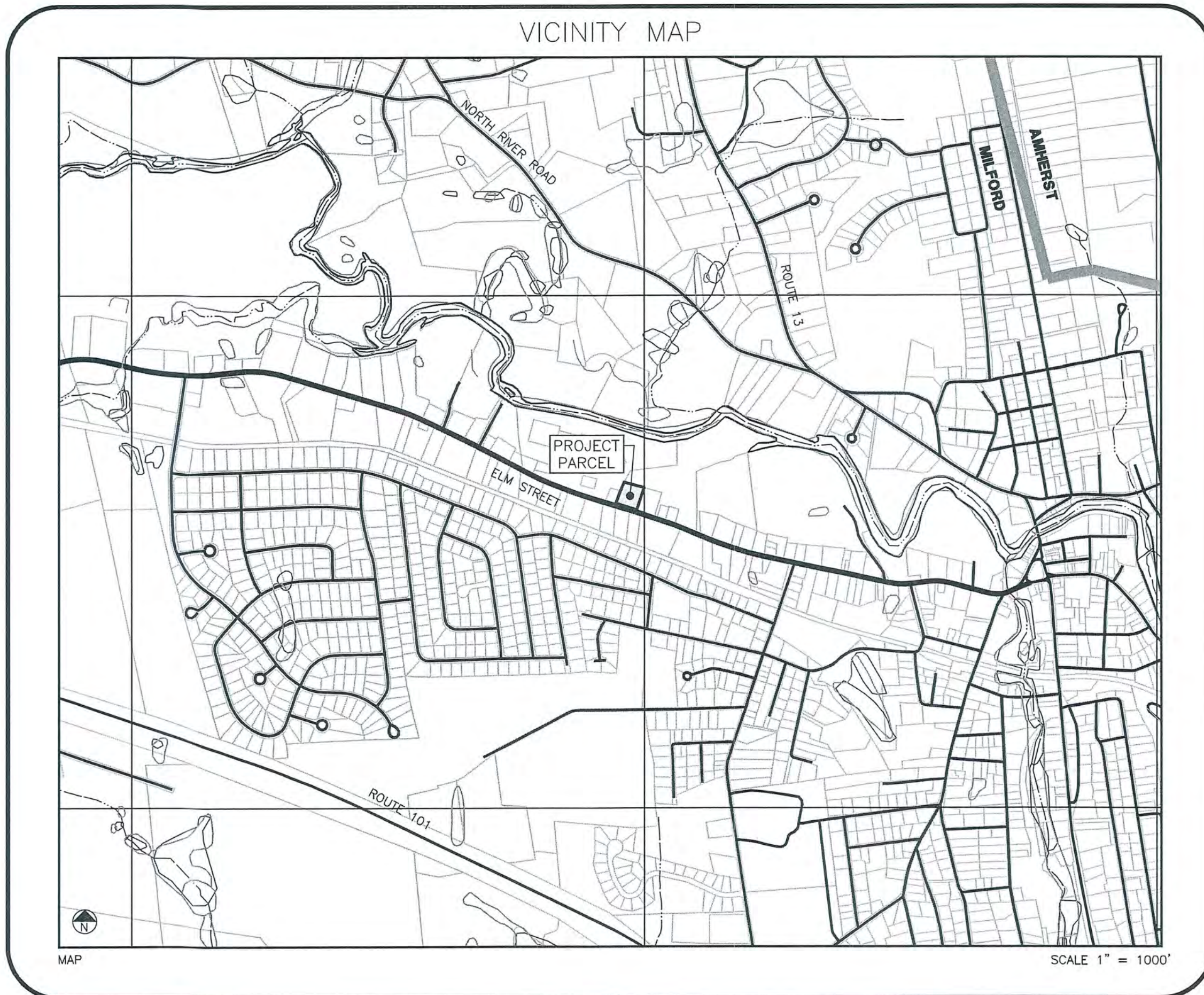
TAX MAP 19 LOT 5

MILFORD, NEW HAMPSHIRE

MARCH 31, 2021

PROJECT INFORMATION	
ZONING DISTRICT	COMMERCIAL
OVERLAY DISTRICT	NASHUA ELM ST OVERLAY DISTRICT
TAX MAP & LOT	19-5
SITE PERMIT NUMBER	TBD

UTILITY PROVIDERS		
WATER & SEWER MILFORD WATER SERVICES 564 NASHUA ST. MILFORD, NH 03055 603-249-0660	ELECTRIC EVERSOROUCE 370 AMHERST ST NASHUA, NH 03063 800-662-7764	FIRE DISTRICT MILFORD FIRE DEPARTMENT 39 SCHOOL STREET MILFORD, NH 03055 603-249-0680
GAS LIBERTY UTILITIES 15 BUTTRICK RD LONDONDERRY, NH 03053 800-833-4200		



SHEET INDEX	
NO.	DESCRIPTION
1	COVER SHEET, VICINITY MAP AND SHEET INDEX
2	DEMOLITION AND CLEARING PLAN
3	SITE LAYOUT, PAVING, SIGNAGE AND MARKING
4	DRAINAGE AND UTILITY PLAN
5	SEWER PLAN AND PROFILES
6-8	PAVING, DRAINAGE AND UTILITY DETAILS
9	EROSION CONTROL PLAN
10	LANDSCAPE PLAN
11	CONDOMINIUM SITE PLAN OF SURVEY

OWNER'S SIGNATURE

APPROVED: TOWN OF MILFORD PLANNING BOARD

CHAIR/VICE CHAIRMAN: _____

DATE APPROVED: _____

DATE SIGNED: _____



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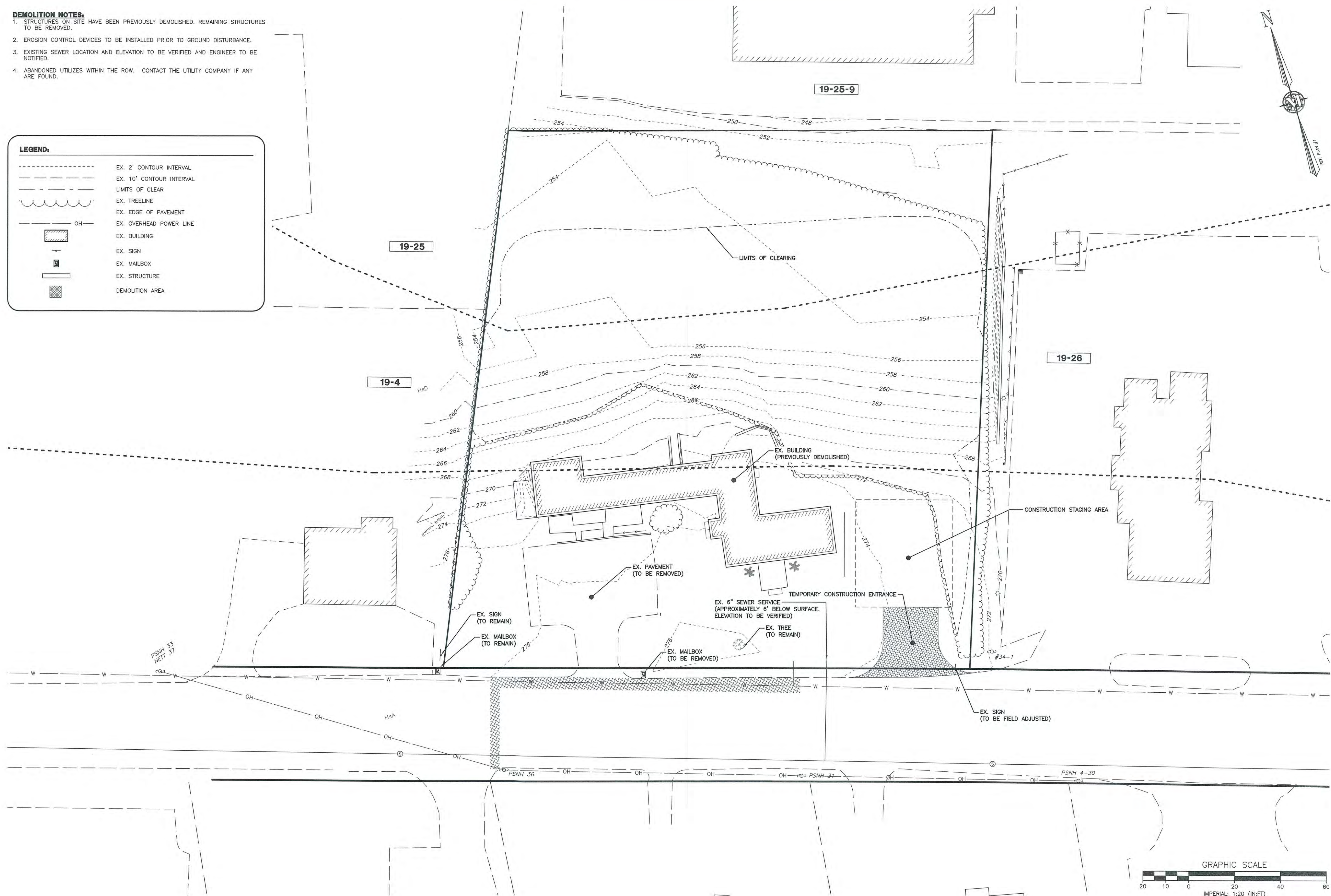
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441
MERIDIANLANDSERVICES.COM FAX 603-673-1584

REV.	DATE	DESCRIPTION	DR	CK
I	--	--	--	--
H	--	--	--	--
G	--	--	--	--
F	--	--	--	--
E	--	--	--	--
D	--	--	--	--
C	6/1/21	BUILDING REVISION	SRF	SRF
B	3/31/21	WATER UTILITY REVISION	SRF	SRF
A	3/17/21	REV FOR COMMENTS DATED 3/10/21	SRF	SRF

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- DEMOLITION NOTES:**
- STRUCTURES ON SITE HAVE BEEN PREVIOUSLY DEMOLISHED. REMAINING STRUCTURES TO BE REMOVED.
 - EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO GROUND DISTURBANCE.
 - EXISTING SEWER LOCATION AND ELEVATION TO BE VERIFIED AND ENGINEER TO BE NOTIFIED.
 - ABANDONED UTILITIES WITHIN THE ROW. CONTACT THE UTILITY COMPANY IF ANY ARE FOUND.

- LEGEND:**
- EX. 2' CONTOUR INTERVAL
 - EX. 10' CONTOUR INTERVAL
 - LIMITS OF CLEAR
 - EX. TREELINE
 - EX. EDGE OF PAVEMENT
 - OH --- EX. OVERHEAD POWER LINE
 - ▭ EX. BUILDING
 - ⊙ EX. SIGN
 - ⊞ EX. MAILBOX
 - ▭ EX. STRUCTURE
 - ▨ DEMOLITION AREA



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REV.	DATE	DESCRIPTION	DR	CK
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B	3/31/21	WATER UTILITY REVISION	SRF	SRF
C	6/1/21	BUILDING REVISION	SRF	SRF

CROSBY TOWNHOUSES
SITE PLAN
EXISTING CONDITIONS AND
DEMOLITION PLAN
 MARCH 31, 2021

MENGYUAN PROPERTY
MANAGEMENT, LLC
 159 ELM STREET
 MAP 19 LOT 5
 MILFORD, NEW HAMPSHIRE
 SCALE: 1" = 20'

SP-1
 SHEET
 FILE: 10839100.dwg
 PROJECT: 10839.00
 SHEET NO. 2 OF 11

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REFERENCE PLANS:

- "SUBDIVISION-CONSOLIDATION PLAN - PREPARED FOR: - BIRCHTREE ASSOCIATES - MILFORD, N.H." SCALE: 1"=100' DATED MAY 18, 1984. PREPARED BY THOMAS F. MORAN INC. AND RECORDED AT H.C.R.D. AS PLAN #16910.

GENERAL DEVELOPMENT NOTES:

- THE APPLICANT INTENDS TO CONSTRUCT SIX (6) TOWNHOUSES STYLE CONDOMINIUM ON MAP 19 LOT 5.
- IMPACT FEES ARE TO BE PAID IN ACCORDANCE WITH THE TOWN OF MILFORD DEVELOPMENT REGULATION 5.04 FF. IMPACT FEE AMOUNT TO BE FOUND IN THE MILFORD BUILDING DEPARTMENT UTILITY AND IMPACT FEE SCHEDULE.
- ALL CONTRACTORS AND SUB-CONTRACTORS SHALL MAINTAIN THEIR WORK AND THE SITE RELATIVE TO THEIR WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PROJECT N.P.D.E.S. PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DEWATER IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITTING REQUIREMENTS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF TOWN OF MILFORD ZONING ORDINANCES AND SITE REGULATIONS.
- THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR ANY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
- THE LOCATION OF EXISTING UTILITIES, SIDEWALKS, PAVEMENT, VEGETATION AND MISCELLANEOUS IMPROVEMENTS ARE APPROXIMATE. THE EXACT FIELD LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION.
- ANY PUBLIC LAND CORNER WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. ANY LAND CORNER MONUMENT IN DANGER OF BEING DESTROYED MUST BE PROPERLY REFERENCED BY THE CONTRACTOR.
- EXISTING IMPROVEMENTS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NO REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH NEW HAMPSHIRE MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
- WATER, SEWER, ROAD (INCLUDING PARKING LOT) AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.
- AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- GROUNDWATER PROTECTION DISTRICT LEVEL I PROTECTION AREA.
- SNOW SHALL BE STORED ONSITE IN THE AREAS DESIGNATED ON THE DRAWINGS. EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. SNOW REMOVAL SERVICES SHALL BE MANAGED BY A CERTIFIED GREEN PRO REMOVAL SERVICE AND THE COMPANY SHALL FOLLOW ALL APPLICABLE BMPs.

SIGNAGE AND MARKING NOTES:

- ALL SIGNING SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
- ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
- ALL SIGNING, PAVEMENT MARKINGS, STREET NAME SIGNS, ETC. ARE TO BE INCLUDED IN THE LUMP SUM PRICE FOR SIGNING AND MARKING.
- THE CONTRACTOR SHALL COMPLY WITH THE STATE OF NEW HAMPSHIRE TRAFFIC CONTROL.
- THERE IS NO SIGN PROPOSED. IF A SIGN IS PROPOSED AT A LATER DATE THE SIGN MUST COMPLY WITH THE TOWN OF MILFORD 7.06.0 SIGN ORDINANCE.

SITE LIGHTING NOTES:

- LIGHTING SHALL BE WALL MOUNTED LIGHTS WITH NO FOOT CANDLES SPILLING OVER THE PROPERTY LINE.

SITE DEVELOPMENT REGULATIONS

	REQUIRED	PROVIDED
MIN. LOT SIZE	20,000 SF	51,785 SF
MIN. FRONTAGE	150'	416'
FRONT BUILDING SETBACK	30'	32.0'
REAR BUILDING SETBACK	15'	165.1'
SIDE BUILDING SETBACK	15'	33.6'
WETLAND BUFFER	25'	N/A
MAX BUILDING HEIGHT	100'	30'

- NOTES:**
- SITE DEVELOPMENT REGULATIONS IN ACCORDANCE WITH TOWN OF MILFORD ZONING ORDINANCE SECTION 5.05.1.P: TWO-FAMILY AND MULTI-FAMILY DWELLINGS AND THEIR ACCESSORY USES AND STRUCTURES, WITH THEIR RESPECTIVE RELATED CONDITIONS SET FORTH IN RESIDENCE "B"
 - WETLAND BUFFER IN ACCORDANCE WITH TOWN OF MILFORD ZONING ORDINANCE SECTION 6.02.3.D

LEGEND:

	EX. BUILDING SETBACK
	EX. 2' CONTOUR INTERVAL
	EX. 10' CONTOUR INTERVAL
	PROPOSED 2'/10' CONTOUR INTERVAL
	PROPOSED TREELINE
	PROPOSED 2'/10' CONTOUR INTERVAL
	PROPOSED BUILDING
	PROPOSED PAVEMENT
	PROPOSED PAVER EMERGENCY LOADING AREA
	PROPOSED ADA SIDEWALK
	PROPOSED DETENTION BASIN
	PROPOSED GRADE
	PROPOSED SIGN
	PROPOSED RELOCATED MAILBOX
	PROPOSED RETAINING WALL

LAND USE SUMMARY

AREA	AREA	PERCENTAGE
BUILDING	0.11 AC.	9.3%
PAVEMENT / SIDEWALK	0.24 AC.	20.2%
OPEN SPACE	0.78 AC.	65.5%
STORMWATER MANAGEMENT AREA	0.06 AC.	5.0%
TOTAL	1.19 AC.	100%

DENSITY CALCULATION

ZONING DISTRICT	RATIO	ALLOWED	PROPOSED
COMMERCIAL (C)	5 UNITS PER ACRE	5.95	6 (2)
TOTAL		5.95	6 (2)

NOTES:

- DENSITY CALCULATION IN ACCORDANCE WITH TOWN OF MILFORD ZONING ORDINANCE SECTION 5.05.1.P: TWO-FAMILY AND MULTI-FAMILY DWELLINGS AND THEIR ACCESSORY USES AND STRUCTURES, WITH THEIR RESPECTIVE RELATED CONDITIONS SET FORTH IN RESIDENCE "B"
- 6 UNITS ALLOWED PER VARIANCE REFERENCE # 2020-03 (DATE APPROVED: 4/16/20)

PARKING SUMMARY

DESCRIPTION	RATIO	REQUIRED	PROVIDED
RESIDENTIAL (MULTIFAMILY)	4 PER UNIT	24	24
TOTAL		24	24

NOTES:

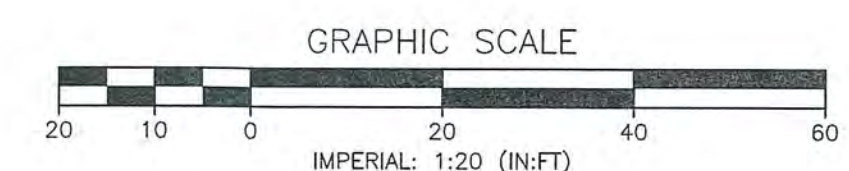
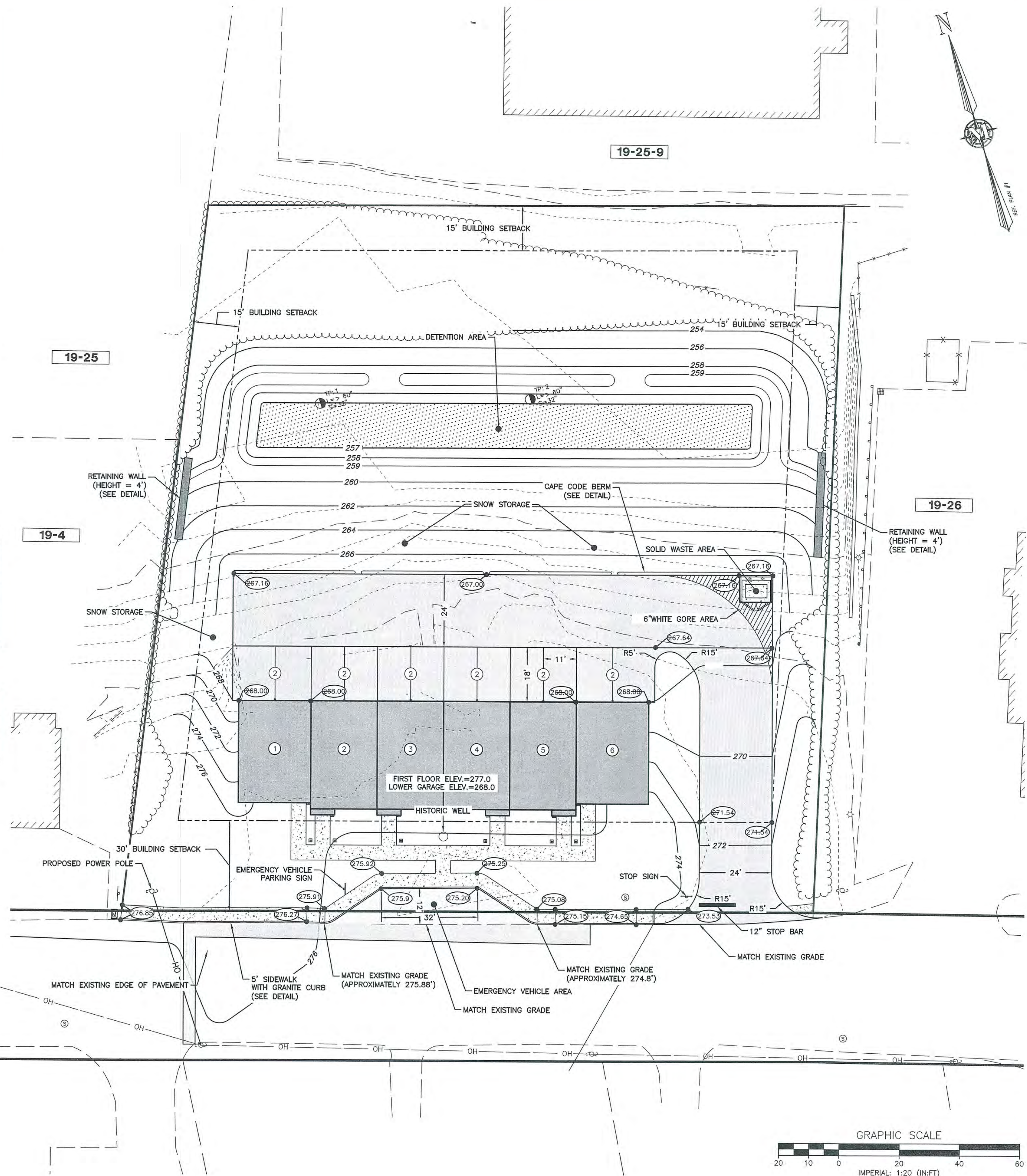
- TWO PARKING SPACES PER UNIT ARE WITHIN THE LOWER LEVEL GARAGE.

LANDSCAPE BUFFER

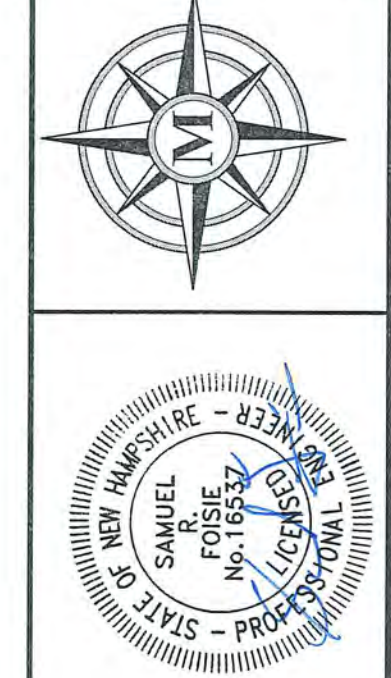
	REQUIRED	PROVIDED
NORTH (MULTI-FAMILY RESIDENTIAL)	10'	10'
SOUTH (ELM STREET ROW)	20'	20'
EAST (COMMERCIAL)	10'	10'
WEST (SINGLE FAMILY RESIDENTIAL)	10'	10'

NOTES:

- LANDSCAPE BUFFER PER TOWN OF MILFORD DEVELOPMENT REGULATIONS SECTION 6.08.5



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REV.	DATE	DESCRIPTION	DR	CK
A	3/17/21	REV FOR COMMENTS DATED 3/10/21		
B	3/31/21	WATER UTILITY REVISION		
C	6/1/21	BUILDING REVISION		
D				
E				
F				
G				
H				

CROSBY TOWNHOUSES
SITE PLAN
SITE LAYOUT, GRADING, PAVING,
SIGNAGE AND MARKING

MENGUAN PROPERTY
MANAGEMENT, LLC
159 ELM STREET
MAP 19 LOT 5
MILFORD, NEW HAMPSHIRE
SCALE: 1" = 20'
MARCH 31, 2021

SP-2
SHEET
FILE: 10839100.dwg
PROJECT 10839.00
SHEET NO. 3 OF 11

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DRAINAGE NOTES:

1. THE LENGTH OF ALL STORM DRAIN PIPES SHOWN ARE APPROXIMATE AND ARE MEASURED FROM THE INSIDE FACE OF STRUCTURE TO THE INSIDE FACE OF THE NEXT STRUCTURE.
2. EXISTING OFF-SITE DRAINAGE PATTERNS SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
3. THE LOCATION OF THE DRAINAGE STRUCTURES SHOWN ON THE PLANS MAY BE FIELD ADJUSTED TO PRESERVE ANY EXISTING VEGETATION, AS APPROVED BY THE ENGINEER.
4. THE CONTRACTOR SHALL ADJUST ALL PROPOSED ELEVATIONS TO MEET THE EXISTING GRADES AS NEEDED.
5. ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS OTHERWISE NOTED.
6. ALL DRAINAGE STRUCTURES CONCRETE SHALL HAVE COMPRESSION STRENGTH OF 3,000 PSI @ 28 DAYS.
7. PROPOSED GRADES IN OPEN SPACE ARE TOP OF SOD.
8. THERE ARE NO KNOWN IMPACTS TO SURFACE GROUND WATER RESULTING FROM THE PROJECT.
9. THERE ARE NO KNOWN IMPACTS TO WETLANDS RESULTING FROM THIS PROJECT.
10. CEMENT STABILIZED SAND, 57 STONE OR SIMILAR BEDDING REQUIRED FOR ALL STORM DRAIN INLET STRUCTURES AND JUNCTION BOXES.
11. HDPE PIPE JOINTS SHALL BE WRAPPED IN MIRAFI FABRIC UPON INSTALLATION.
12. OPERATION AND OWNERSHIP OF THE SURFACE WATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

GENERAL UTILITY NOTES:

1. ALL UTILITY CONSTRUCTION TO BE IN ACCORDANCE WITH MILFORD WATER UTILITIES TECHNICAL SPECIFICATIONS AND DETAILS, LATEST EDITION.
2. CONTRACTOR TO VERIFY THE SIZE AND LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. EXISTING M.W.U. INFRASTRUCTURE ON THE PROPERTY TO BE PHYSICALLY LOCATED TO AVOID POTENTIAL CONFLICTS OR DAMAGE TO THIS INFRASTRUCTURE.
3. ABANDONED UTILITIES ARE LOCATED WITHIN THE ROW. VERIFY LOCATIONS OF ABANDONED UTILITIES WITH UTILITY COMPANY.
4. LOCATIONS OF PROPOSED UTILITY LINES ARE SUBJECT TO MODIFICATIONS TO PRESERVE ANY EXISTING VEGETATION AS DETERMINED BY THE ENGINEER.
5. WHEN REFERENCING IMPROVEMENTS ADJACENT TO THE SUBJECT PROPERTY THE WORD "EXISTING" (OR ABBREVIATED "EX.") SHALL MEAN IMPROVEMENTS PROPOSED BY THE DEVELOPER WHICH ARE INTENDED TO BE CONSTRUCTED PRIOR TO OR CONCURRENT WITH THIS PROJECT.
6. NO TREES OR SHRUBS SHALL BE PLACED SO AS TO BLOCK ACCESS OR LINE OF SIGHT TO FIRE HYDRANTS PLACED WITHIN LANDSCAPE ISLANDS THROUGHOUT THE PROJECT SITE.
7. CONTRACTOR TO PROVIDE UTILITY RECORD DRAWINGS TO OWNER AND ENGINEER PRIOR TO FINAL PAYMENT REQUEST.
8. ALL UNDERGROUND UTILITIES LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF THE SUBGRADE.
9. CONTRACTOR SHALL NOTIFY ALL UTILITY PROVIDERS AT LEAST 72 HOURS PRIOR TO THE START OF UNDERGROUND CONSTRUCTION THE CONTRACTOR SHALL DETERMINE IF UTILITIES OTHER THAN THOSE SHOWN THE PLANS EXIST.
10. CONTRACTOR TO EXERCISE CARE TO PROTECT THE ROOTS OF TREES TO REMAIN. WITH THE BRANCH SPREAD OF SUCH TREES, PERFORM ALL TRENCHING BY HAND. OPEN THE TRENCH ONLY WHEN UTILITIES CAN BE INSTALLED IMMEDIATELY. PRUNE INJURED ROOTS CLEANLY AND BACKFILL AS SOON AS POSSIBLE.
11. THE CONTRACTOR IS REQUIRED TO ADJUST ALL EXISTING AND PROPOSED VALVE BOXES, MANHOLE RIMS, GRATES, ETC. AS REQUIRED TO MATCH THE PROPOSED GRADES.
12. CASINGS AND/OR CONDUIT SHALL EXTEND FIVE(5) FEET BEYOND THE EDGE OF PAVEMENT, BACK OF CURB AND/OR SIDEWALK AT EACH END AND SHALL BE INCLUDED IN RECORD DRAWINGS TO THE ENGINEER.

GENERAL POTABLE WATER NOTES:

1. THE CONTRACTOR SHALL PLACE PROPOSED VALVES AS SHOWN. THE VALVE BOX SHALL NOT BE LOCATED IN PAVEMENT, BRICK PAVERS OR DRIVEWAY AREAS WHERE POSSIBLE.
2. PROPOSED WATERLINE FITTINGS ARE SHOWN AT MAJOR BENDS IN WATER MAIN ALIGNMENT. CONTRACTOR SHALL UTILIZE ADDITIONAL FITTINGS AS NECESSARY TO DEFLECT WATERLINE IN ACCORDANCE WITH THE UTILITY PROVIDER SPECIFICATIONS.
3. THE ENDS OF ALL CAPPED POTABLE WATERLINES SHALL BE MARKED WITH ELECTRONIC MARKER AND 2'x4' STAKES 5' IN LENGTH WITH 2' ABOVE GROUND.
4. THE CONTRACTOR SHALL PROVIDE AND INSTALL BLUE-BLUE REFLECTIVE PAVEMENT MARKERS AS REQUIRED IN CENTER OF ADJACENT TRAVEL LANE AT EACH FIRE HYDRANT.
5. ALL WATER VALVES SHALL CONFORM TO A.W.W.A. C-509 RESILIENT SEATED TYPE.
6. CONTRACTOR SHALL USE 45 DEGREE BENDS AT CONFLICTS. RESTRAINTS TO BE MEGA-LUG, TYLER MJR GLANDS OR APPROVED EQUAL. CONTRACTOR SHALL NOT EXCEED 75% OF THE MANUFACTURERS RECOMMENDED MAXIMUM PIPE DEFLECTION.
7. ALL WATER MAINS SHALL HAVE A MINIMUM OF 5' COVER.
8. ALL POTABLE WATERLINES SHALL BE DUCTILE IRON, CLASS 52.

GENERAL SEWER UTILITY NOTES:

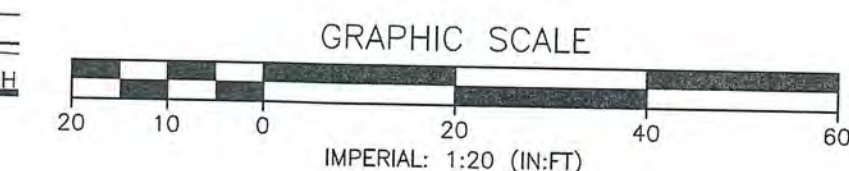
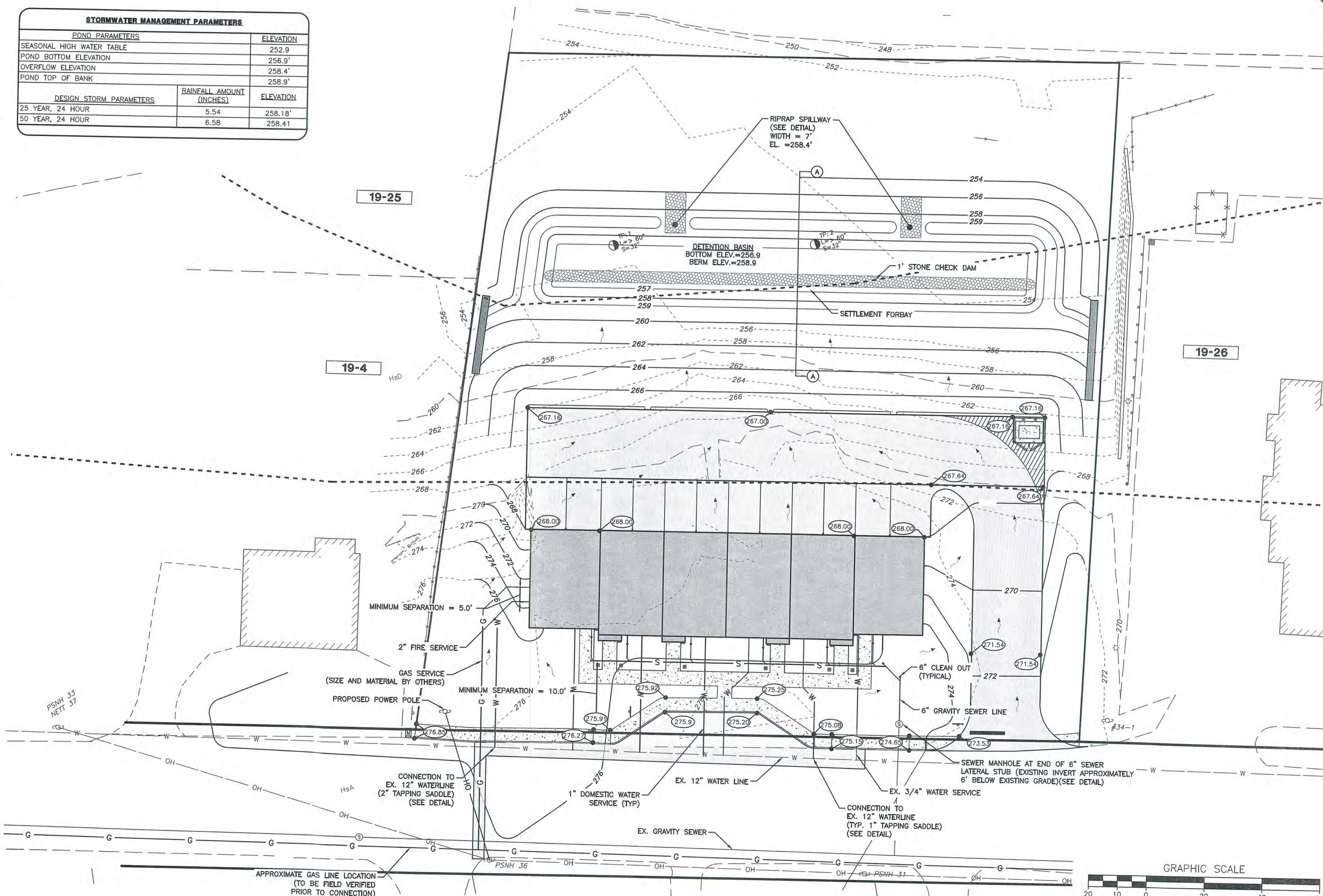
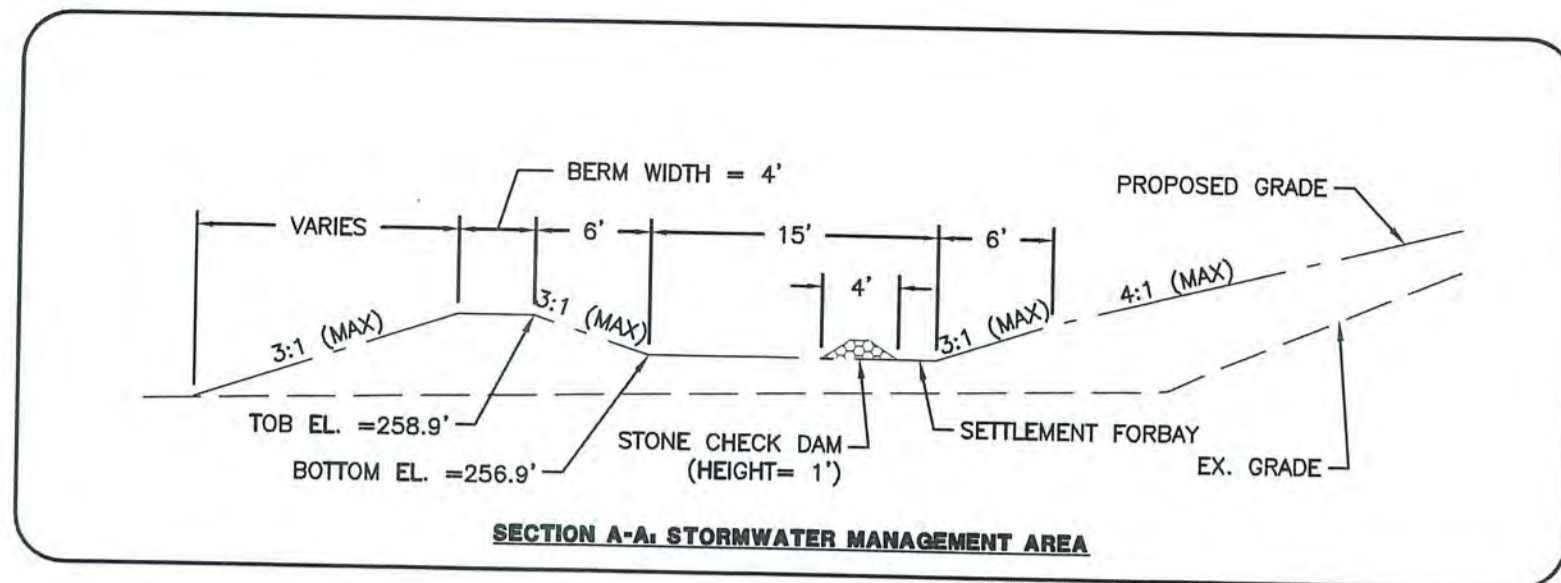
1. CONTRACTOR TO VERIFY INVERT ELEVATION AND LOCATION OF EXISTING SANITARY SEWER MANHOLES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL GRAVITY SEWER LINES SHALL BE PVC (SDR 35), GREEN IN COLOR, UNLESS OTHERWISE NOTED, WITH A MINIMUM OF 36" COVER.
3. ALL SEWER LENGTHS ARE APPROXIMATE AND ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
4. MANHOLE TOPS ARE APPROXIMATE AND SHOULD BE ADJUSTED TO FINAL GRADE OR PAVEMENT ELEVATION.
5. ALL SANITARY SEWER SERVICES TO BE 6" IN DIAMETER, UNLESS OTHERWISE NOTED.
6. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH MILFORD WATER UTILITIES TECHNICAL SPECIFICATIONS FOR GRAVITY SEWER.
7. CONTRACTOR TO COORDINATE WITH M.W.U. TO VERIFY THE CONDITION OF THE COATING OF THE EXISTING MANHOLES AND RE-COAT IF NECESSARY.

LEGEND:

- EX. 2' CONTOUR INTERVAL
- EX. 10' CONTOUR INTERVAL
- PROPOSED 2'/10' CONTOUR INTERVAL
- INTRAMEDIANTE CONTOUR INTERVAL
- W --- PROPOSED WATER LINE
- S --- PROPOSED GRAVITY SEWER
- OH --- PROPOSED OVERHEAD POWER LINE
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED RIPRAP
- PROPOSED ADA SIDEWALK

STORMWATER MANAGEMENT PARAMETERS

POND PARAMETERS		
SEASONAL HIGH WATER TABLE		ELEVATION
		252.9
POND BOTTOM ELEVATION		256.9
OVERFLOW ELEVATION		258.4
POND TOP OF BANK		258.9
DESIGN STORM PARAMETERS		
DESIGN STORM PARAMETERS	RAINFALL AMOUNT (INCHES)	ELEVATION
25 YEAR, 24 HOUR	5.54	258.18'
50 YEAR, 24 HOUR	6.58	258.41



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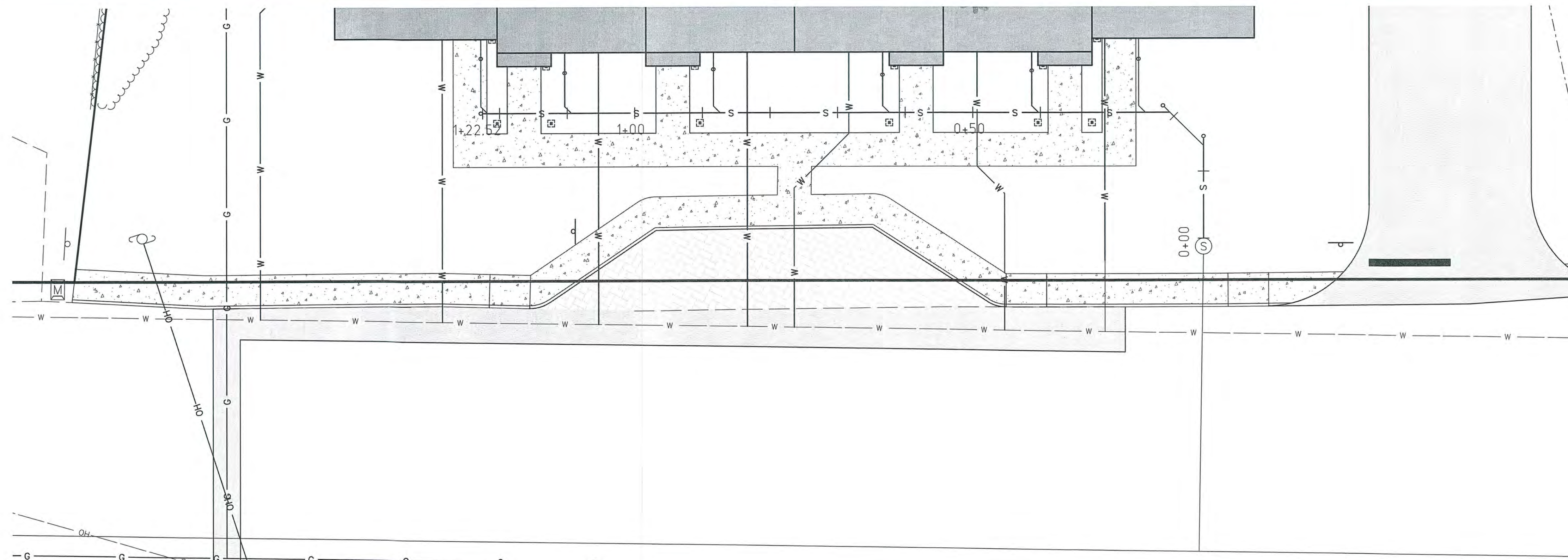
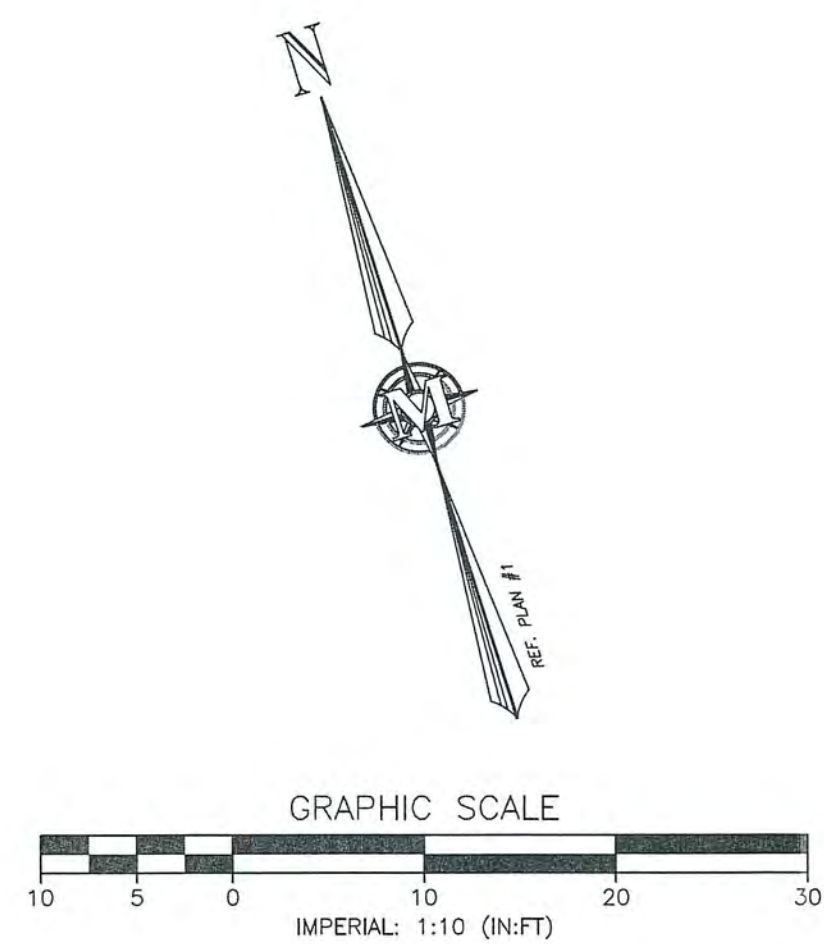
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A	3/17/21	REV FOR COMMENTS DATED 3/10/21	SRF	SRF
B	3/23/21	WATER UTILITY REVISION	SRF	SRF
C	6/1/21	BUILDING REVISION	SRF	SRF
D			SRF	SRF
E			SRF	SRF
F			SRF	SRF
G			SRF	SRF
H			SRF	SRF

CROSBY TOWNHOUSES
 SITE PLAN
 DRAINAGE AND UTILITY PLAN

MENGYUAN PROPERTY
 MANAGEMENT, LLC
 159 ELM STREET
 MAP 19 LOT 5
 MILFORD, NEW HAMPSHIRE

SP-3
 SHEET
 FILE: 10839100.dwg
 PROJECT: 10839.00
 SHEET NO. 4 OF 11

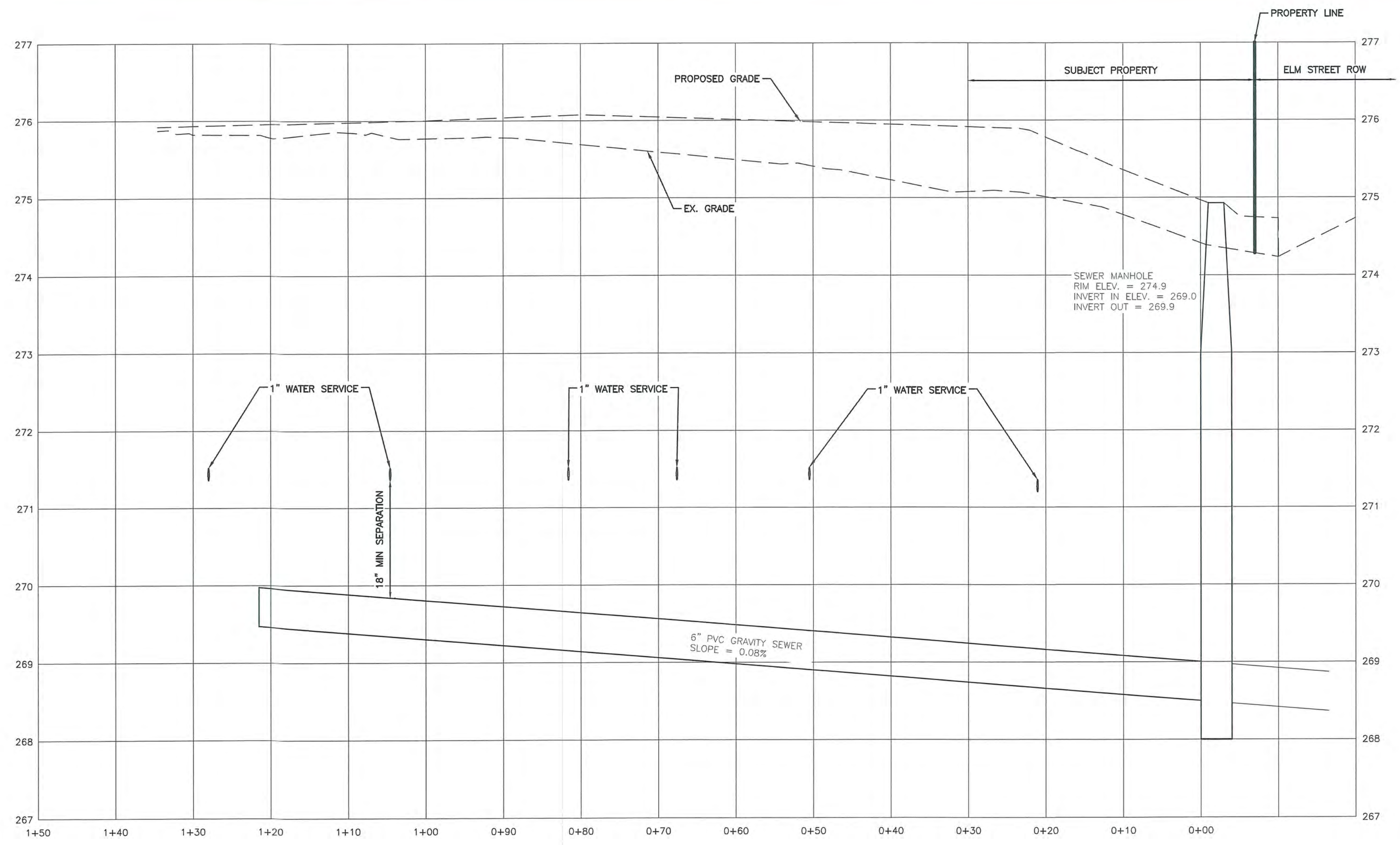
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LEGEND:

	EX. RIGHTS-OF-WAY
	EX. WATER LINE
	EX. GRAVITY SEWER
	PROPOSED WATER LINE
	PROPOSED GRAVITY SEWER
	PROPOSED BUILDING
	PROPOSED SEWER MANHOLE
	EX. SEWER MANHOLE

NOTES
 1. UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE. CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION.



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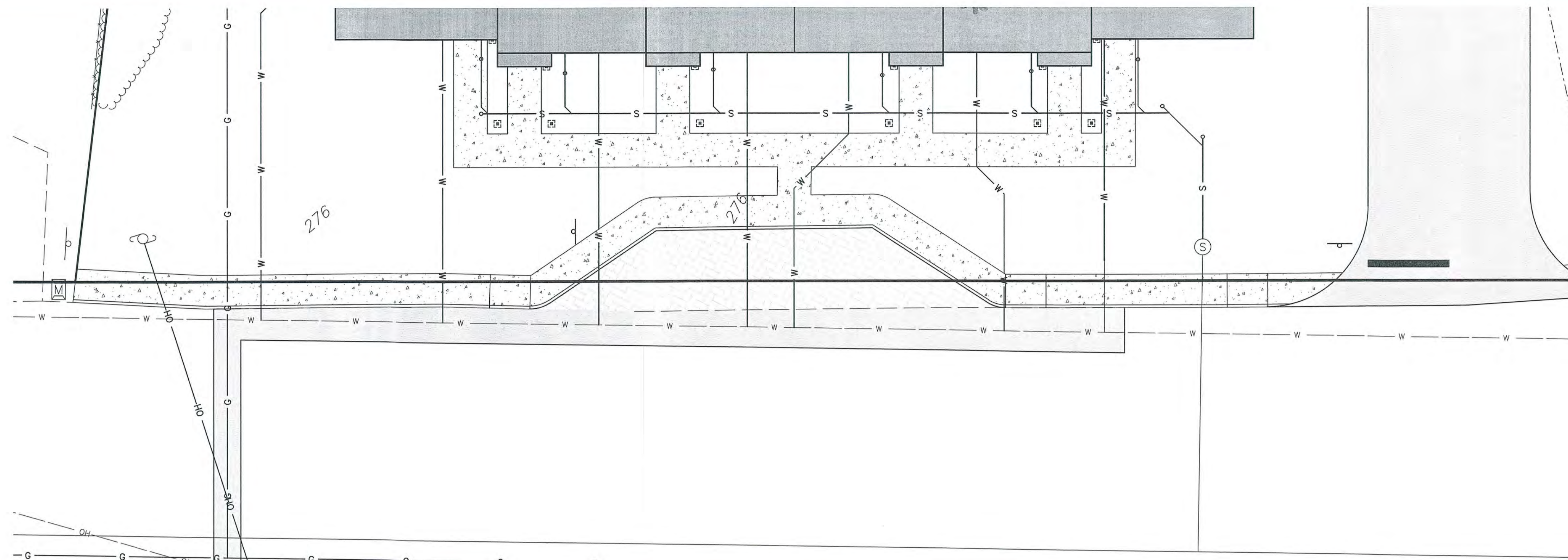
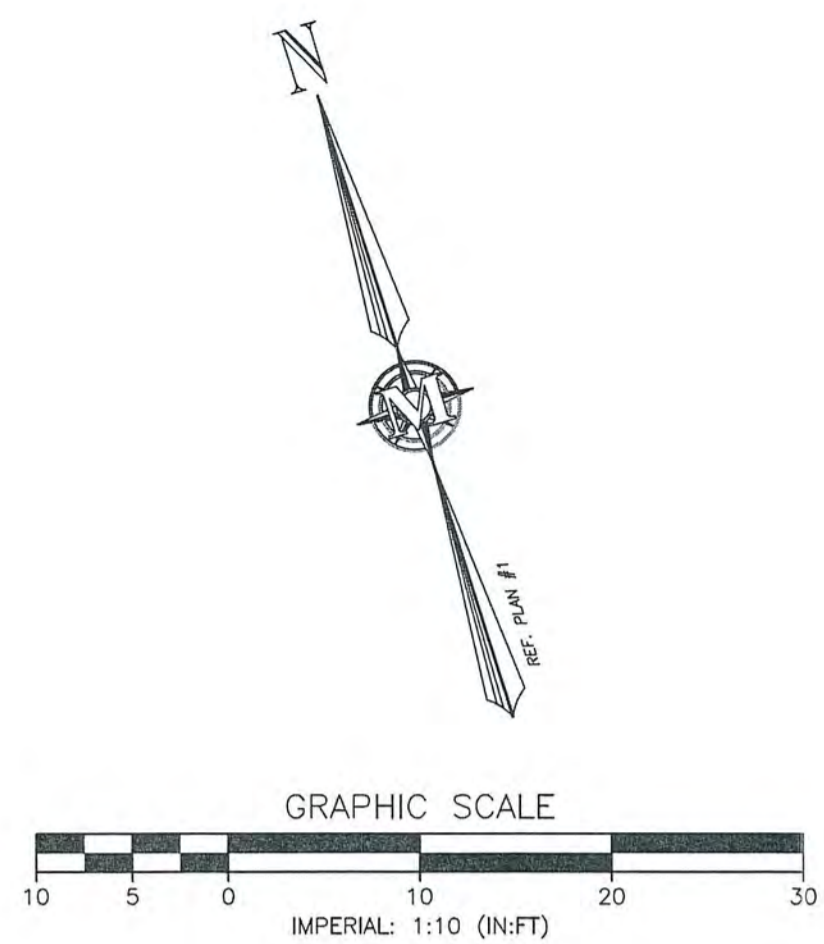
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B	3/31/21	WATER UTILITY REVISION
C	6/7/21	BUILDING REVISION
D		
E		
F		
G		
H		
I		

CROSBY TOWNHOUSES
 SITE PLAN
 PROPOSED SEWER

MENGYUAN PROPERTY
 MANAGEMENT, LLC
 159 ELM STREET
 MAP 19 LOT 5
 MILFORD, NEW HAMPSHIRE
 SCALE: 1" = 10'

P-1
 SHEET
 FILE: 10839100.dwg
 PROJECT: 10839.00
 SHEET NO. 5 OF 11

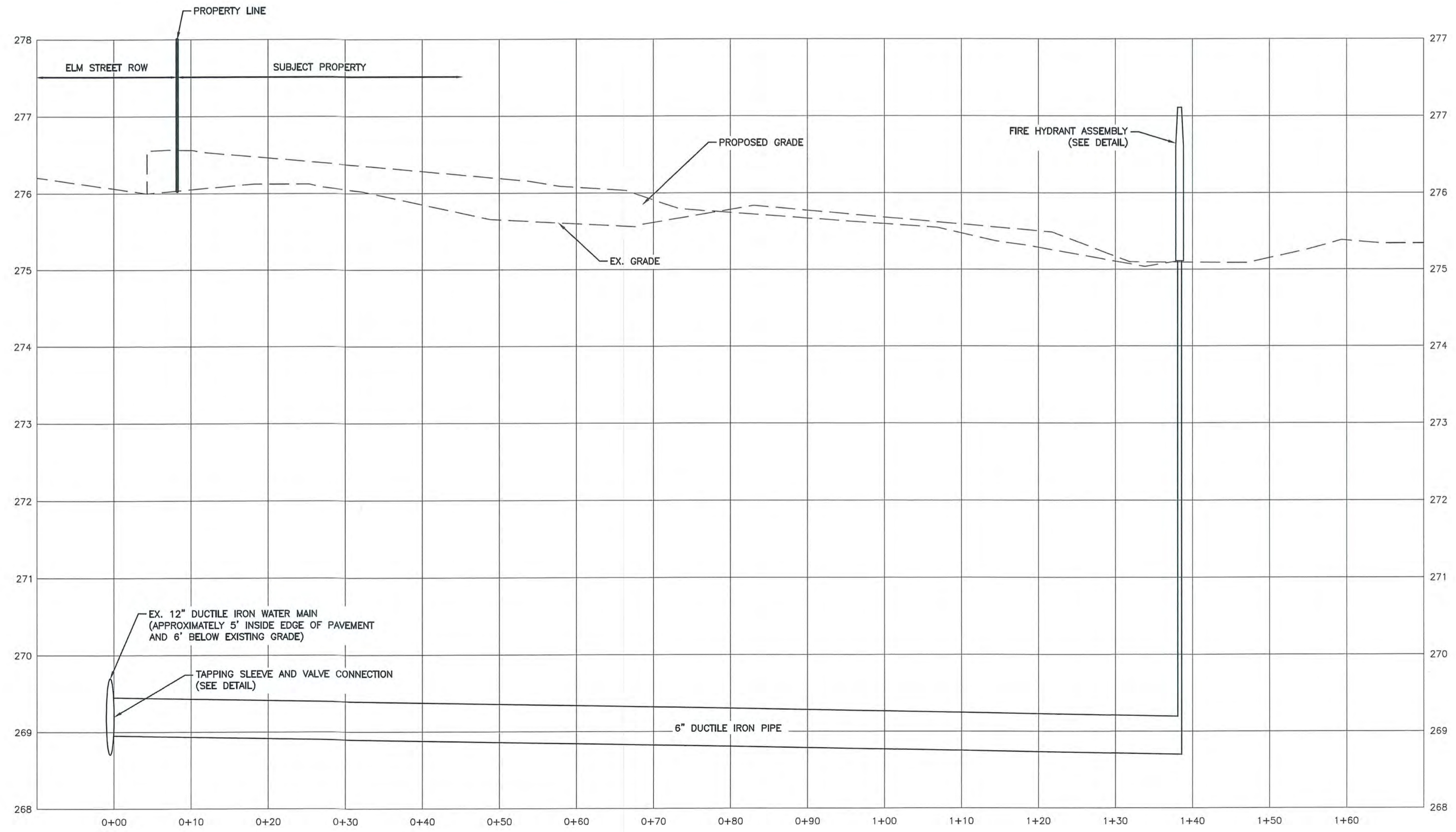
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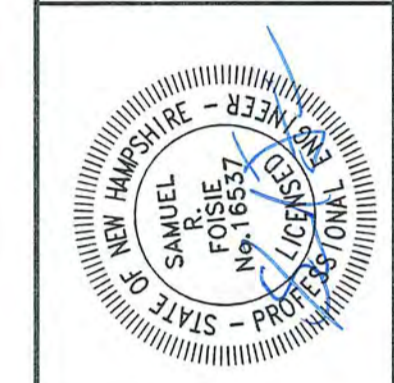
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---	EX. RIGHTS-OF-WAY
---	EX. WATER LINE
---	EX. GRAVITY SEWER
W	PROPOSED WATER LINE
S	PROPOSED GRAVITY SEWER
□	PROPOSED BUILDING
⊙	PROPOSED SEWER MANHOLE
⊙	EX. SEWER MANHOLE

NOTES
 1. UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE. CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION.



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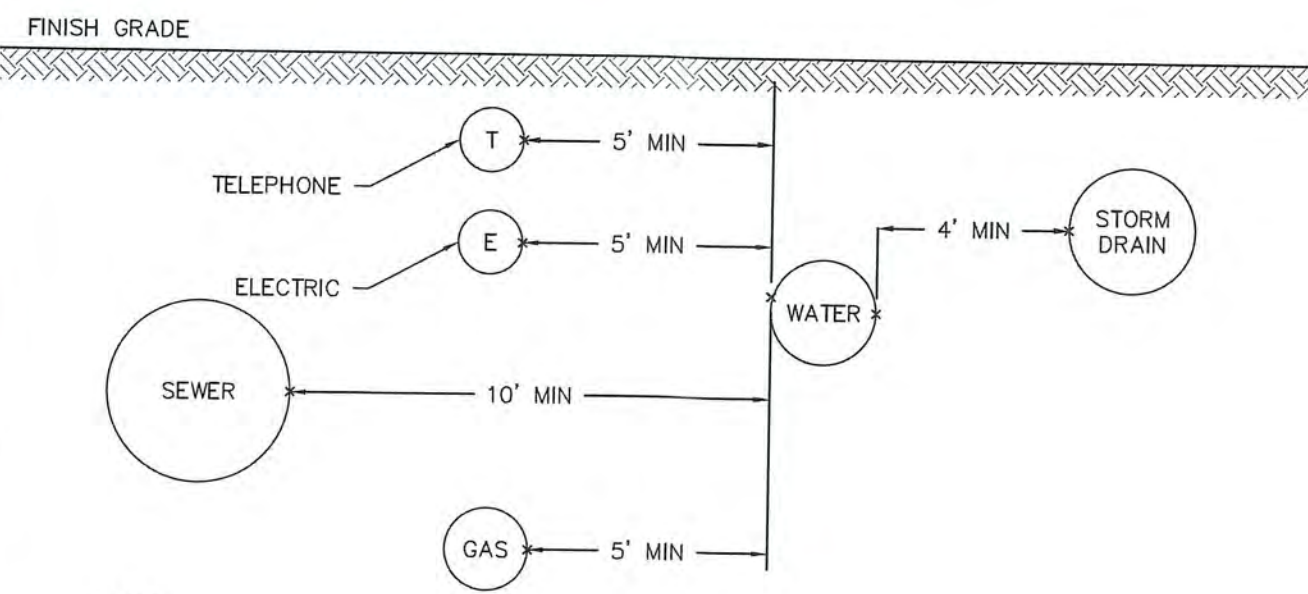
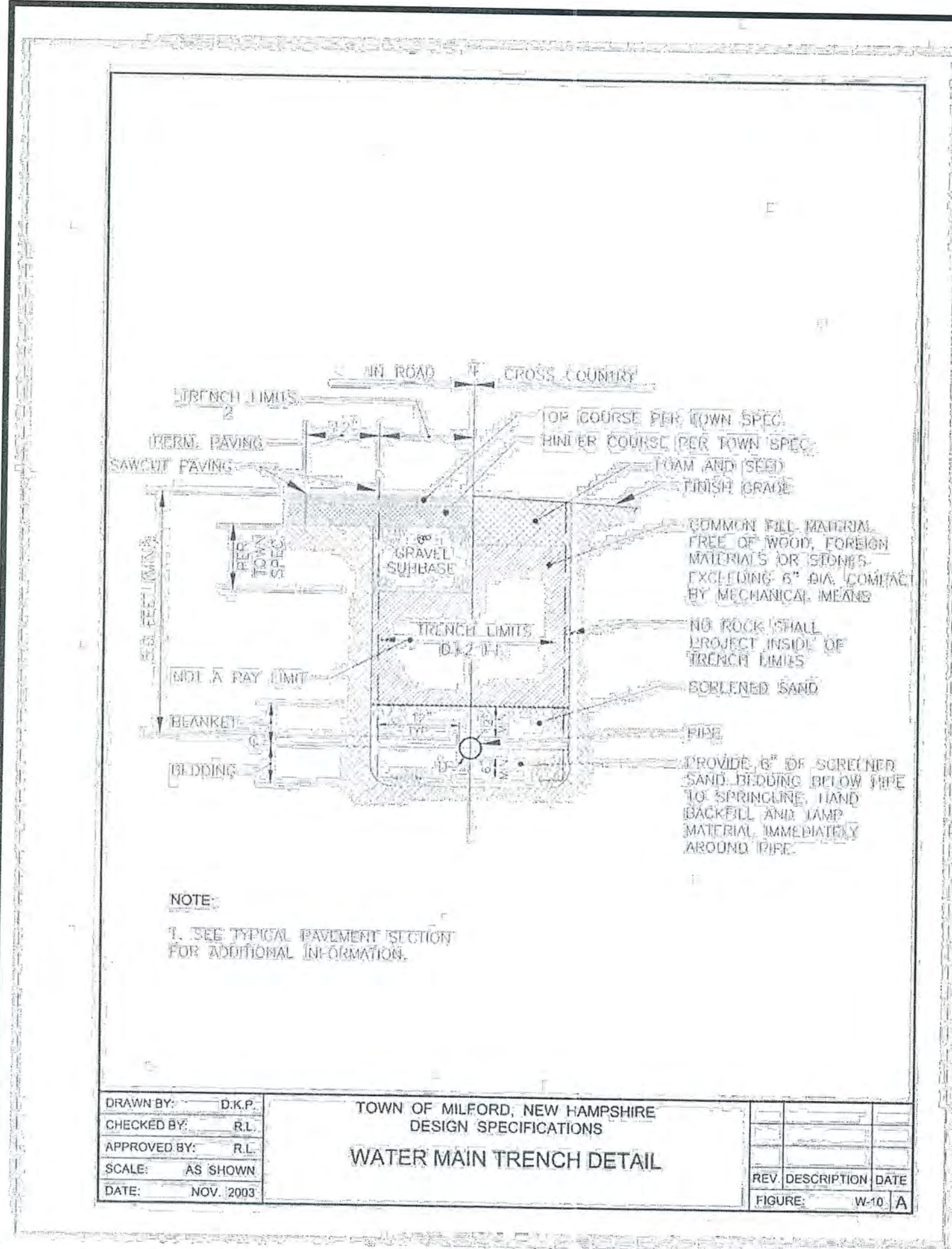
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A	3/17/21	REV FOR COMMENTS DATED 3/10/21
B	3/31/21	WATER UTILITY REVISION
C	6/1/21	BUILDING REVISION
D		
E		
F		
G		
H		

COLBY TOWNHOUSES
 SITE PLAN
 PROPOSED WATER

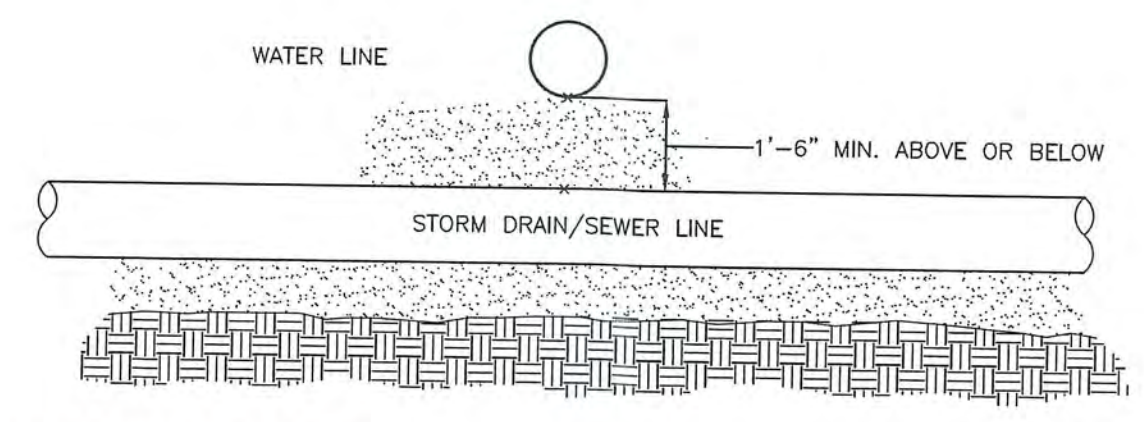
MENGYUAN PROPERTY
 MANAGEMENT, LLC
 159 ELM STREET
 MAP 19 LOT 5
 MILFORD, NEW HAMPSHIRE

P-2
 SHEET

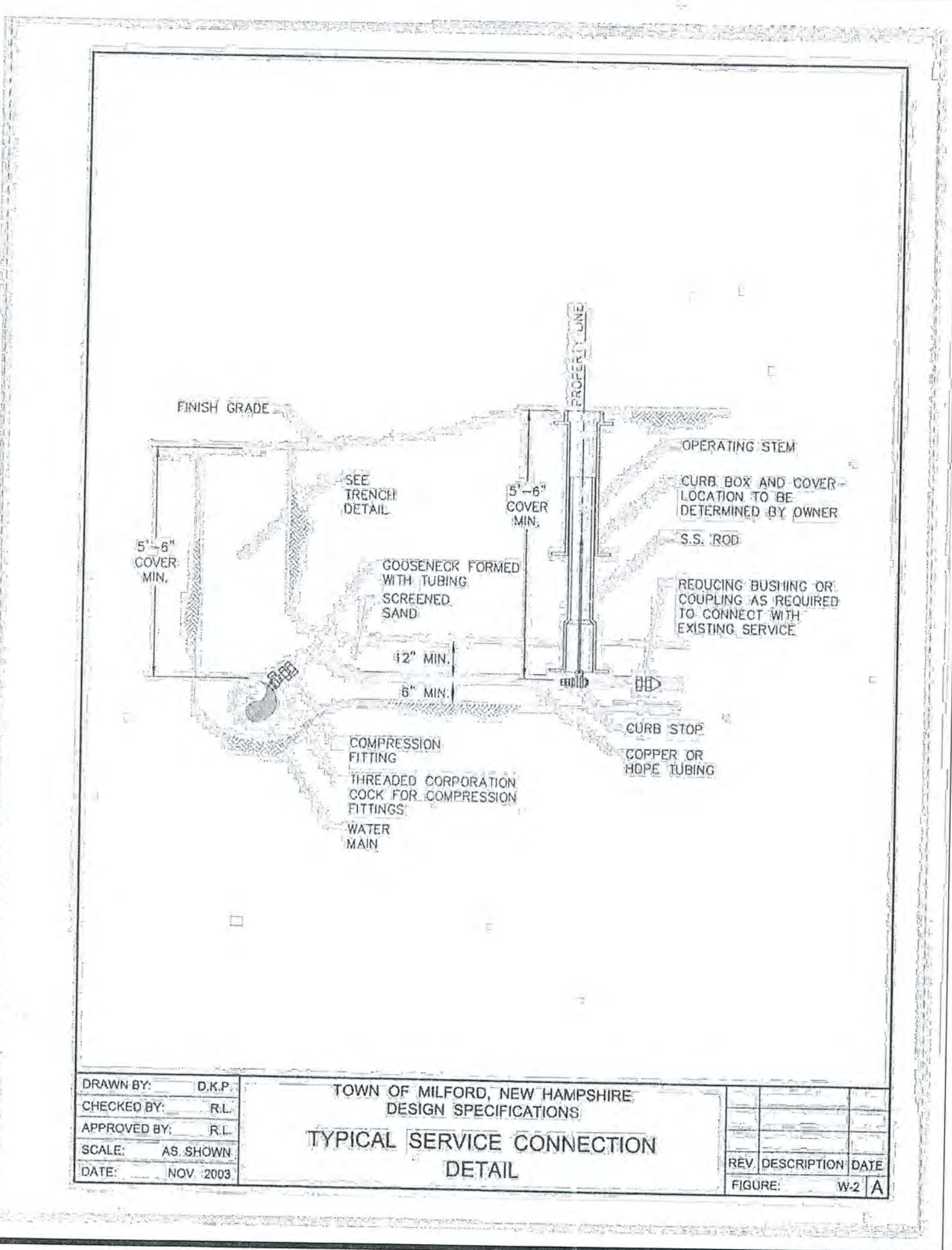
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 PROJECT: 10839.00
 SHEET NO. 6 OF 11



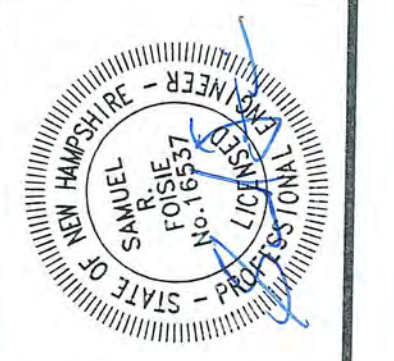
UTILITY TRENCH - HORIZONTAL SEPARATION SCALE: NONE **1** D-1



WATER MAINS CROSSING **2** D-1



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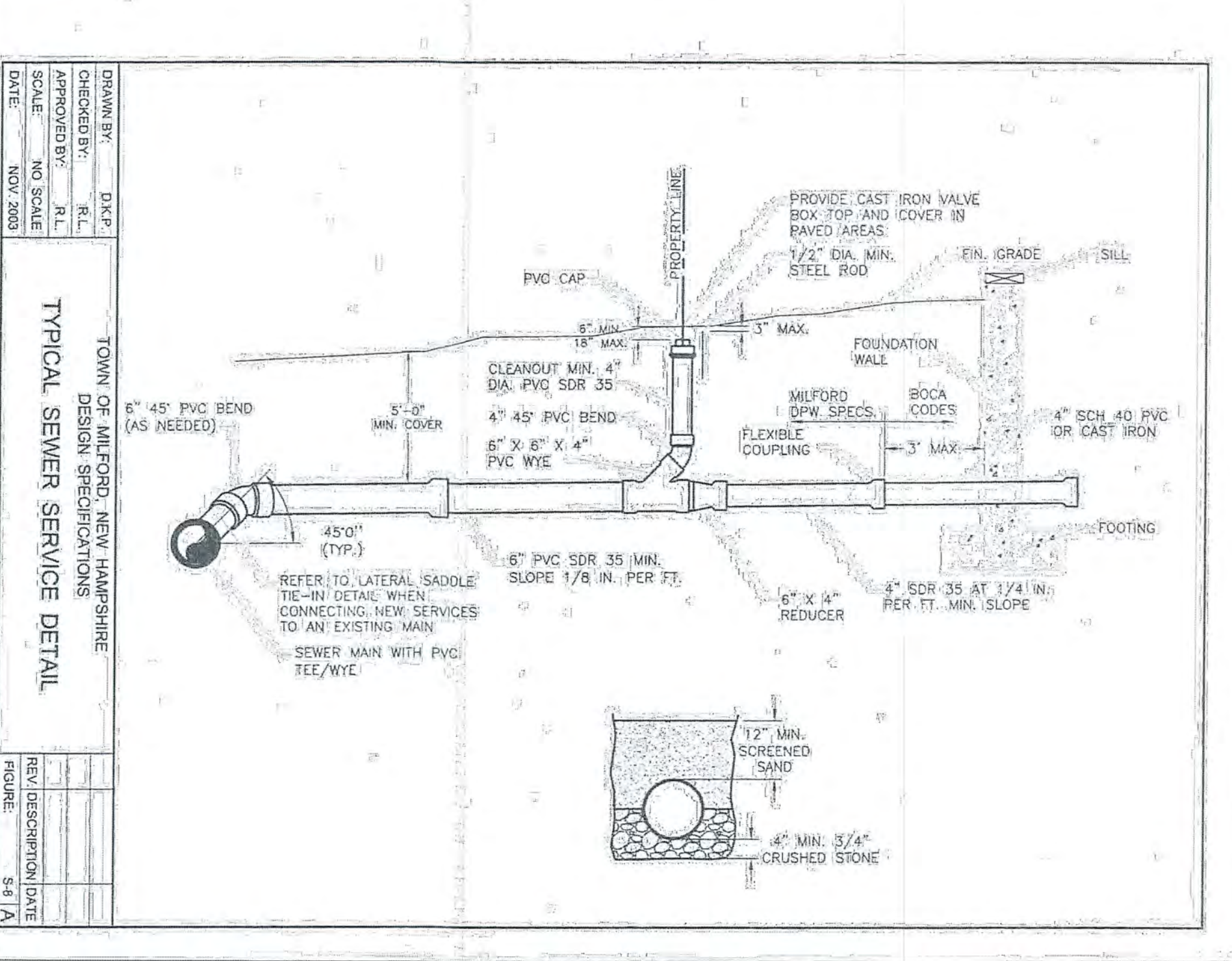
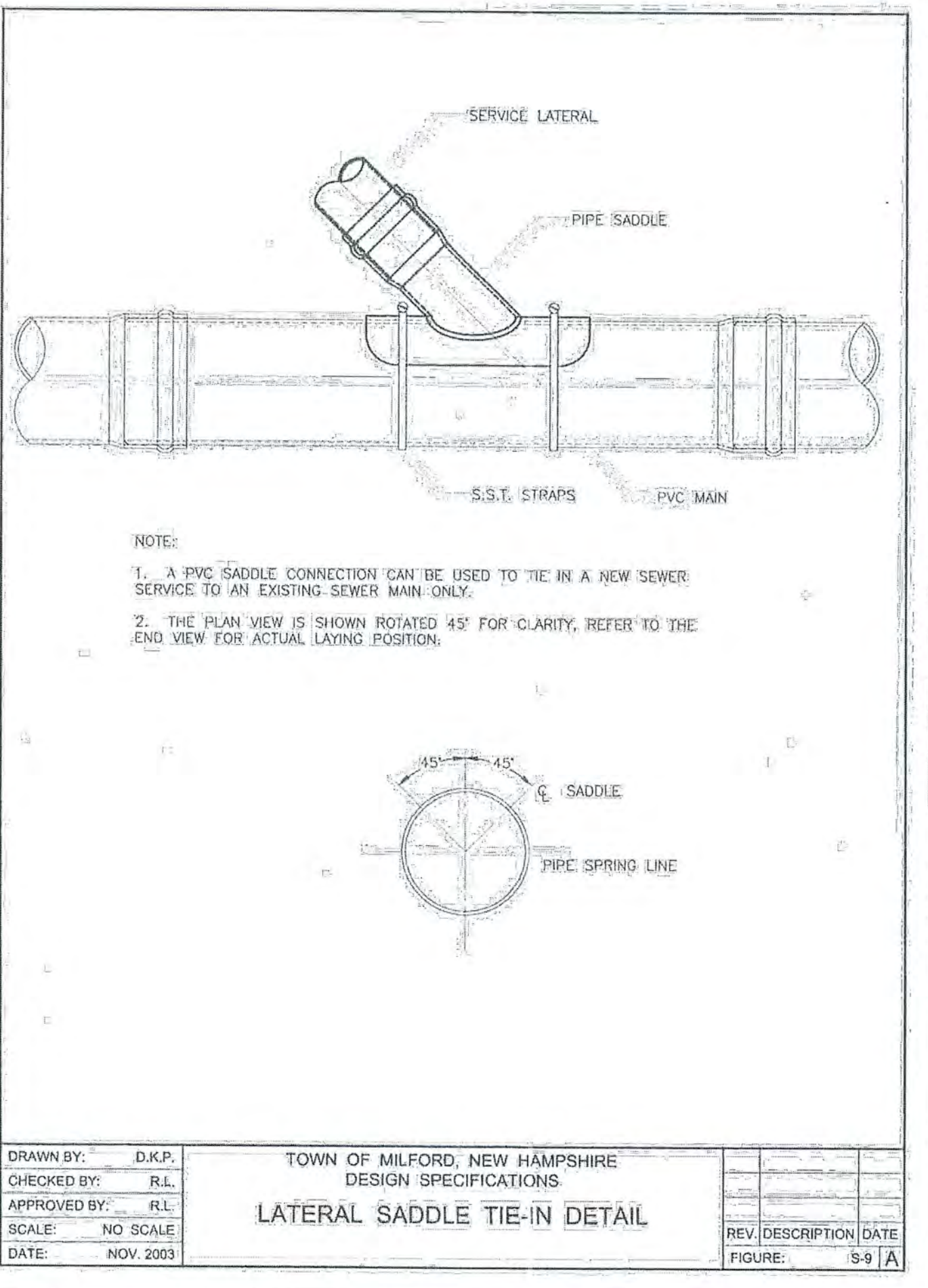
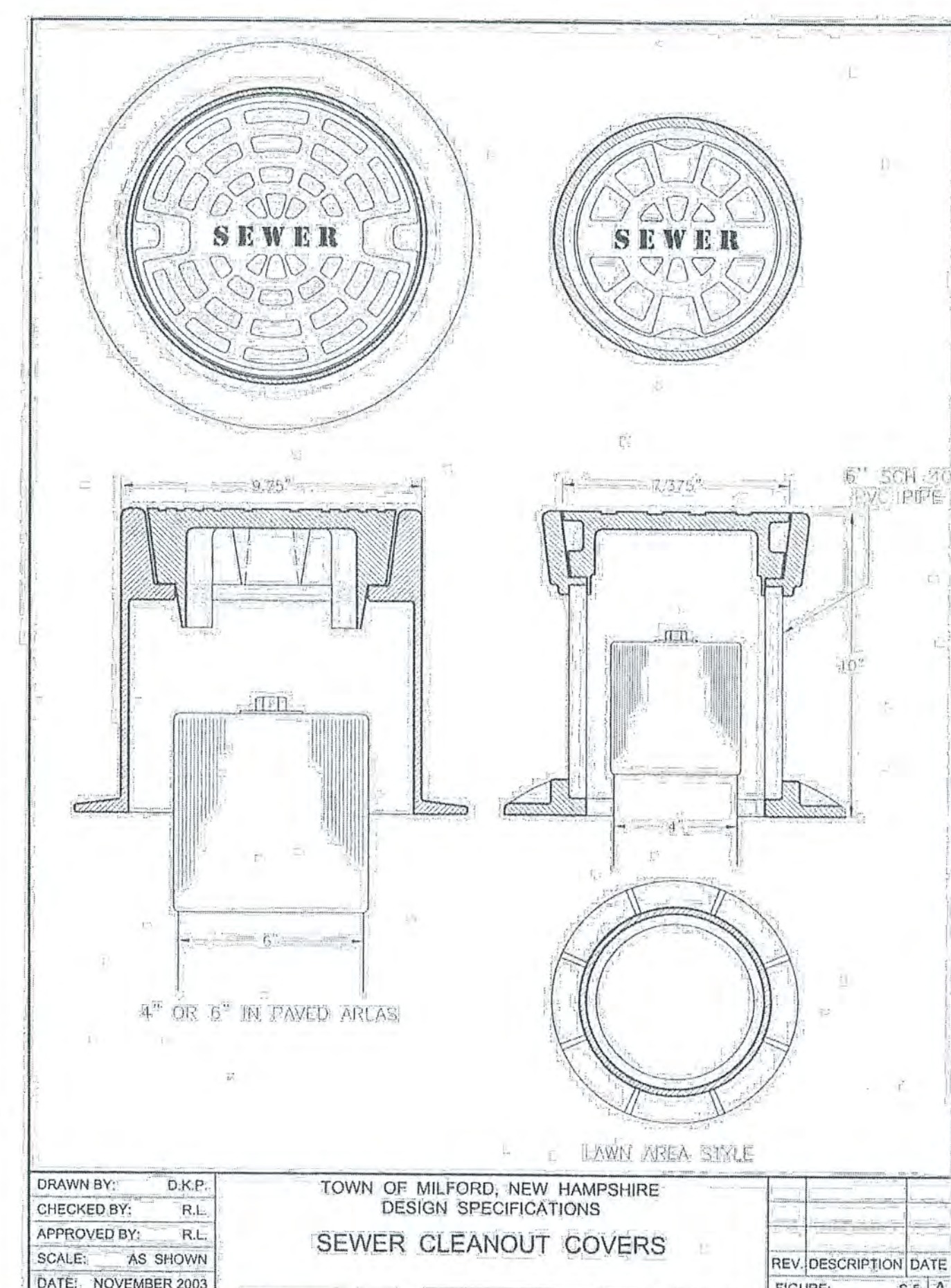
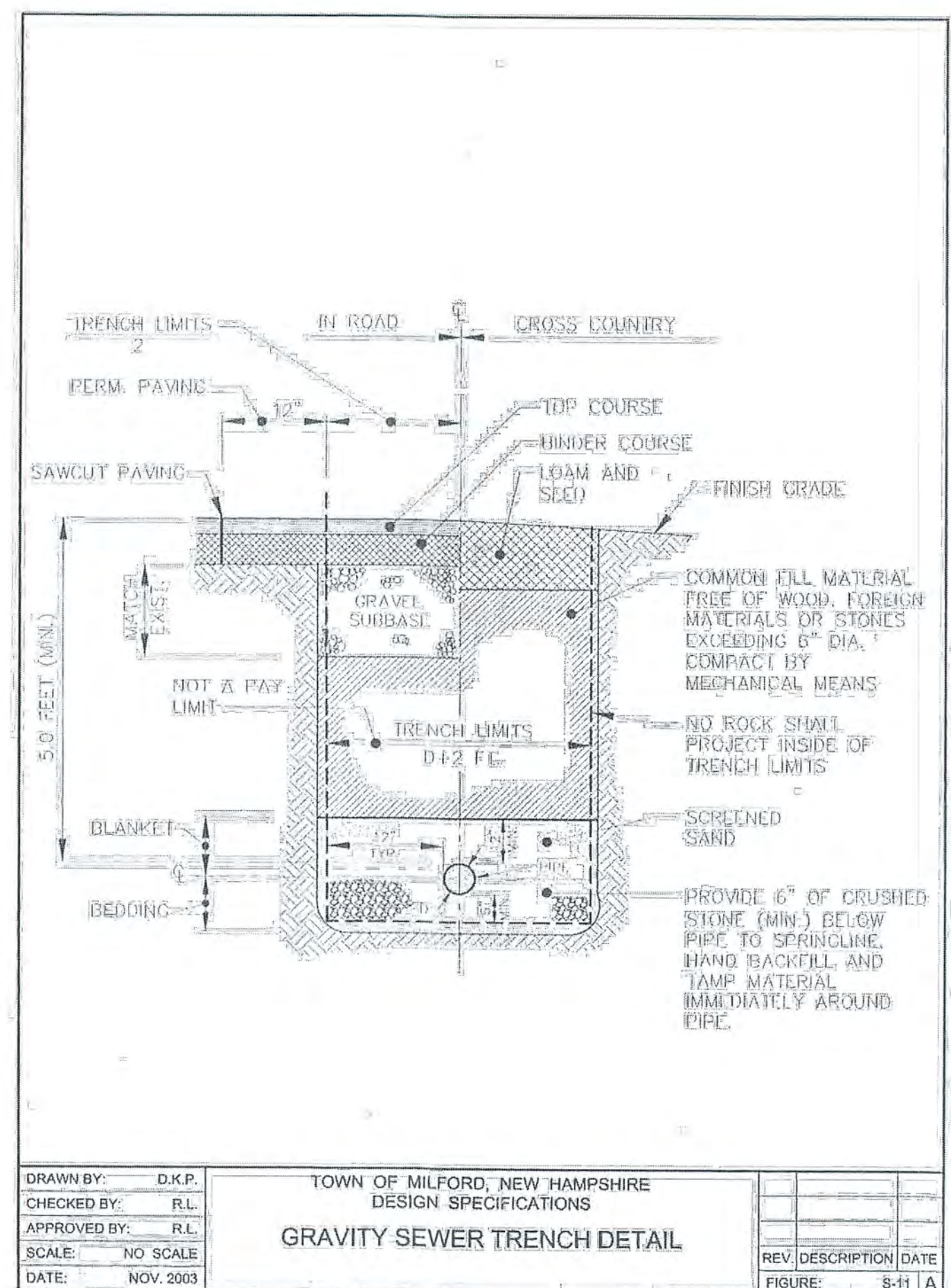
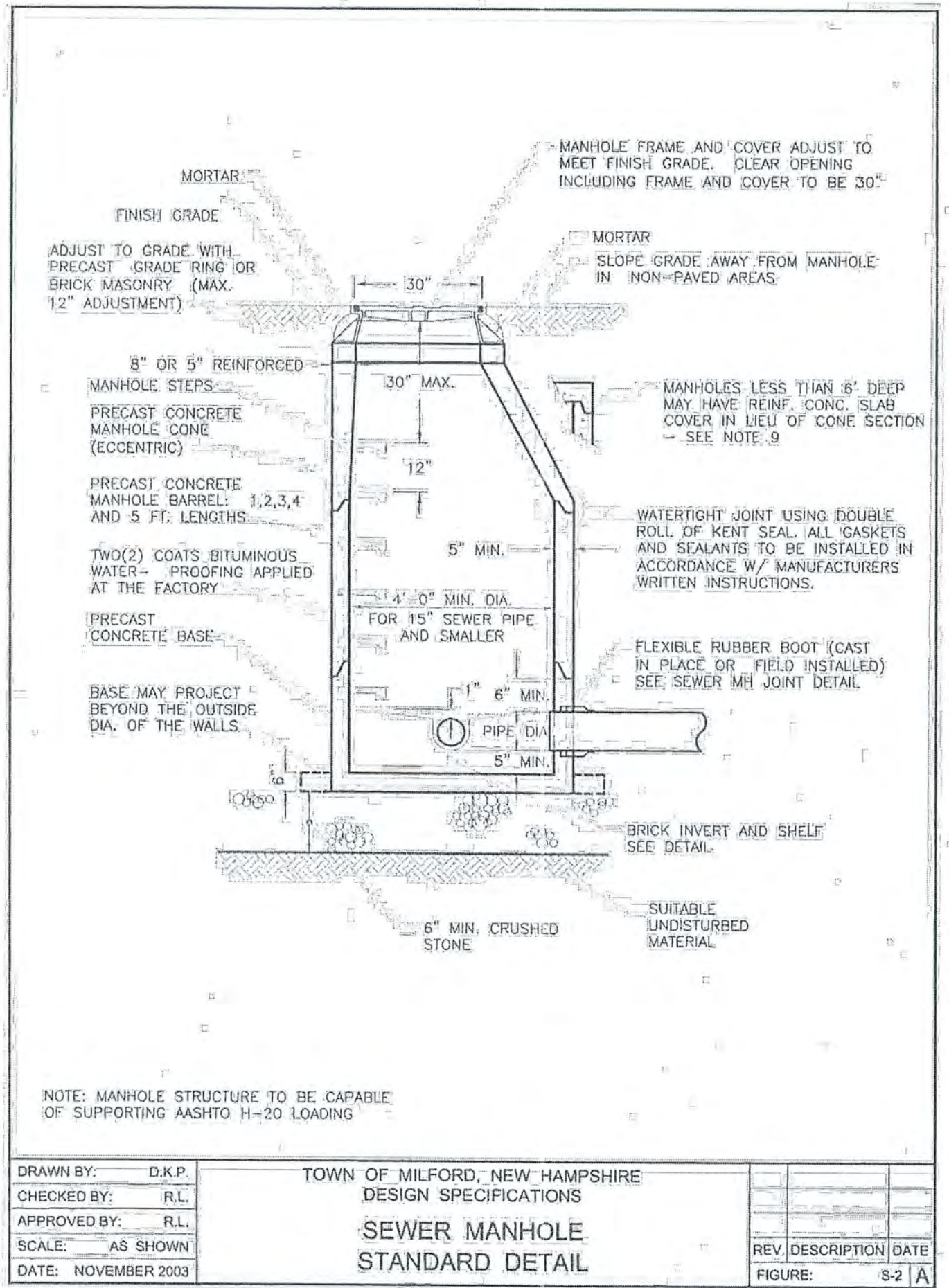
REV.	DATE	DESCRIPTION	DR	CK
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D				
C	6/1/21	BUILDING REVISION	SRF	SRF
B	3/21/21	WATER UTILITY REVISION	SRF	SRF
A	3/17/21	REV FOR COMMENTS DATED 3/10/21	SRF	SRF

CROSBY TOWNHOUSES
SITE PLAN
WATER DETAILS
MARCH 31, 2021

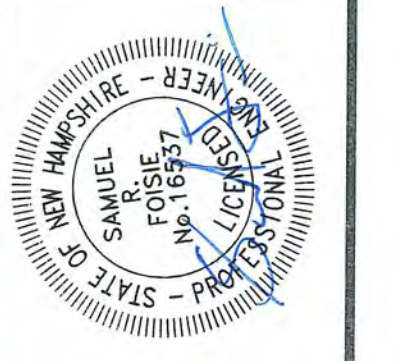
MENGYUAN PROPERTY
MANAGEMENT, LLC
159 ELM STREET
MAP 19 LOT 5
MILFORD, NEW HAMPSHIRE
SCALE: N/A

D-1
SHEET
FILE: 10839100.dwg
PROJECT 10839.00
SHEET NO. 6 OF 11

Plotted: 6/8/2021 3:28 PM By: SRF
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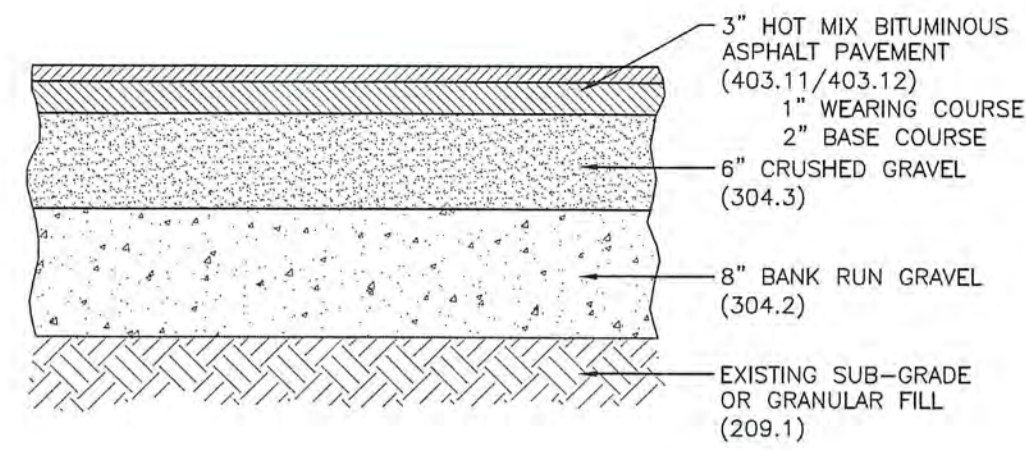


REV.	DATE	DESCRIPTION
A	3/17/21	REV FOR COMMENTS DATED 3/10/21
B	3/31/21	WATER UTILITY REVISION
C	6/1/21	BUILDING REVISION
D		
E		
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CROSBY TOWNHOUSES
SITE PLAN
SEWER DETAILS
MARCH 31, 2021

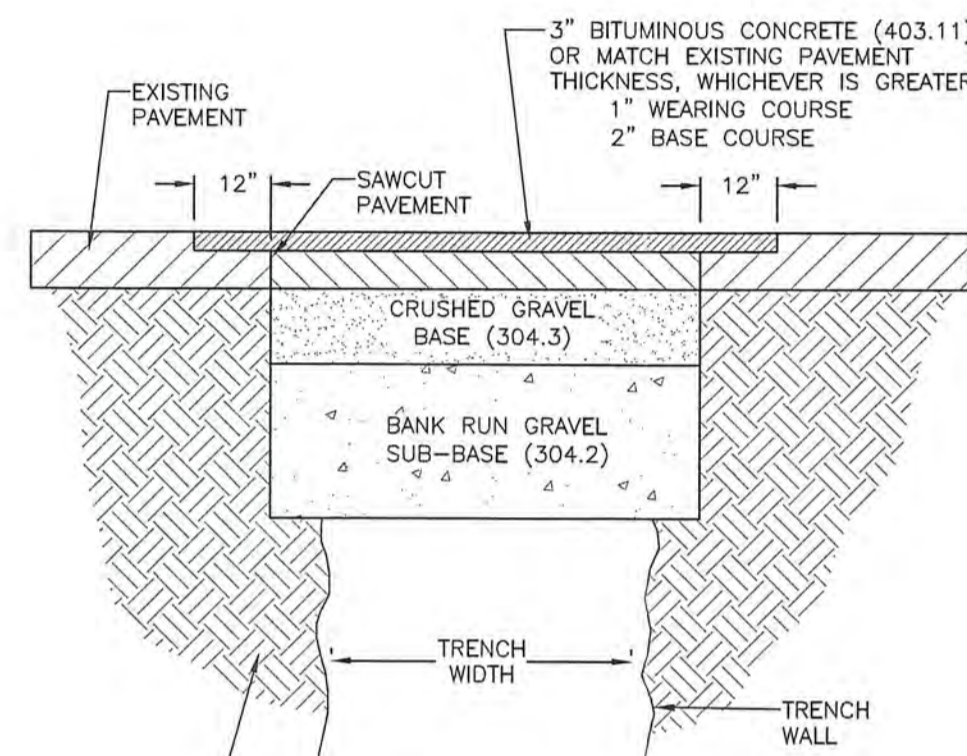
MENGYUAN PROPERTY
MANAGEMENT, LLC
159 ELM STREET
MAP 19 LOT 5
MILFORD, NEW HAMPSHIRE
SCALE: N/A

D-2
SHEET
FILE: 10839100.dwg
PROJECT: 10839.00
SHEET NO. 7 OF 11

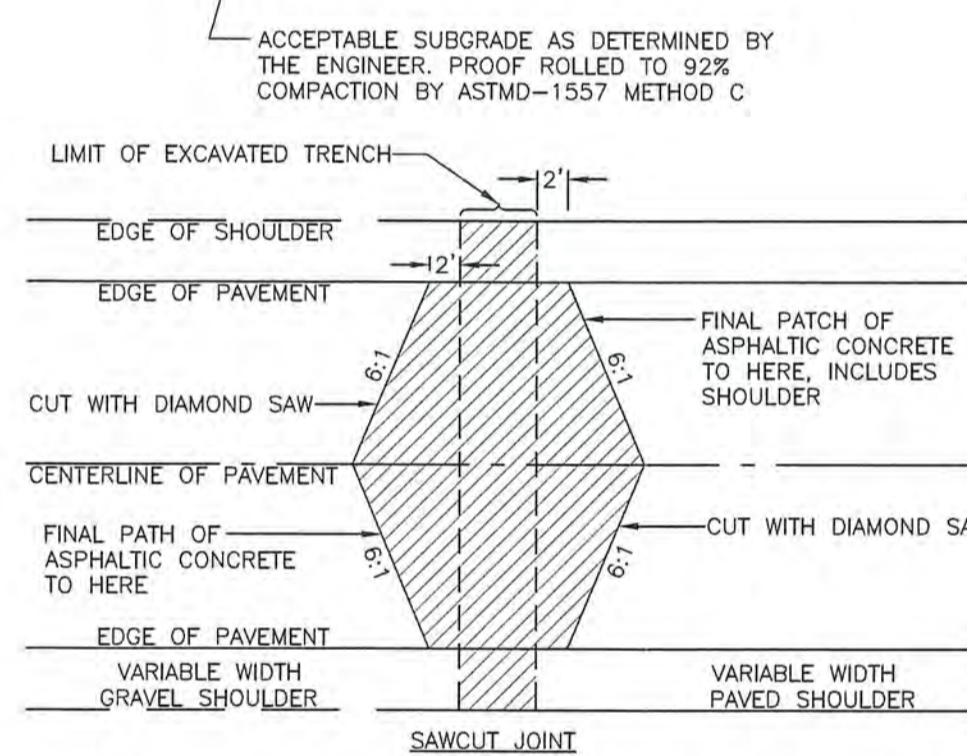


- NOTES:
- PAVEMENT JOINT ADHESIVE (403.6) SHALL BE APPLIED AT ALL LONGITUDINAL PAVEMENT JOINTS AND ALONG ALL LONGITUDINAL CURB LINES.
 - ASPHALT BONDING AGENT SHALL BE APPLIED TO ALL INTERFACES WITH EXISTING PAVEMENTS, AND/OR AREAS OF COLD PLANING.

HOT BITUMINOUS ASPHALT PAVEMENT SECTION SCALE: NONE **4** **D-3**

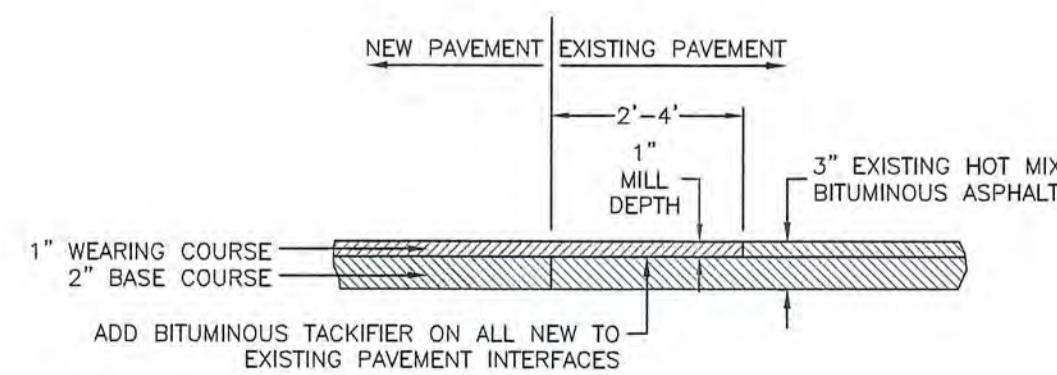


CONCRETE DUMPSTER PAD (NHDOT ITEM NO.) APRIL 11, 2011 SCALE: NONE **8** **D-3**

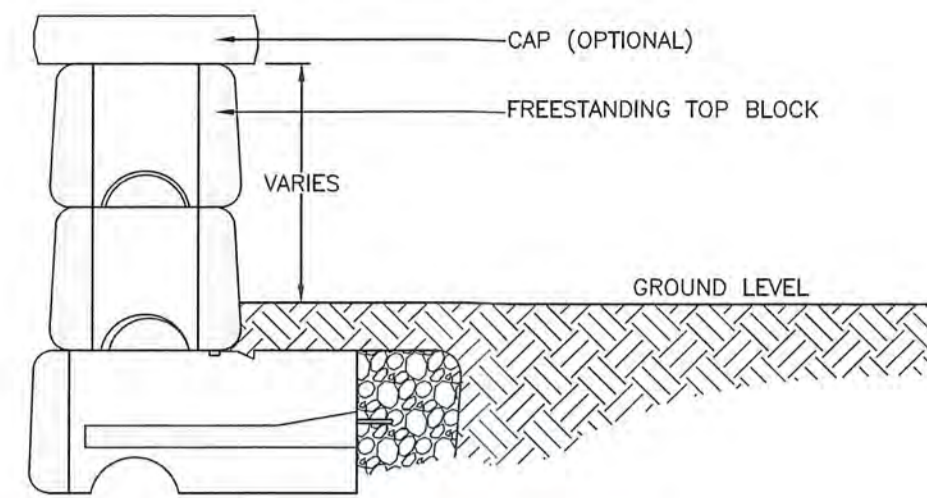


- NOTES:
- PRIOR TO EXCAVATION, THE CONCRETE SHALL BE SAWN AT LEAST 2 FEET BEYOND THE TRENCH AND PREFERABLY LOCATED TO INCLUDE AN EXISTING TRANSVERSE CONCRETE JOINT.
 - BACKFILL AND COMPACT THE TRENCH TO THE BOTTOM OF THE CONCRETE IN ACCORDANCE WITH THE TRENCH PERMIT. TEMPORARILY REPLACE THE CONCRETE WITH CRUSH GRAVEL AND WITH 2 TO 3 INCHES OF BITUMINOUS PAVEMENT THE SAME DAY.
 - AFTER SUITABLE EXPOSURE TO TRAFFIC COMPACTION (2 WEEKS MINIMUM), PLACE BINDER IN THE TRENCH IN 3 INCH LIFTS OR LESS, OR EQUAL DEPTH TO THE CONCRETE SLABS.
 - THE EXISTING PAVEMENT OVER THE CONCRETE SHALL THEN BE DIAMOND CUT AS SHOWN BELOW AND REPLACED WITH BITUMINOUS PAVEMENT AND A ONE (1) INCH WEARING COURSE.
 - IN ALL CASES, THE TRENCH SHALL BE FLUSH WITH THE EXISTING PAVEMENT AT THE END OF THE WORK DAY.
 - THE PAVEMENT TRENCH PATCH SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF MILFORD

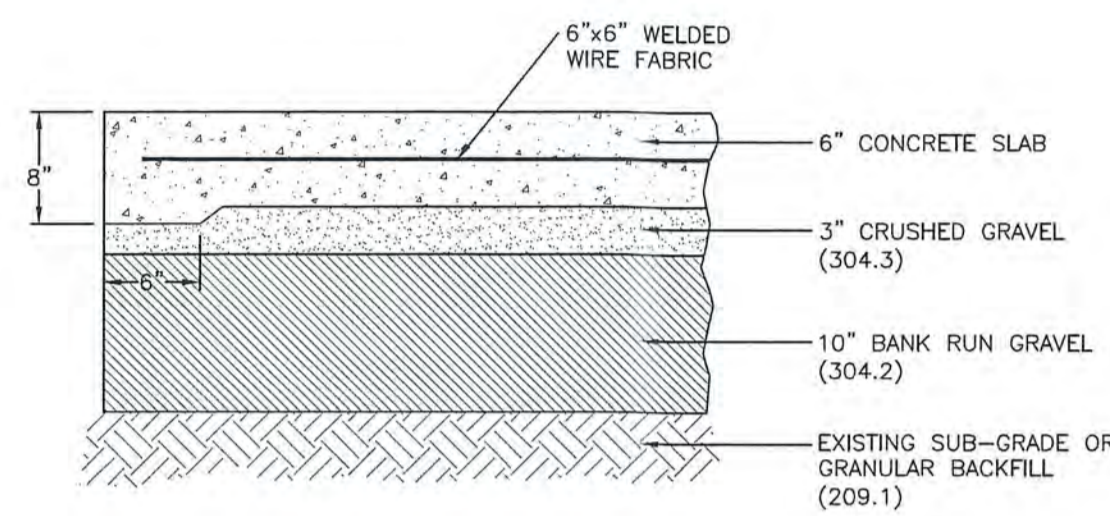
PAVEMENT TRENCH PATCH SCALE: NONE **5** **D-3**



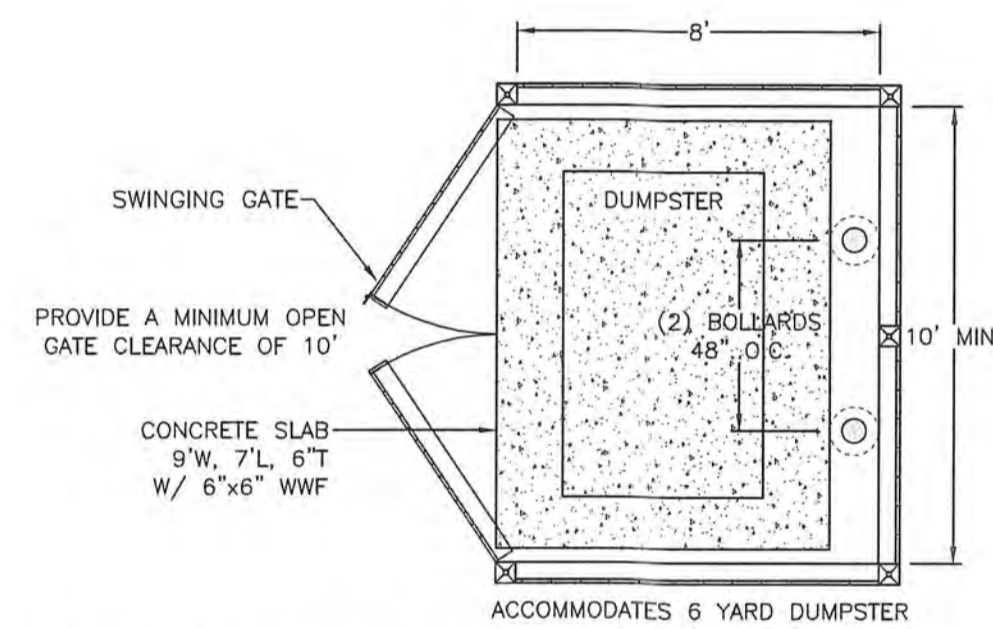
NEW TO EXISTING PAVEMENT MILLING INTERFACE SCALE: NONE **6** **D-3**



TYPICAL FREESTANDING BLOCK AT TOP OF WALL JUNE 22, 2015 SCALE: NONE **7** **D-3**



CONCRETE DUMPSTER PAD (NHDOT ITEM NO.) APRIL 11, 2011 SCALE: NONE **8** **D-3**

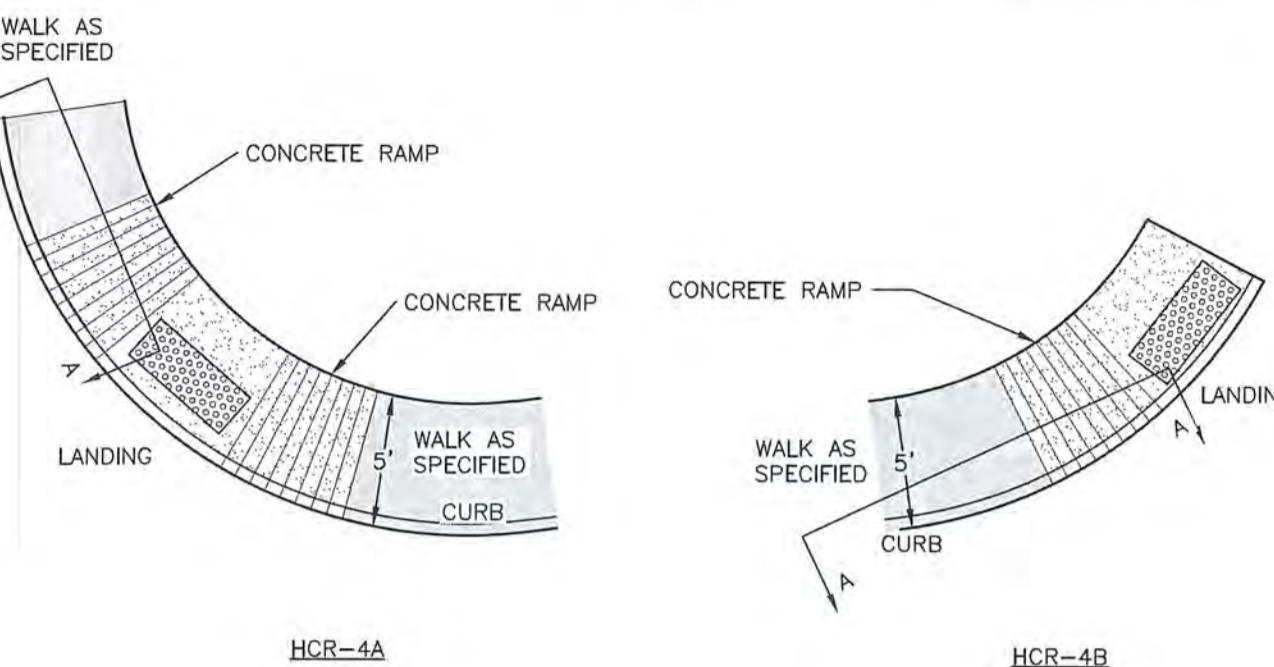
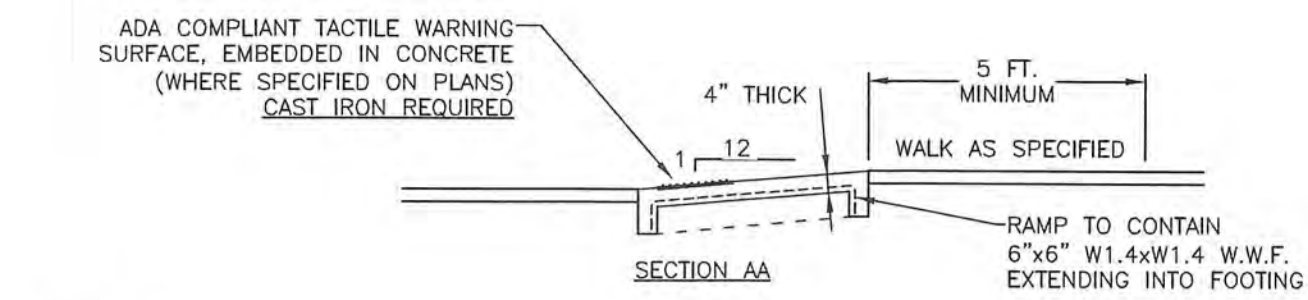


DUMPSTER ENCLOSURE - 6 YARD JULY, 2010 SCALE: NONE **9** **D-3**



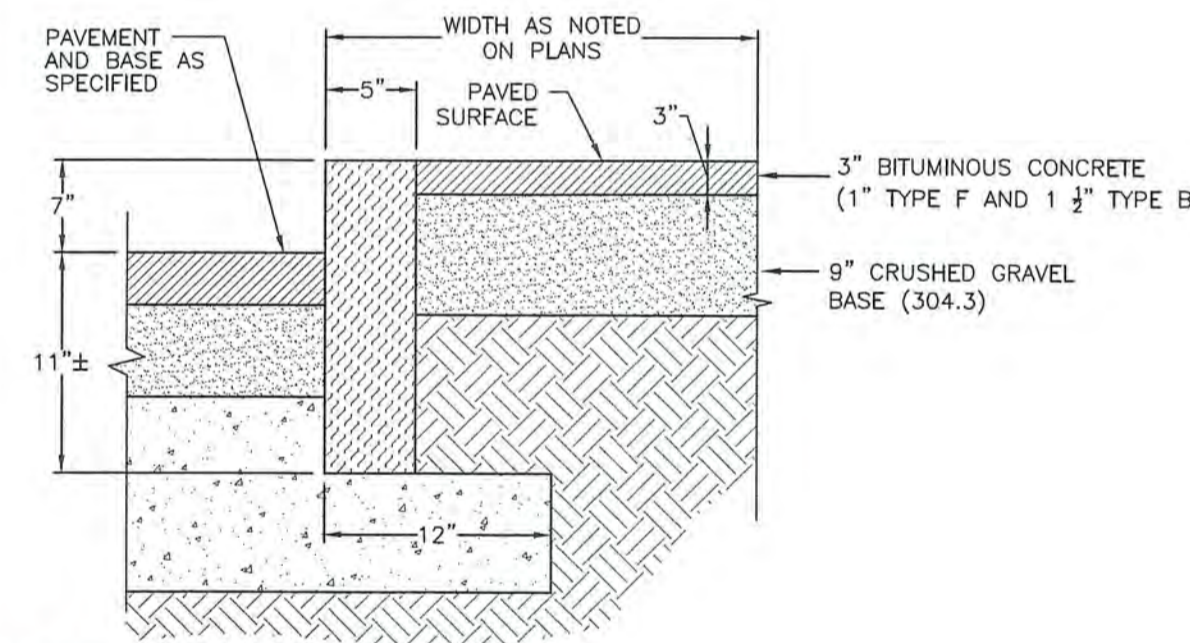
- GENERAL NOTES:
- ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.

TRAFFIC SIGNS SCALE: NONE **10** **D-3**

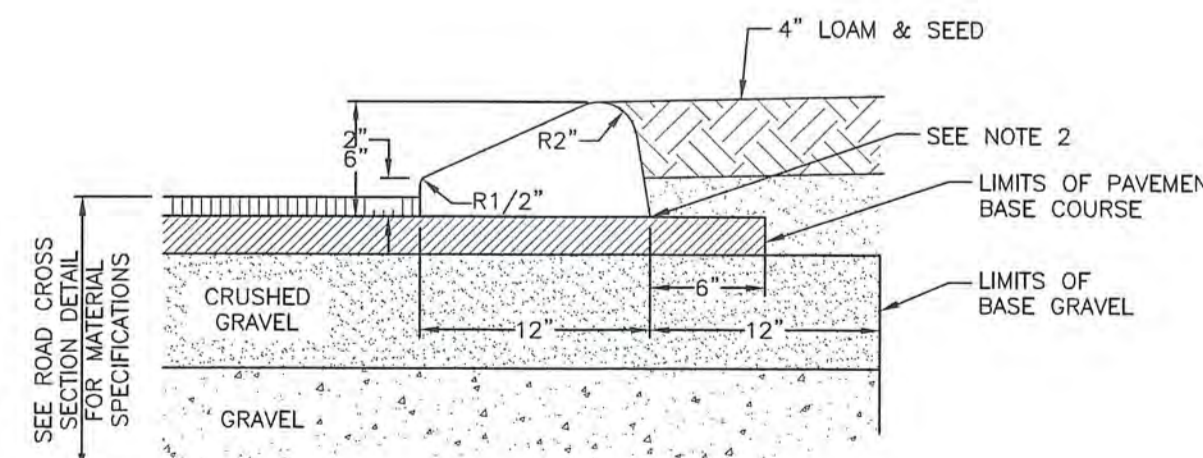


- NOTES:
- DETECTABLE WARNINGS SHALL BE PROVIDED WHERE EVER A CURB RAMP CROSSES A VEHICULAR WAY.
 - DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
 - DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
 - DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEET GOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1 SECTIONS 406.13 AND 705. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.

HANDICAP SIDEWALK RAMPS WITH DETECTABLE WARNINGS APRIL 8, 2011 SCALE: NONE **11** **D-3**

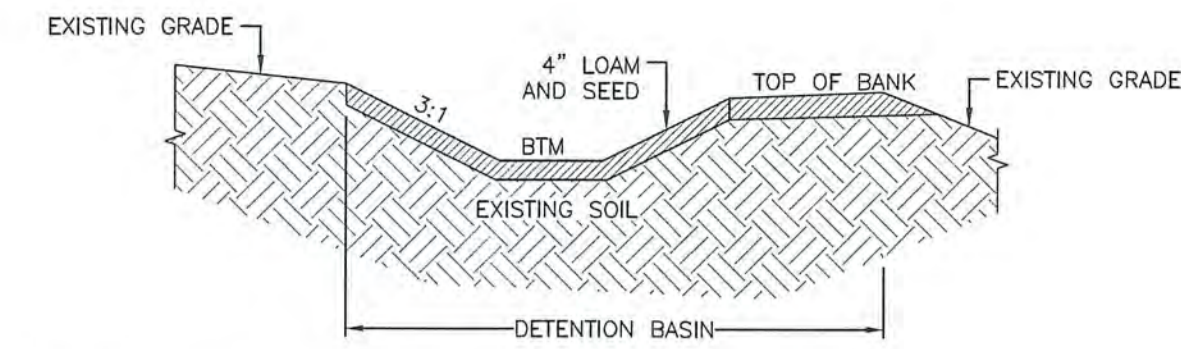


SIDEWALKS - PAVEMENT WITH VERTICAL GRANITE CURB (MILFORD) MAY 20, 2013 SCALE: NONE **12** **D-3**



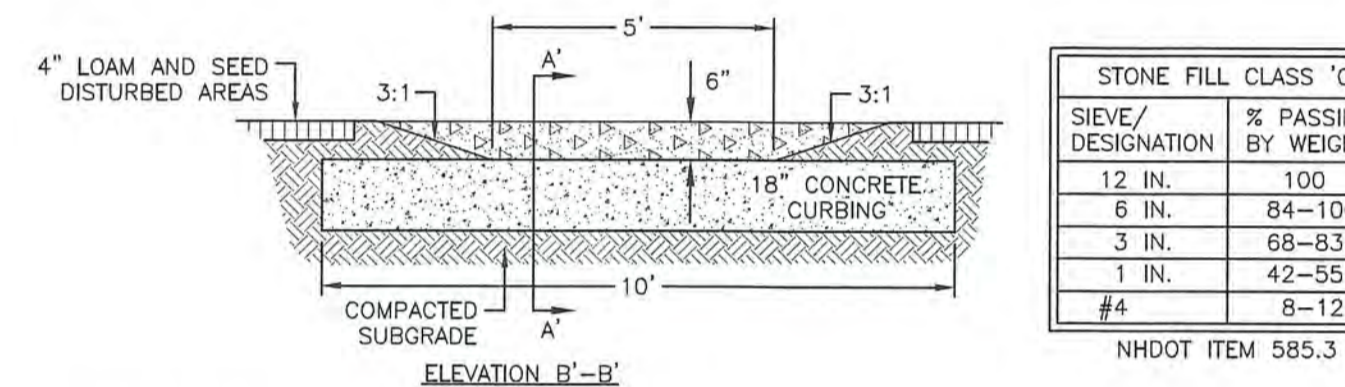
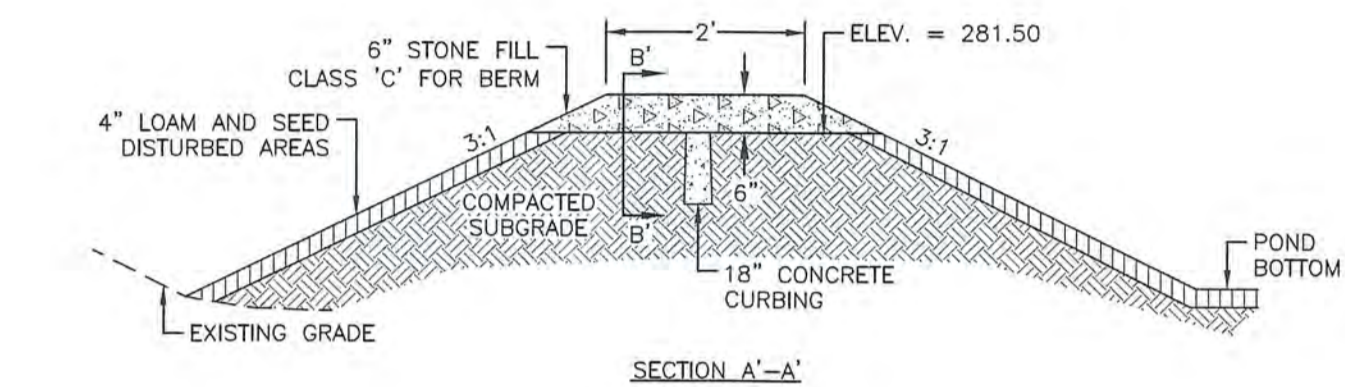
- NOTES:
- CURB FORM SHALL BE MILLER #1144 OR EQUAL
 - APPLY TACK COAT PRIOR TO PLACEMENT OF CURB
 - BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDOT SECTION 609
 - CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL
 - TO BE USED WHERE CURB DOES NOT ABUT SIDEWALK

TYPICAL CAPE COD BERM AUG. 28, 2013 SCALE: NONE **13** **D-3**



- CONSTRUCTION NOTES:
- THE BOTTOM OF THE EXCAVATION SHALL BE DEEPLY TILLED FOLLOWED BY A PASS WITH A LEVELING DRAG.
 - THE BOTTOM AND SIDES OF THE DETENTION BASIN(S) SHALL HAVE 4" OF LOAM AND SEED.
- NOTES:
- DO NOT PLACE DETENTION BASIN(S) INTO SERVICE UNTIL THE CONTRIBUTING AREA HAS BEEN COMPLETELY STABILIZED.

DETENTION BASIN - TYPICAL CROSS-SECTIONS SCALE: NONE **14** **D-3**



RIPRAP SPILLWAY SCALE: NONE **15** **D-3**

STONE FILL CLASS 'C'	
SIEVE/DESIGNATION	% PASSING/BY WEIGHT
12 IN.	100
6 IN.	84-100
3 IN.	68-83
1 IN.	42-55
#4	8-12

NHDOT ITEM 585.3

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REV.	DATE	DESCRIPTION
A	3/17/21	REV FOR COMMENTS DATED 3/10/21
B	3/31/21	WATER UTILITY REVISION
C	6/1/21	BUILDING REVISION
D		
E		
F		
G		
H		

CROSBY TOWNHOUSES
SITE PLAN
GENERAL DETAILS

MENGUAN PROPERTY
MANAGEMENT, LLC
159 ELM STREET
MAP 19 LOT 5
MILFORD, NEW HAMPSHIRE
SCALE: N/A
MARCH 31, 2021




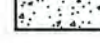
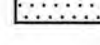
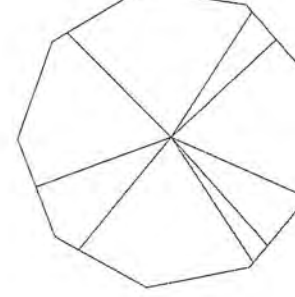
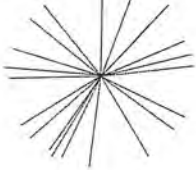




D-3
SHEET
FILE: 10839100.dwg
PROJECT 10839.00
SHEET NO. 8 OF 11

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT LANDSCAPING FOR THE CROSBY TOWNHOUSE.
- LANDSCAPE REQUIREMENTS:

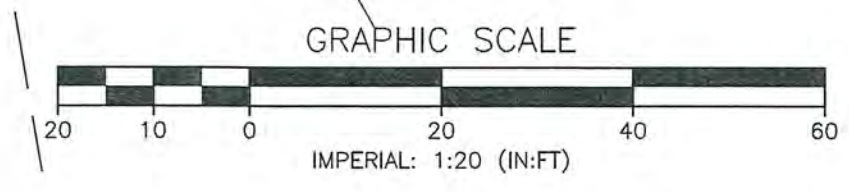
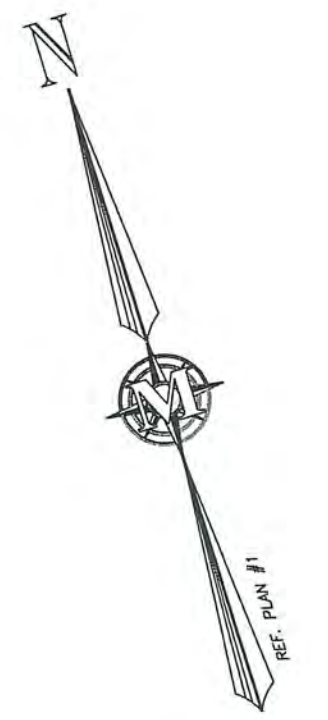
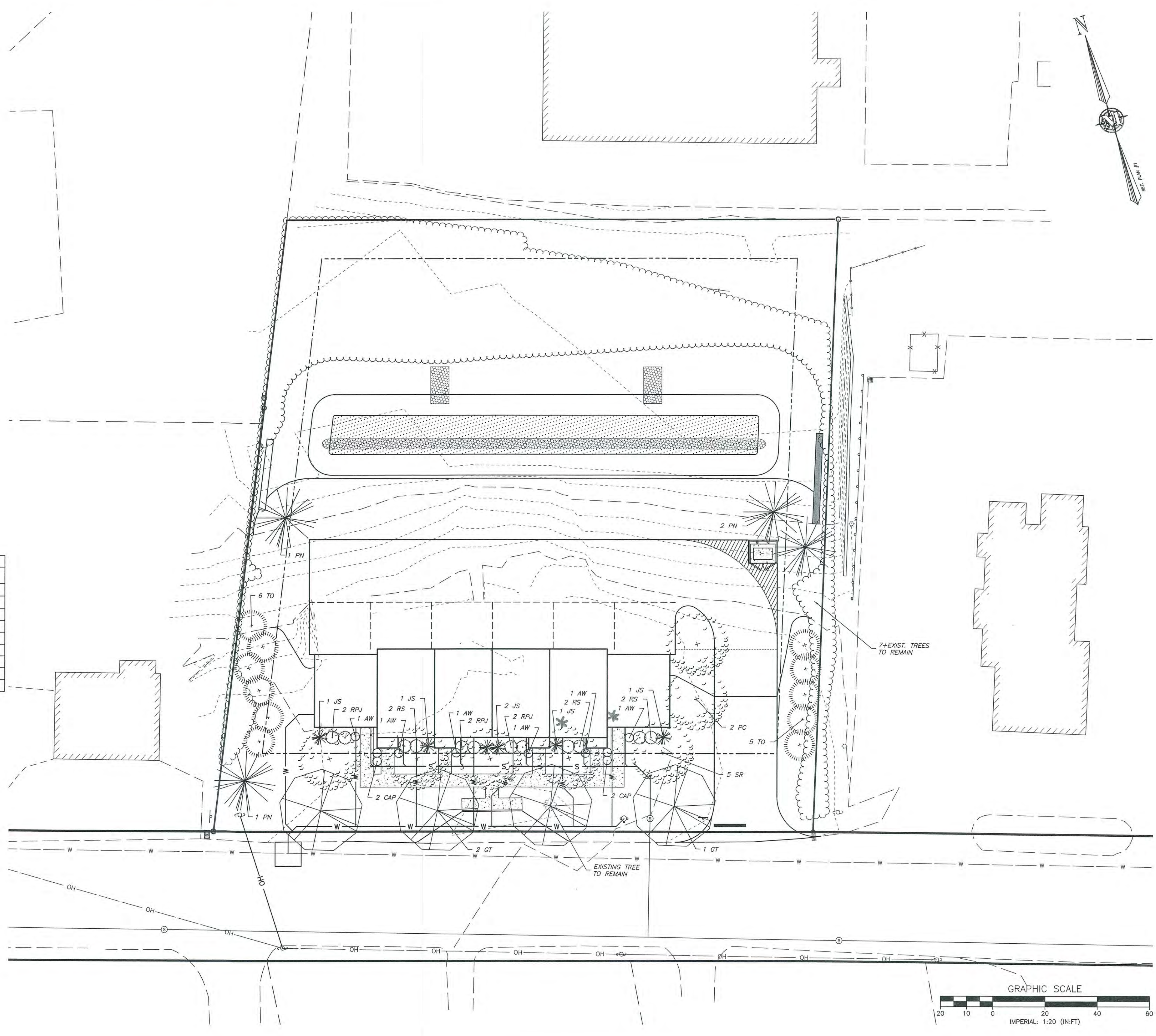
	REQUIRED	PROVIDED
ALONG R.O.W.	10 TREES	10 TREES (1 EXIST.)
ALONG PARKING	6 TREES	5 TREES (7+ EXIST.)
BUILDING FRONTAGE PERIPHERY	28 SHRUBS	28 SHRUBS
TOTAL PROVIDED:	31 TREES & 28 SHRUBS	

LEGEND:

-  PROPOSED BUILDING
-  PROPOSED PAVEMENT
-  PROPOSED PAVER EMERGENCY LOADING AREA
-  PROPOSED ADA SIDEWALK
-  PROPOSED DETENTION BASIN
-  EXISTING & PROPOSED DECIDUOUS SHADE TREE
-  PROPOSED EVERGREEN TREE
-  PROPOSED FLOWERING TREE
-  PROPOSED EVERGREEN SCREEN TREE
-  PROPOSED FLOWERING SHRUB
-  PROPOSED EVERGREEN SHRUB

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
GT	3	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	2-1/2" TO 3-1/2" CALIPER (MIN. 12' HT)
PC	2	PRUNUS PENSILVANICA	THUNDERBOLT BUDLUM	2-1/2" TO 3-1/2" CALIPER (MIN. 12' HT)
PN	4	PINUS RESINOSA	AUSTRIAN SPRUCE	6" TO 7"
SR	5	SYRINGA TRILOBATA	JAPANESE SPICEBUSH	2-1/2" TO 3-1/2" CALIPER (MIN. 12' HT)
TO	11	THUJA OCCIDENTALIS	DARK AMERICAN ARBORVITAE	6' TO 7'
AW	6	AZALEA	DELawarean White	2' TO 3"
CAP	4	COTONEASTER	EARLY FLOWERING	15" TO 18"
JS	6	JUNIPERUS SPENSIS	SEASIDE SPREADER	2' TO 3"
PJM	6	RHOENDRON	PUMPKIN	2' TO 3"
RS	6	RHOENDRON	SCHUBERT	2' TO 3"

NOTE:
THERE ARE NO INVASIVE SPECIES PLANTS PROPOSED AS PER THE NH DEPARTMENT OF AGRICULTURAL PROHIBITED INVASIVE PLANT SPECIES RULE.



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FAX: 603-975-1584



REV.	DATE	DESCRIPTION	DR	CK
1	9/23/21	TOWN COMMENTS		
2				
3				
4				
5				
6				
7				
8				
9				
10				

CROSBY TOWNHOUSES
SITE PLAN
EROSION CONTROL PLAN DETAILS

MENGYUAN PROPERTY
MANAGEMENT, LLC
159 ELM STREET
MAP 19 LOT 5
MILFORD, NEW HAMPSHIRE
SCALE: 1" = 20'
FEBRUARY 18, 2021

LS-1
SHEET
FILE: 10839100A - LS.dwg
PROJECT: 10839.00
SHEET NO. 12 OF 12





Custom Home Designs
 18 Mill Rd.
 Wilmington, MA 01887
 508-254-8044
 chdplans1@gmail.com

Issue: Submittal Set
 Date: 08.11.21

NOTE: These plans are intended for the use of a licensed contractor. It is the responsibility of the contractor to verify compliance with all local building codes. Homeowner / contractor to verify dimensions, proposed layouts and building materials to be used prior to proceeding with construction.

ELM STREET CONDOS
 159 ELM ST
 MILFORD, NH 03055

Sheet #: _____
 Drawn by: JAV
 Dsec: 6 Units

Sheet No.
AO



CUSTOM HOME DESIGNS

18 Mill Rd.
Wilmington, MA
01887
508-254-8044
chdplans1@gmail.com

Custom
Home
Designs

Issue: Date:
Submittal 08.11.21
Set

NOTE:
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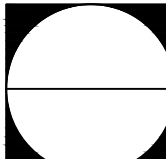
ELM STREET CONDOS
159 ELM ST
MILFORD, NH 03055

Sheet #: 1 of 5
Drawn by: JAV
Dsec: 6 Units

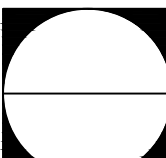
Sheet No.

A1

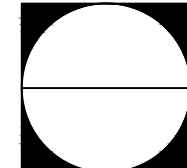


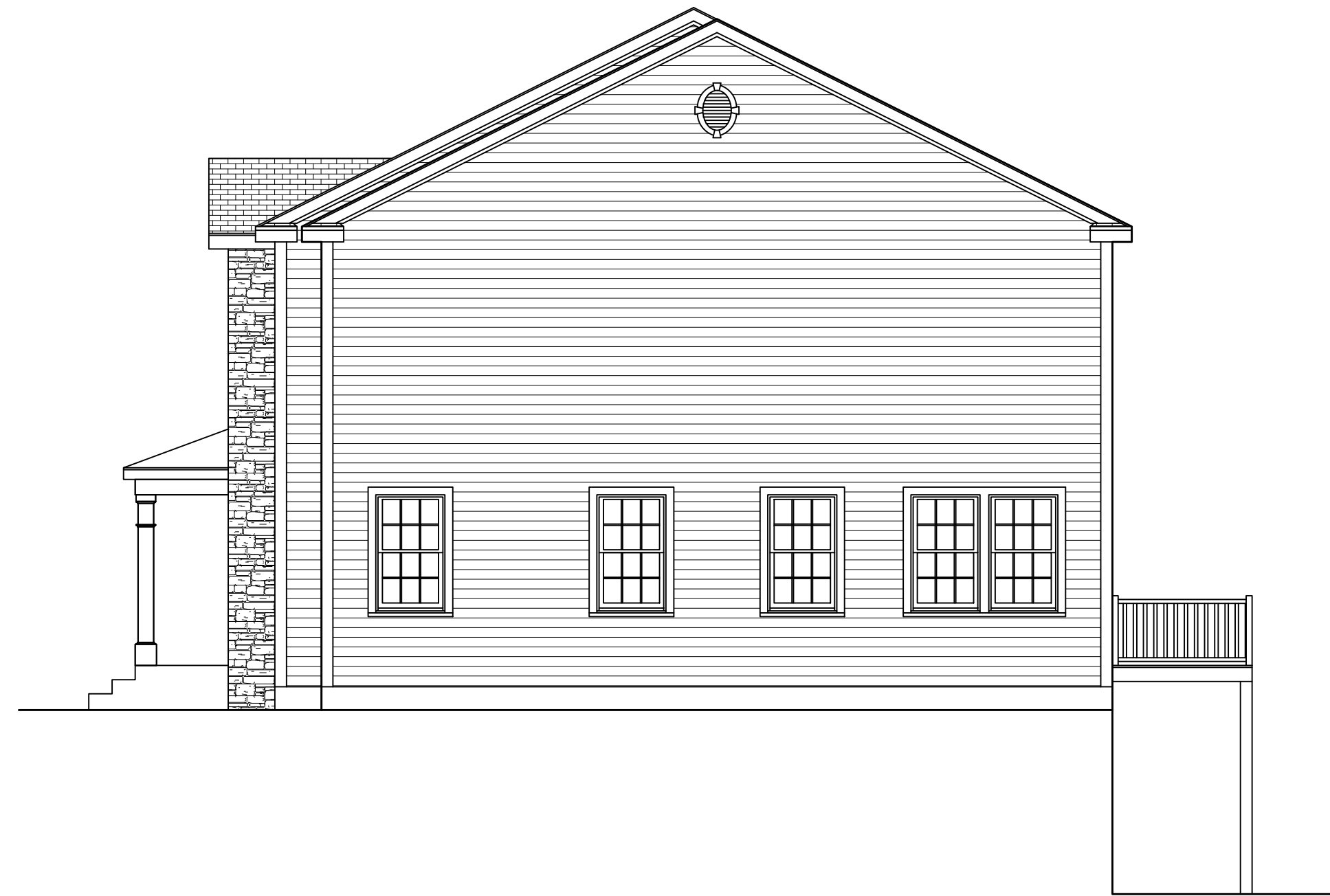
 FRONT ELEVATION
SCALE: 3/16" = 1'-0"

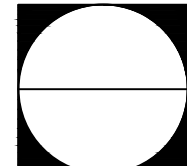


 LEFT ELEVATION
SCALE: 3/16" = 1'-0"




REAR ELEVATION
 SCALE: 3/16" = 1'-0"




RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"



Custom Home Designs
 18 Mill Rd.
 Wilmington, MA 01887
 508-254-8044
 chdplans1@gmail.com

Issue: Date:
 Submittal 08.11.21
 Set

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ELM STREET CONDOS
 159 ELM ST
 MILFORD, NH 03055

Sheet #: 2 of 5
 Drawn by: JAV
 Dsec: 6 Units

Sheet No.

A2



CUSTOM HOME DESIGNS

18 Mill Rd.
Wilmington, MA 01887
508-254-8044
chdplans1@gmail.com

**Custom
Home
Designs**

Issue: Submittal Set
Date: 08.11.21

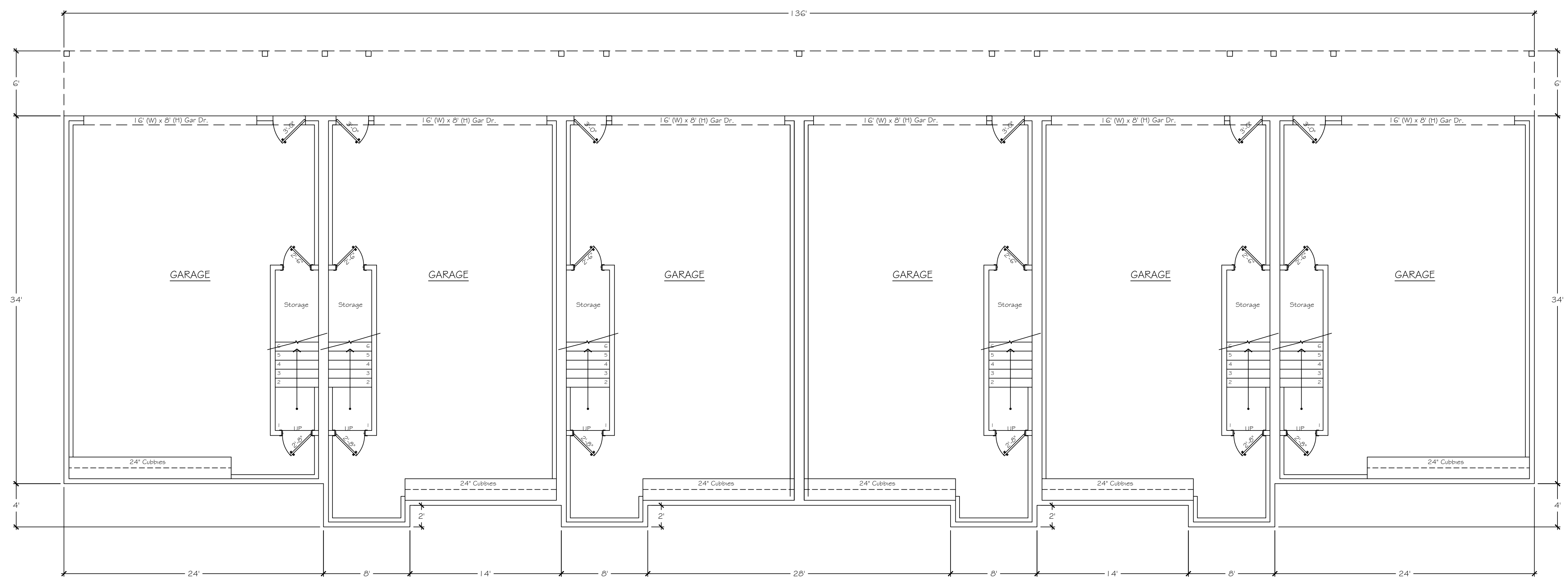
NOTE: These plans are intended for the use of a licensed contractor. It is the responsibility of the contractor to verify compliance with all local building codes. Homeowner / contractor to verify dimensions, proposed layouts and building materials to be used prior to proceeding with construction.

ELM STREET CONDOS
159 ELM ST
MILFORD, NH 03055

Sheet #: 3 of 5
Drawn by: JAV
Dsec: 6 Units

Sheet No.

A3



BASEMENT PLAN
SCALE: 3/16" = 1'-0"



CUSTOM HOME DESIGNS

18 Mill Rd.
Wilmington, MA 01887
508-254-8044
chdplans1@gmail.com

Custom Home Designs

Issue: Submittal Set
Date: 08.11.21

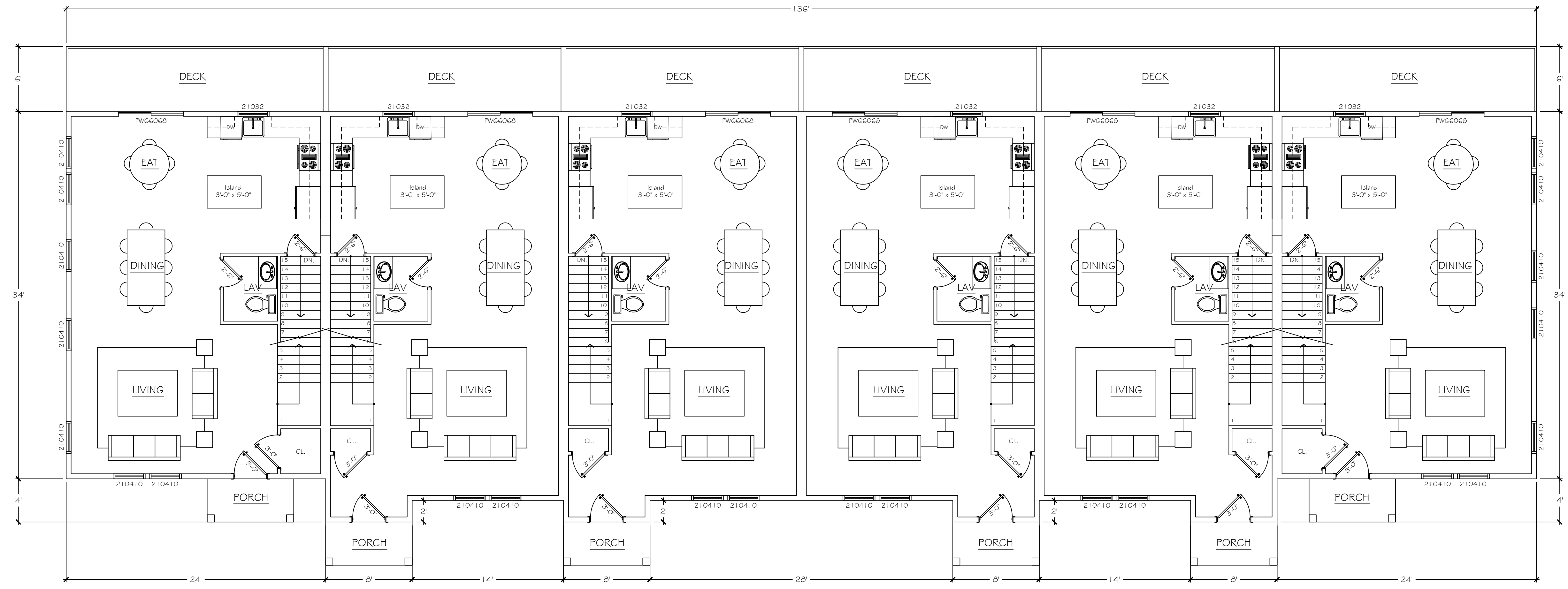
NOTE: These plans are intended for the use of a licensed contractor. It is the responsibility of the contractor to verify compliance with all local building codes. Homeowner / contractor to verify dimensions, proposed layouts and building materials to be used prior to proceeding with construction.

ELM STREET CONDOS
159 ELM ST
MILFORD, NH 03055

Sheet #: 4 of 5
Drawn by: JAV
Dsec: 6 Units

Sheet No.

A4



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



CUSTOM HOME DESIGNS

18 Mill Rd.
Wilmington, MA
01887
508-254-8044
chdplans1@gmail.com

**Custom
Home
Designs**

Issue: Date:
Submittal 08.11.21
Set

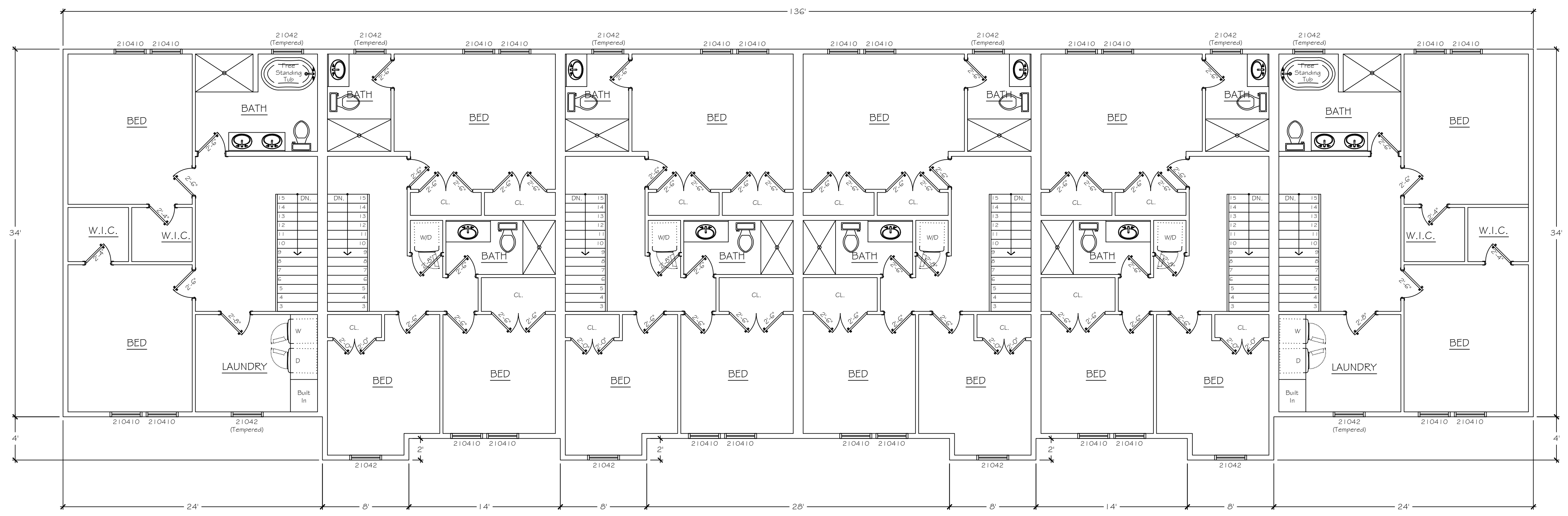
NOTE:
These plans are intended for the use of a licensed contractor. It is the responsibility of the contractor to verify compliance with all local building codes. Homeowner / contractor to verify dimensions, proposed layouts and building materials to be used prior to proceeding with construction.

ELM STREET CONDOS
159 ELM ST
MILFORD, NH 03055

Sheet #: 5 of 5
Drawn by: JAV
Dsec: 6 Units

Sheet No.

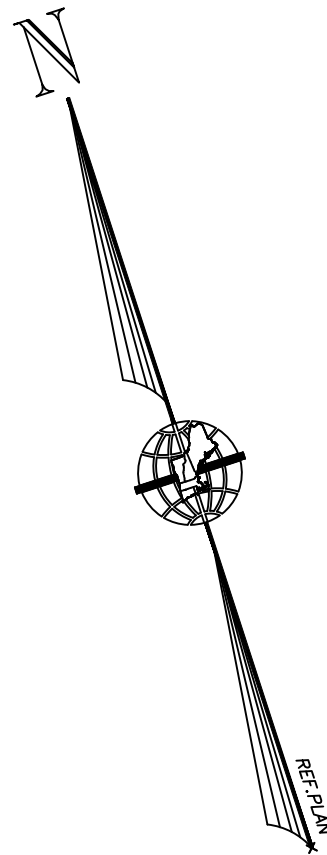
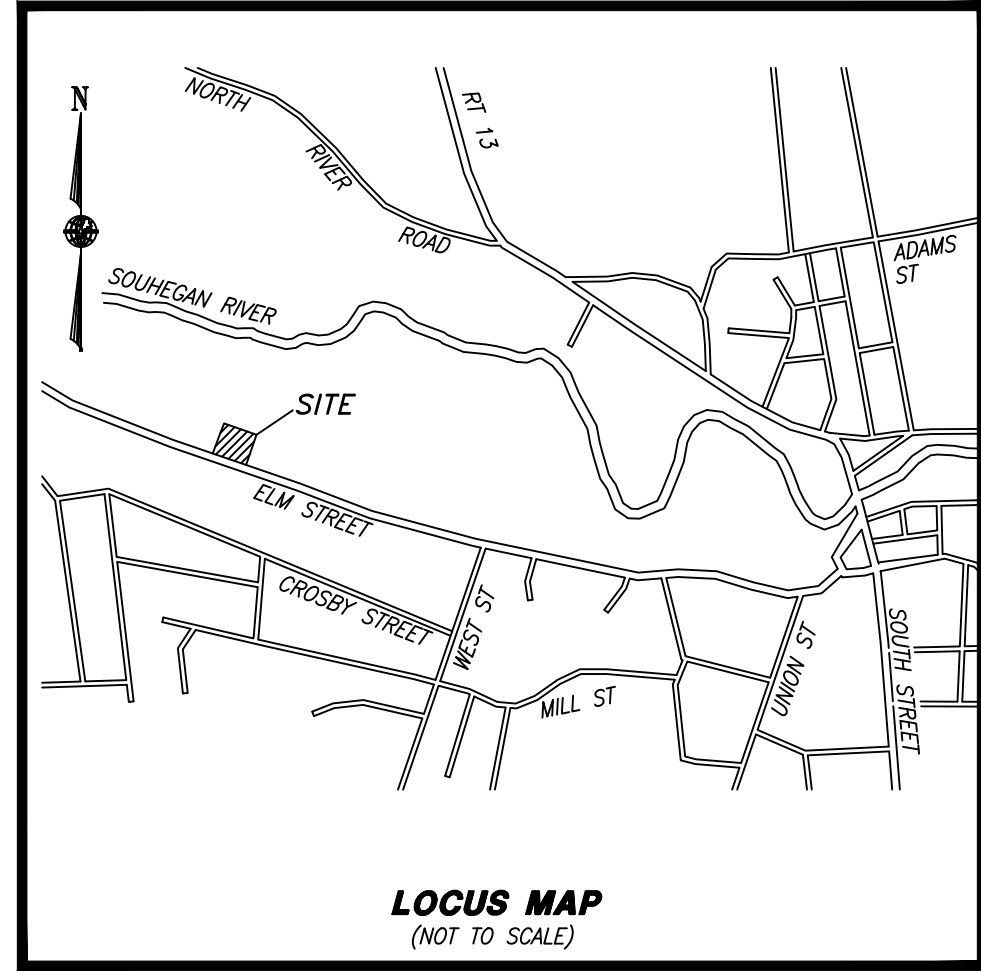
A5



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

REFERENCE PLAN:

"SUBDIVISION-CONSOLIDATION PLAN - PREPARED FOR: -
BIRCHTREE ASSOCIATES - MILFORD, N.H." SCALE: 1"=100' DATED
MAY 18, 1984. PREPARED BY THOMAS F. MORAN INC. AND
RECORDED AT H.C.R.D. AS PLAN #16910.



19-25
**1-9 PAULINE STREET
REALTY TRUST**
16 SAMUEL BIXBY WAY
BOXFORD, MA 01921

19-25-9
**BROOKSTONE
MANOR LLC**
1 MONARCH PLACE
SPRINGFIELD, MA 01144

19-25

19-5
1.19 ACRES
51,836 S.F.

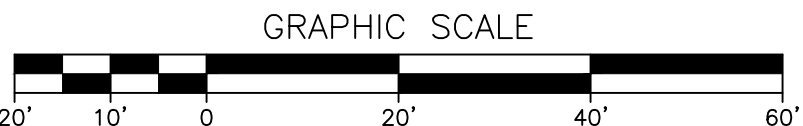
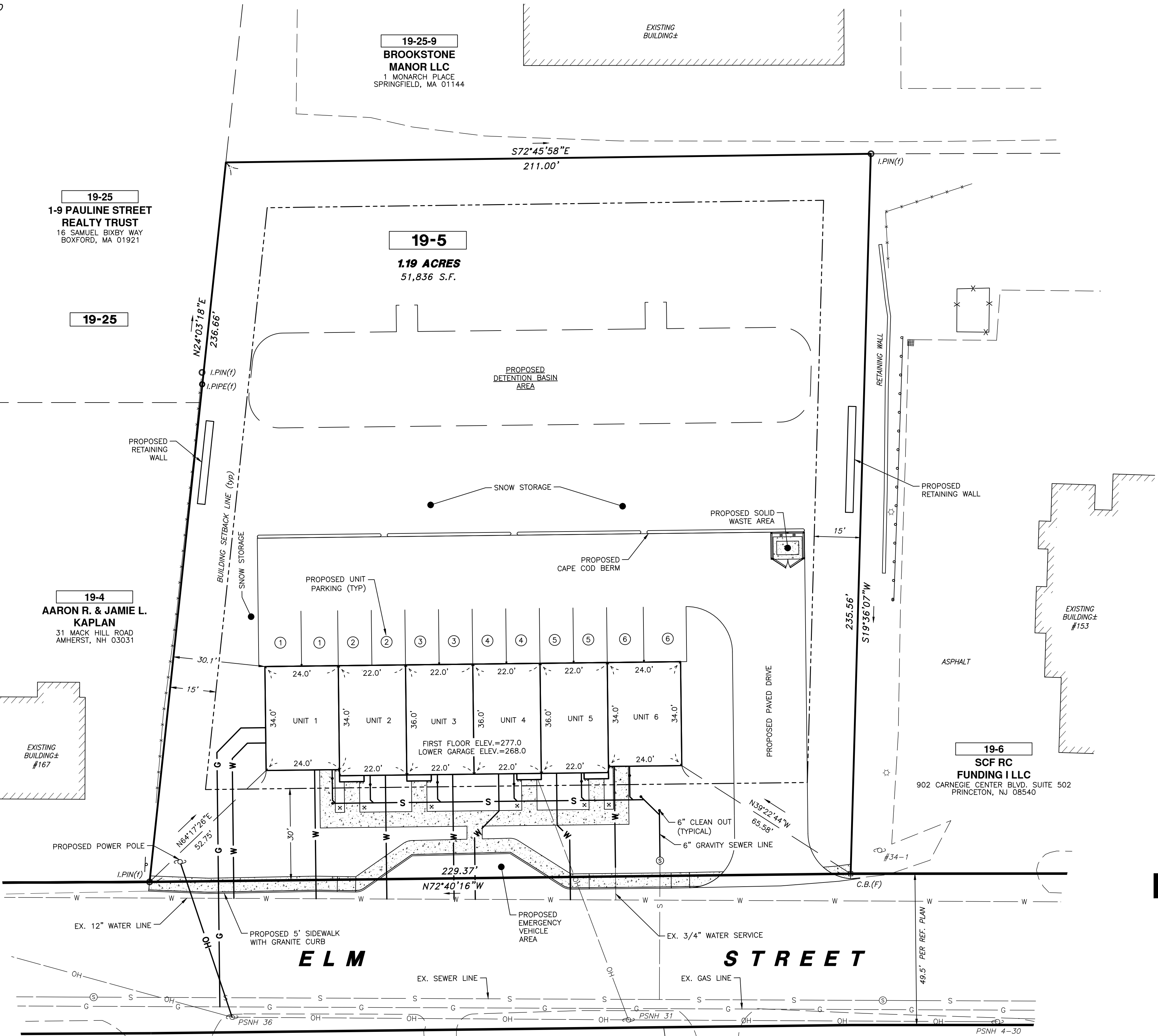
19-4
**AARON R. & JAMIE L.
KAPLAN**
31 MAOK HILL ROAD
AMHERST, NH 03031

19-6
**SCF RC
FUNDING I LLC**
902 CARNEGIE CENTER BLVD, SUITE 502
PRINCETON, NJ 08540

19-14
**WILSKY
INVESTMENTS LLC**
154 ELM STREET
MILFORD, NH 03055

19-12
**SOUHEGAN
WATERFALLS, LLC**
138 ELM STREET
MILFORD, NH 03055

- LEGEND:**
- RIGHT-OF-WAY SIDELINE
 - PROPERTY LINE
 - - - EDGE OF PAVEMENT (EXIST.)
 - - - EDGE OF PAVEMENT (PROP.)
 - G - GAS LINE (EXIST.)
 - G - GAS LINE (PROP.)
 - S - SEWER LINE (EXIST.)
 - S - SEWER LINE (PROP.)
 - W - WATER LINE (EXIST.)
 - W - WATER LINE (PROP.)
 - OH - OVERHEAD WIRES (EXIST.)
 - OH - OVERHEAD WIRES (PROP.)
 - 19-5** EXISTING TAX MAP AND LOT #
 - ☆ EXISTING LIGHT POST
 - ⊕ EXISTING UTILITY POLE
 - ⊕ EXISTING SIGN
 - ⊕ EXISTING MAILBOX
 - IRON PIPE FOUND
 - IRON PIN FOUND
 - CONCRETE BOUND FOUND
 - ⊙ SEWER MANHOLE
 - ① UNIT PARKING SPACE



REV.	DATE	DESCRIPTION	C/O	DR	CK
B	--	--	--	--	--
A	--	--	--	--	--

**CONDOMINIUM SITE PLAN
PREPARED FOR:
MENGYUAN PROPERTY
MANAGEMENT, LLC**

**TAX MAP 19 LOT 5
159 ELM STREET
MILFORD, NEW HAMPSHIRE**

SCALE: 1" = 20' JUNE 11, 2021



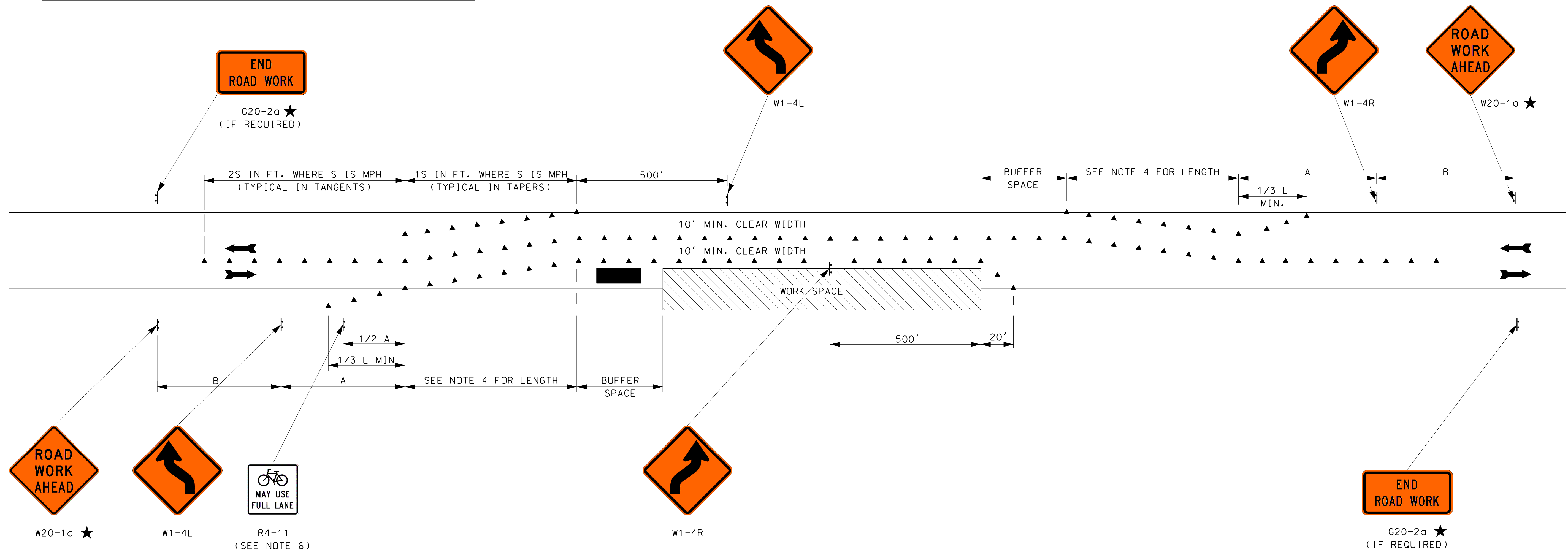
**MERIDIAN
LAND SERVICES, INC.**
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441
MERIDIANLANDSERVICES.COM FAX 603-673-1584

REVISION DATE
08/03/2004
03/16/2017
11/28/2018
05/17/2019

*.DGN FILE NAME
TC-4

TYPICAL APPLICATION TWO WAY TRAFFIC LANE SHIFT

ROAD TYPE	DISTANCE BETWEEN SIGNS		
	A	B	C
URBAN (≤ 30 MPH)	100'	100'	100'
URBAN (≥ 35 MPH)	350'	350'	350'
RURAL	500'	500'	500'
EXPRESSWAY / FREEWAY	1000'	1500'	2640'



GENERAL NOTES

- ★ SEE AMENDMENT NO. 11 ON TC-1.
- 1. FOR OPERATIONS WHERE TWO-WAY TRAFFIC LANE SHIFT CAN BE MAINTAINED ON TWO 10' MIN. CLEAR WIDTH LANES.
- 2. FOR LONG-TERM STATIONARY OR INTERMEDIATE-TERM STATIONARY WORK, PAVEMENT MARKINGS INDICATING NO PASSING SHALL BE USED. DO NOT PASS SIGNS (R4-1) MAY BE REQUIRED.
- 3. FOR TAPER LENGTH (L) CRITERIA, SEE MUTCD TABLES 6C-3 AND 6C-4.
- 4. FOR SPEEDS > 50 MPH, LENGTH = L. FOR SPEEDS ≤ 50 MPH LENGTH = 1/2L.
- 5. FOR BUFFER SPACE CRITERIA, SEE STOPPING SIGHT DISTANCE, MUTCD TABLE 6C-2.
- 6. INSTALL ON ALL APPROACHES IF THE CRITERIA IN AMENDMENT NO. 10 ON TC-1 APPLIES.

LEGEND	
▲	CHANNELIZING DEVICES
■	TMA (SEE TC-1, NOTE 9)

WORK ZONE TRAFFIC CONTROL
**TWO WAY TRAFFIC
LANE SHIFT**

NOT TO SCALE

STANDARD PLANS





MERIDIAN LAND SERVICES, INC.

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Office: 31 Old Nashua Road, Suite 2, Amherst, NH 03031

Mailing: PO Box 118, Milford, NH 03055

Phone: 603-673-1441 * Fax 603-673-1584

www.MeridianLandServices.com

September 17, 2021

Jason Cleghorn
Town Planner
Town of Milford Planning Department
1 Union Square
Milford, NH 03055

Re: **Crosby Townhouses**
Site Permit
RMI Response Letter #1
Tax Map 19 Lots 5

Mr. Cleghorn:

Attached for review and approval, please find the following items as they relate to the above referenced project:

1. One (1) copy of the Variance 2020-03 approval;
2. One (1) Preliminary Condominium Declaration Documents
3. Four (4) Storm Water Management System Inspection and Maintenance Manual
4. Four (4) copies of the Architectural Elevations
5. Four (4) Copies of the Draft Condo Site Plan
6. Four (4) 22" x 34" Maintenance of Traffic Plans;
7. Four (4) 22" x 34" sets of Construction Plans prepared by *Meridian Land Services, Inc.*;
8. One (1) 11" x 17" sets of Construction Plans prepared by *Meridian Land Services, Inc.*;

In response to the comment letter dated March 10, 2021, please find the following responses to staff comments in order as received:

Ambulance:

1. *There is concern relative to a need for ambulance movement – turning around; the ambulances are 22-feet in length, in the back of the building, specifically the width of the driveway when cars are parked in all of the parking spots. This combined with the snow plowing and if removal is planned - for plowed snow accumulation, may not provide sufficient space for an ambulance to pull in and turnaround in the rear of the building.*

An emergency access has been provided in the front of the building. This was the outcome of the meetings between Frank Kling and the Town of Milford. This emergency parking area allows the EMS workers to access the building without traveling upstairs. During Milford Planning meeting on 3/16/2021 and it was determined that the emergency vehicle space at the front would be adequate for emergency access if the space was increased in length to allow a 22' ambulance and a stretcher to fit.



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Crosby Townhouses
Project #10839.00

September 17, 2021
Page 2 of 7

The space was lengthened to 32' to have adequate room for both. See sheet 3 of the Construction Plans.

Assessing:

1. *The applicant should clearly state in the plan notes whether this is an apartment building or a condominium. For example it might be stated in Note 1: "...townhouse-style condominium".*

The note clearing defining that this is a townhouse-style condominium has been added to the plans. See sheet 3, general note 1.

2. *If this is indeed a condominium, please remind the applicant they will need to provide the preliminary condo declaration and copy of the recorded documents when recorded as they move forward (Because this is less than 10 units, they will not need AG approval, so we should require the condo declaration earlier rather than later in the process).*

Preliminary Condominium documents will be provided prior to the next Planning board meeting scheduled April 20th, 2021.

3. *This project may be eligible for the 79-E Community Revitalization Tax Relief Incentive Program. More information can be found at the link below.*
https://www.milford.nh.gov/sites/g/files/vyhlf4701/f/uploads/community_revitalization_tax_relief_qui_de_2017.04.20_0.pdf

Acknowledged.

Building Department:

No Comment

Conservation Commission:

1. *Where is the snow storage?*

Snow storage is provided in the rear and on the west side of the parking. Note delineating the snow storage areas have been added to the plans. See sheet 3 of the Construction Plans and General note 18.



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Crosby Townhouses
Project #10839.00

September 17, 2021
Page 3 of 7

2. *What is proposed to protect residents from the steep slopes at the back of the developed portion of the property?*

The plans have been revised to have a 4:1 slope from the rear parking area down towards the retention basin. This slope is gradual enough to not require a guardrail per State Standards. Cape cod berm (asphalt curb) has been added to act as an additional barrier. This barrier will stop unattended vehicles from rolling over the embankment.

3. *How is the stormwater being directed to the retention basin?*

The site is graded to allow the stormwater to sheet flow into the stormwater basin. The parking area is pitched inwards towards the center to direct the stormwater generated by the parking to the retention basin. Breaks in the curbing have been added to allow the stormwater to pass through the curb and into the basin. Flow arrows have been added to sheet 3 of the Construction Plans to demonstrate how the stormwater is directed to the retention basin.

Fire Department:

No comment: The building is designed to be sprinkled.

Heritage Commission:

1. Desire to see the relocation and preservation of a stone well on the parcel.

The historic well has been preserved and will be featured at the front of the property. See sheet 3 of the Construction Plans.

Police Department:

1. Informational comment: When water and sewer work is done, a police detail will be needed for traffic control (maintenance of traffic)

A Work Zone Traffic Control Plan that meets State Standards has been attached with this submittal. This plan involves a lane shift on a two-lane road for any work to be performed within or adjacent to the travel lane.

SoRLAC:

No Comment

Water Utilities:



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Crosby Townhouses
Project #10839.00

September 17, 2021
Page 4 of 7

No Comment

Zoning Administrator:

No Comment

Stormwater:

1. The sediment forebay in the stormwater basin is proposed as a long, linear forebay. It is not clear from the grading shown on the plans how that will be constructed and if adequate volume is provided in the forebay. Please update the Stormwater Basin – Typical Cross Section to include the forebay and dimensional and construction requirement of stone check dam.

A cross section has been added to the Construction plans with all the requested information above. See sheet 5.

2. A long-term maintenance plan is required for the stormwater basin

See attached long term Stormwater Maintenance Plan.

3. Note that the sheet numbering is not correct.

The sheet numbering has been corrected.

Planning Department:

1. Sheet SP-2: Please revise the plan to include the location, size, and details of any signage related to the townhomes.

No signs are proposed.

2. Sheet SP-2: Please revise the plan to include the location, size, and details of any exterior lighting. Per Town of Milford Development Regulations § 6.06, all outdoor lighting shall be downcast and directed such that no glare spills onto adjacent properties or roads. Consider adding a standard detail depicting the type of lighting to be utilized.

The proposed lighting will be 1 downcast light at each entrance, 1 downcast light over each garage and one 3 foot post downcast light for each walkway. No glare will spill onto the adjacent property. See sheet 3 of the Construction Plans for lighting location and "Site Lighting Notes".



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Crosby Townhouses
Project #10839.00

September 17, 2021
Page 5 of 7

3. Sheet SP-2: Revise the land use summary to be more implicit regarding the amount of Open Space on the site. The current table just uses the term pervious and this table could be clearer.

The table has been revised to clearly state that there is 65.5% of open space provide with this project. This is well above the minimum of 30% open space requirement. See sheet 3 of the Construction plan, table titled "Land Use Summary".

4. Sheet SP-2: Add a note to the plan about the existence of Impact Fees related to the project. (§5.04 BB Town of Milford Development Regulations)

A note acknowledging the existence of impact fees has been add to the plans. See sheet 3, general note 2.

5. Sheet SP-2: Striping should be shown for the two (2) parking spaces per unit that are not contained within the garage in order for Staff to better evaluate vehicular movement flow through the rear of the site and for determination whether the corresponding drive aisle can be kept clear. Guidance can be found in § 6.05 of the Town's Development Regulations regarding the minimum size for parking spaces and their layout.

The outdoor parking spaces have been striped to help the staff evaluate the vehicular movement and parking. See sheet 3 of the Construction Plans.

6. Elevations: Per § 6.04.2 of the Development Regulations, plans shall show all building elevations. The submitted elevation is only 1 view of 4. Please include the other three elevation views. While the parking is located in the rear of the building, the Town would still like to see these additional elevations. Staff may have additional comments pending the receipt of these elevations.

Finalized elevation will be provided prior to the next Planning board meeting scheduled April 20th, 2021.

7. Given the roadway classification of Elm St. at this location combined with the Commercial zoning, and the goals of the Nashua and Elm Streets Corridor district, a sidewalk constructed consistent with § 7.03 of the Development Regulations should be added at the property's frontage for future connection(s). Design details and construction standards for sidewalks can be found in the Department of Public Works Infrastructure Design, Construction & Administration Standards and this detail should be added to the site plan.

Sidewalk along the frontage of the property has been added. See sheet 3 of the Construction Plan.

8. Please provide more detail about the two retaining walls located near the detention pond as well as standard details regarding their construction on the site plan.



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Crosby Townhouses
Project #10839.00

September 17, 2021

Page 6 of 7

Move detail has been added to the retaining walls describing the wall as having a height of 4 feet. A detail for the construction of the wall is located on sheet 9 of the Construction Plans.

9. General Comment. Final approval should be conditional upon written confirmation of approvals for the local Stormwater Permit from the Town of Milford.

Acknowledged.

STAFF RECOMMENDATIONS:

The applicant should be prepared to address all of the comments raised by the Planning Board, Conservation Commission, Town Consultants, Staff, and public pertaining to the Site Plan Final Design and revise the plans/information accordingly. Staff finds that the majority of comments and recommendations by staff involve plan revisions that could be managed administratively prior to Board signature. Barring any/all input and recommendations from the Board, Staff recommends approving the application subject to the following conditions:

1. The Applicant shall submit written confirmation of approvals for the local stormwater permit from the Town of Milford.

Acknowledged. A stormwater permit was applied for concurrently with this submittal.

2. The Applicant shall submit any/all revised plans, reports, and associated information referenced in the Staff memo dated February 8, 2021 to the Community Development Office for review and approval by the Town and its agents.

Acknowledged.

3. The Applicant shall attach "Dump No Waste" stickers to all storm drains.

There are no storm drains proposed to apply "Dump No Waste" sticker.

4. The Applicant shall be required to use a certified Green Pro snow removal service to manage snow onsite and state that the company receives certification and follows BMPs.

Acknowledged. A note has been added to the plans indicating that snow removal must be provided by a certified Green Pro snow removal service.



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Crosby Townhouses
Project #10839.00

September 17, 2021

Page 7 of 7

If there are any questions or concerns, please do not hesitate to contact Meridian Land Services, Inc.

Sincerely,

Samuel R. Foisie, P.E.

Project Manager

Meridian Land Services, Inc.

srffoisie@MeridianLandServices.com

(603) 673-1441

Cc: Frank Kling with attachments