



STAFF MEMORANDUM

DATE: October 11, 2021

From: Jason Cleghorn, Town Planner

To: Planning Board

Subject: SP2021-20 Ronald and Loreen Racicot, 21 Old Wilton Road, Tax Map 14 Lot 10. Public Hearing for a major site plan application to construct a 4,500 sf. warehouse and storage building and associated site improvements within the Industrial District.

BACKGROUND/PROPOSAL:

The applicant is before the Planning Board for review of an application for a major site plan application to construct a 4,500 square foot warehouse and storage building with a zoning compliant rental unit, driveway extension and associated parking lot, and drainage and landscape improvements. The Planning Board previously heard this application at their September 21, 2021 meeting but did not vote on it.

EXISTING USE/CONDITIONS:

Map 14 Lot 10 is a 1.376 acre partially developed lot consisting of a two-family dwelling located along southwestern portion of the property. The remainder of the property contains open grassed areas with varying vegetation along the eastern, northern, and western perimeter. The property contains more than 234 feet of frontage on Old Wilton Road and is accessed by way of an existing driveway servicing the multi-family residential use. The topology of the property is relatively flat sloping down slightly to the south. To the north, south, and west, lies the Boston and Maine Corporation (train tracks) and the Hendrix Wire and Cable Company, and commercial storage units. A single-family residence is located to the east.

LOT AREA:

Map 14 Lot 10 = ±1.376 acres (59,939 s.f.)

APPLICATION STATUS:

The application is complete and ready to be accepted. An assessment of regional impact should be made by the Planning Board.

NOTICES:

Notices were sent to all property abutters on September 8, 2021.

WAIVERS:

No waivers requested.

CHANGES SINCE PREVIOUS HEARING:

1. Elevations greatly improved from previous submittal. Addition of cedar shake banding and cupola addition breaks up the roofline.
2. Plan now reflects changes proposed to the building at the initial hearing and match. (Lean-to off rear of building over storage area).
3. Landscaping at frontage increased due to immaturity of young plantings to buffer storage area at rear.
4. Changes made to grading plan to assist with abutter's ponding issue at driveway.
5. Changes made to fencing around storage areas.

ZONING DISTRICTS:

The subject properties lie within the Industrial District and West Elm Gateway Overlay District. The intent of the Industrial District is to provide areas for manufacturing, processing, assembly, wholesaling, research and development. The intent of the West Elm Gateway District is to encourage economic development by enhancing, preserving and protecting the natural, historic and cultural resources of the Town. The property also lies within the Groundwater Protection District I. Warehouse and storage uses within the Industrial Zoning District are permitted uses by right.

TRAFFIC AND ACCESS MANAGEMENT:

Access/Egress from the warehouse would be from a shared driveway with the residential use off of Old Wilton Road. The location of the driveway will provide for sufficient sight distance.

DRAINAGE / STORMWATER MANAGEMENT:

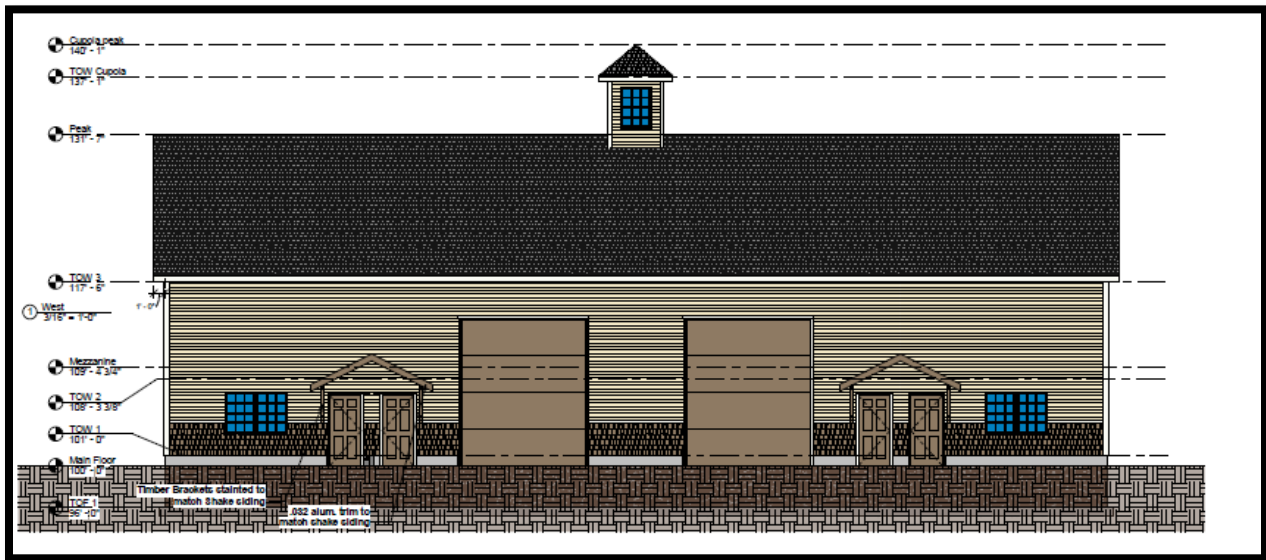
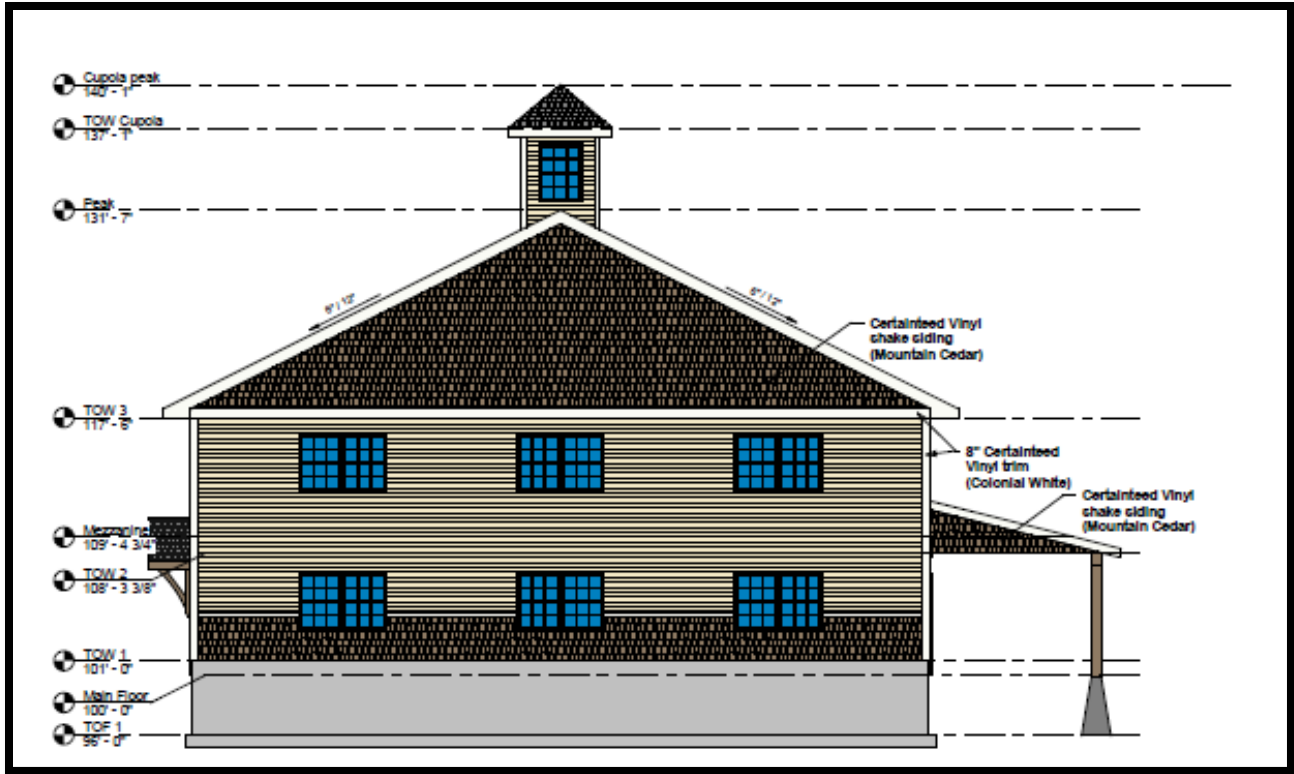
Stormwater and drainage associated with the industrial warehouse and paved areas will be managed through the construction and installation of a retention pond. The applicant submitted a stormwater permit application, which is currently under review. Please see comments below.

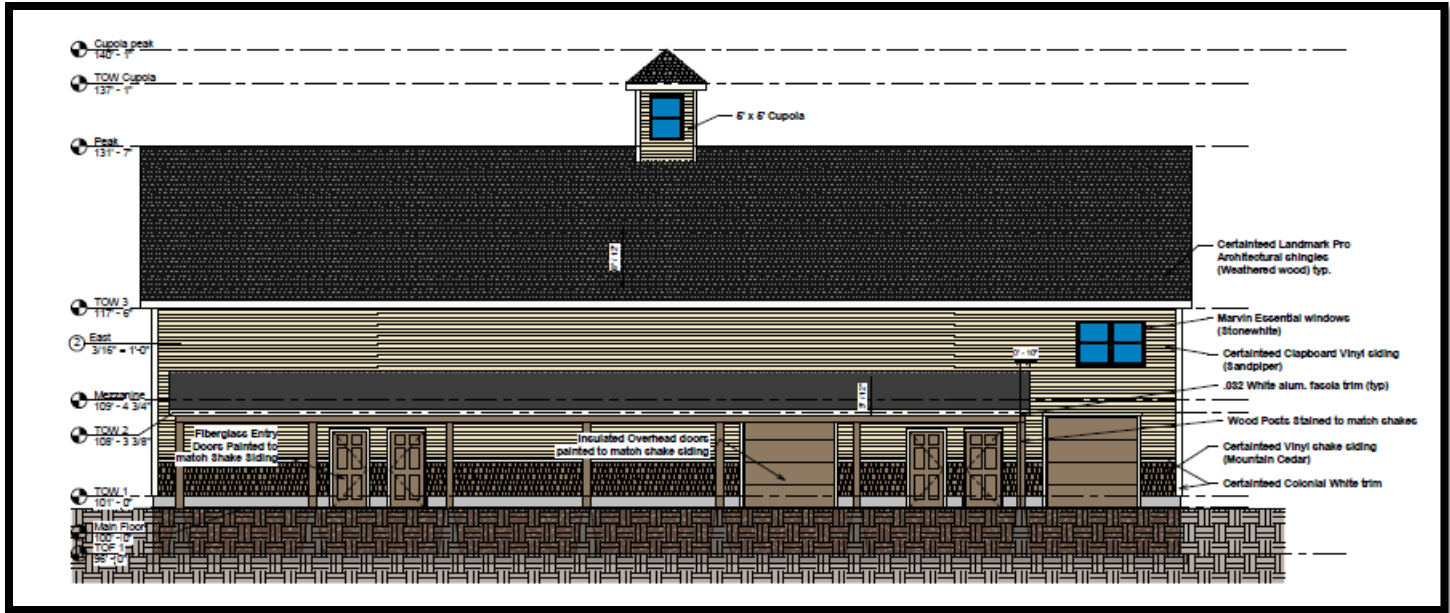
LANDSCAPE DESIGN:

The submitted application included landscape design in accordance with the Development Regulations, Section 6.08 Landscaping Standards and the Zoning Ordinance, Section 6.07 West Elm Street Gateway District. The proposal provides adequate buffering in each direction and specifically to the two residential uses flanking this site. The area near the front right behind the acer rubrum (red maple) has been beefed up to better screen the rear building storage area as part of the previous meeting's discussion.

BUILDING ELEVATIONS:

Staff's review of the elevations vis-a-vis the *Town of Milford Development Regulations and the Zoning Ordinance, Section 6.07 West Elm Street Gateway District (WESGD)* (and associated West Elm Street Gateway District Design Guidelines) leads staff to believe that the current iteration of the building's design is appreciably better than the previous design shown at the September 21st meeting and meets the spirit and intent of the WESGD and the input of the Planning Board from the previous meeting.





INTERDEPARTMENT REVIEWS:

Ambulance: No comments.

Assessing: No comments.

Building Department: No comments.

Conservation Commission: No comments.

DPW: No comments have been received.

Fire Department: (Comments have all been addressed see Response to Comments Letter in packet)

Heritage Commission:

This is the site of an old tavern; the Commission is interested in any findings during excavation that would lend information on this old tavern and its operation.

Police Department: No comments.

Public Works: No comments.

Stormwater Engineer: Comment was addressed. No further comments.

Water/Sewer Utilities: No comments

Zoning Administrator: No comments

Community Development/Planning: All comments were addressed between the September 21st meeting and the October 19 meeting.

STAFF RECOMMENDATIONS:

The applicant should be prepared to address all of the comments raised by the Planning Board, Town Consultants, Staff, and public pertaining to the Site Plan Final Design. Staff recommends that the Planning Board give careful consideration to the design of the building as it relates to the West Elm St. Gateway District. It should also be made clear to the applicant through discussion at the Public Hearing

that no retail uses are authorized through the approval of this Site Plan and any such future uses would require approval by the Zoning Board of Adjustment.

A condition of approval should be that Town Staff receive a copy of the Access Easement prior to recordation of the Mylar for the subdivision and signoff on the final site plan by the Planning Board Chairperson.

SUBDIVISION AND SITE DEVELOPMENT PLANS

INDUSTRIAL DEVELOPMENT

TAX MAP 14, LOT 10 - 21 OLD WILTON ROAD

MILFORD, NEW HAMPSHIRE

OCTOBER 29, 2019

REVISED: SEPTEMBER 4, 2021

TOWN OF MILFORD CONTACTS:

1. COMMUNITY DEVELOPMENT:
TOWN HALL
1 UNION SQUARE
MILFORD, NH 03055

ATT: LINCOLN DALEY
COMMUNITY DEV. DIRECTOR
(603) 249 - 0620

2. DEPARTMENT OF PUBLIC WORKS:
289 SOUTH STREET
MILFORD, NH 03055

ATT: RICK RIENDEAU
PUBLIC WORKS DIRECTOR
603-673-1662

3. FIRE DEPARTMENT:
39 SCHOOL STREET
MILFORD, NH 03055

ATT: KEN FLAHERTY
FIRE CHIEF
603-249-0680

UTILITY CONTACTS:

1. WATER & SEWER:
PUBLIC WORKS DEPT.
564 NASHUA STREET
MILFORD, NH 03055
ATT: DAVE BOUCHER
WATER UTILITIES DIRECTOR
(603) 249-0660

2. GAS:
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03101

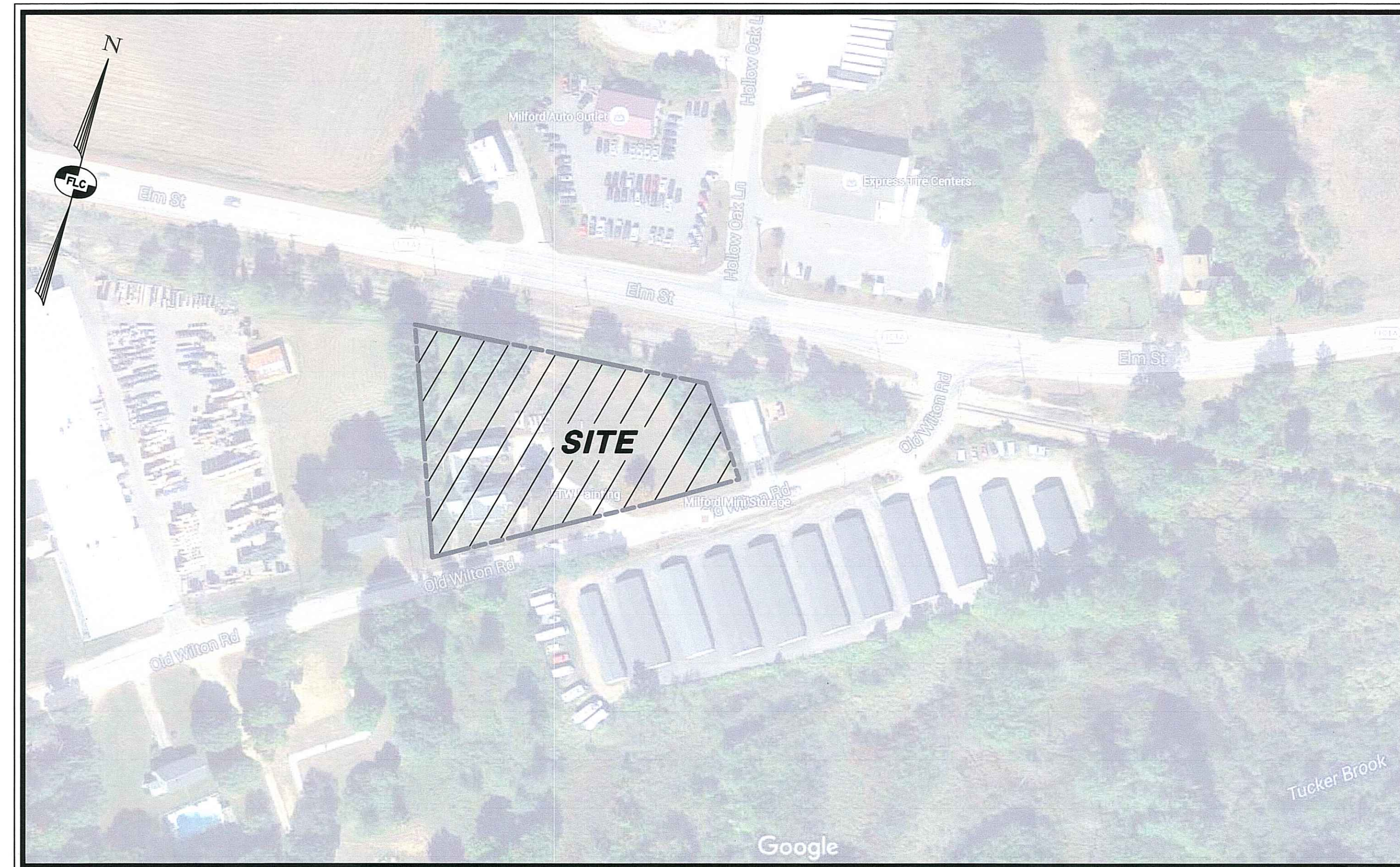
ATTN: RYAN LAGASSE
(603) 327-7151

3. TELEPHONE:
FAIRPOINT COMMUNICATIONS
237 DANIEL WEBSTER HWY.
MERRIMACK, NH 03054

ATTN: ROBERTO DIAZ
(603) 595-1150

4. POWER:
EVERSOURCE OF NH
P.O. BOX 330
MANCHESTER, NH 03105-0330

ATTN: ALAN LEBORGNE
(603) 634-2044



1"=100'±

SHEET INDEX		
PAGE	SHEET	TITLE
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3	SP-1	SITE LAYOUT PLAN
4	EX-1	EXISTING CONDITIONS PLAN
5	GR-1	GRADING AND UTILITIES PLAN
6	LT-1	LIGHTING PLAN
7	LT-1	LANDSCAPING PLAN
8	DT-1	CONSTRUCTION DETAILS
9	DT-2	CONSTRUCTION DETAILS
10	DT-3	EROSION CONTROL DETAILS

I, THE UNDERSIGNED, HAVE REVIEWED THIS PLAN AND DO HEREBY AGREE THAT THIS PLAN REPRESENTS LOT 14-10 AS KNOWN AND THAT ALL PROPOSED IMPROVEMENTS SHOWN HEREON MEET MY APPROVAL.

Ronald Racicot 9/9/2021
OWNER OF PARCEL 14-10 DATE

PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD,
LYNDEBOROUGH, NH 03082-6134.

APPROVED

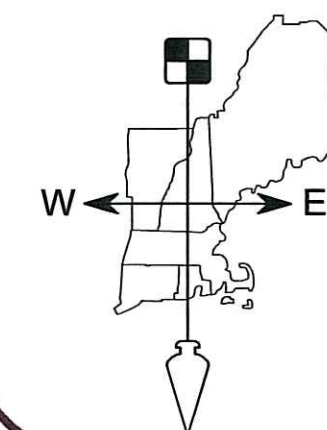
MILFORD, NH PLANNING BOARD
SUBDIVISION #: _____
DATE APPROVED: _____
SIGNED: _____



1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

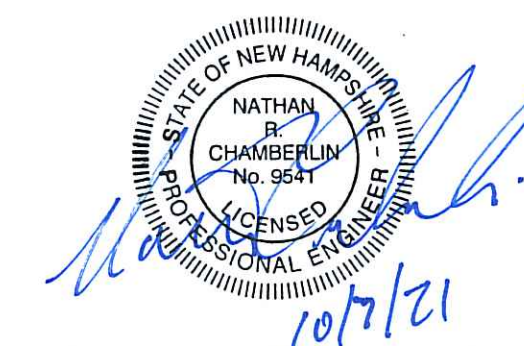
CONTACT DIG SAFE 72 HOURS
PRIOR TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 811
CALL BEFORE YOU DIG

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford NH 03055
Phone: (603)-672-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com



REV.	DATE	DESCRIPTION	C/O	DR	CK
C	9/4/21	ADDRESS STAFF COMMENTS		CLR	CEB
B	8/20/21	REVISED BUILDING LAYOUT		CLR	CEB
A	1/22/20	ADDRESS COMMENTS PER STAFF MEMO		CLR	CEB

FILE: 545CV01C.dwg PROJ. NO. 545.01 SHEET: CV-1 PAGE NO. 1 OF 10

- LEGEND:**
EXISTING FEATURES
- 14-10 TAX MAP AND LOT NUMBER
 - RIGHT-OF-WAY SLOELINE
 - PROPERTY LINE
 - ABUTTING LOT LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL ROAD
 - OH OVERHEAD UTILITIES
 - S SEWER LINE
 - W WATER LINE
 - DRAIN LINE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - 100' 10' CONTOUR INTERVAL
 - 102' 2' CONTOUR INTERVAL
 - TREE LINE
 - G.B.(F) GRANITE BOUND FOUND
 - L.PIN(TBS) IRON PIN TO BE SET
 - G.B.(TBS) GRANITE BOUND TO BE SET
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - MANHOLE
 - CATCH BASIN
 - SINGLE POST SIGN
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - UTILITY POLE AND GUY WIRE
 - BUILDING
 - PROPOSED ACCESS EASEMENT

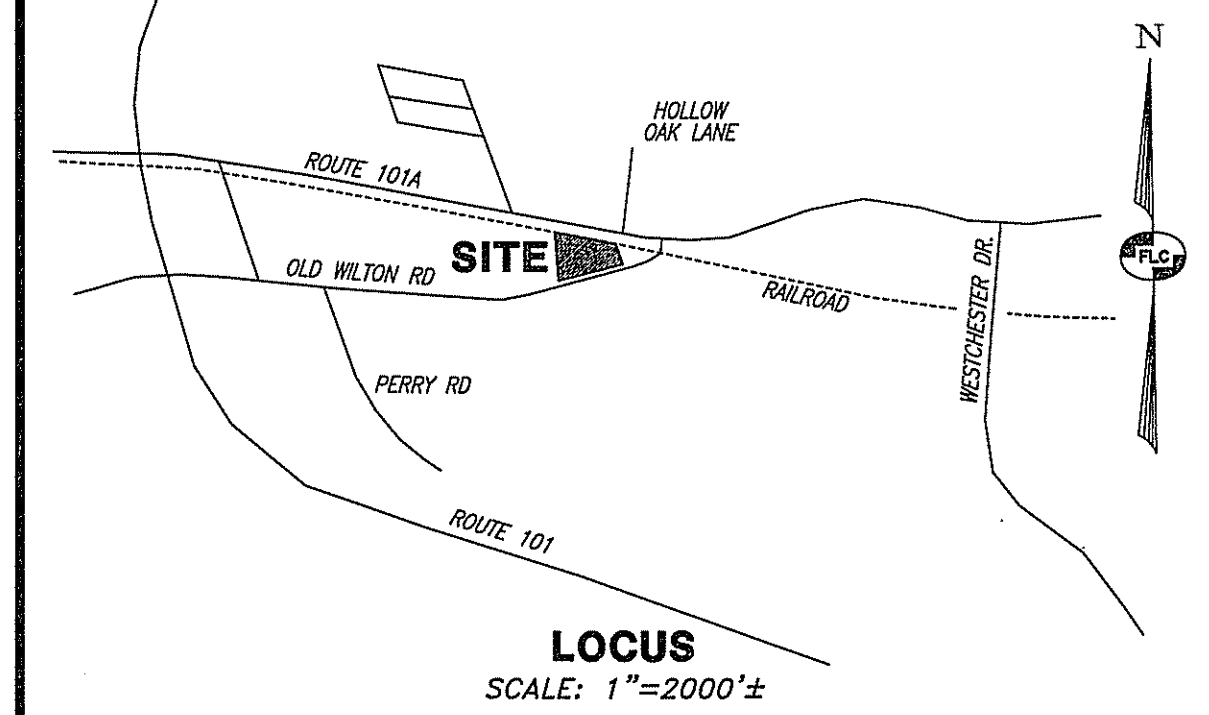
NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

- SOIL BOUNDARY
- HsB HINCKLEY LOAMY SAND
3 TO 8% SLOPES
- HsC HINCKLEY LOAMY SAND
8 TO 15% SLOPES
- Om OCCUM FINE SANDY LOAM
HIGH BOTTOM
- Su SUNCOOK LOAMY FINE SAND

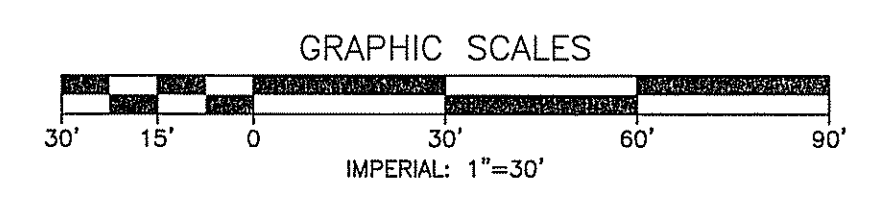
- REFERENCE PLANS:**
- "ALTA/ACSM URBAN - LAND TITLE SURVEY - CONDUCTOR CORPORATION - MILFORD, NEW HAMPSHIRE", SCALE 1"=60', DATED JANUARY 25, 1994 AND LAST REVISED MAY 9, 1996, BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN NO.28006.
 - "LAND IN - MILFORD, NEW HAMPSHIRE - TOWN OF MILFORD TO BOSTON & MAINE CORPORATION - AND - BOSTON & MAINE CORPORATION TO TOWN OF MILFORD", SCALE 1"=20', DATED MAY 2, 1995 AND LAST REVISED MAY 5, 1995 BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN NO.28914.
 - "LAND IN - MILFORD, N.H. - BOSTON AND MAINE CORPORATION TO ALFRED EDMOND LAVIGNE - VAL.17 MAP 14 ALL OF PCL.4 - S#15597", SCALE 1"=40', DATED DECEMBER 1864, BY J. BATCHELDER, ENGINEER OF DESIGN. RECORDED IN THE H.C.R.D. AS PLAN NO.2956

CERTIFICATION:

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAW 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."



- NOTES:**
- THE OWNERS OF RECORD FOR TAX MAP PARCEL 14-10 ARE RONALD L. AND LOREEN M. RACICOT, 70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134. DEED REFERENCE TO PARCEL IS VOL.8519 PG.1961 DATED JANUARY 24, 2013 IN THE H.C.R.D.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT A SUBDIVISION OF TAX MAP PARCEL 14-10 INTO TWO LOTS AS SHOWN.
 - THE TOTAL AREA OF TAX MAP PARCEL 14-10 IS 59,939 SQ. FT. OR 1.376 ACRES. LOT FRONTAGE IS 347.73' ALONG OLD WILTON ROAD.
 - ZONING FOR THE ENTIRE PARCEL IS (I) INDUSTRIAL AND WEST ELM STREET OVERLAY DISTRICT. MINIMUM LOT SIZE= NONE FOR LAND SERVICED BY MUNICIPAL SEWER AND WATER. MINIMUM LOT FRONTAGE= NONE. MINIMUM BUILDING SETBACKS= 30 FT. FRONT, 15 FT. SIDE AND REAR.
 - HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. VERTICAL DATUM IS ASSUMED. THE REFERENCE BENCHMARK IS THE TOP OF A GRANITE BOUND FOUND AT THE SOUTHWEST CORNER OF THE LOT ALONG OLD WILTON ROAD - ELEVATION=300.00'
 - THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ONSITE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF DECEMBER 2015 TOGETHER WITH THE REFERENCE PLANS CITED HEREON.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 - THERE ARE NO JURISDICTIONAL WETLANDS ON-SITE PER FIELD INVESTIGATION.
 - BASED ON A FIELD INSPECTION THE ENTRANCE TO THE SITE SATISFIES THE MILFORD MINIMUM SAFE SITE DISTANCE REQUIREMENTS.
 - THE PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FEMA F.I.R.M. PANCEL 33011004540 DATED SEPTEMBER 25, 2009.
 - THE SUBJECT PARCEL IS LOCATED IN THE LEVEL 1 GROUNDWATER PROTECTION OVERLAY ZONE.
 - TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN DEED RESTRICTIONS ON THE PROPERTY OTHER THAN THOSE SHOWN IF ANY.
 - PROPOSED LOT 14-10 HAS 0.338 ACRES OR 14,703 SQ.FT. WITH 125.00' OF FRONTAGE ON OLD WILTON ROAD AND PROPOSED LOT 14-10-1 HAS 1.038 ACRES OR 45,236 SQ.FT. WITH 222.72' OF FRONTAGE ON OLD WILTON ROAD.
 - OPEN SPACE AREA FOR PROPOSED LOT 14-10 IS 9,458 SQ.FT. OR 64.3% OF THE TOTAL PARCEL AREA. OPEN SPACE AREA FOR LOT 14-10-1 IS 42,821 SQ.FT. OR 94.7% OF THE TOTAL PARCEL AREA. THE MINIMUM OPEN SPACE REQUIREMENT IS 30% OF THE TOTAL PARCEL AREA FOR EACH LOT.
 - THERE IS A PROPOSED DRIVEWAY ACCESS EASEMENT OVER TAX MAP LOT 14-10-1 TO BENEFIT LOT 14-10.



REV.	DATE	DESCRIPTION	C/O	DR	CK
C	9/16/21	ADDRESS STAFF COMMENTS		CLR	MDP
B	9/9/21	ADDRESS STAFF COMMENTS		CLR	MDP
A	1/23/20	ADDRESS COMMENTS PER STAFF MEMO		CLR	MDP

SUBDIVISION PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134.

SCALE: 1" = 30' FEBRUARY 16, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
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206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

14-9 HENDRIX WIRE & CABLE INC.
53 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 5716 PG 351 8/16/96
(31 OLD WILTON RD.)
(SEE REF.PLAN#1)

7-4 HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK 5708 PG 611 4/11/96
(507 ELM ST.)

7-5-2 GOEN-AUTO, INC.
89 GOEN ROAD
NEW IPSWICH, NH 03071-3821
BK 6490 PG 2486 9/19/01
(6 HOLLOW OAK LN.)

7-5-1 ADAMAC, LLC
116 CORTLAND ROAD
MILFORD, NH 03055-5021
BK 6108 PG 1652 5/26/99
(489 ELM ST.)

14-11 STEVE H. & SHERRY A. FOSKETT
11 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 3158 PG 179 5/17/84
(11 OLD WILTON RD.)
(SEE REF.PLAN#2)

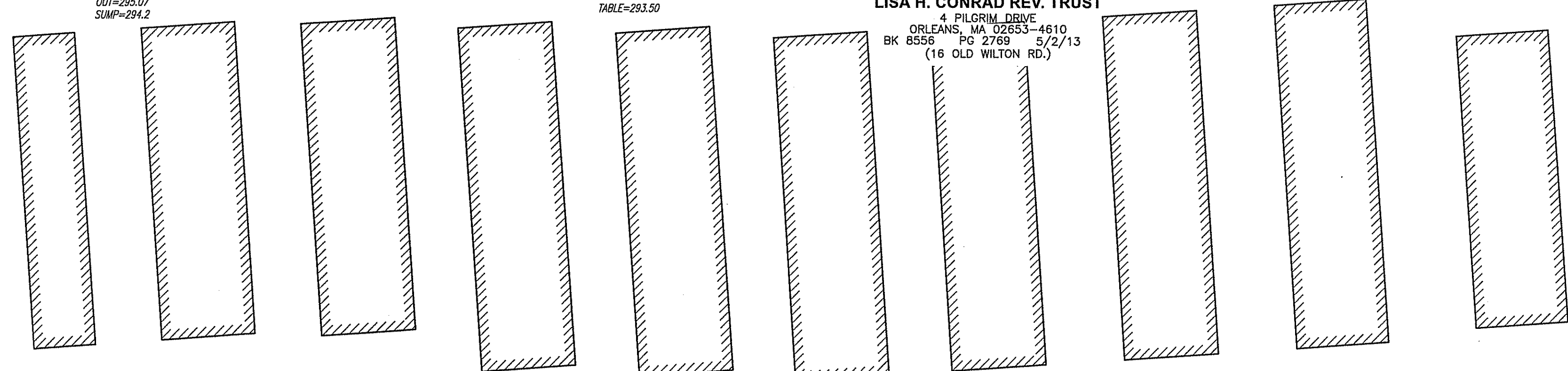
38-6 HENDRIX WIRE & CABLE INC.
53 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 5951 PG 1634 6/8/98
(RT.101 BY-PASS)

7-16 LISA H. & THOMAS M. CONRAD, TRUSTEES
LISA H. CONRAD REV. TRUST
4 PILGRIM DRIVE
ORLEANS, MA 02653-4610
BK 8556 PG 2769 5/2/13
(16 OLD WILTON RD.)

APPROVED

MILFORD, NH PLANNING BOARD
SUBDIVISION #:
DATE APPROVED:
SIGNED:

Ronald Racicot 9/9/2021
OWNER OF PARCEL 14-10 DATE



LEGEND:
EXISTING FEATURES

- 14-10 TAX MAP AND LOT NUMBER
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- PROPERTY LINE
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- EDGE OF PAVEMENT
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- S SEWER LINE
- WATER HYDRANT
- CHAIN LINK FENCE
- STOCKADE FENCE
- 305 5' CONTOUR INTERVAL
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- G.B.(f) GRANITE BOUND FOUND
- SEWER MANHOLE
- DRAIN MANHOLE
- MANHOLE
- CATCH BASIN
- SINGLE POST SIGN
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- UTILITY POLE AND GUY WIRE
- BUILDING

PROPOSED FEATURES

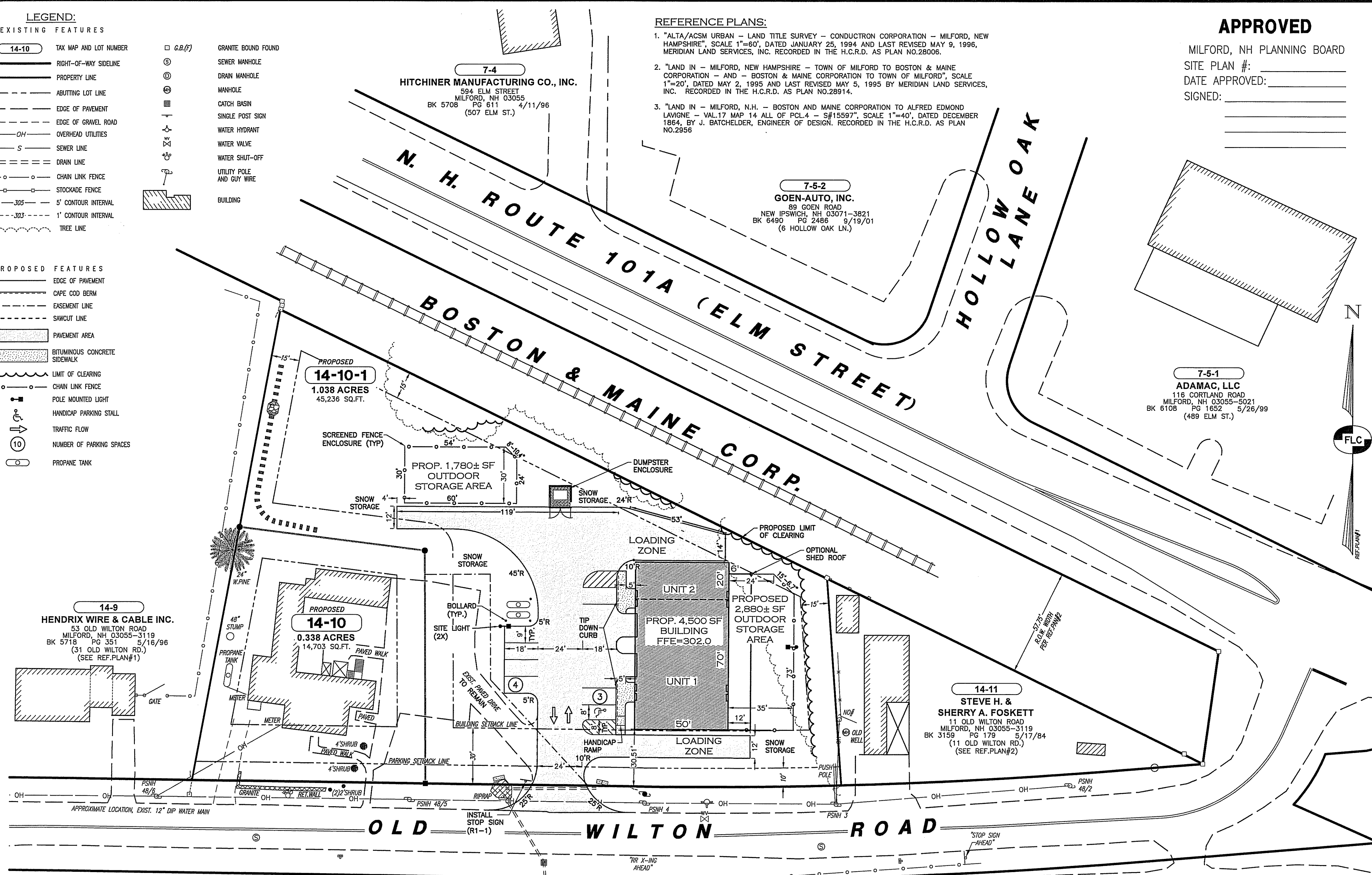
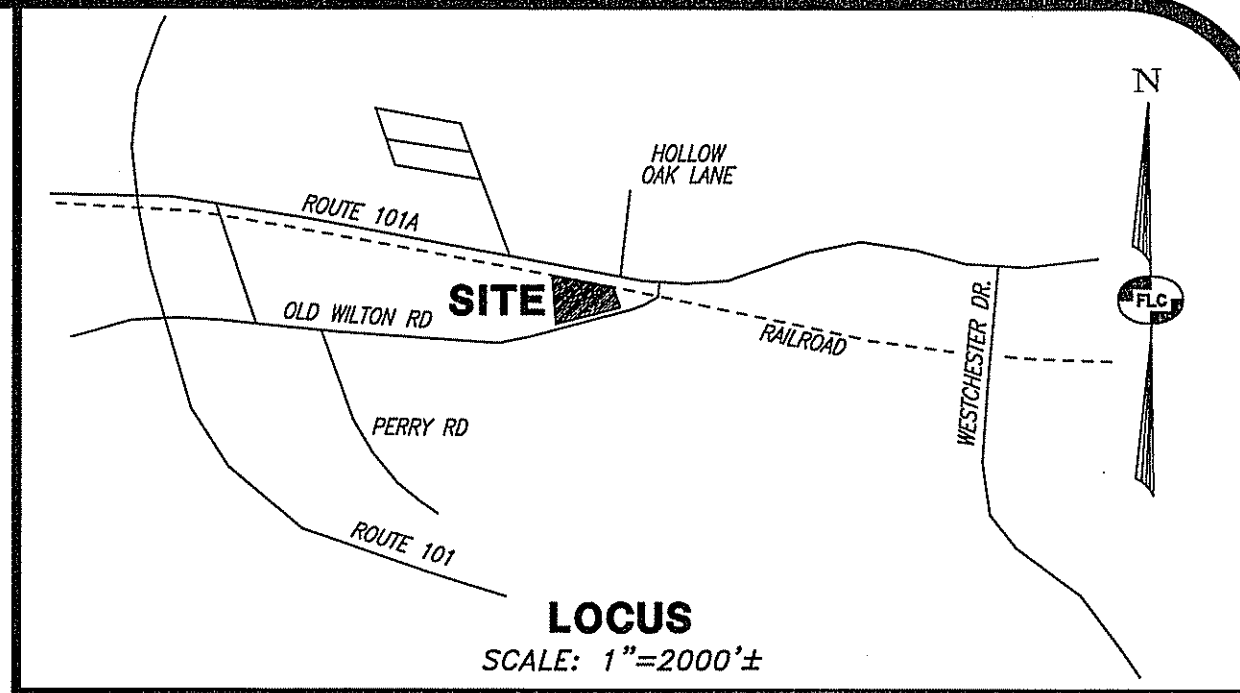
- EDGE OF PAVEMENT
- CAPE COD BERM
- EASEMENT LINE
- SAWCUT LINE
- PAVEMENT AREA
- BITUMINOUS CONCRETE SIDEWALK
- LIMIT OF CLEARING
- CHAIN LINK FENCE
- POLE MOUNTED LIGHT
- HANDICAP PARKING STALL
- TRAFFIC FLOW
- NUMBER OF PARKING SPACES
- PROPANE TANK

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- "ALTA/ACSM URBAN - LAND TITLE SURVEY - CONDUCTRON CORPORATION - MILFORD, NEW HAMPSHIRE", SCALE 1"=60', DATED JANUARY 25, 1994 AND LAST REVISED MAY 9, 1996, MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN NO.28006.
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APPROVED

MILFORD, NH PLANNING BOARD
SITE PLAN #:
DATE APPROVED:
SIGNED:



GENERAL NOTES:

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- HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. VERTICAL DATUM IS ASSUMED. THE REFERENCE BENCHMARK IS THE TOP OF A GRANITE BOUND FOUND AT THE SOUTHWEST CORNER OF THE LOT ALONG OLD WILTON ROAD - ELEVATION=300.00'
- THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ONSITE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF DECEMBER 2015 TOGETHER WITH THE REFERENCE PLANS CITED HEREON.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
- THERE ARE NO JURISDICTIONAL WETLANDS ON-SITE PER FIELD INVESTIGATION.
- BASED ON A FIELD INSPECTION THE ENTRANCE TO THE SITE SATISFIES THE MILFORD MINIMUM SAFE SITE DISTANCE REQUIREMENTS.
- THE SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
- THE PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FEMA F.I.R.M. PANEL 3301100454D DATED SEPTEMBER 25, 2009.
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- TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN DEED RESTRICTIONS ON THE PROPERTY OTHER THAN THOSE SHOWN IF ANY.

PROPOSED NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED INDUSTRIAL BUILDING DEVELOPMENT ON PROPOSED TAX MAP PARCEL 14-10-1 AS SHOWN.
- PARKING REQUIREMENTS:
PROPOSED WHOLESALE, STORAGE, AND WAREHOUSE
1 SPACES / 1000 SF = (4.5)(1.0) = 4.5 SPACES REQUIRED
TOTAL PARKING PROVIDED = 7 SPACES INCLUDING 1 HANDICAP SPACE
- THERE IS NO PROPOSED PROJECT SIGNAGE AT THIS TIME. ANY PROPOSED SIGNS WILL REQUIRE A SIGN PERMIT FROM THE MILFORD BUILDING DEPARTMENT.
- "OPEN SPACE" AREA FOR PROPOSED TAX MAP PARCEL 14-10 IS 8,398 SQ.FT. OR 57.1% AND TAX MAP PARCEL 14-10-1 IS 29,082 SQ.FT. OR 64.3% OF THE TOTAL PARCEL AREA. MINIMUM REQUIREMENT IS 30%.
- THE PROPOSED BUILDING IS SUBJECT TO POLICE IMPACT FEES WHICH ARE TO BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION.
- ALL EXTERIOR LIGHTING SHALL BE DOWNCAST AND SHIELDED PER THE MILFORD DEVELOPMENT REGULATIONS.
- AS-BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- WATER, SEWER, ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF MILFORD'S WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS.

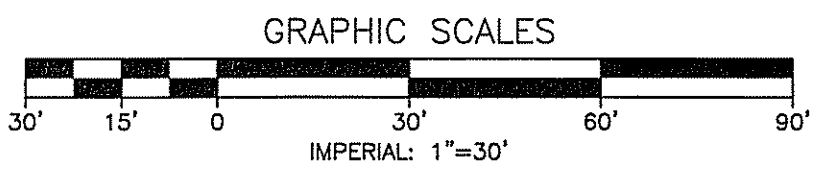
REV.	DATE	DESCRIPTION	C/O	DR	CK
D	10/4/21	ADDRESS STAFF COMMENTS		NRC	CEB
C	9/8/21	ADDRESS STAFF COMMENTS		CLR	CEB
B	8/19/21	REVISED BUILDING LAYOUT		CLR	CEB
A	1/22/20	ADDRESS COMMENTS PER STAFF MEMO		CLR	CEB

SITE LAYOUT PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNAM HILL ROAD, LYNDEBOROUGH, NH 03082-6134.

SCALE: 1" = 30' FEBRUARY 16, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

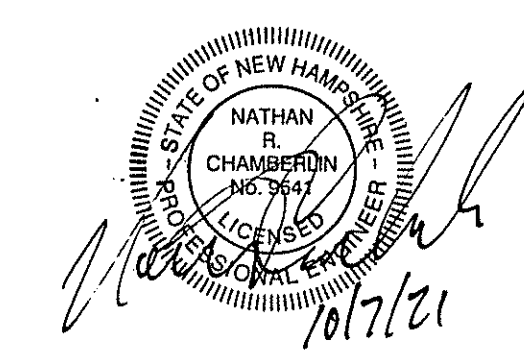
FIELDSTONE
LAND CONSULTANTS PLLC
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



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OR DIAL 8 1 1
IT'S SMART, IT'S FREE, IT'S THE LAW
DigSafe
MAINE NH RI VT

PROPOSED NOTES (CONT):

- THERE ARE CURRENTLY NO PLANS FOR THE BUILDING TO HAVE A FIRE SUPPRESSION SYSTEM.
- IN THE EVENT THAT THE AMOUNT OF ON-SITE SNOW STORAGE AREA IS EXCEEDED THEN EXCESS SNOW WILL BE TRUCKED OFF-SITE AND DISPOSED OF PROPERLY.



- LEGEND:**
EXISTING FEATURES
- 14-10 TAX MAP AND LOT NUMBER
 - RIGHT-OF-WAY SIDELINE
 - PROPERTY LINE
 - ABUTTING LOT LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL ROAD
 - OH OVERHEAD UTILITIES
 - S SEWER LINE
 - W WATER LINE
 - DRAIN LINE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - 100' 10' CONTOUR INTERVAL
 - 102' 2' CONTOUR INTERVAL
 - TREE LINE
 - G.B.(F) GRANITE BOUND FOUND
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - MANHOLE
 - CATCH BASIN
 - SINGLE POST SIGN
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - UTILITY POLE AND GUY WIRE
 - BUILDING

NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

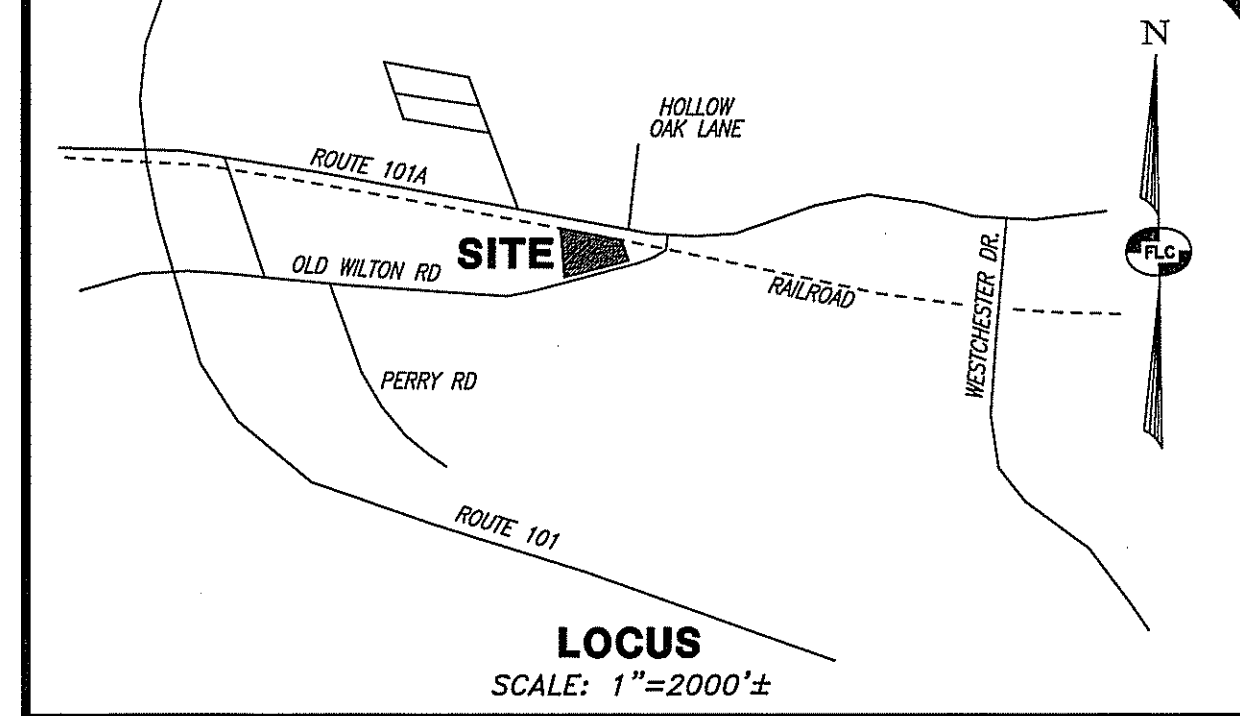
- SOIL BOUNDARY
- HsB HINCKLEY LOAMY SAND
3 TO 8% SLOPES
- HsC HINCKLEY LOAMY SAND
8 TO 15% SLOPES
- Om OCCUM FINE SANDY LOAM
HIGH BOTTOM
- Su SUNCOOK LOAMY FINE SAND

- REFERENCE PLANS:**
- "ALTA/ACSM URBAN - LAND TITLE SURVEY - CONDUCTRON CORPORATION - MILFORD, NEW HAMPSHIRE", SCALE 1"=60', DATED JANUARY 25, 1994 AND LAST REVISED MAY 9, 1996, BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN NO.28006.
 - "LAND IN - MILFORD, NEW HAMPSHIRE - TOWN OF MILFORD TO BOSTON & MAINE CORPORATION - AND - BOSTON & MAINE CORPORATION TO TOWN OF MILFORD", SCALE 1"=20', DATED MAY 2, 1995 AND LAST REVISED MAY 5, 1995 BY MERIDIAN LAND SERVICES, INC. RECORDED IN THE H.C.R.D. AS PLAN NO.28914.
 - "LAND IN - MILFORD, N.H. - BOSTON AND MAINE CORPORATION TO ALFRED EDMOND LAVIGNE - VAL.17 MAP 14 ALL OF PCL.4 - S#15597", SCALE 1"=40', DATED DECEMBER 1884, BY J. BATCHELDER, ENGINEER OF DESIGN. RECORDED IN THE H.C.R.D. AS PLAN NO.2956

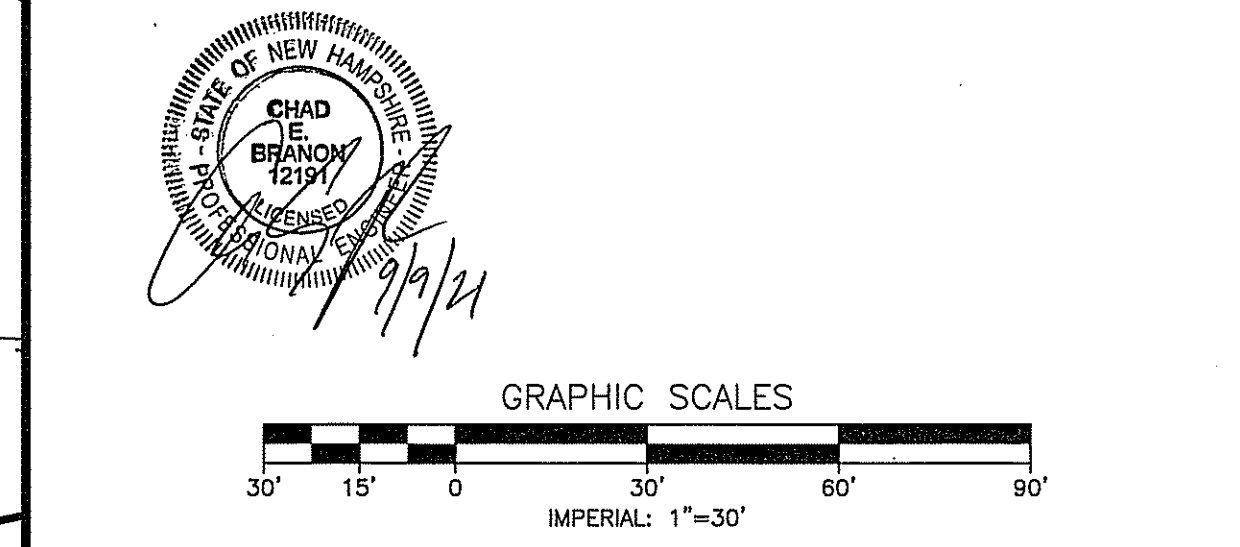
CERTIFICATION:
I HEREBY CERTIFY THAT THE EXISTING CONDITIONS SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF DECEMBER 2015.

9/9/21

No. 946
MICHAEL D. FOSKETT
PLC
SIGNATURE



- NOTES:**
- THE OWNERS OF RECORD FOR TAX MAP PARCEL 14-10 ARE RONALD L. AND LOREEN M. RACICOT, 70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134. DEED REFERENCE TO PARCEL IS VOL.6519 PG.1961 DATED JANUARY 24, 2015 IN THE H.C.R.D.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF TAX MAP PARCEL 14-10 AS SHOWN.
 - THE TOTAL AREA OF TAX MAP PARCEL 14-10 IS 59,939 SQ. FT. OR 1.376 ACRES. LOT FRONTAGE IS 347.73' ALONG OLD WILTON ROAD.
 - ZONING FOR THE ENTIRE PARCEL IS (I) INDUSTRIAL.
MINIMUM LOT SIZE= NONE FOR LAND SERVICED BY MUNICIPAL SEWER AND WATER.
MINIMUM LOT FRONTAGE= NONE
MINIMUM BUILDING SETBACKS= 30 FT FRONT, 15 FT. SIDE AND REAR.
THE SUBJECT PROPERTY IS ALSO LOCATED IN THE WEST ELM STREET OVERLAY DISTRICT.
 - HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #1. VERTICAL DATUM IS ASSUMED. THE REFERENCE BENCHMARK IS THE TOP OF A GRANITE BOUND FOUND AT THE SOUTHWEST CORNER OF THE LOT ALONG OLD WILTON ROAD - ELEVATION=300.00'
 - THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ONSITE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF DECEMBER 2015 TOGETHER WITH THE REFERENCE PLANS CITED HEREON.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 - THERE ARE NO JURISDICTIONAL WETLANDS ON-SITE PER FIELD INVESTIGATION.
 - BASED ON A FIELD INSPECTION THE ENTRANCE TO THE SITE SATISFIES THE MILFORD MINIMUM SAFE SITE DISTANCE REQUIREMENTS OF 300 FEET.
 - THE PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FEMA F.I.R.M. PANEL 330110454D DATED SEPTEMBER 25, 2009.
 - THE SUBJECT PARCEL IS LOCATED IN THE LEVEL 1 GROUNDWATER PROTECTION OVERLAY ZONE AND THE WEST ELM STREET OVERLAY DISTRICT.
 - TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN DEED RESTRICTIONS ON THE PROPERTY OTHER THAN THOSE SHOWN IF ANY.



REV.	DATE	DESCRIPTION	C/O	DR	CK
D	9/9/21	WATER MAIN LOCATION		CLR	CEB
C	4/17/18	SHEET NUMBERS		MDP	CEB
B	2/9/18	REV'S PER STAFF REVIEW		MDP	CEB
A	1/22/17	ADDRESS 1/16/18 STAFF REVIEW MEMO		MDP	MDP

EXISTING CONDITIONS PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD, LYNDENBOROUGH, NH 03082-6134.

SCALE: 1" = 30' FEBRUARY 16, 2017

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www.FieldstoneLandConsultants.com

14-9
HENDRIX WIRE & CABLE INC.
53 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 5718 PG 351 5/16/96
(31 OLD WILTON RD.)
(SEE REF.PLAN#1)

7-4
HITCHINER MANUFACTURING CO., INC.
594 ELM STREET
MILFORD, NH 03055
BK 5708 PG 611 4/11/96
(507 ELM ST.)

7-5-2
GOEN-AUTO, INC.
89 GOEN ROAD
NEW IPSWICH, NH 03071-3821
BK 6490 PG 2486 9/19/01
(6 HOLLOW OAK LN.)

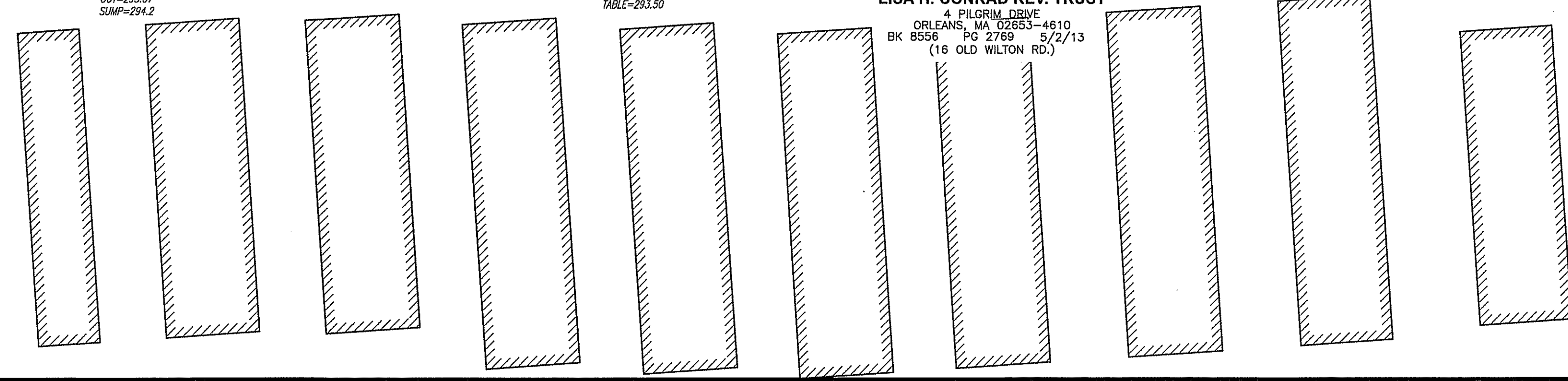
7-5-1
ADAMAC, LLC
116 CORTLAND ROAD
MILFORD, NH 03055-5021
BK 6108 PG 1652 5/26/99
(489 ELM ST.)

14-10
1.376 ACRES
59,939 SQ.FT.

14-11
STEVE H. & SHERRY A. FOSKETT
11 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 3159 PG 179 5/17/94
(11 OLD WILTON RD.)
(SEE REF.PLAN#2)

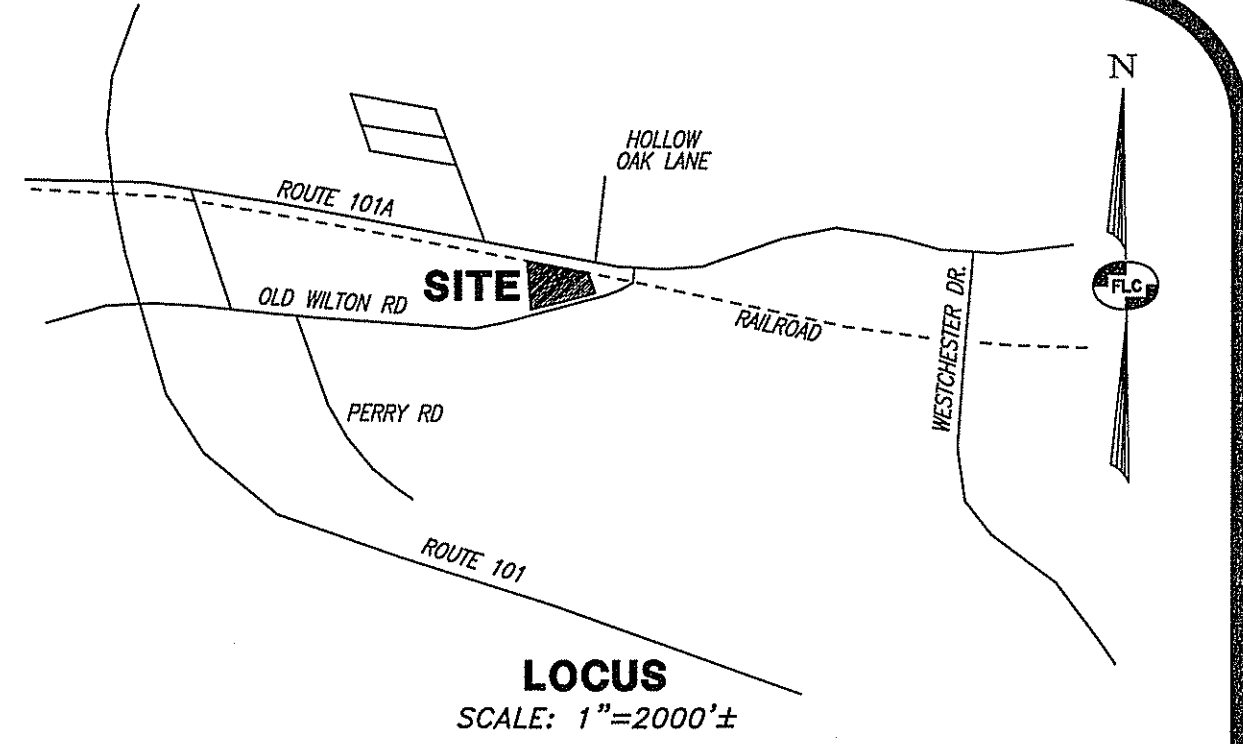
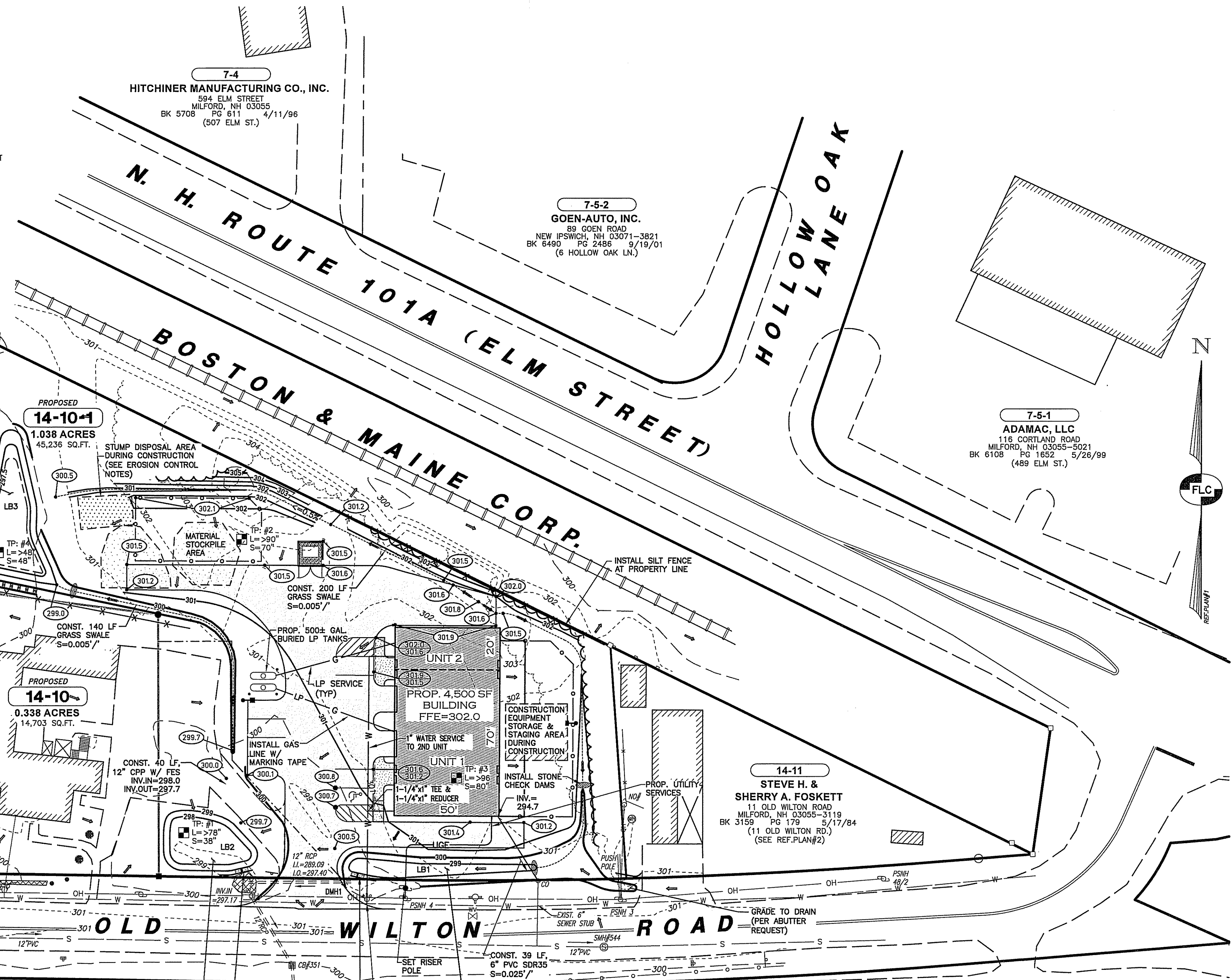
7-16
LISA H. & THOMAS M. CONRAD, TRUSTEES
LISA H. CONRAD REV. TRUST
4 PILGRIM DRIVE
ORLEANS, MA 02553-4610
BK 8556 PG 2769 5/2/13
(16 OLD WILTON RD.)

38-6
HENDRIX WIRE & CABLE INC.
53 OLD WILTON ROAD
MILFORD, NH 03055-3119
BK 5951 PG 1634 6/6/98
(RT.101 BY-PASS)

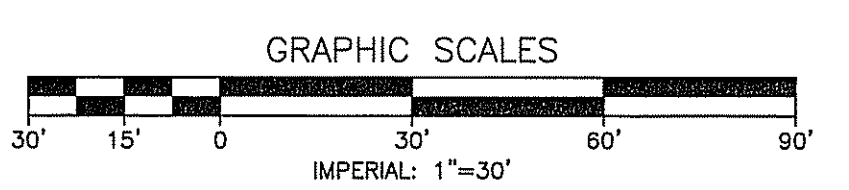


LEGEND:

EXISTING FEATURES	PROPOSED FEATURES
14-10 TAX MAP AND LOT NUMBER	300 5 FT. CONTOUR
RIGHT-OF-WAY SIDELINE	301 1 FT. CONTOUR
PROPERTY LINE	SPOT ELEVATION
ABUTTING LOT LINE	SPOT ELEVATION AT CURB
EDGE OF PAVEMENT	EDGE OF PAVEMENT
EDGE OF GRAVEL ROAD	CAPE COD BERM
OVERHEAD UTILITIES	W WATER LINE
S SEWER LINE	S SEWER LINE
DRAIN LINE	SEWER SERVICE CLEAN OUT
CHAIN LINK FENCE	PROPANE TANK
STOCKADE FENCE	DRAINAGE CATCH BASIN
5' CONTOUR INTERVAL	STORM WATER DRAINAGE
1' CONTOUR INTERVAL	STONE CHECK DAM
GRANITE BOUND FOUND	LIMITS OF CLEARING
SEWER MANHOLE	SWALE/GUTTER LINE
DRAIN MANHOLE	TOP OF BERM
MANHOLE	DRAINAGE FLOW ARROW
CATCH BASIN	TEMPORARY SILT FENCE
SINGLE POST SIGN	EROSION CONTROL STONE
WATER HYDRANT	
WATER VALVE	
WATER SHUT-OFF	
UTILITY POLE AND GUY WIRE	
BUILDING	



- GENERAL CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF MILFORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF MILFORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE MUNICIPAL DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF MILFORD FIRE DEPARTMENT REGULATIONS.
 - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED.
 - ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 - ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
 - ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
 - STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH TOWN OF MILFORD SPECIFICATIONS.



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D	10/4/21	ADDRESS STAFF COMMENTS			NRC CEB
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A	1/22/20	ADDRESS COMMENTS PER STAFF MEMO			CLR CEB

GRADING & UTILITY PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
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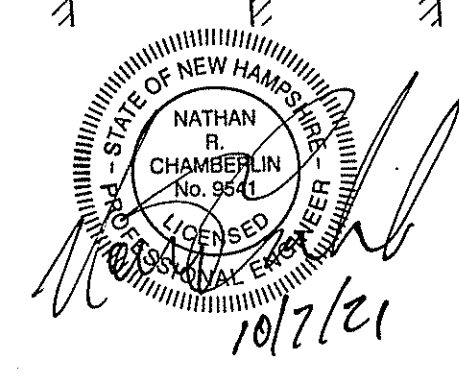
SCALE: 1" = 30' FEBRUARY 16, 2017

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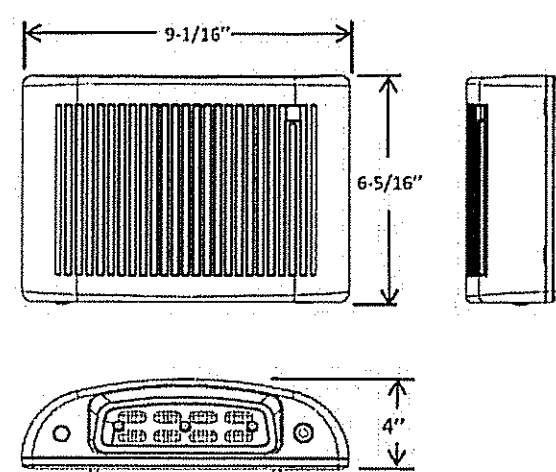
206 Elm Street, Milford, NH 03055
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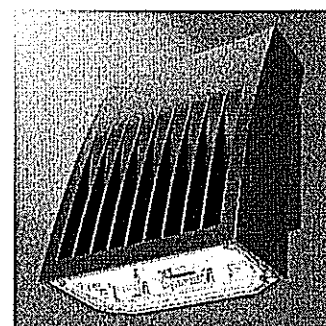
MERU Series

LED GENERAL & EMERGENCY LIGHTING
OR EQUAL

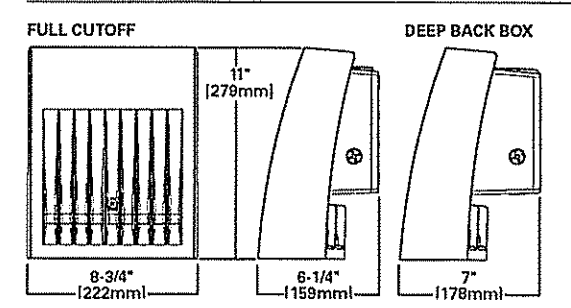


W3

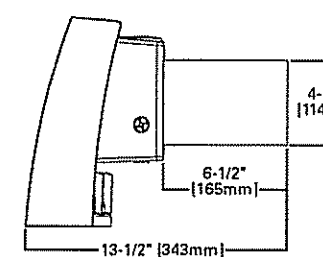
Lumark



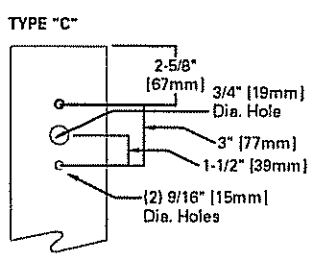
DIMENSIONS



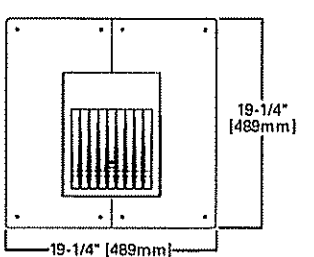
OPTIONAL POLE MOUNT ARM



ARM DRILLING



ESCUTCHEON PLATES

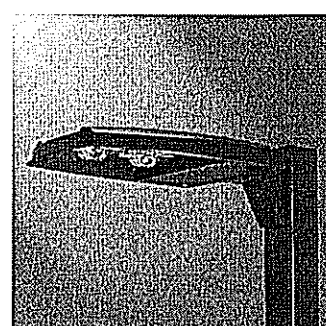


XTOR CROSSTOUR MAXX LED

W1

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING

Lumark



PRV PREVAIL

S3

LED
AREA / SITE / ROADWAY
LUMINAIRE

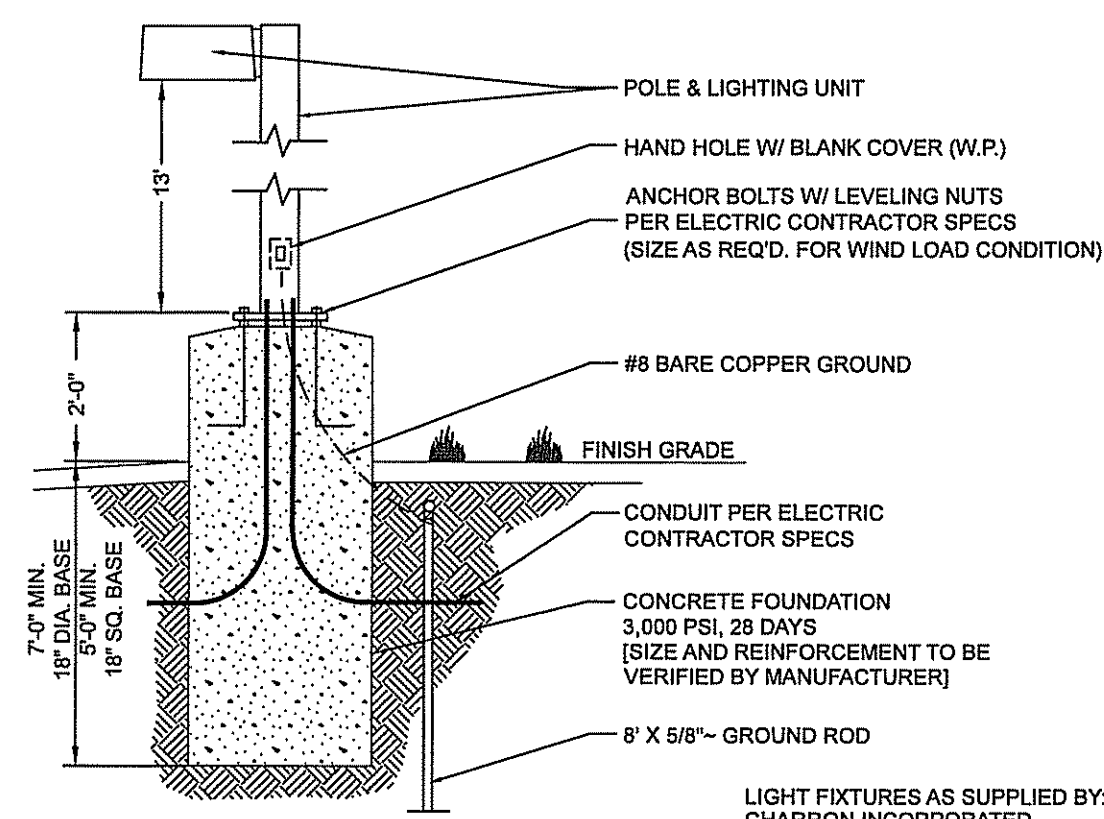
Sample Number: PRV-A25-D-UNV-T3-SA-SZ

Product Family	Light Engine	Driver	Voltage	Distribution	Mounting	Color
PRV-Prevail	A15-L1 LED 6,100 Nominal Lumens A25-L2 LED 10,200 Nominal Lumens A40-L2 LED 15,100 Nominal Lumens	D-Drinking (10-10V)	UNV-Universal (120-277V) 247-247V 480-480V	T2-Type II T3-Type III T4-Type IV T5-Type V	SA-Standard Versatile Arm MA-Mast Arm WA-Wall Mount Arm	AP-Gray BP-Brass (Standard) BK-Black DP-Dark Platinum GM-Graphite Metallic WB-White

Options (Add as Suffix)

- 7030-70 CRI / 5000K CCT
- 7050-70 CRI / 5000K CCT
- 100-100/100A UL 1449 Fusible Surge Protective Device
- DMRF-LW-LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height
- DMRF-LW-LumaWatt Wireless Sensor, Narrow Lens for 15' - 40' Mounting Height
- MSP-DIM-L12-Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height
- MSP-DIM-L30-Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height
- MSP-L12-Integrated Sensor for ON/OFF Operation, 8' - 12' Mounting Height
- MSP-L30-Integrated Sensor for ON/OFF Operation, 12' - 30' Mounting Height
- PER-NEMA 3-PIN Twistlock Photocentral Receptacle
- PER7-NEMA 7-PIN Twistlock Photocentral Receptacle
- HS-Home Side Mount
- HS-High Ambient Temperature

S3-HSS

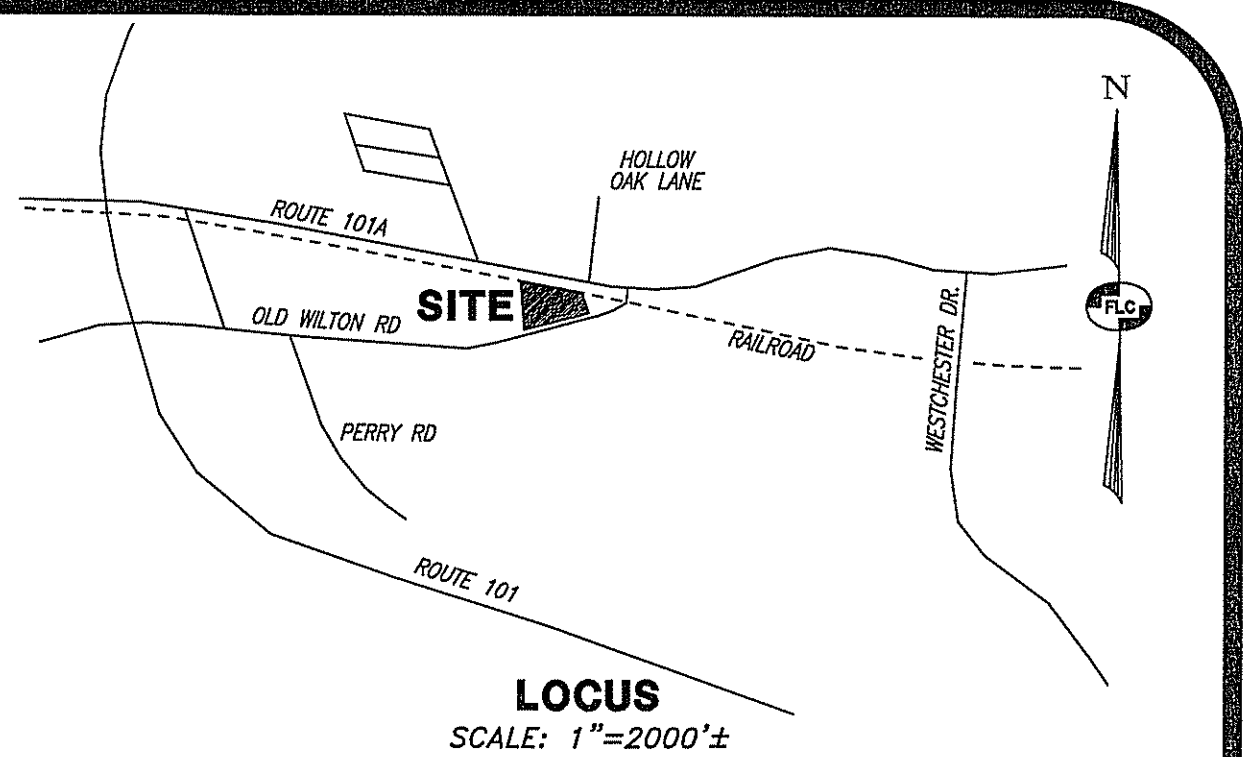
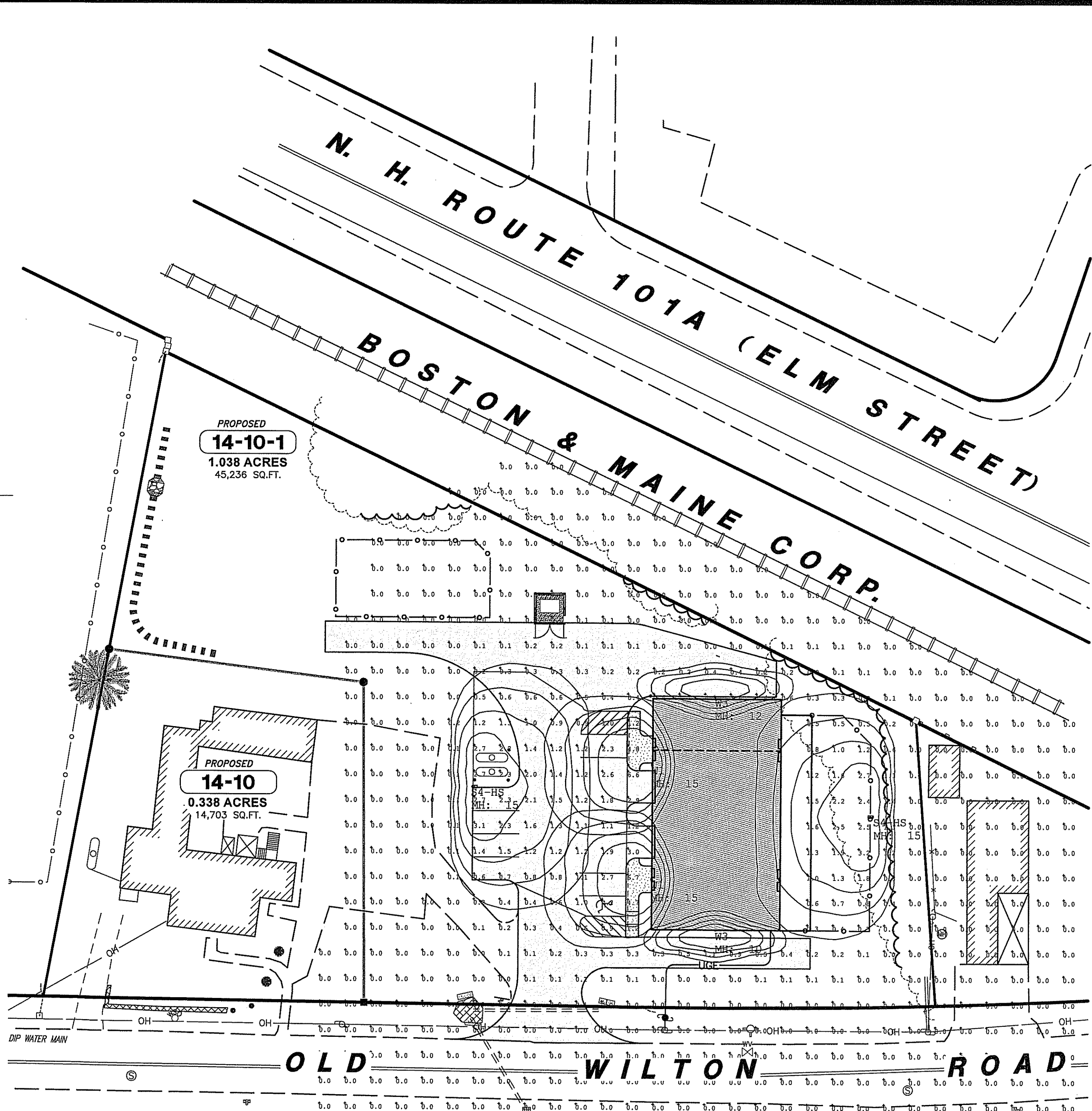


NOTE:
1. LIGHT POLE FOUNDATION SHALL EXTEND 2.0 FEET ABOVE FINISH GRADE TO PREVENT VEHICLES FROM DAMAGING THE LIGHT POLE.
2. LIGHT POLE AND FIXTURES BY OTHERS.
USE SPECIFIED OR APPROVED ALTERNATE.

StatArea 1
PARKING AREA ONLY
Illuminance (Fc)
Average = 1.49
Maximum = 3.1
Minimum = 0.5
Avg/Min Ratio = 2.98
Max/Min Ratio = 6.20

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description
[Symbol]	2	S4-HS	Single	PRV-C15-D-UNV-T4-B2-HSS / SSS4A15SFN1 (15' AFG)
[Symbol]	2	W1	SINGLE	XTORGB/ WALL MTD 15' AFG
[Symbol]	2	W3	SINGLE	MERU-LED-AC-DB / WALL MTD 10' AFG



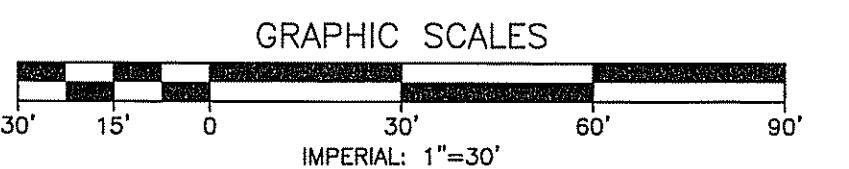
LEGEND:

EXISTING FEATURES

[Symbol]	14-10 TAX MAP AND LOT NUMBER	[Symbol]	G.B.(F) GRANITE BOUND FOUND
[Symbol]	RIGHT-OF-WAY SIDELINE	[Symbol]	SEWER MANHOLE
[Symbol]	PROPERTY LINE	[Symbol]	DRAIN MANHOLE
[Symbol]	ABUTTING LOT LINE	[Symbol]	MANHOLE
[Symbol]	EDGE OF PAVEMENT	[Symbol]	CATCH BASIN
[Symbol]	EDGE OF GRAVEL ROAD	[Symbol]	SINGLE POST SIGN
[Symbol]	OH OVERHEAD UTILITIES	[Symbol]	WATER HYDRANT
[Symbol]	S SEWER LINE	[Symbol]	WATER VALVE
[Symbol]	DRAIN LINE	[Symbol]	WATER SHUT-OFF
[Symbol]	CHAIN LINK FENCE	[Symbol]	UTILITY POLE AND GUY WIRE
[Symbol]	STOCKADE FENCE	[Symbol]	BUILDING
[Symbol]	5' CONTOUR INTERVAL		
[Symbol]	1' CONTOUR INTERVAL		
[Symbol]	TREE LINE		

PROPOSED FEATURES

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED DRIVEWAY
[Symbol]	PROPOSED PAVEMENT
[Symbol]	PROPOSED GRASS
[Symbol]	PROPOSED TREE



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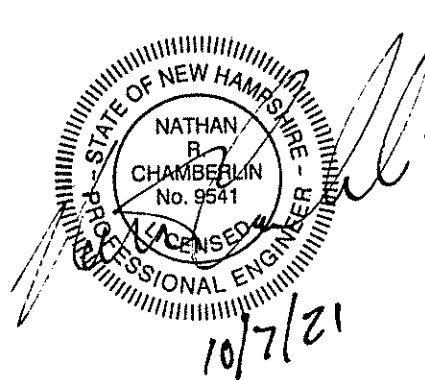
SITE LIGHTING PLAN
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LIGHT POLE FOUNDATION

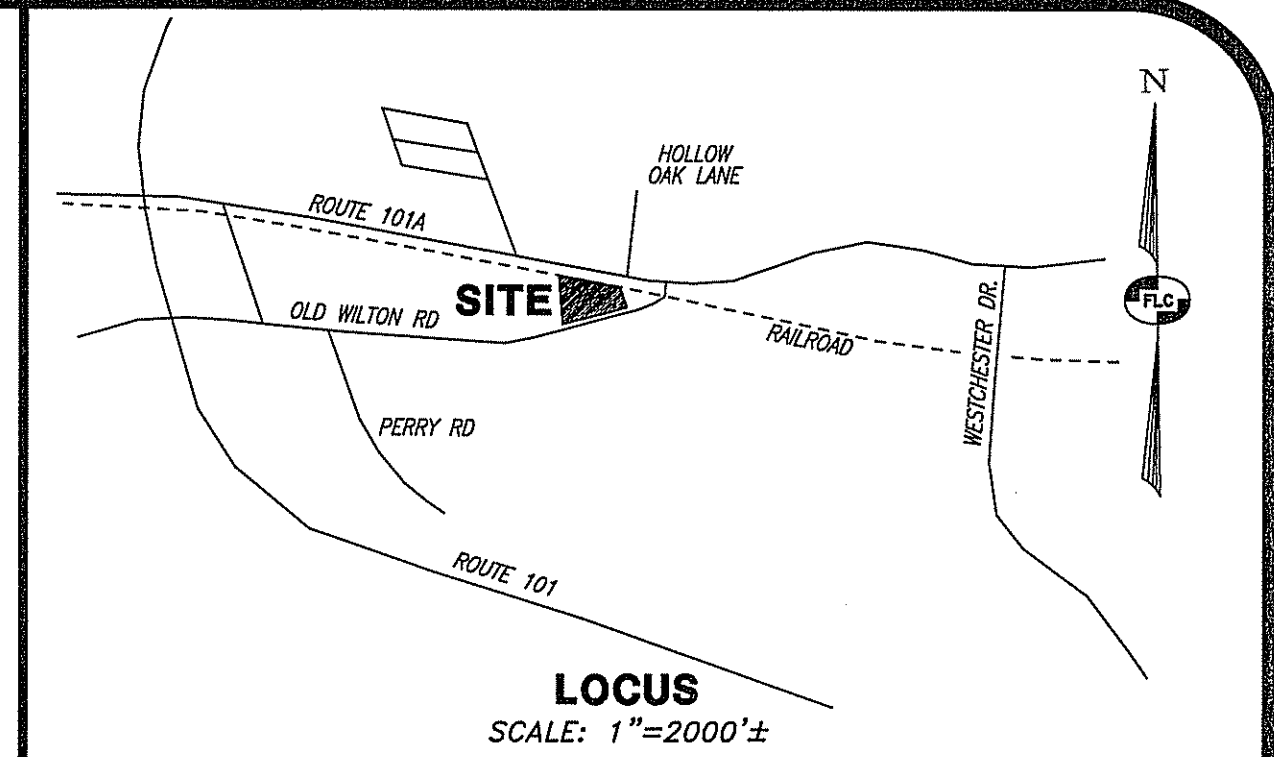
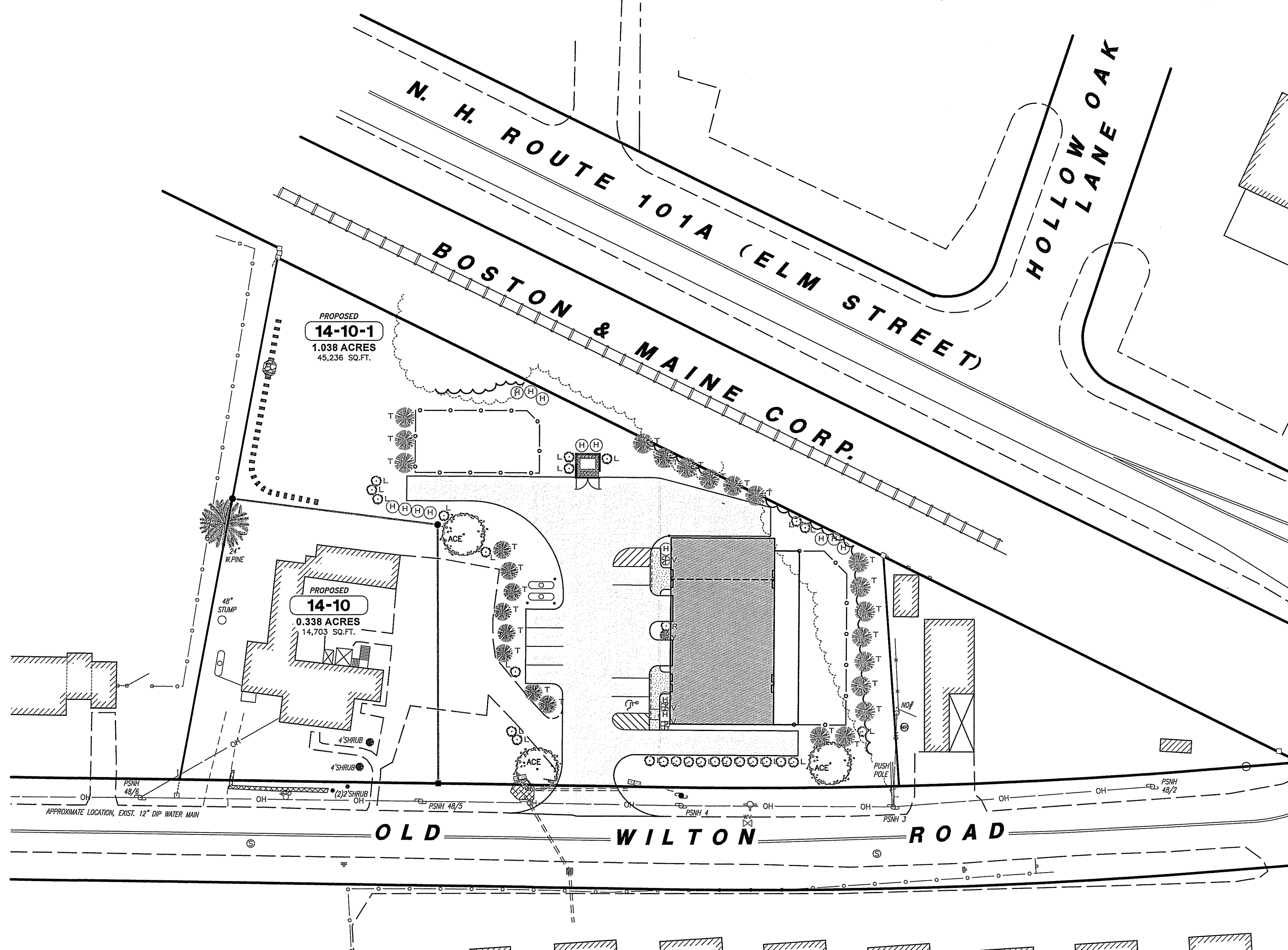
1
LT-1

NOTES:

- LANDSCAPING PARKING LOTS AND ACCESS WAYS CALCULATION:
150± FT. OF LANDSCAPING BUFFER X 1 TREE PER 30' OF BUFFER
=5 TREES

A DARK AMERICAN ARBORVITAE BUFFER TO THE NORTH, EAST, AND WEST PROVIDE A BUFFERS TO ADJACENT LOTS COMPLY WITH SECTION 8.08.7.A.02. PROVIDING AN EXCESS OF 5 TREES.
- LANDSCAPING ALONG FRONTAGE CALCULATION:
222± FT. OF FRONTAGE X 1 SHRUB PER 5' OF FRONTAGE
=45 SHRUBS

TOTAL PROPOSED SHRUBS = 50 SHRUBS



LEGEND:

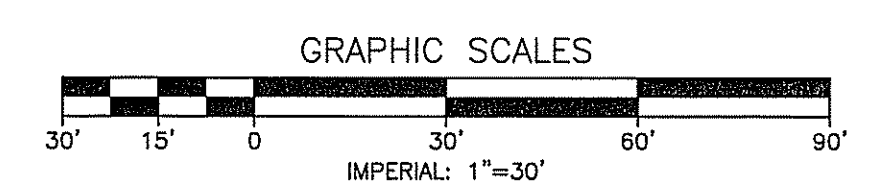
EXISTING FEATURES	
14-10	TAX MAP AND LOT NUMBER
---	RIGHT-OF-WAY SIDELINE
---	PROPERTY LINE
---	ABUTTING LOT LINE
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL ROAD
OH	OVERHEAD UTILITIES
S	SEWER LINE
---	DRAIN LINE
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	5' CONTOUR INTERVAL
---	1' CONTOUR INTERVAL
---	TREE LINE
□ G.B.(f)	GRANITE BOUND FOUND
⊙	SEWER MANHOLE
⊙	DRAIN MANHOLE
⊙	MANHOLE
---	CATCH BASIN
---	SINGLE POST SIGN
---	WATER HYDRANT
---	WATER VALVE
---	WATER SHUT-OFF
---	UTILITY POLE AND GUY WIRE
---	BUILDING

PROPOSED FEATURES

---	EDGE OF PAVEMENT
---	CAPE COD BERM
---	EASEMENT LINE
---	SAWCUT LINE
---	PAVEMENT AREA
---	BITUMINOUS CONCRETE SIDEWALK
---	LIMIT OF CLEARING
---	CHAIN LINK FENCE

LANDSCAPING LEGEND:

⊙ R	PAM RHODODENDRON (OR EQUAL)
⊙ Y	TAXUS DENSE YEW - 'DENSIFORMIS' OR EQUAL
⊙ H	ILEX (HOLLY - 'NORDIC INKBERRY') OR EQUAL
⊙ JGO	JUNIPERUS CHINENSIS, 3 GAL (GREY OWL JUNIPER)
⊙ V	VIBURNUM P.T.; 18"-24" B&B (SUMMER SNOWFLAKE VIBERNUM) OR EQUAL
⊙	SYRINGA PATULUA; 18"-24" B&B (MISS KIM LILAC) OR EQUAL
⊙ T	THUJA O. NIGRA; 6" MINIMUM B&B (DARK AMERICAN ARBORVITAE) OR EQUAL
⊙ ACE	ACER RUBRUM 'OCTOBER GLORY' MAPLE OR EQUAL 2-1/2" CAL / 12 FEET WHEN PLANTED



D	10/4/21	ADDRESS STAFF COMMENTS	NRC	CEB
C	9/8/21	ADDRESS STAFF COMMENTS	CLR	CEB
B	8/19/21	REVISED BUILDING LAYOUT	CLR	CEB
A	1/22/20	ADDRESS COMMENTS PER STAFF MEMO	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

LANDSCAPING PLAN
INDUSTRIAL DEVELOPMENT
TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD
MILFORD, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
 70 PUTNUM HILL ROAD, LYNDEBOROUGH, NH 03082-6134.

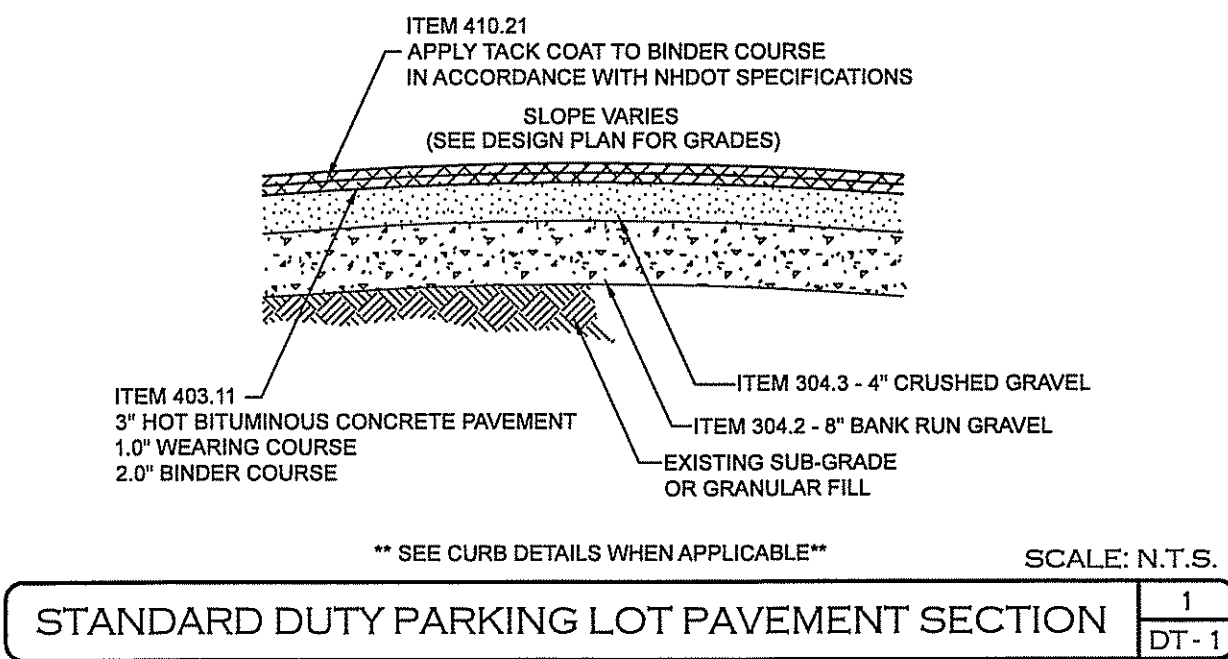
SCALE: 1" = 30' FEBRUARY 16, 2017

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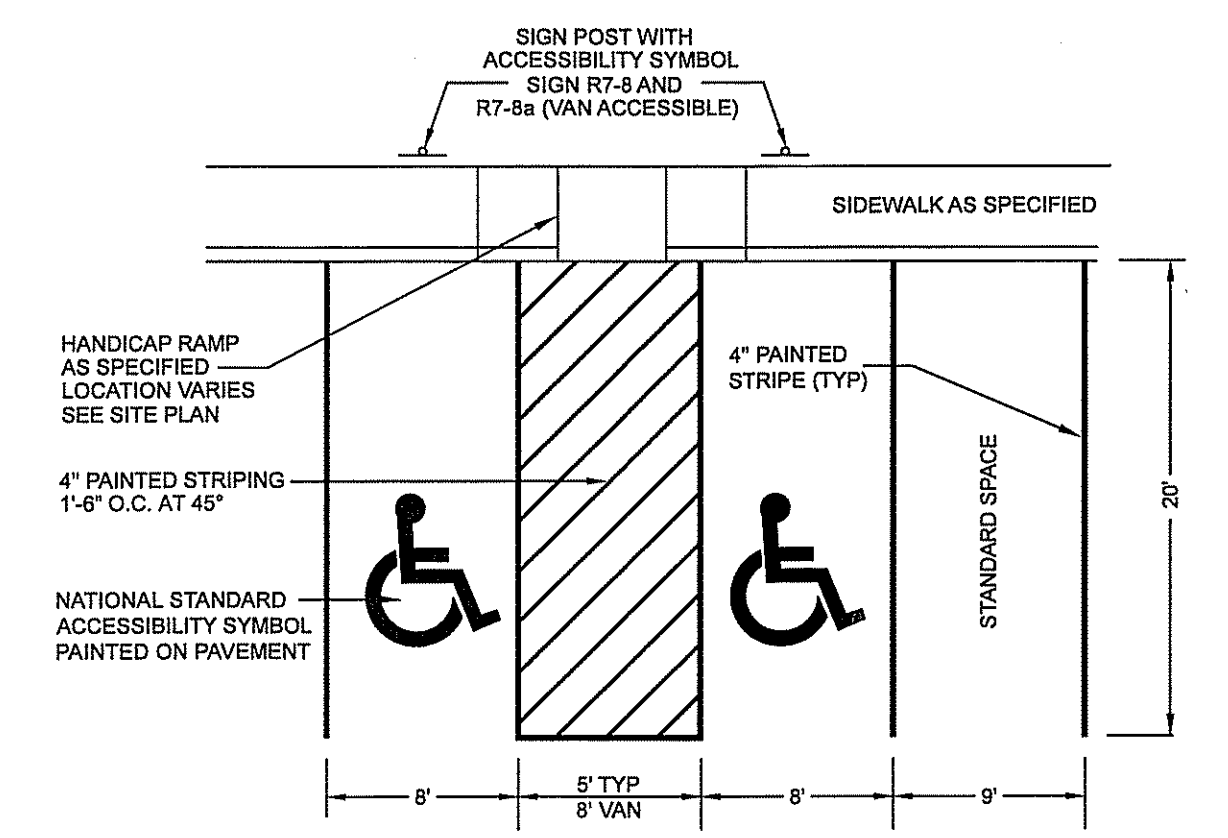
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1/12/21

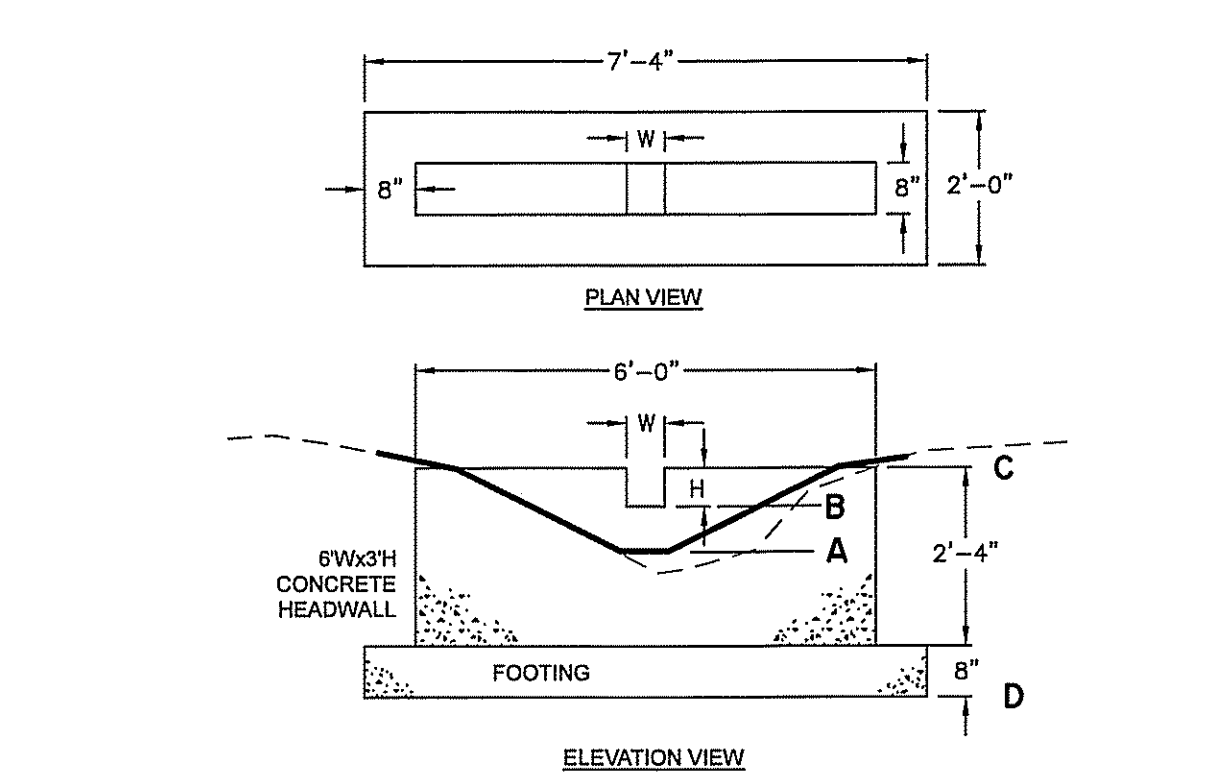


STANDARD DUTY PARKING LOT PAVEMENT SECTION
SCALE: N.T.S.
1 DT-1



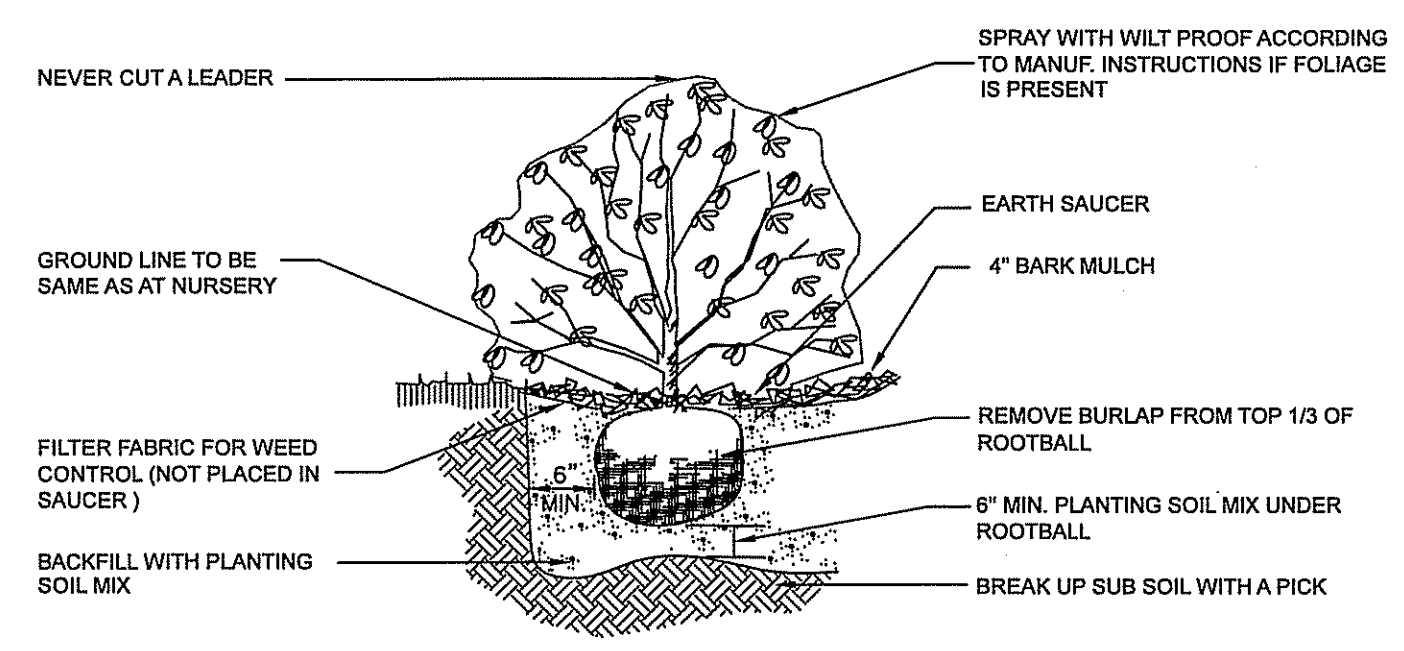
- NOTES:
- MAXIMUM SLOPE IN ANY DIRECTION IS 2.0% FOR HANDICAP SPACES.
 - SEE SITE PLAN FOR LOCATION OF HANDICAP SPACES AND TYPE OF HANDICAP RAMP TO BE USED.
 - HANDICAP SYMBOL SHALL BE CENTERED ON WIDTH OF PARKING STALL AND LOCATED 6\"/>

PARKING STALL LAYOUT
SCALE: N.T.S.
2 DT-1

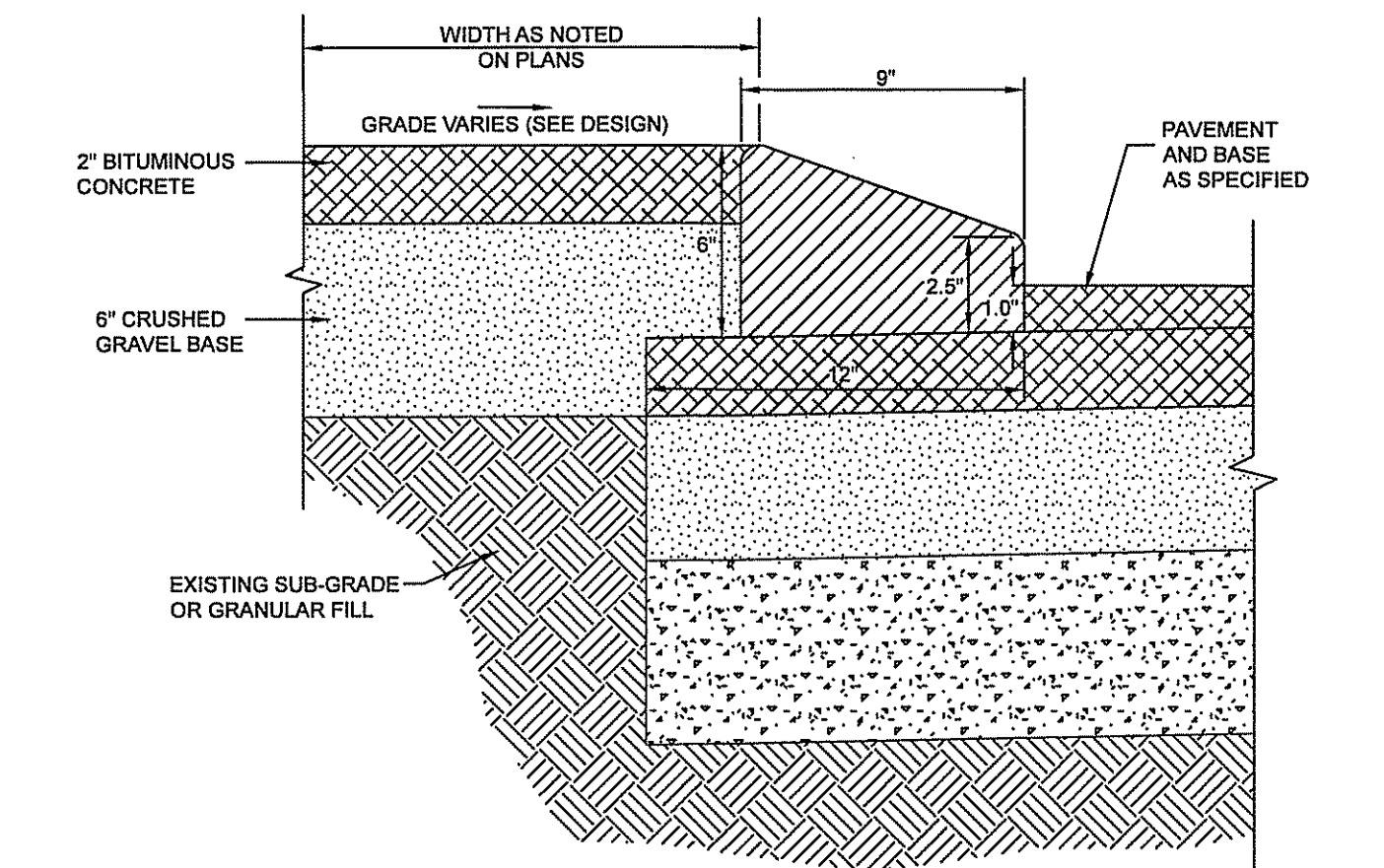


LOCATION	BASIN OUTLETS		ELEVATIONS (FT.)			
	W	H	A	B	C	D
IB 1 (101P)	5"	6"	299.0	299.3	299.8	296.8
IB 2 (301P)	6"	6"	298.0	298.5	299.0	296.0

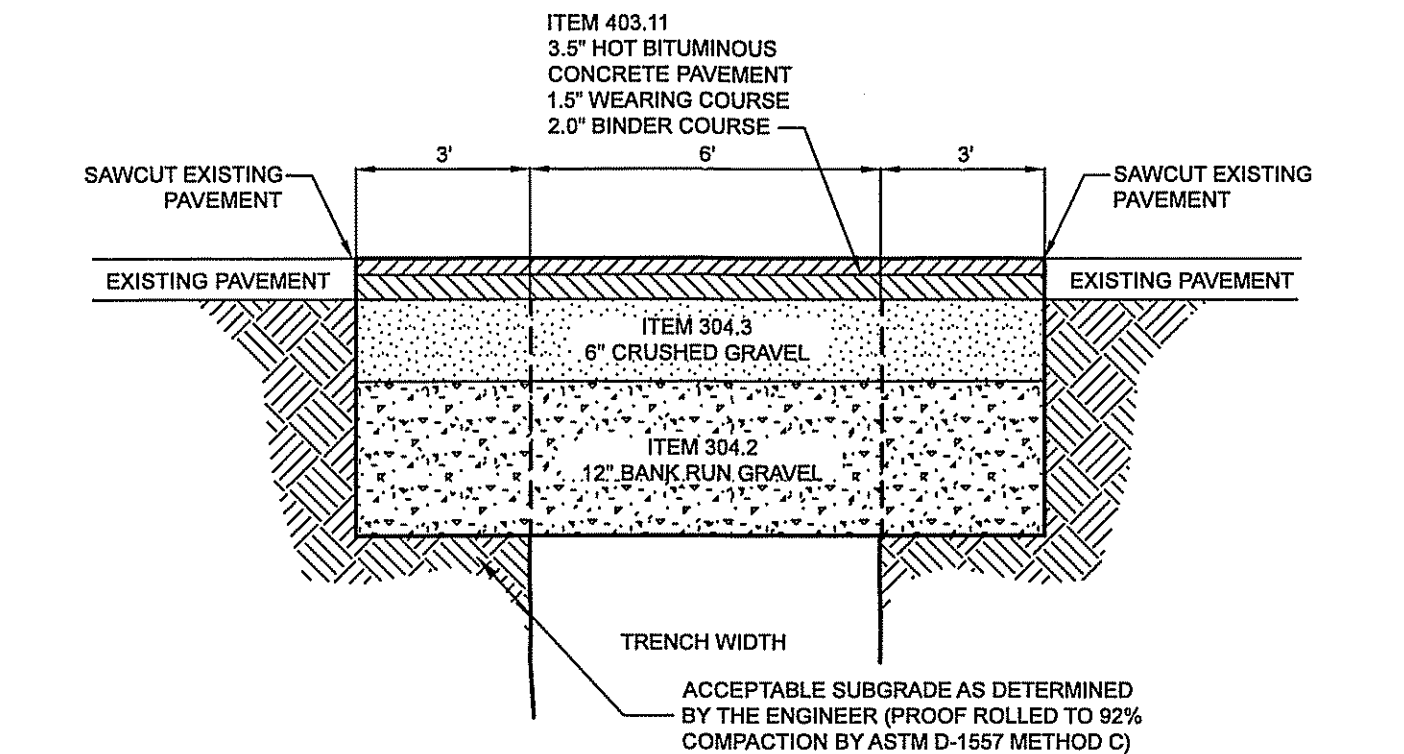
STORMWATER BASIN OUTLET HEADWALL
SCALE: N.T.S.
4 DT-2



SHRUB PLANTING DETAIL
SCALE: N.T.S.
3 DT-1

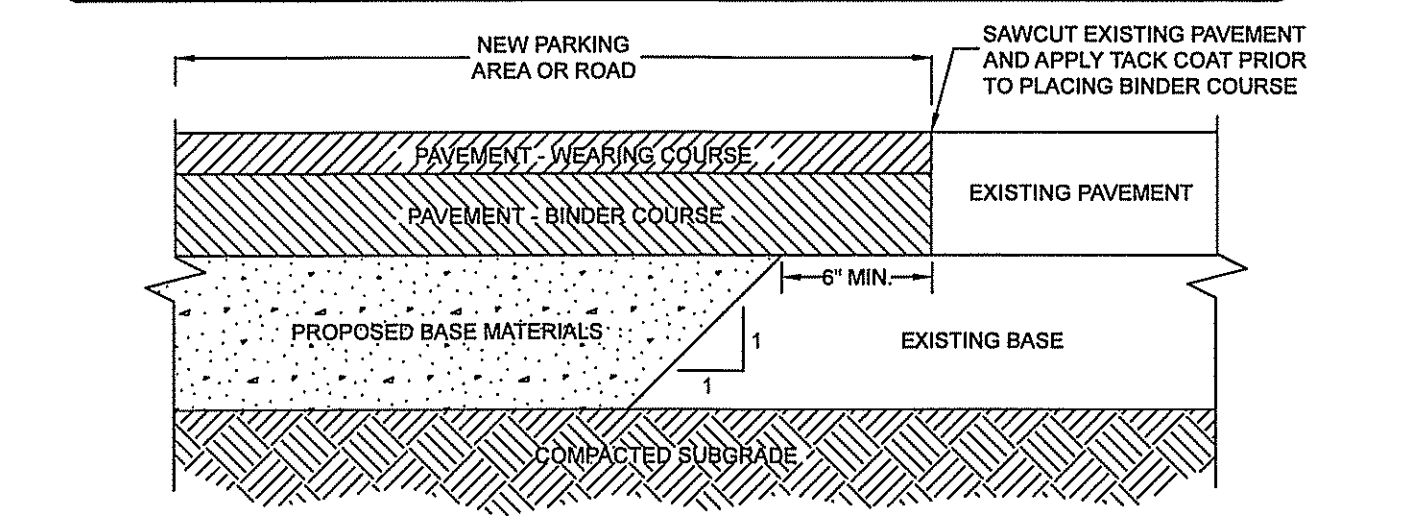


SIDEWALK - ASPHALT (CAPE COD BERM)
SCALE: N.T.S.
4 DT-1



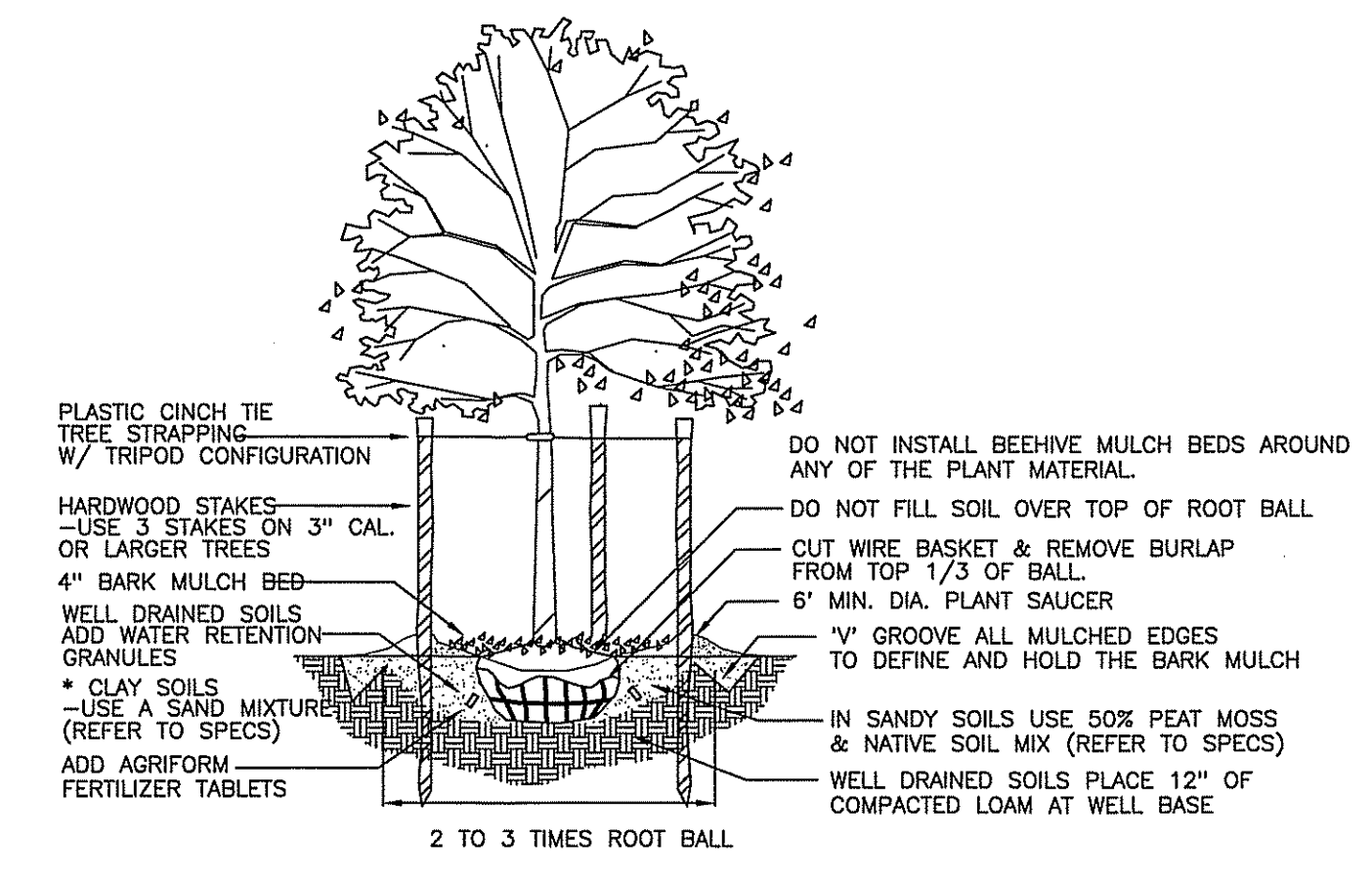
- NOTE:
- THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER TRENCH CONSTRUCTION AND ALLOWED TO STAND A MINIMUM OF 90 DAYS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER 90 DAYS AND THE ENTIRE ROAD OVERLAD TO THE LIMITS SHOWN ON THE PLANS.

PAVEMENT TRENCH PATCH
SCALE: N.T.S.
5 DT-1

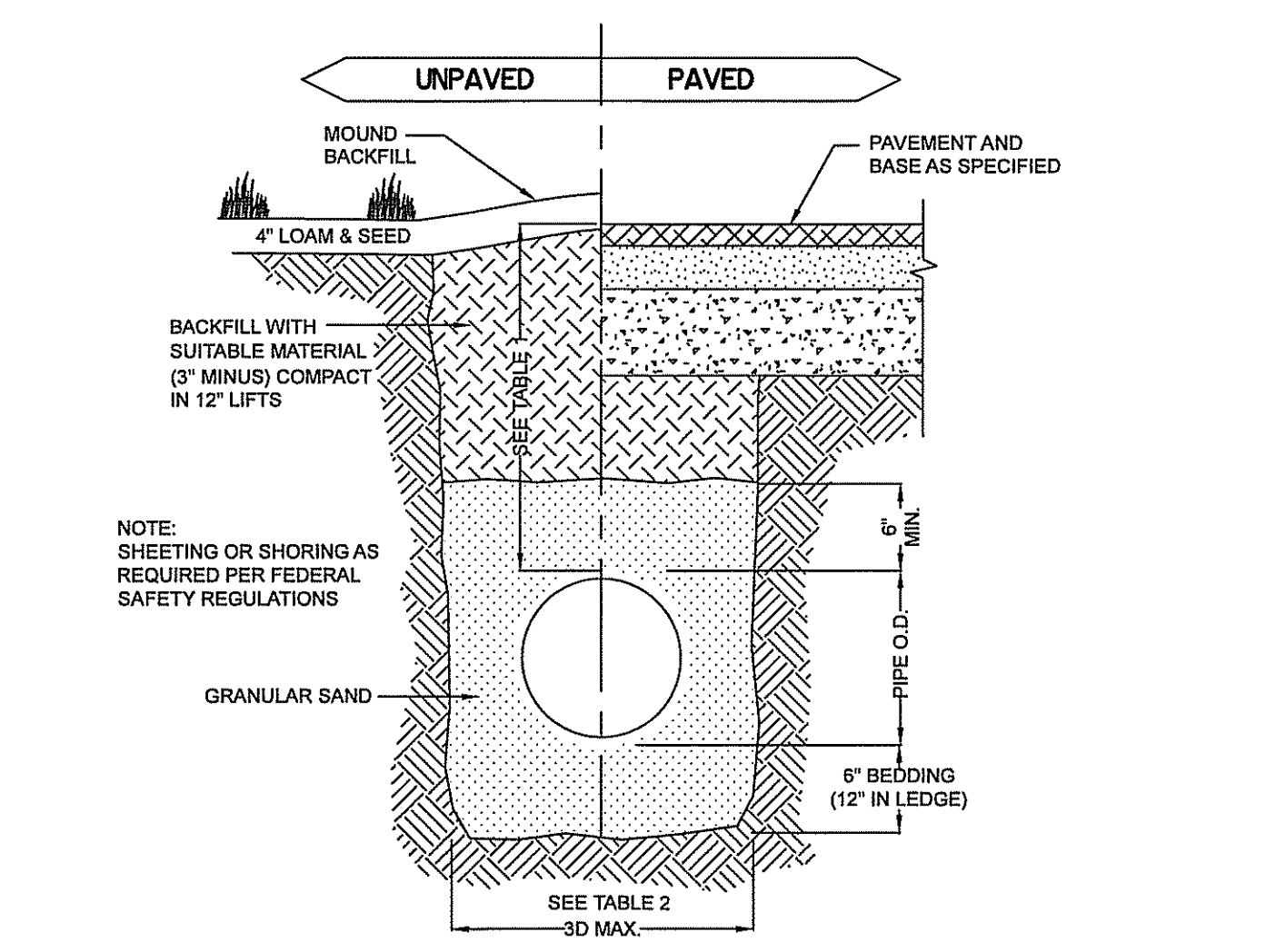


- NOTE:
- SEE ROADWAY OR PARKING LOT SECTION FOR MATERIALS AND ASSOCIATED DEPTHS.
 - INFRARED JOINT AFTER PLACING PAVEMENT.

PAVEMENT MATCH
SCALE: N.T.S.
6 DT-1

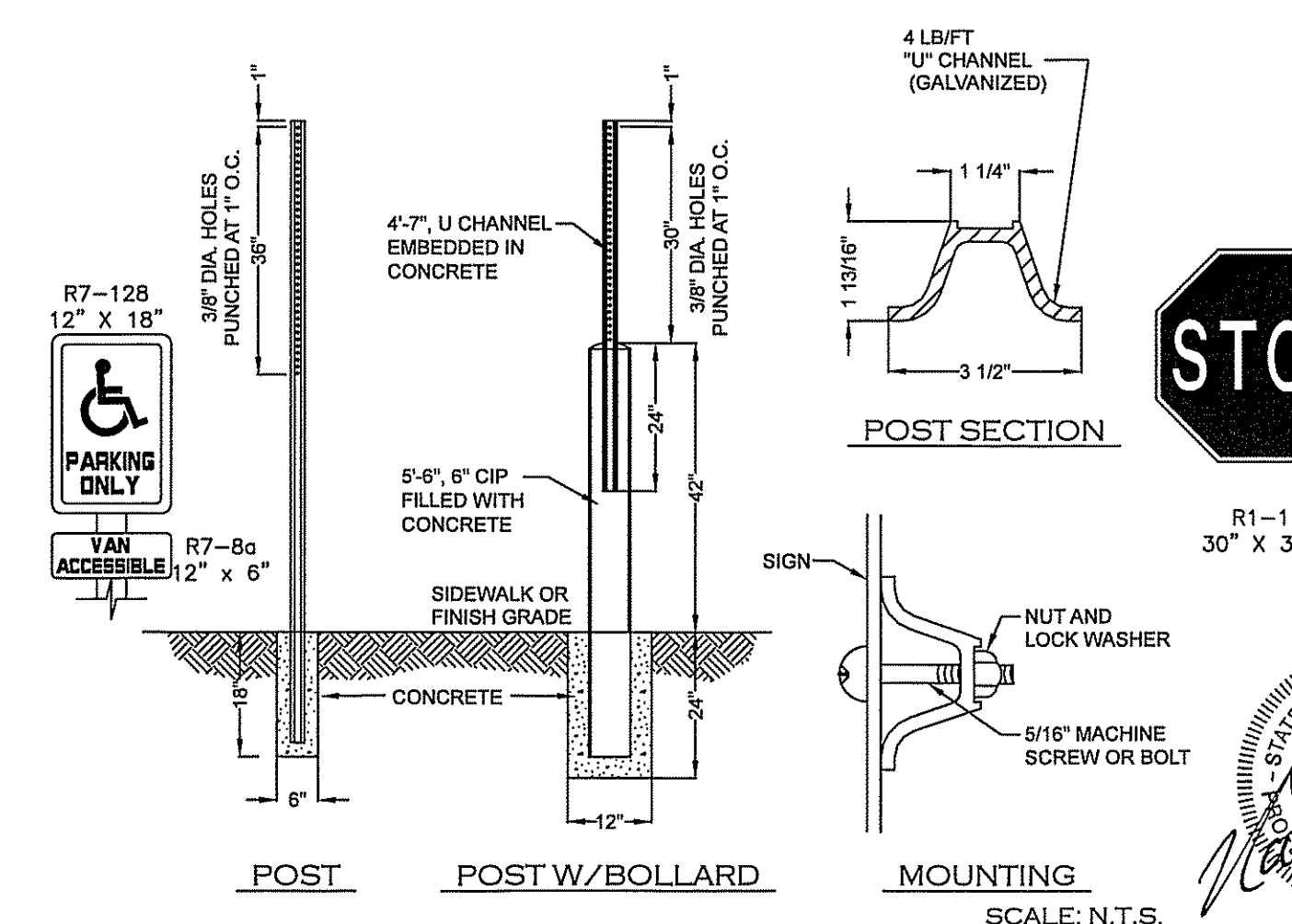


DECIDUOUS TREE PLANTING DETAIL
SCALE: N.T.S.
7 DT-1

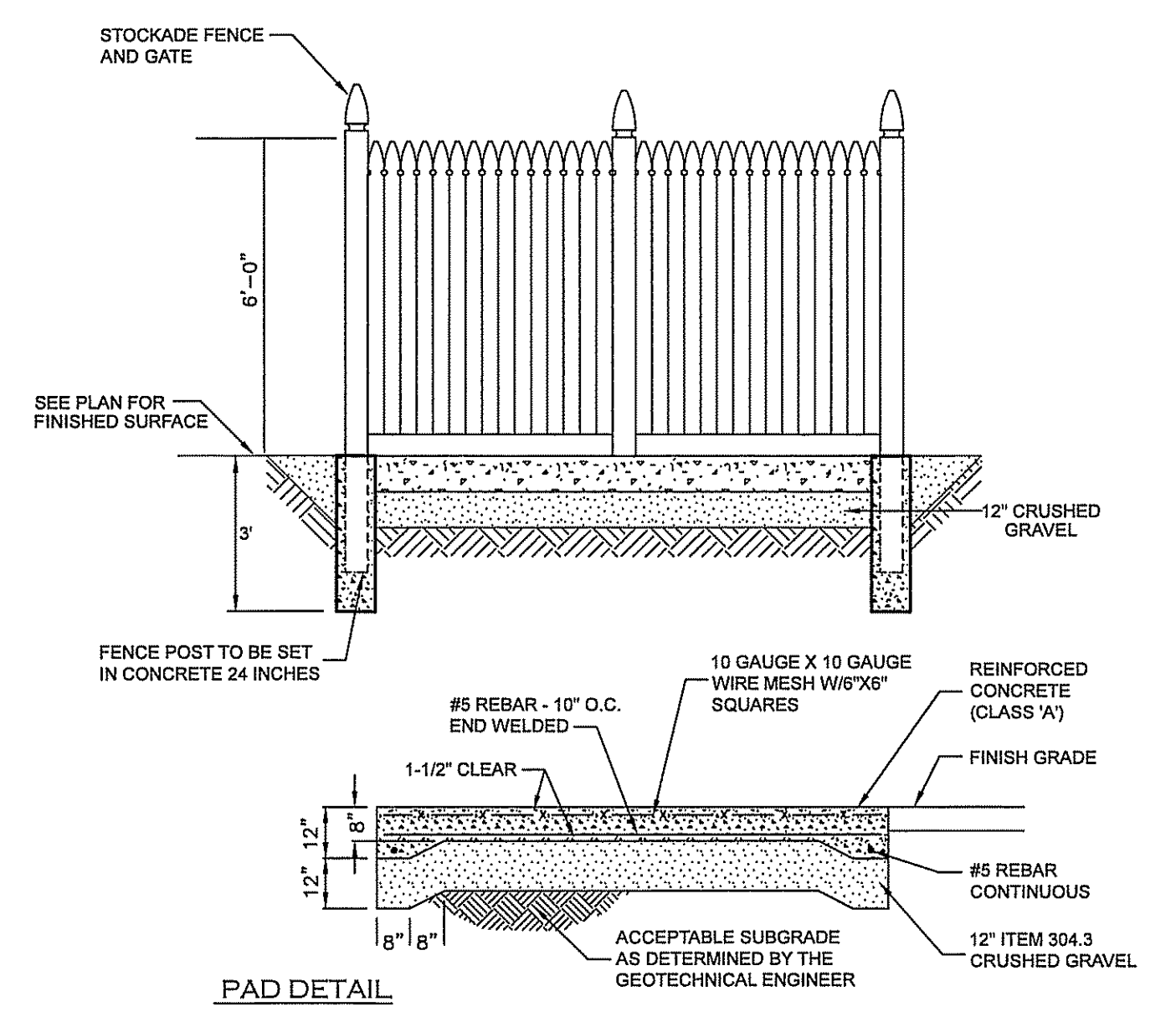


LOCATION	TABLE 1 (RECOMMENDED COVER)		TABLE 2 (RECOMMENDED TRENCH WIDTH)	
	PIPE MATERIAL	MINIMUM COVER	INSIDE DIAMETER	TOTAL WIDTH
PAVED ROADS	ALL	3 FT.	12" TO 24"	I.D. + 24"
UNPAVED ROADS	ALL	2 FT.	OVER 24"	2 x I.D.
DRIVEWAYS	ALL	1 FT.		
UNPAVED AREAS	ALL	2 FT.		

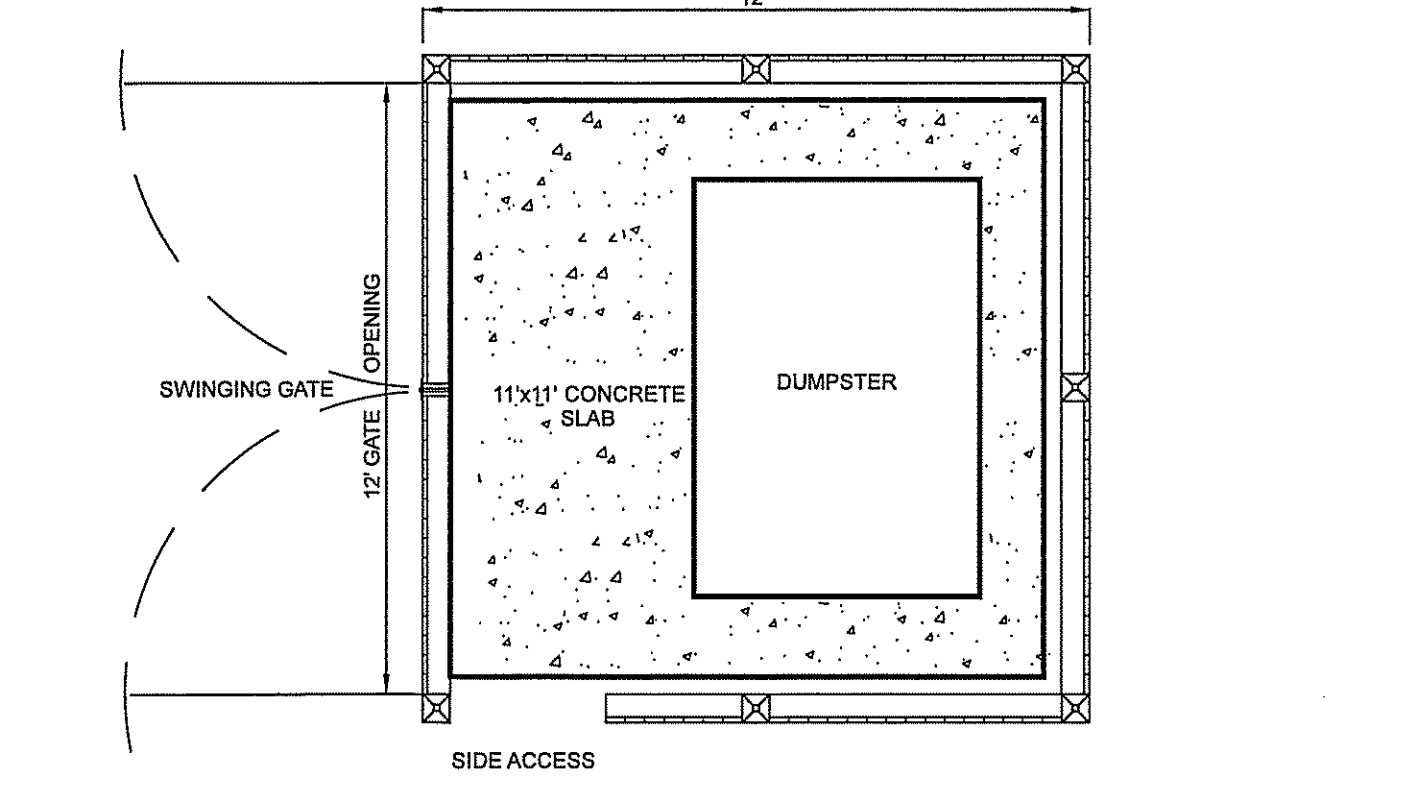
DRAINAGE TRENCH (TYPICAL)
SCALE: N.T.S.
8 DT-1



SIGN POST - STANDARD & W/BOLLARD
SCALE: N.T.S.
9 DT-1



PAD DETAIL
SCALE: N.T.S.
10 DT-1



- NOTE:
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE SCREEN FENCE TO THE ENGINEER FOR APPROVAL.

DUMPSTER ENCLOSURE
SCALE: N.T.S.
10 DT-1

REV.	DATE	DESCRIPTION	C/O	DR	CK
D	10/4/21	ADDRESS STAFF COMMENTS		NRC	CEB
C	9/8/21	ADDRESS STAFF COMMENTS		CLR	CEB
B	8/20/21	REVISED DETAILS PER NEW BUILDING LAYOUT		CLR	CEB
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CONSTRUCTION DETAILS

INDUSTRIAL DEVELOPMENT

TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD

MILFORD, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:
RONALD L. & LOREEN M. RACICOT
70 PUTNUM HILL ROAD, LYNDEBOROUGH, NH 03082-6134.

SCALE: N.T.S. FEBRUARY 16, 2017

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NOTES:
 1. MINIMUM SIZE PIPE/SEWER SERVICE SHALL BE 6 INCHES.
 2. PIPE AND JOINT MATERIALS

- A. PLASTIC SEWER PIPE**
 1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
- | ASTM STANDARDS | GENERIC PIPE MATERIALS | SIZES APPROVED |
|----------------|------------------------|-----------------------------|
| D3034 | PVC (SOLID WALL)* | 8" THROUGH 15" (SDR 35) |
| F799 | PVC (SOLID WALL) | 18" THROUGH 27" (T-1 & T-2) |
| F704 | PVC (ROBBER WALL) | 4" THROUGH 18" (T-1 TO T-3) |
| D2880 | ABS (COMPOSITE WALL)* | 8" THROUGH 15" |
- *PVC: POLY VINYL CHLORIDE
 *ABS: ACRYLONITRILE-BUTADIENE-STYRENE

2. JOINTS SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
 ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
 JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.

- B. DUCTILE-IRON PIPE, FITTINGS AND JOINTS**
 1. DUCTILE-IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
 A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-538 DUCTILE IRON CASTINGS.
 A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
 2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
 A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.

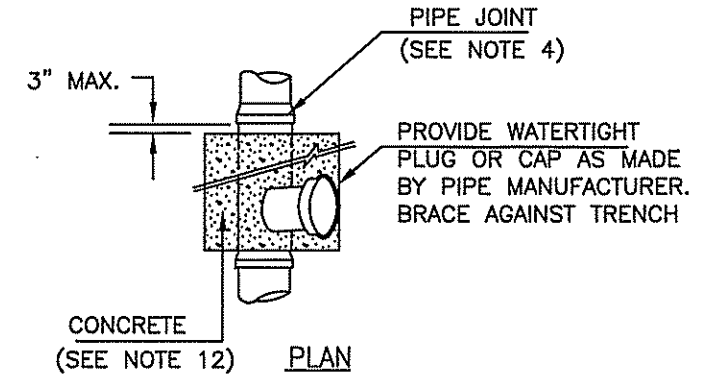
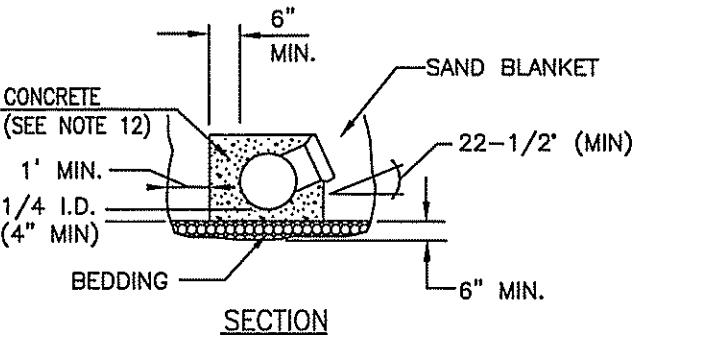
3. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
 4. JOINTS SHALL BE DEPENDENT UPON AN EXPLORE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
 5. "T" AND "Y" WHERE "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL, PLACING AND JOINING IN APPLYING MORTAR TO HOLD THE CONNECTION AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED, AS SHOWN IN THE DETAIL, UP TO AND INCLUDING 15" DIAMETER.
 6. BUILDING SEWER INSTALLATION SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DRY THE TRENCH. A CLEANOUT SHALL BE INSTALLED OUTSIDE THE BUILDING (SEE DETAIL) AND A MINIMUM OF ONE (1) EVERY ONE-HUNDRED (100) FEET THEREAFTER.
 7. TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECT TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
 A. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST MANHOLE DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RELAID SO AS TO ASSURE WATER-TIGHTNESS.
 8. ILLEGAL CONNECTIONS NOTHING BUT SANITARY WASTE FLOW FROM THE BUILDING TOILETS SINKS, KITCHEN, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
 9. BUILDING WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.
 10. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.
 100% PASSING 1 INCH SCREEN
 90-100% PASSING 3/4 INCH SCREEN
 20-55% PASSING 3/8 INCH SCREEN
 0-10% PASSING #4 SIEVE
 0-5% PASSING #6 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2 TO 1/2 INCH) SHALL BE USED.

11. LOCATION THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y", AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
 12. CONCRETE CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE VT. AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 CEMENT: 6.0 BAGS/C.Y. WATER: 5.75 GALS/BAG CEMENT AGGREGATE: 1 INCH MAX
 13. CHIMNEYS: IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE BLDG. CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

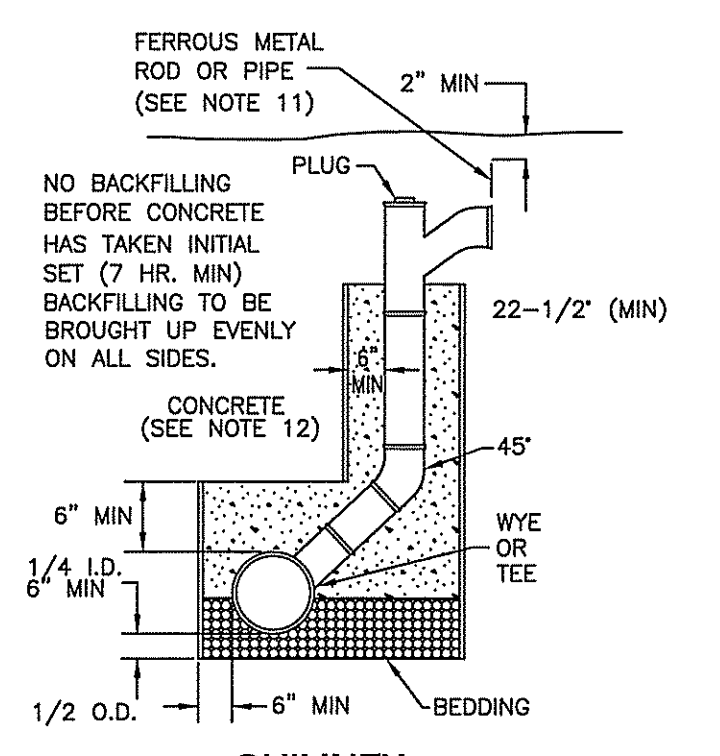
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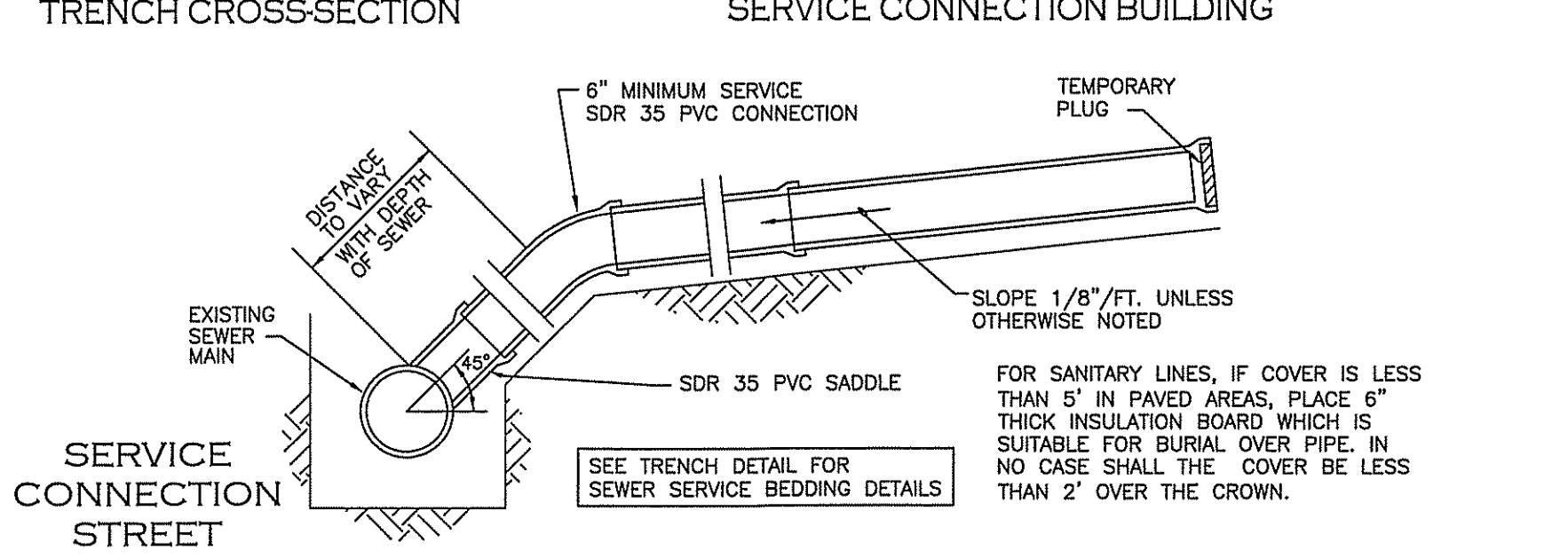
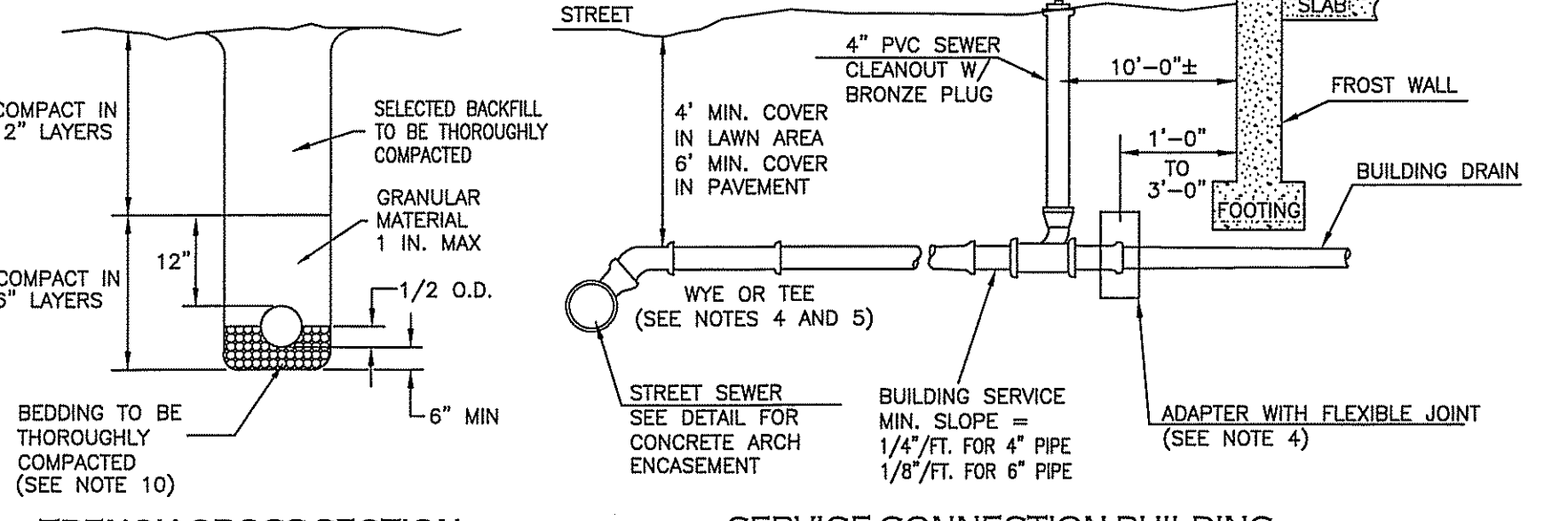


CONCRETE FULL ENCASEMENT

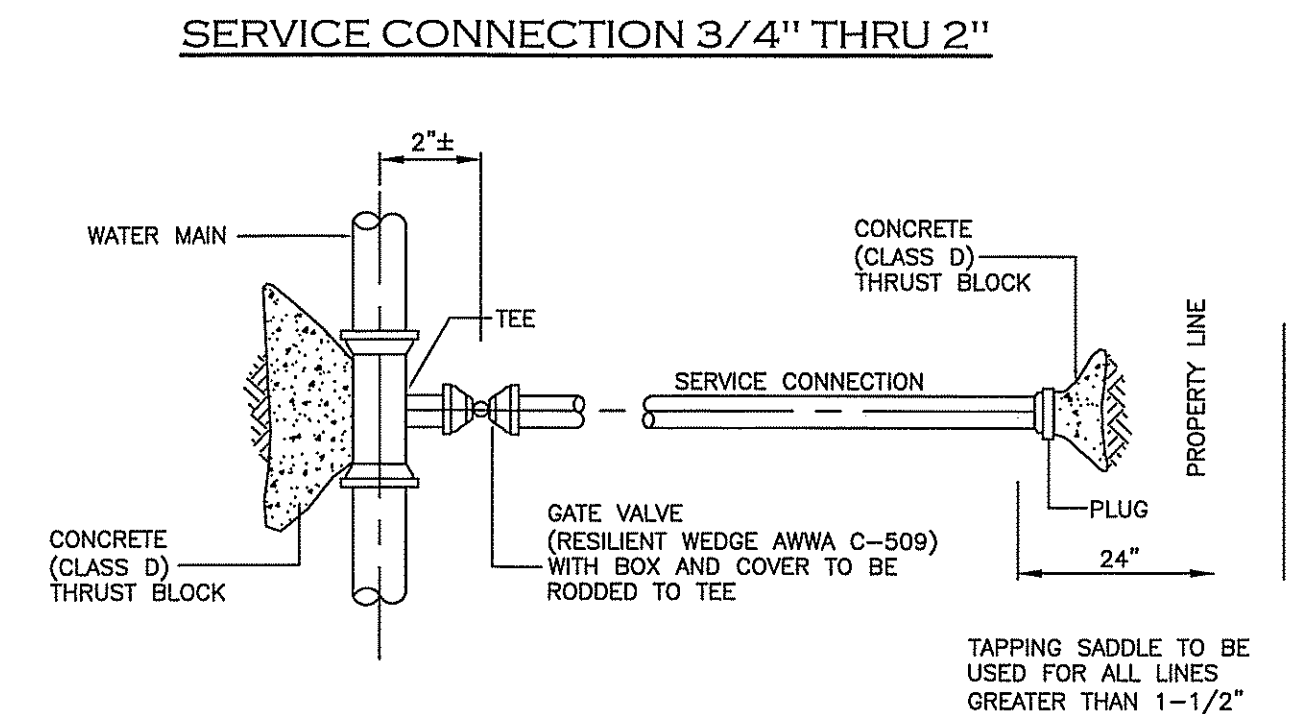
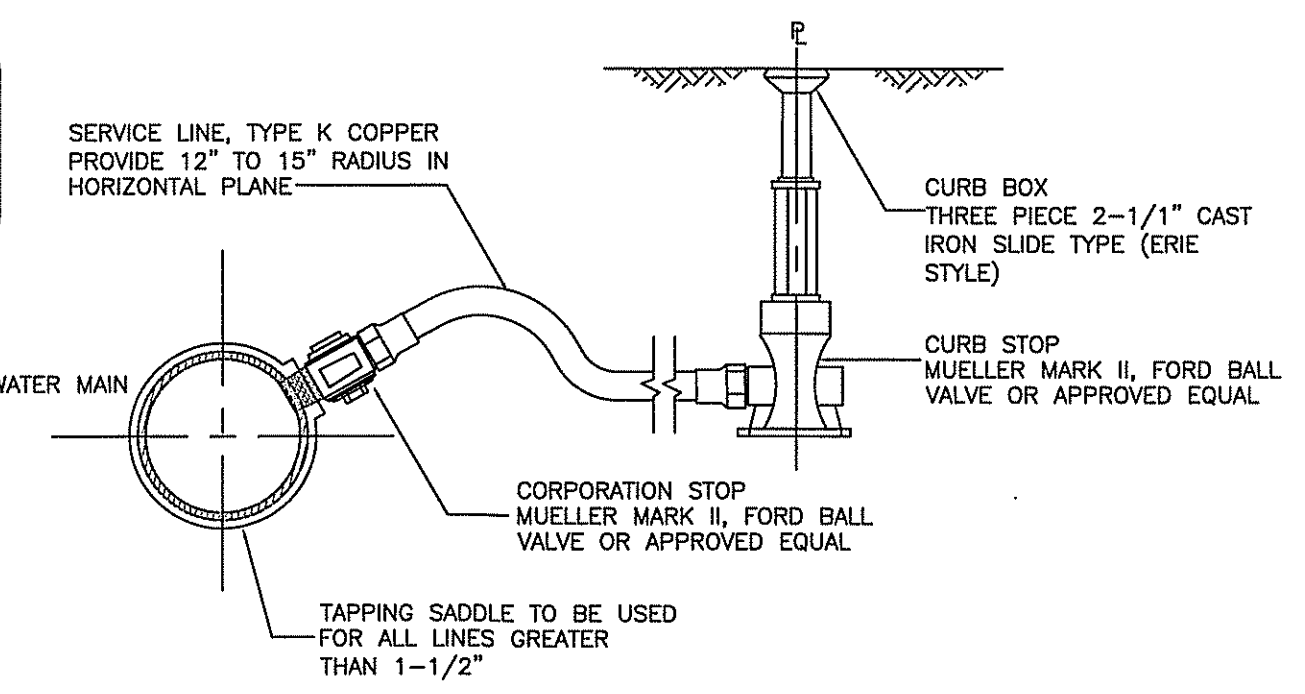


CHIMNEY
(SEE NOTE 13)

NOTE: SEWER SERVICE INSTALLATION SHALL BE PER TOWN OF MILFORD'S "SEWER AND DRAIN STANDARD SPECIFICATIONS"

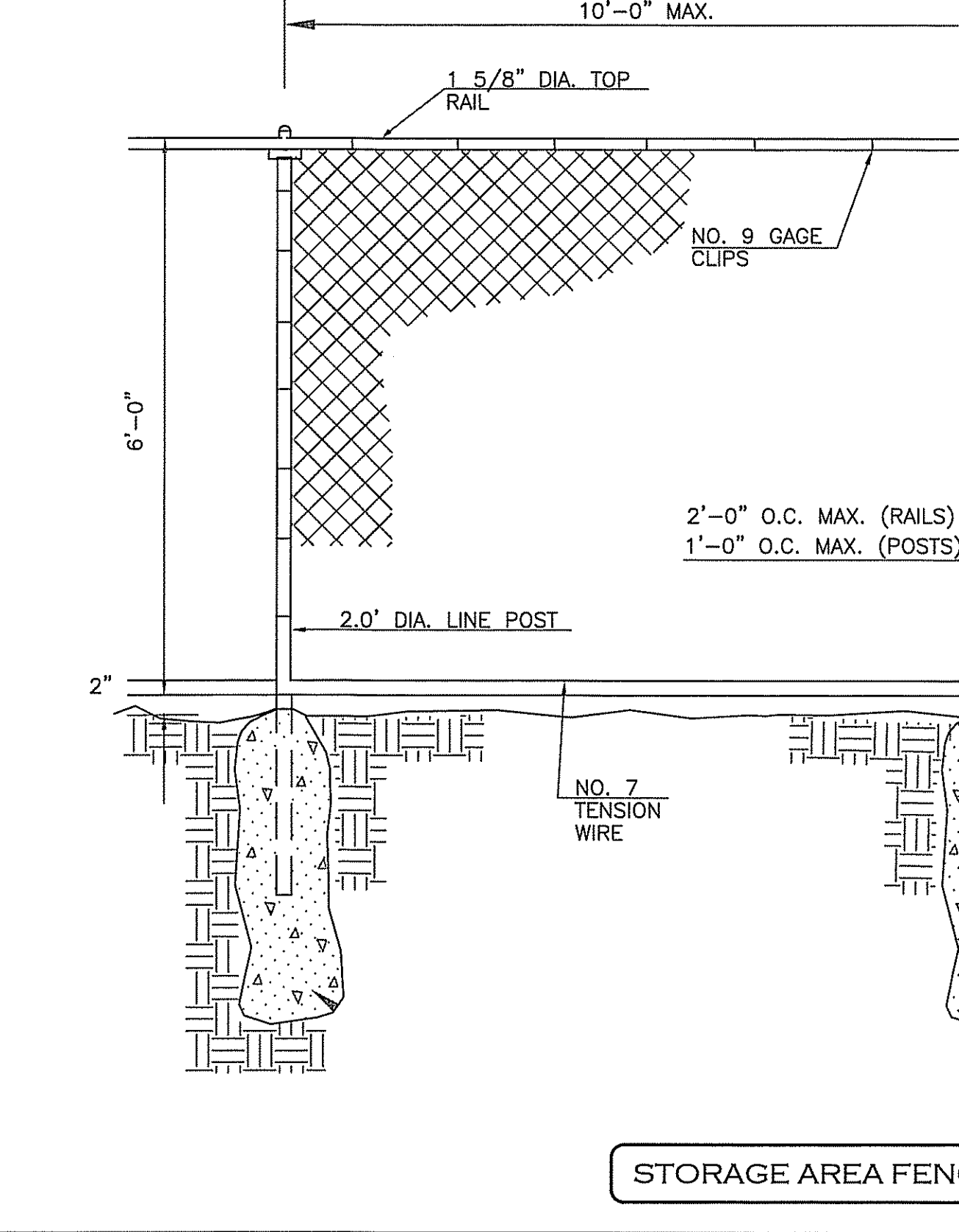
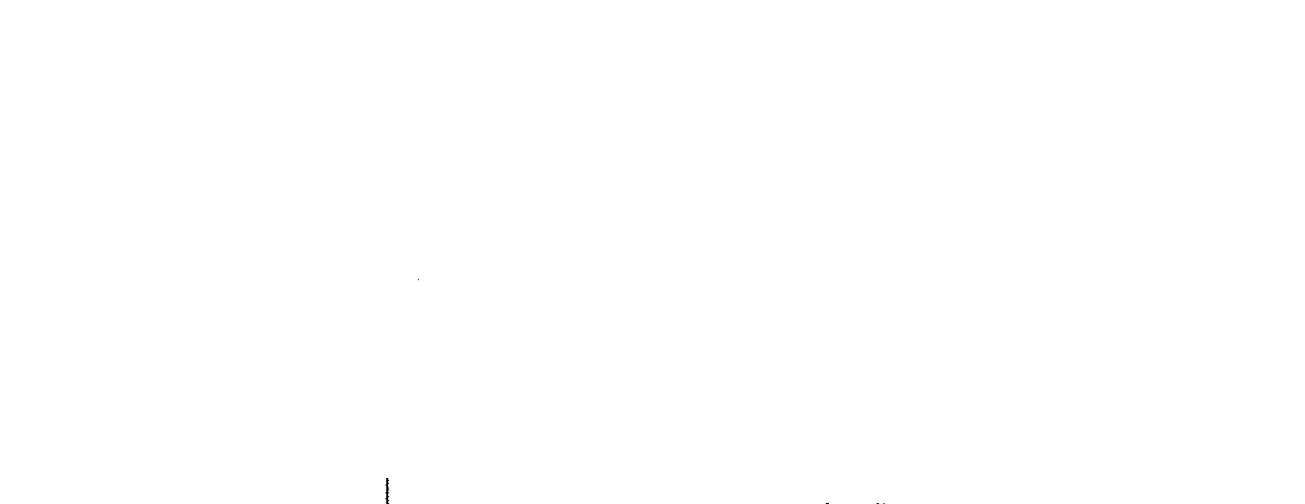


SEWER SERVICE CONNECTION DETAILS

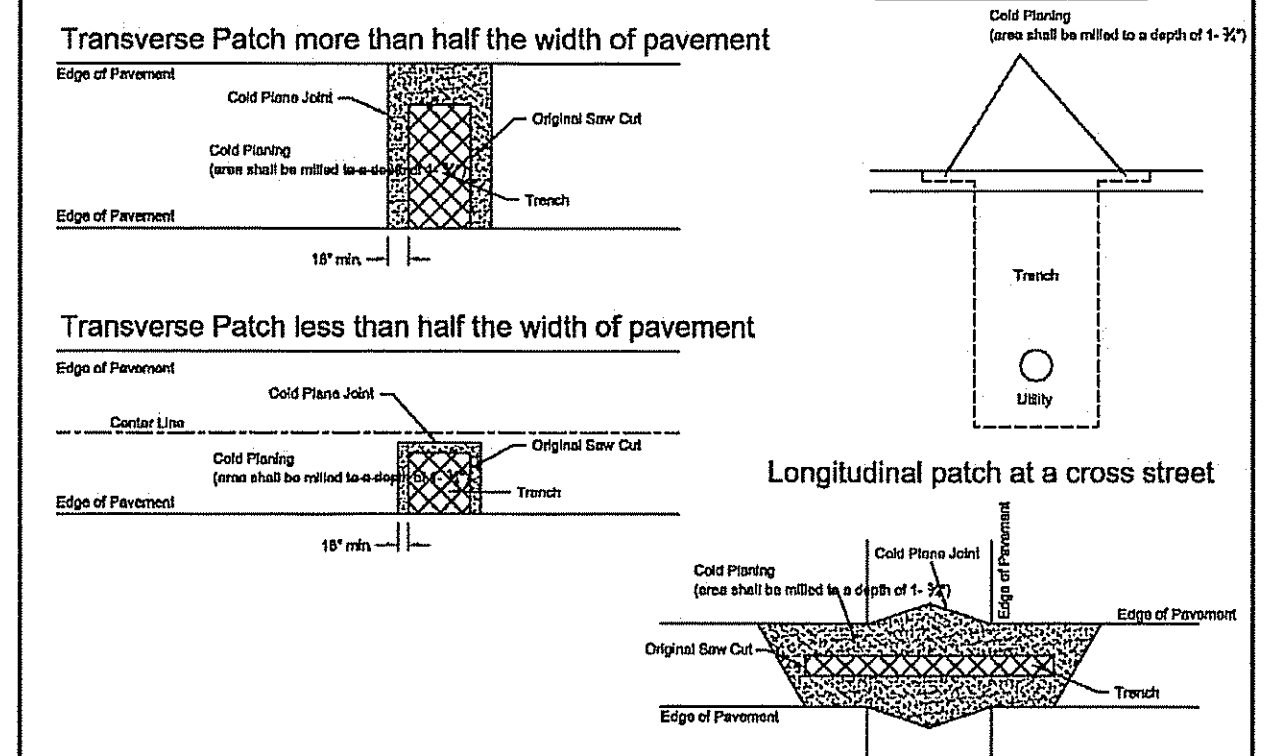


WATER SERVICE CONNECTION DETAILS

PAVEMENT RESTORATION

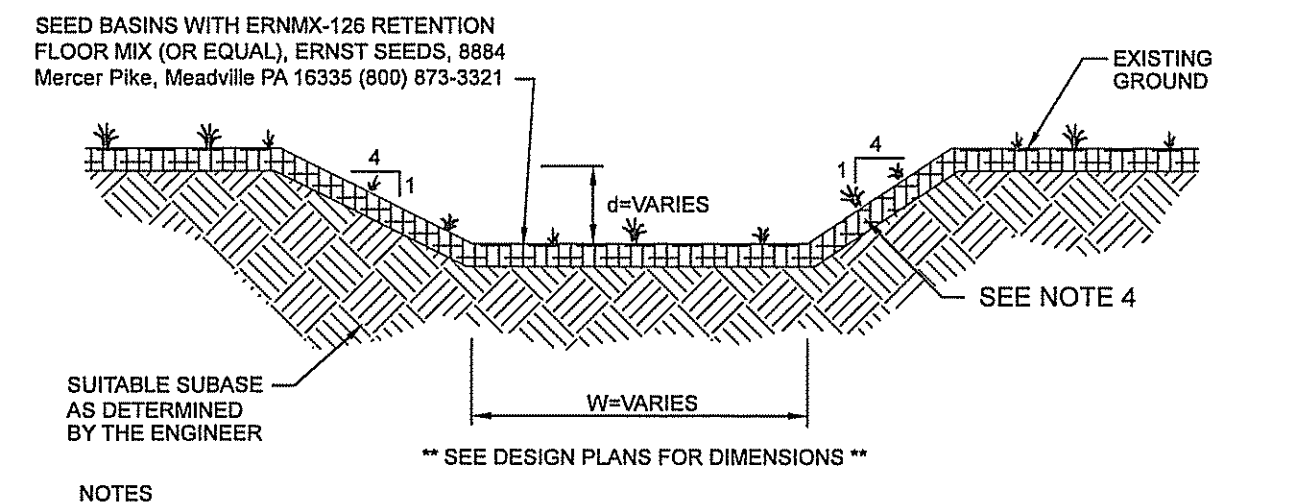


- Procedures for repairs of trench cuts on City roads**
1. Pavement shall be sawcut along the ditch line. Any undermined areas that inadvertently develop shall have the projecting pavement saw cut and removed.
 2. Trench backfill shall be compacted in acceptable lifts according to Street Opening Permit or approved plans.
 3. A 4 inch depth - 3/4" type B hot bituminous patch shall be laid in two (2)" inch depth lifts.
 4. The patch shall be allowed to settle for a minimum of 60 days (or time determined by Director of DPW).
 5. After suitable exposure to traffic compaction as determined by the Director of Public Works, the pavement shall be milled to a depth of 1 3/4" providing a minimum 18 inch overlap onto existing undisturbed pavement.
 6. Care must be taken to identify and offset the location of the joint before cold planing.
 7. The milled area shall be paved with 1/2" type E hot bituminous pavement meeting NH DOT 401 pavement specifications. The new to old pavement joints shall be sealed with a crack and joint sealer.



DRAWN BY: D.K.P.	TOWN OF MILFORD, NEW HAMPSHIRE	SM/REV. 3/10
CHECKED BY: R.L.	DESIGN SPECIFICATIONS	REV. DESCRIPTION DATE
APPROVED BY: R.L.	PAVEMENT RESTORATION	FIGURE: D-18 A
SCALE: NOT TO SCALE	DETAIL	
DATE: MAR. 2010		

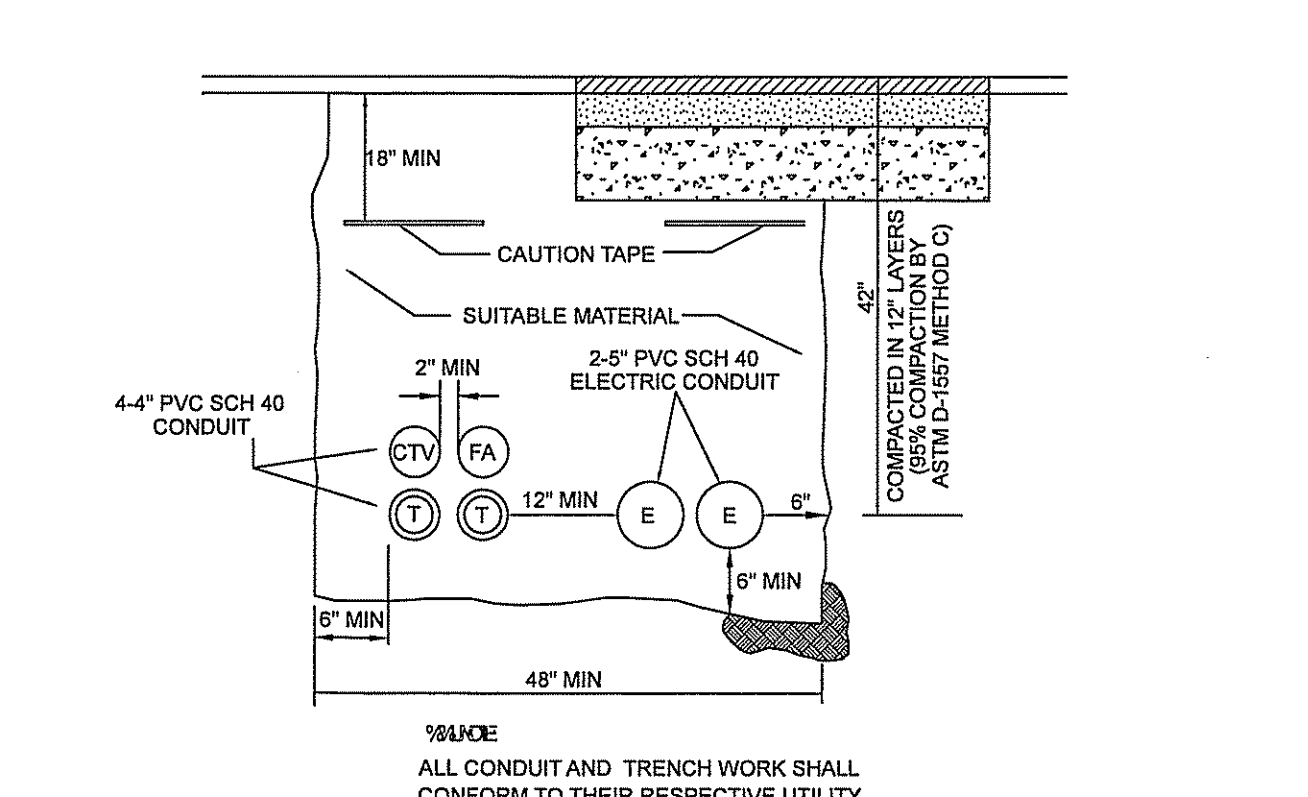
PAVEMENT RESTORATION



- SEED BASINS WITH ERNMX-126 RETENTION FLOOR MIX (OR EQUAL), ERNST SEEDS, 8884 Mercer Pike, Meadville PA 16335 (800) 673-3321
- SUITABLE SUBBASE AS DETERMINED BY THE ENGINEER
- NOTES
1. REMOVE ALL ORGANIC MATERIAL FROM AREA BELOW PROPOSED INFILTRATION BASIN TO EXPOSE UNDERLYING SOILS.
 2. CARE SHALL BE TAKEN TO PROTECT THE UNDERLYING SOILS FROM CONSTRUCTION TRAFFIC AND THE DISCHARGE OF SEDIMENT LADEN RUNOFF.
 3. ONCE EXCAVATED AND PRIOR TO FILLING, THE UNDERLYING SOILS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH LEVELING DRAG.
 4. FILL BELOW THE BASIN SHALL CONFORM TO THE SPECIFICATIONS FOR NHDOT ITEM 209.1, "GRANULAR BACKFILL".
 5. THE BASIN FLOOR OF THE INFILTRATION BASINS SHALL BE PREPARED USING ONE OF THE FOLLOWING METHODS:
 - 6" LAYER OF COURSE SAND OR 3/8" PEA GRAVEL;
 - COARSE ORGANIC MATERIAL SUCH AS AN EROSION CONTROL MIX OR COMPOSTED MULCH THAT IS TILLED INTO THE SOIL, SOAKED, AND ALLOWED TO DRY.
 6. DO NOT PLACE INFILTRATION BASINS INTO SERVICE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

INFILTRATION BASIN SECTION

TYPICAL UTILITY TRENCH



TYPICAL UTILITY TRENCH

D	10/4/21	ADDRESS STAFF COMMENTS	NRC	CEB
C	9/8/21	ADDRESS STAFF COMMENTS	CLR	CEB
B	8/20/21	REVISED DETAILS PER NEW BUILDING LAYOUT	CLR	CEB
A	1/22/20	ADDRESS COMMENTS PER STAFF MEMO	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

CONSTRUCTION DETAILS

INDUSTRIAL DEVELOPMENT

TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD

MILFORD, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:

RONALD L. & LOREEN M. RACICOT

70 PUTNUM HILL ROAD, LYNDEBOROUGH, NH 03082-6134.

SCALE: N.T.S. FEBRUARY 16, 2017

Surveying + Engineering + Land Planning + Permitting + Septic Designs



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- PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
- INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF DETENTION BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO ANY EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
- THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
- THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
- DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL). UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.
- ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
- ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

PERMANENT SEED (LAWN AREAS)	LBS / 1,000 SQ. FT.	PERMANENT SLOPE SEED MIX	LBS / 1,000 SQ. FT.
CREeping RED FESCUE	0.52 LBS	PERENNIAL RYEGRASS	0.80 LBS
PERENNIAL RYEGRASS	1.15 LBS	REDTOP	0.12 LBS
KENTUCKY BLUEGRASS	0.68 LBS	ALSIKE CLOVER	0.12 LBS
REDTOP	0.12 LBS	BIRDSFOOT TREFLOIL	
**APPLICATION RATE TOTALS		**APPLICATION RATE TOTALS	
2.8 LBS PER 1,000 SF**		1.85 LBS PER 1,000 SF**	

15. TEMPORARY STABILIZATION OF DISTURBED AREAS: STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW. SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1 INCH	8/15 TO 9/15
OATS	2.5 LBS	1 INCH	4/15 TO 10/15
ANNUAL RYEGRASS	1.0 LBS	0.25 INCH	8/15 TO 9/15

B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE AND COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
CRUSHED STONE	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED

16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).

17. CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.

18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.

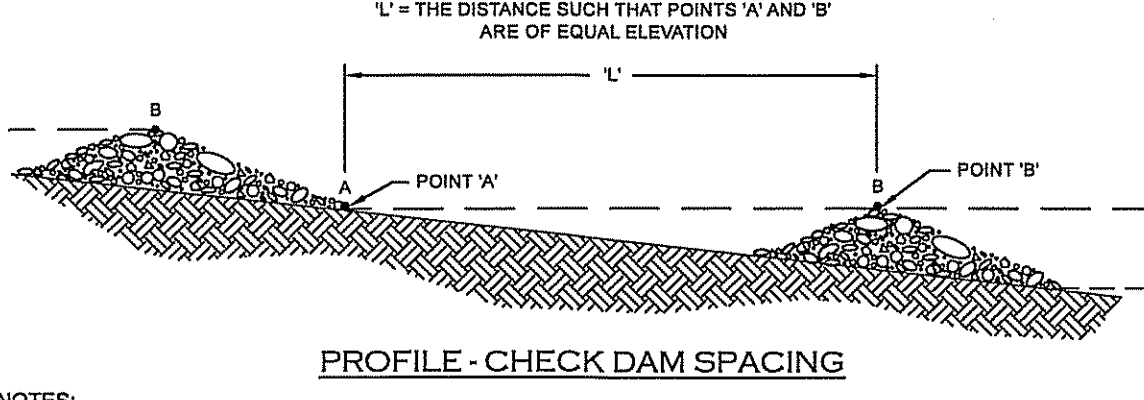
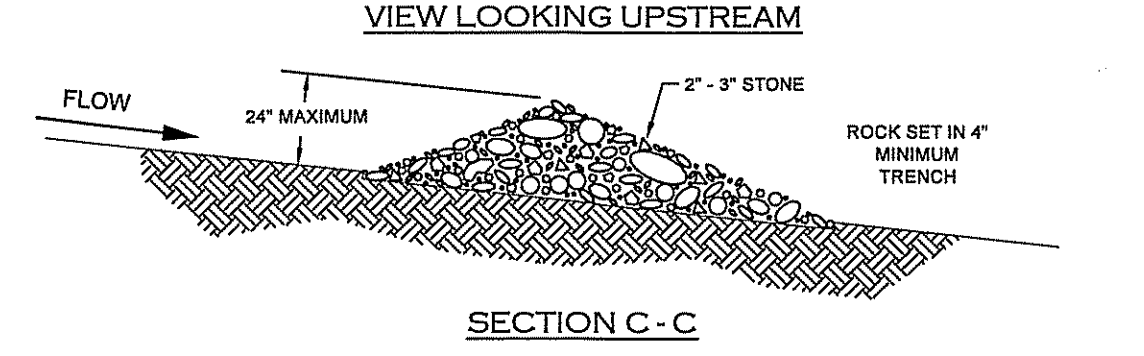
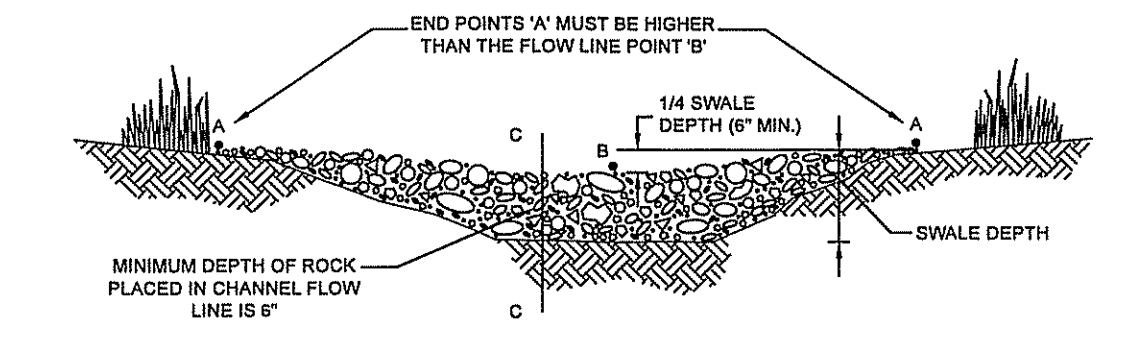
20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.

21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.

22. LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

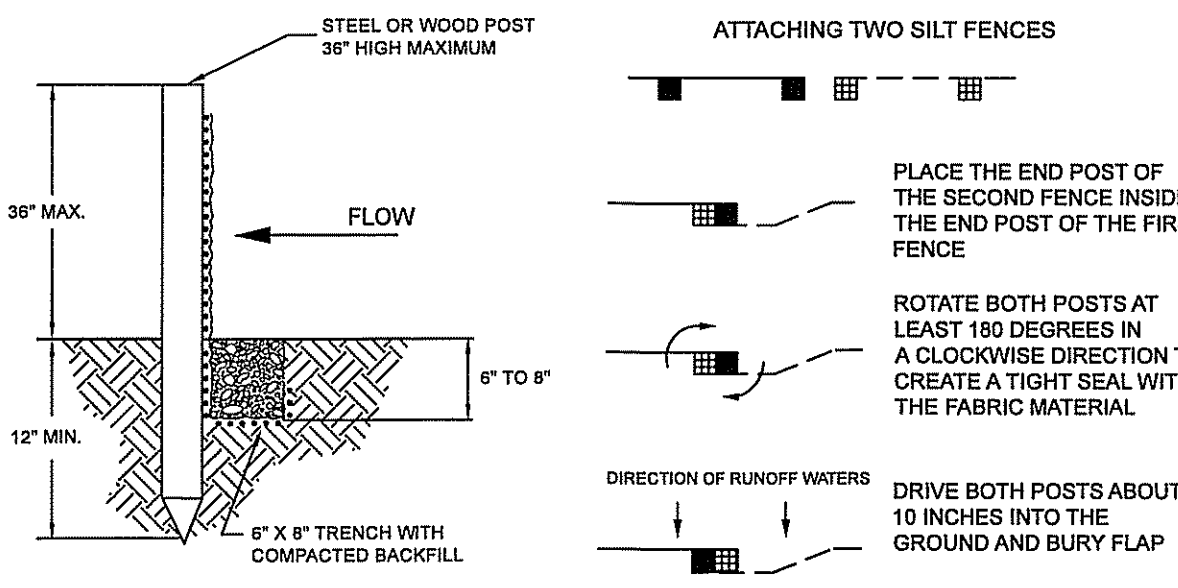
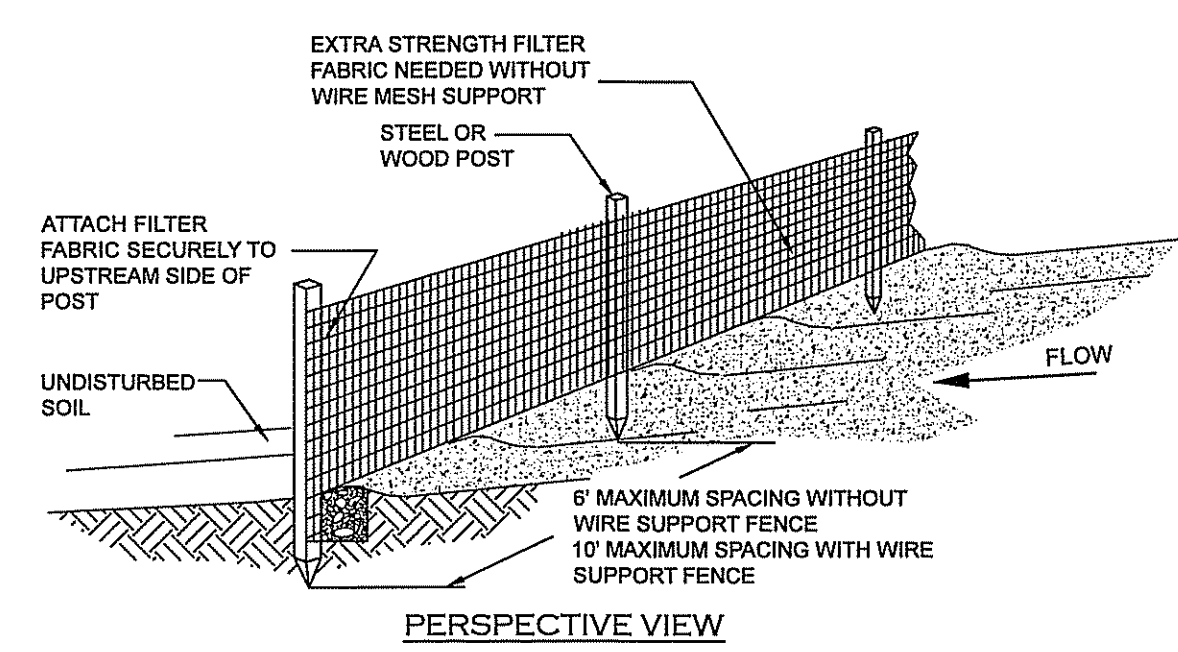
23. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

EROSION CONTROL NOTES 1
DT-3



- NOTES:
- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
 - STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
 - STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADE FACE IS RECOMMENDED FOR BETTER FILTERING.
 - WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
 - STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.
- SCALE: N.T.S.

STONE CHECK DAM 2
DT-3

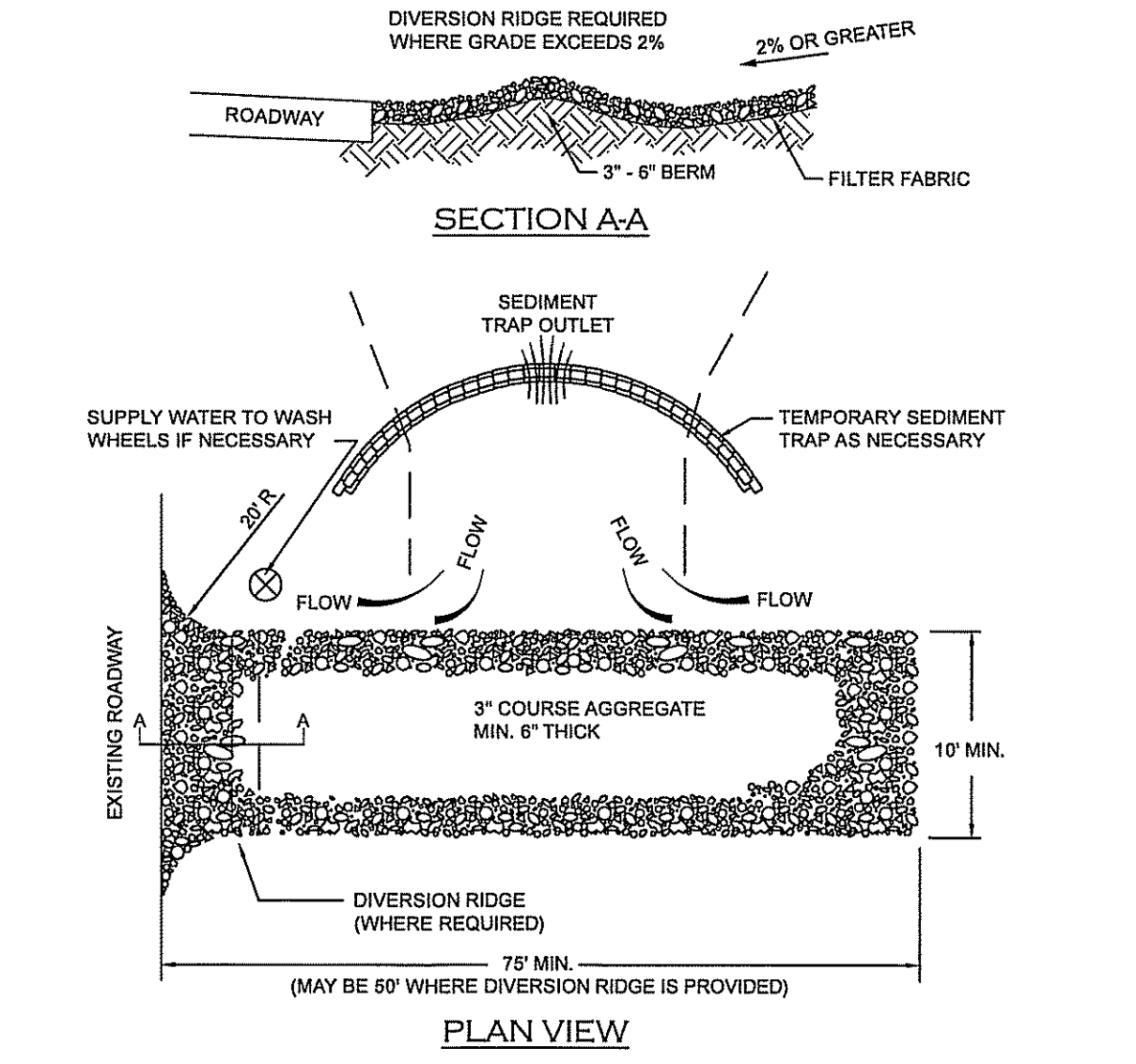


- NOTES:
- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
 - SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
 - IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 6 INCHES OF 3/4-INCH STONE.
 - SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
 - THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
- SCALE: N.T.S.

SILT FENCE 3
DT-3

- INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- INSTALL STABILIZED CONSTRUCTION EXIT(S).
- CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE BURIED ON SITE AT THE LOCATIONS SHOWN. STUMPS SHALL BE COMPACTED AND ALL VOIDS FILLED WITH SUITABLE MATERIAL. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
- REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- EXPOSE LEDGE AND COMMENCE BLASTING ACTIVITIES IN ACCORDANCE WITH THE BLASTING BEST MANAGEMENT PRACTICES SUMMARIZED HEREON. THE SLOPE OF THE LEDGE CUTS SHALL BE DEPENDENT ON THE COMPETENCY OF THE LEDGE ENCOUNTERED WITH A MAXIMUM RATE OF 1' HORIZ. TO 4' VERT.
- BEGIN BUILDING CONSTRUCTION.
- CONSTRUCT ROAD, PARKING AND BUILDING PADS. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE THE EROSION CONTROL NOTES.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING TO PREPARE FOR PAVING AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- FINISH PAVING. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF DRIVE AND PARKING AREA PAVING (SEE EROSION CONTROL NOTES).
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

CONSTRUCTION SEQUENCE 4
DT-3

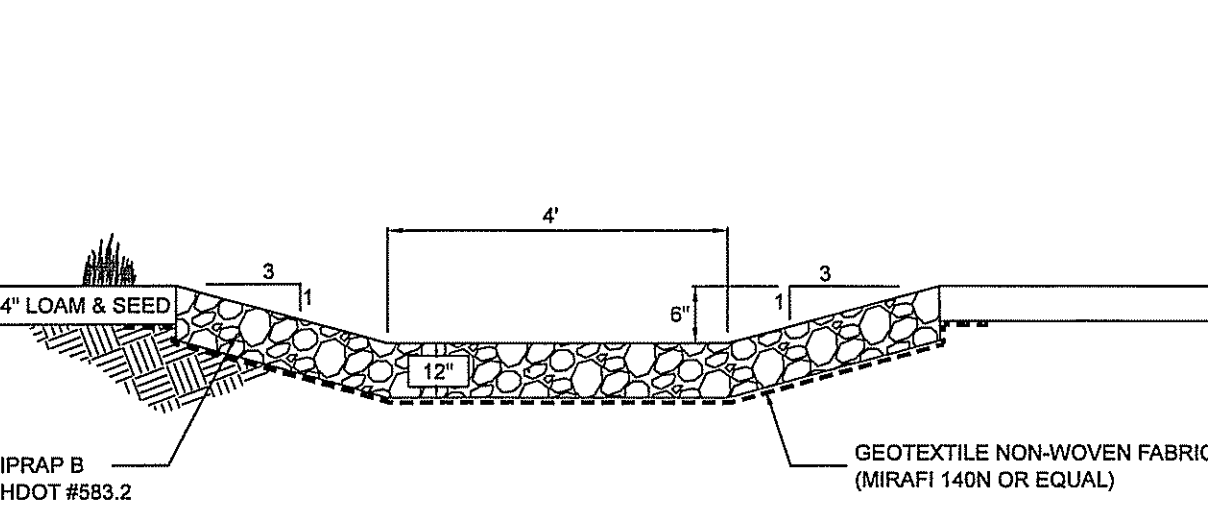


- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
 - THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
 - THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
 - THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
 - THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
 - THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
 - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
 - NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- SCALE: N.T.S.

GRAVEL CONSTRUCTION EXIT 5
DT-3

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION NOTES 6
DT-3



RIPRAP SPILLWAY SCALE: N.T.S.
1
DT-3

REV.	DATE	DESCRIPTION	C/O	DR	CK
C	10/4/21	ADDRESS STAFF COMMENTS		NRC	CEB
B	9/8/21	ADDRESS STAFF COMMENTS		CLR	CEB
A	1/22/20	ADDRESS COMMENTS PER STAFF MEMO		CLR	CEB

EROSION CONTROL DETAILS

INDUSTRIAL DEVELOPMENT

TAX MAP PARCEL 14-10 - 21 OLD WILTON ROAD

MILFORD, NEW HAMPSHIRE

PREPARED FOR AND LAND OF:

RONALD L. & LOREEN M. RACICOT

70 PUTNUM HILL ROAD, LYNEBOROUGH, NH 03082-6134.

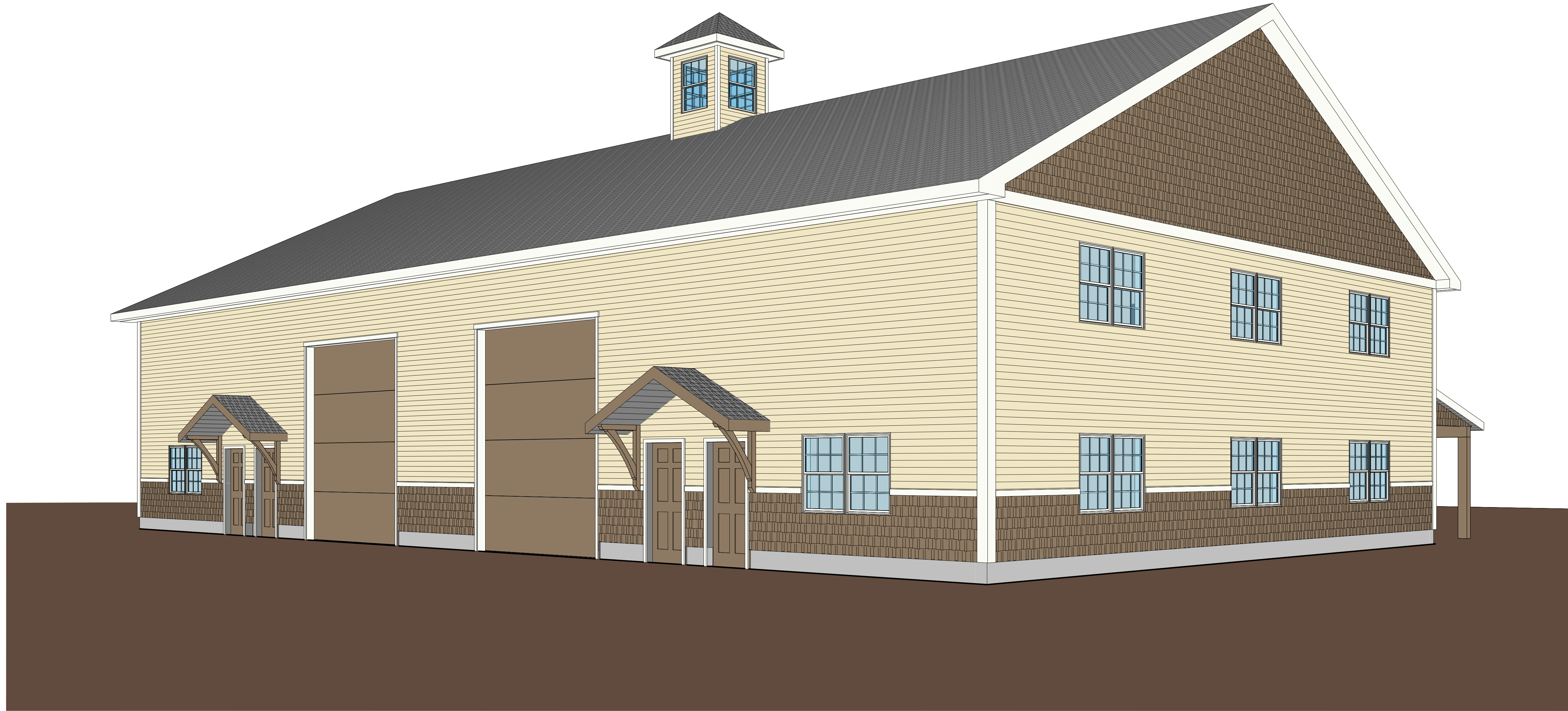
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Son's Chimney

